



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

1:30 P.M.

FEBRUARY 9, 2015

AGENDA RIVERSIDE COUNTY PLANNING DEPARTMENT DIRECTOR'S HEARING

County Administrative Center
4080 Lemon Street
1st Floor, Conference Room 2A
Riverside, CA 92501

NOTE: Please be aware that the indicated staff recommendation shown below for each item may differ from that presented to the Planning Director during the public hearing.

If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Planning Director. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s).

In compliance with the Americans with Disabilities Act, if you require reasonable accommodations, please contact Mary Stark at (951) 955-7436 or e-mail at mcstark@rctlma.org. Requests should be made 72 hours in advance or as soon as possible prior to the scheduled meeting. Alternative formats are available upon request.

1.0 CONSENT CALENDAR

1.1 **NONE**

2.0 PUBLIC HEARING – CONTINUED ITEMS: 1:30 p.m. or as soon as possible thereafter:

2.1 **NONE**

3.0 PUBLIC HEARING – NEW ITEMS: 1:30 p.m. or as soon as possible thereafter:

- 3.1 **PLOT PLAN NO. 25720** – CEQA Exempt – Applicant: John E. McAndrews – Third Supervisorial District – Idyllwild Zoning District – Riverside Extended Mountain Area Plan (REMAP): Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) – Location: Northerly of S. Circle Drive, southerly of Ridge View Drive, and westerly side of Village Center Drive, more specifically 54295 Village Center Drive – 0.18 Acres - Zoning: Scenic Highway Commercial (C-P-S) – **REQUEST:** The Plot Plan proposes to convert an existing 2,988 sq. ft. two story medical, light retail and business offices to a church (Shiloh Christian Ministries). The project includes a 325 sq. ft. assembly area, classrooms, nurseries, a fellowship area, and an office. The project also proposes ten (10) parking spaces. Project Planner: Damaris Abraham at (951) 955-5719 or email dabraham@rctlma.org.

FINAL: 01-27-15

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-3157

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Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7040

- 3.2 **PLOT PLAN NO. 20158, REVISED PERMIT NO. 1** – Consider an Addendum to an Adopted Mitigated Negative Declaration – Applicant: Trip Hord Associates – First Supervisorial District – Meadowbrook Zoning Area – Elsinore Area Plan: Community Development: Business Park (CD:BP) (0.25 - 0.60 Floor Area Ratio) – Location: Northwesterly corner of Conrad Avenue and State Highway 74 – 4.79 Gross Acres – Zoning: Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1) – **REQUEST:** The Revised Permit to the approved Plot Plan proposes to increase the square footage of the project building footprint for the proposed Self-Storage (a mini-warehouse) Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft. mainly with Building F) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings (Building E – 37,906 sq. ft. and Building F – 25,531 sq. ft.), and four (4) single-story Self-Storage Buildings (Building A – 10,396 sq. ft., Building B – 2,100 sq. ft., Building C – 18,807 sq. ft., and Building D – 5,000 sq. ft.). The project also proposes to update the Water Quality Management Plan to meet current regional water quality board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to an Onsite Wastewater Treatment System (OWTS). Project Planner: Damaris Abraham at (951) 955-5719 or email dabraham@rctlm.org.

4.0 PUBLIC COMMENTS:

Agenda Item No.: 3.11
Area Plan: Riverside Extended Mountain
Zoning District: Idyllwild
Supervisory District: Third
Project Planner: Damaris Abraham
Director's Hearing: February 9, 2015

PLOT PLAN NO. 25720
CEQA Exempt
Applicant: John E. McAndrews

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan proposes to convert an existing 2,988 sq. ft. two story medical, light retail and business offices to a Church (Shiloh Christian Ministries). The project includes a 325 sq. ft. assembly area, classrooms, nurseries, a fellowship area, and an office. The project also proposes ten (10) parking spaces.

The project site is located northerly of S. Circle Drive, southerly of Ridge View Drive, and westerly side of Village Center Drive, more specifically 54295 Village Center Drive.

SUMMARY OF FINDINGS:

- | | |
|---------------------------------------|---|
| 1. Existing General Plan Land Use: | Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) |
| 2. Surrounding General Plan Land Use: | Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) to the north, south, east, and west |
| 3. Existing Zoning: | Scenic Highway Commercial (C-P-S) |
| 4. Surrounding Zoning: | Scenic Highway Commercial (C-P-S) to the north, south, east, and west |
| 5. Existing Land Use: | Medical office |
| 6. Surrounding Land Use: | Offices, restaurants |
| 7. Project Data: | Total Acreage: 0.18 Acres
Total Building Square Footage: 2,998
Total Parking: 10 spaces |
| 8. Environmental Concerns: | CEQA Exempt per Section 15303 |

RECOMMENDATIONS:

FIND the project exempt from the California Environmental Quality Act pursuant to State CEQA Guidelines per Section 15303 (New Construction or Conversion of Small Structures), based on the findings and conclusions incorporated in the staff report; and,

APPROVE PLOT PLAN NO. 25720, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

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1. The project site is designated Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) on the Riverside Extended Mountain Area Plan (REMAP).
2. The Commercial Retail land use designation allows for the development of commercial retail uses at a neighborhood, community and regional level, as well as for professional office and tourist-oriented commercial uses. The proposed church will provide more options for a worship center for the nearby residences in the area.
3. The project site is located within the Idyllwild/Pine Cove Village Tourist Policy Area of the REMAP. The purpose of the Policy Area is to apply a method that would allow community serving amenities at higher densities or intensities than prescribed by the plan if certain criteria are met. The two policies of this Policy Area do not directly affect the proposed use since the project is proposing to convert an existing building to a Church and the policies deal with mountain resort type uses.
4. The project site is surrounded by properties which are designated Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) to the north, south, east, and west.
5. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
6. The proposed use, a Church, is a permitted use, subject to approval of a plot plan in the C-P-S zone, in accordance with Section 9.50.a. (102) of Ordinance No. 348.
7. The proposed project is consistent with the development standards set forth in the C-P-S zone. There is no minimum lot area requirement for this zoning classification. The existing building is 28 feet in height and does not exceed the maximum 50 feet height requirement. There is no yard requirement for buildings that do not exceed 35 feet in height. In addition, the project as designed and conditioned meets the development standards for automobile storage areas and screening of roof mounted mechanical equipment.
8. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S) to the north, south, east, and west.
9. The project is not located within a Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
10. The proposed project has been determined to be categorically exempt from CEQA, as set forth per Section 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. This Section includes the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.
11. The 2,988 sq. ft. two story medical building was permitted by the County and finalized in 1989. This project proposing to convert this office building to a church. No modifications are proposed for the exterior of the structure.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A fault zone;
 - b. A flood zone;
 - c. A subsidence area;
 - d. An Airport Influence area;
 - e. An area with liquefaction potential;
 - f. A City sphere of influence; or,
 - g. The Stephens Kangaroo Rat Fee Area.
3. The project site is located within:
 - a. A high fire area;
 - b. The boundaries of the Hemet Unified School District; and,
 - c. An area with Low Paleontological sensitivity.
4. The subject site is currently designated as Assessor's Parcel Number 565-062-008.

DA:da

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Date Prepared: 10/03/14

Date Revised: 01/23/15

PP25720



Selected parcel(s):
565-062-008

LEGEND

SELECTED PARCEL



INTERSTATES



HIGHWAYS



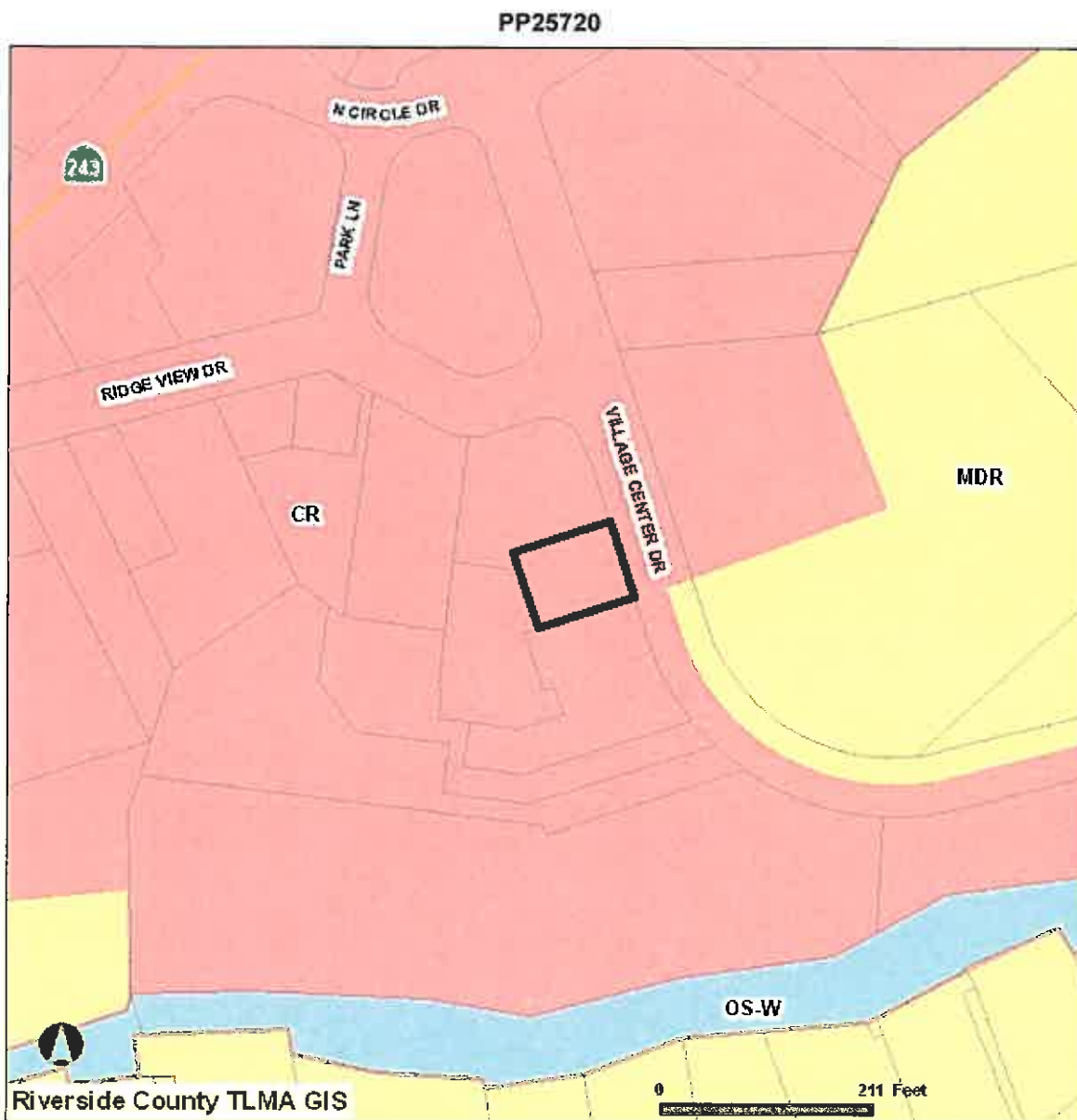
PARCELS

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 131127



Selected parcel(s):
565-062-008

LAND USE



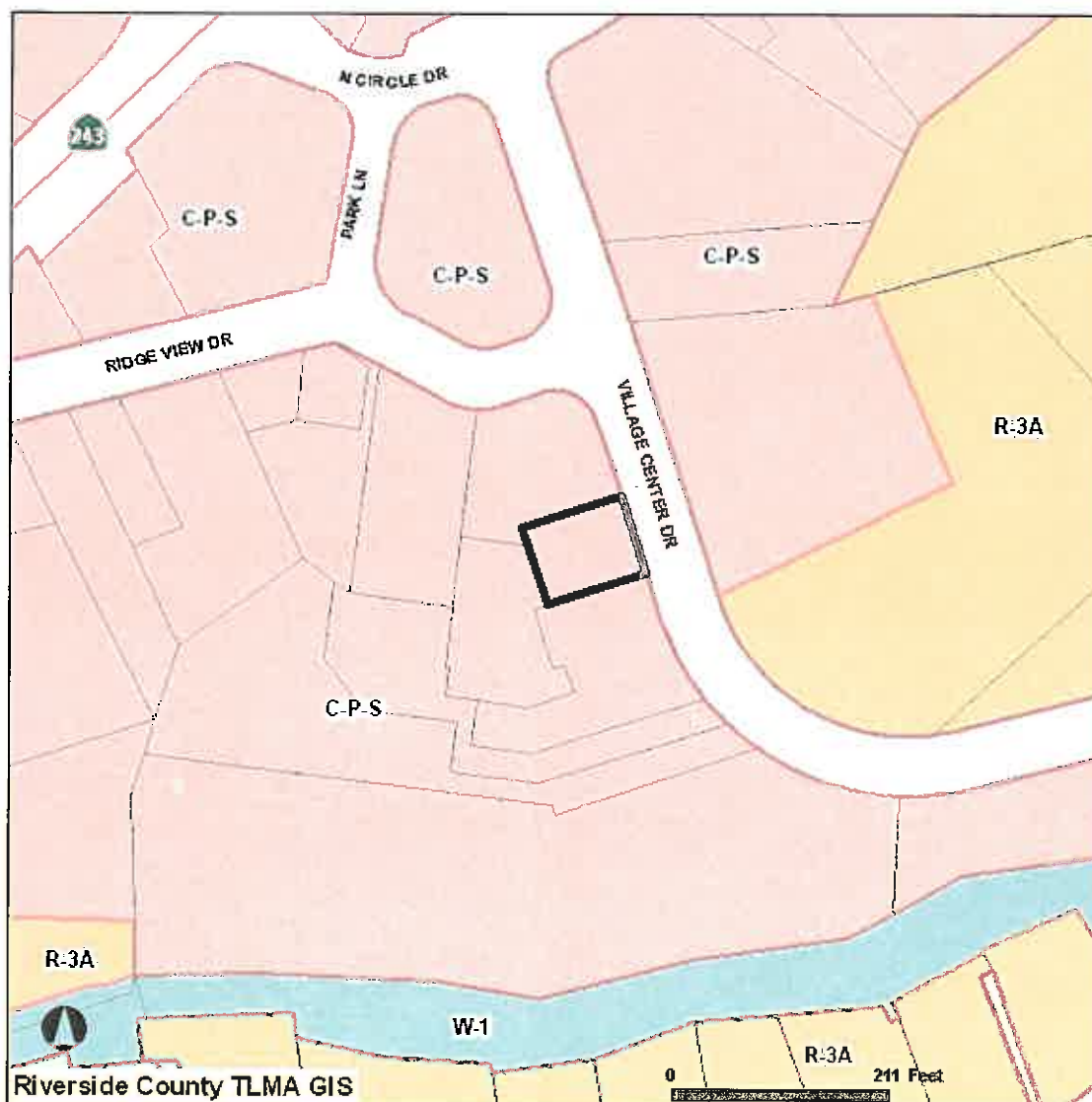
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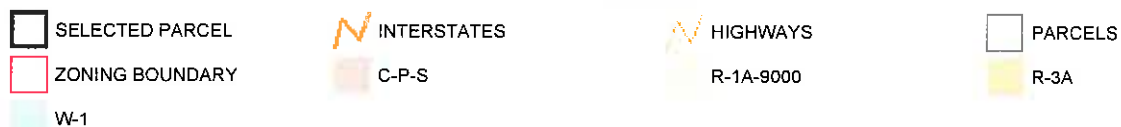
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PP25720



Selected parcel(s):
565-062-008

ZONING

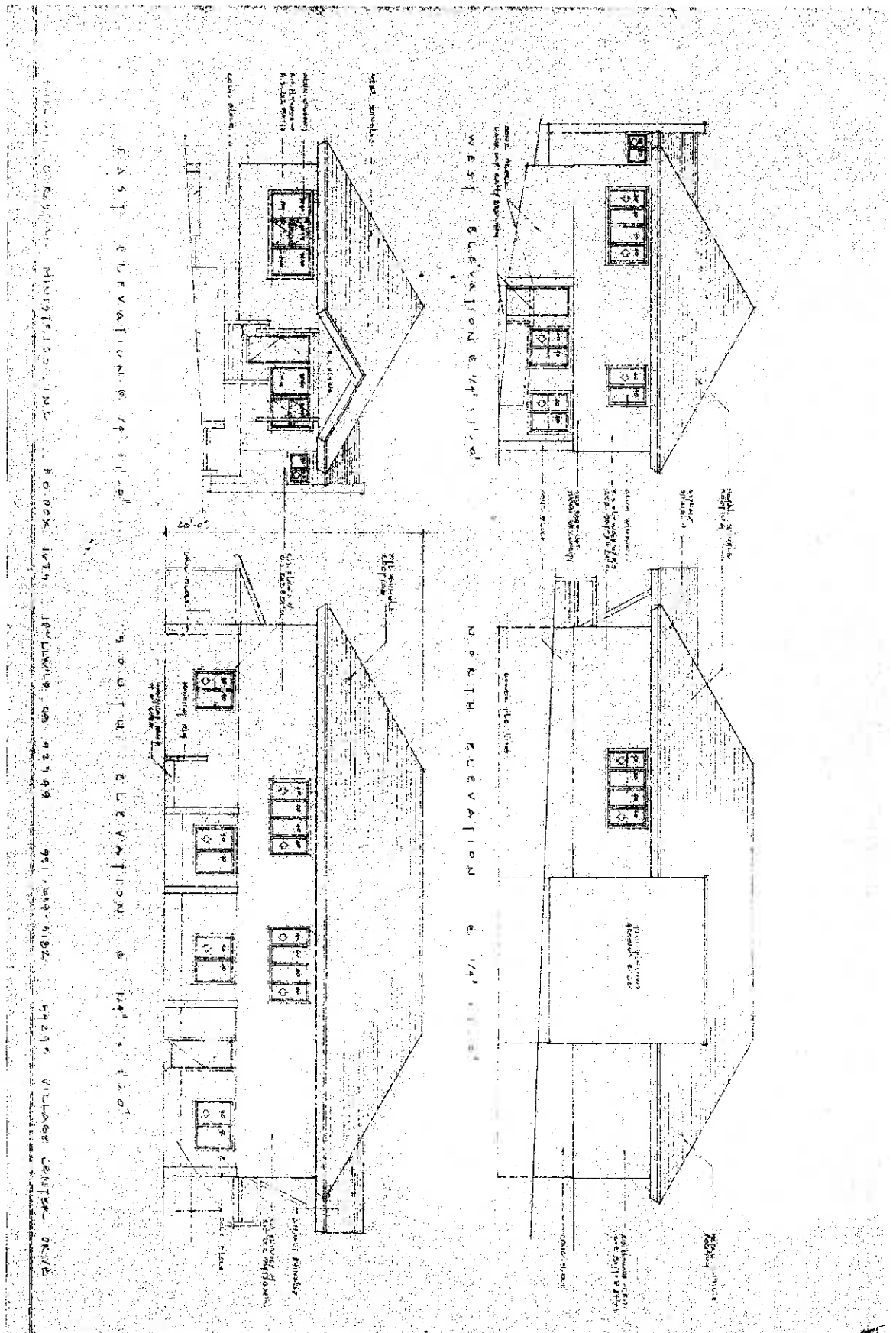


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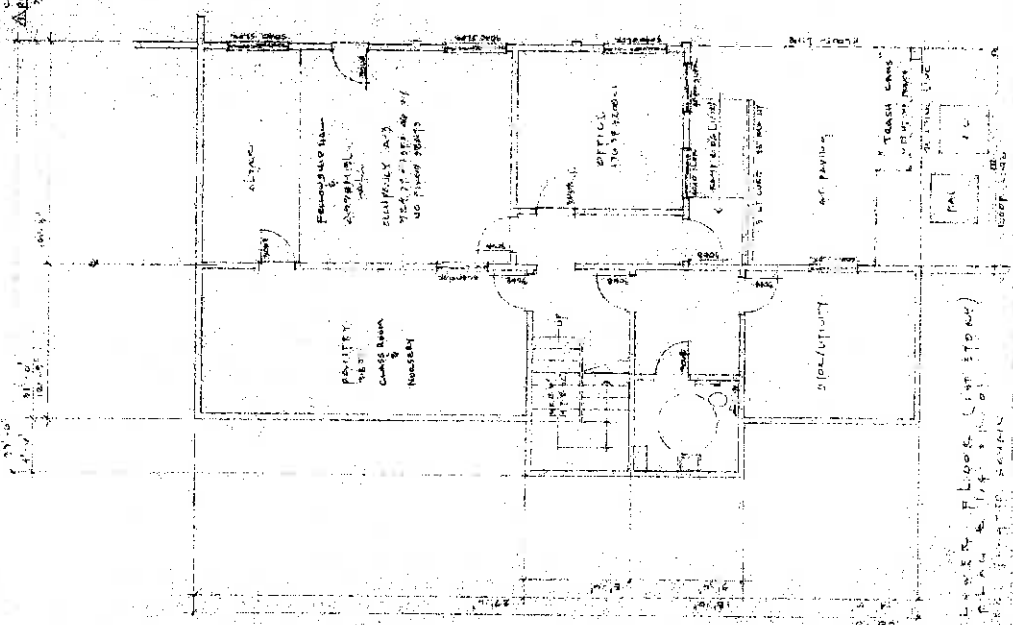
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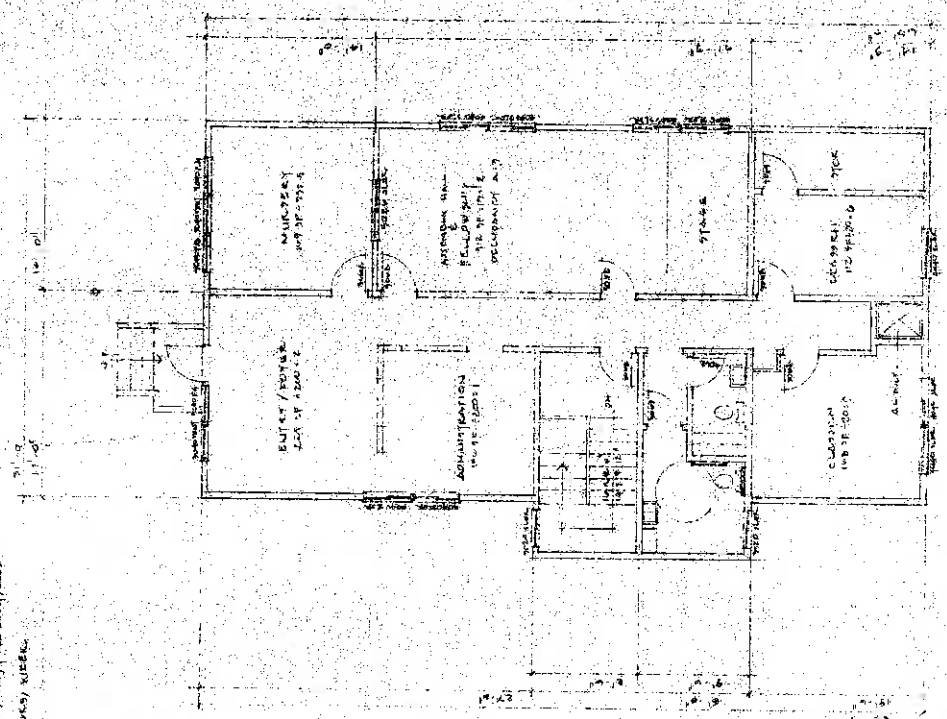
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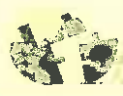
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1ST FLOOR PLAN (100' x 100')



2ND FLOOR PLAN (100' x 100')



01/28/15
10:03

Riverside County LMS
CONDITIONS OF APPROVAL

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PLOT PLAN:TRANSMITTED Case #: PP25720

Parcel: 565-062-008

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for the conversion of an existing 2,988 sq. ft. two story medical, light retail and business offices to a Church (Shiloh Christian Ministries). The project includes a 325 sq. ft. assembly area, classrooms, nurseries, a fellowship area, and an office. The project also proposes ten (10) parking spaces.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

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Riverside County LMS
CONDITIONS OF APPROVAL

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10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25720 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 25720, Exhibit A, dated January 23, 2015.

APPROVED EXHIBIT B = Plot Plan No. 25720, Exhibit B, dated January 23, 2015.

APPROVED EXHIBIT C = Plot Plan No. 25720, Exhibit C, dated January 23, 2015.

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GIN VARY INTRO

RECOMMND

Plot Plan No. 25720 proposes to convert an existing 2,988 square foot two story medical building into a church. No grading is proposed as part of this proposal, therefore, the Grading Division does not object to this proposal with the following included condition of approval.

E HEALTH DEPARTMENT

10.E HEALTH. 1 USE - NO NOISE REPORTS

RECOMMND

Based upon the information provided, a noise study is not required. However, the project shall be required to comply with the following:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library, or nursing home", must not exceed the following worst-case noise levels: 45 dB(A) - 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m.

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CONDITIONS OF APPROVAL

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10. GENERAL CONDITIONS

10.E HEALTH. 1 USE - NO NOISE REPORTS (cont.) RECOMMND

(nighttime standard) and 65 dB(A) - 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard).

2. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exception to these standards shall be allowed only with the written consent of the building official.

For any questions, please contact the Department of Environmental Health, Office of Industrial Hygiene at (951) 955-8982.

FIRE DEPARTMENT

10.FIRE. 1 USE-#21-HAZARDOUS FIRE AREA RECOMMND

This project is located in the "Hazardous Fire Area" of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed within this project shall comply with the special construction provisions contained in Riverside County Ordinance 787.1.

10.FIRE. 2 USE -#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 3000 GPM for a 3 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type V-B construction per the 2013 CBC and Building(s) having a fire sprinkler system.

10.FIRE. 3 USE-#89-RAPID BOX RECOMMND

Rapid entry key storage box shall be installed on the outside of the building. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.(If applicable)

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Riverside County LMS
CONDITIONS OF APPROVAL

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10. GENERAL CONDITIONS

10.FIRE. 4 USE-#25-GATE ENTRANCES RECOMMND

Any gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

PLANNING DEPARTMENT

10.PLANNING. 1 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 2 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 3 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 7 USE - BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), Religious Institutions - churches, chapels and other places of worship: 1 space for 35 square feet of net assembly area used simultaneously for assembly purposes.

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Riverside County LMS
CONDITIONS OF APPROVAL

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Parcel: 565-062-008

10. GENERAL CONDITIONS

10.PLANNING. 9 USE - NO OUTDOOR ADVERTISING

RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

10.PLANNING. 15 USE - RECLAIMED WATER

RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 17 USE - NO RESIDENT OCCUPANCY

RECOMMND

No permanent occupancy shall be permitted within the property approved under this plot plan as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10.PLANNING. 19 USE - EXTERIOR NOISE LEVELS

RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 20 USE - NOISE MONITORING REPORTS

RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of

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10. GENERAL CONDITIONS

10.PLANNING. 20 USE - NOISE MONITORING REPORTS (cont.) RECOMMND

Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 22 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 27 USE - MT PALOMAR LIGHTING AREA RECOMMND

The subject property lies within the boundary of Zone B of Ordinance No. 655 (Mt. Palomar Special Lighting Area.) In accordance with Section 5 (General Requirements) of this Ordinance, Low Pressure Sodium lamps and other lamps below 4050 lumens are allowed, and other lamps above 4050 lumens are prohibited.

Note that all outdoor lighting must be fully shielded if feasible or partially shielded in all other cases, and must be focused to minimize spill light into the night sky and onto adjacent properties. All outdoor lighting must remain in compliance with the requirements of Ord. No. 655 for the life of this permit.

10.PLANNING. 29 USE - PERMIT SIGNS RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.43.B and D (Substantial Conformance-Uncirculated) of Ordinance No. 348.

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10. GENERAL CONDITIONS

10.PLANNING. 32 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO (ORD 461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, it is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

10.TRANS. 3 USE - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

10.TRANS. 4 USE - NO ADD'L ON-SITE R-O-W RECOMMND

No additional on-site right-of-way shall be required on Village Center Drive since adequate right-of-way exists.

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60. PRIOR TO GRADING PRMT ISSUANCE

PLANNING DEPARTMENT

60.PLANNING. 10 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 25720, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

80. PRIOR TO BLDG PRMT ISSUANCE

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$

RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE -#51-WATER CERTIFICATION

RECOMMND

The applicant or developer shall be responsible to submit written certification from the water company noting the location of the existing fire hydrant and that the existing water system is capable of delivering 3000 GPM fire flow for a 3 hour duration at 20 PSI residual operating pressure. If a water system currently does not exist, the applicant or developer shall be responsible to provide written certification that financial arrangements have been made to provide them.

PLANNING DEPARTMENT

80.PLANNING. 3 USE - CONFORM TO ELEVATIONS

RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B, dated January 23, 2015.

80.PLANNING. 4 USE - CONFORM TO FLOOR PLANS

RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C, dated January 23, 2015.

01/28/15
10:03

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 9

PLOT PLAN:TRANSMITTED Case #: PP25720

Parcel: 565-062-008

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 5 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view.
Screening material shall be subject to Planning Department
approval.

80.PLANNING. 17 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Hemet Unified School District shall be
mitigated in accordance with California State law.

80.PLANNING. 18 USE - LIGHTING PLANS RECOMMND

All parking lot lights and other outdoor lighting shall be
shown on electrical plans submitted to the Department of
Building and Safety for plan check approval and shall
comply with the requirements of Riverside County Ordinance
No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 19 USE - FEE STATUS RECOMMND

Prior to issuance of building permits for Plot Plan
No. 25720, the Planning Department shall determine the
status of the deposit based fees for project. If the case
fees are in a negative state, the permit holder shall pay
the outstanding balance.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - BUSINESS REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner
shall register the project with the Department of Building
Safety Business Registration Division. Any person or entity
that owns or operates a commercial and/or industrial
facility shall register such facility for annual
inspections.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire
Department for approval, a site plan designating required
fire lanes with appropriate lane painting and/or signs.(If
applicable)

01/28/15
10:03

Riverside County LMS
CONDITIONS OF APPROVAL

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PLOT PLAN:TRANSMITTED Case #: PP25720

Parcel: 565-062-008

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 2 USE-#012-PUB TYP BUILD RECOMMND

TYPE BUILDINGS: Construction type will determine the correct required fire-flow and flow duration for this building.

90.FIRE. 3 USE-#12A-SPRINKLER SYSTEM RECOMMND

Install a complete fire sprinkler system per NFPA 13 2013 edition. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 200 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout(If applicable)

90.FIRE. 4 USE-#37-EXIT SIGN RECOMMND

Exit signs, exit markers and exit path marking shall be installed per the California Building Code.

90.FIRE. 5 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

90.FIRE. 6 USE-#36-HOOD DUCTS RECOMMND

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all

01/28/15
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Riverside County LMS
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PLOT PLAN:TRANSMITTED Case #: PP25720

Parcel: 565-062-008

90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 6 USE-#36-HOOD DUCTS (cont.)

RECOMMND

electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.(Plans show "Existing Resteraunt"below Surveyor's Notes).

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

PLANNING DEPARTMENT

90.PLANNING. 3 USE - PARKING PAVING MATERIAL

RECOMMND

A minimum of ten (10) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 4 USE - ACCESSIBLE PARKING

RECOMMND

A minimum of one (1) accessible parking space for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense.

01/28/15
10:03

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 12

PLOT PLAN:TRANSMITTED Case #: PP25720

Parcel: 565-062-008

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 4 USE - ACCESSIBLE PARKING (cont.) RECOMMND

Towed vehicles may be reclaimed at ____ or by telephoning
____."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 16 USE - EXISTING STRUCTURES RECOMMND

All existing buildings, structures and uses on the entire property shall conform to all the applicable requirements of Ordinance No. 348 and Ordinance No. 457, and the conditions of this permit.

90.PLANNING. 24 USE - CONDITION COMPLIANCE RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

90.PLANNING. 27 USE - ORD 810 O S FEE RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 25720 is calculated to be 0.18 net acres. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

01/28/15
10:03

Riverside County LMS
CONDITIONS OF APPROVAL

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PLOT PLAN:TRANSMITTED Case #: PP25720

Parcel: 565-062-008

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 28

USE - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 25720 has been calculated to be 0.18 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: February 27, 2014

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health
Riv. Co. Flood Control District
Palm Desert Fire Department
Idyllwild Fire Department
Riv. Co. Building & Safety – Grading

Riv. Co. Building & Safety – Plan Check
Regional Parks & Open Space District
Riv. Co. Environmental Programs Division
P.D. Geology Section
P.D. Landscaping Section
P.D. Archaeology Section
Riv. Co. Waste Management Dept.

3rd District Supervisor
3rd District Planning Commissioner
Hemet Unified School Dist.
Idyllwild Water & Sewer Dist.
Southern California Edison
Southern California Gas Co.

PLOT PLAN NO. 11145, REVISED PERMIT NO. 1 – EA42667 – Applicant: John E. McAndrews – Engineer/Representative: John E. McAndrews – Third/Third Supervisorial District – Idyllwild Zoning District – REMAP Area Plan: Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) – Location: Northerly of S. Circle Drive, Southerly of Ridge View Drive, and westerly of Village Center Drive – 0.18 Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST: The Plot Plan proposes to convert an existing 2,988 sq. ft. two story medical building to a church. – APN: 565-062-008**

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **DRT meeting on March 27, 2014**. All LDC/DRT Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **Damaris Abraham**, Project Planner, at **(951) 955-5719** or email at **dabraham@rcctlma.org / MAILSTOP# 1070**.

Public Hearing Path: DH: ☒ PC: ☐ BOS: ☐

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE
2ND CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: August 26, 2014

TO:

Riv. Co. Building & Safety – Plan Check
Riv. Co. Environmental Health Dept.

PLOT PLAN NO. 11145, REVISED PERMIT NO. 1 – EA42667 – Applicant: John E. McAndrews – Engineer/Representative: John E. McAndrews – Third/Third Supervisorial District – Idyllwild Zoning District – REMAP Area Plan: Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) – Location: Northerly of S. Circle Drive, Southerly of Ridge View Drive, and westerly of Village Center Drive – 0.18 Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST:** The Plot Plan proposes to convert an existing 2,988 sq. ft. two story medical building to a church. – APN: 565-062-008

Please review the attached map(s) and/or exhibit(s) for the above-described project by September 11, 2014. Should you have any questions regarding this project, please do not hesitate to contact **Damaris Abraham**, Project Planner, at **(951) 955-5719** or email at **dabraham@rctlma.org** / **MAILSTOP# 1070**.

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE
3rd CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: October 14, 2014

TO:

Riv. Co. Building & Safety – Plan Check

PLOT PLAN NO. 11145, REVISED PERMIT NO. 1 – EA42667 – Applicant: John E. McAndrews – Engineer/Representative: John E. McAndrews – Third/Third Supervisorial District – Idyllwild Zoning District – REMAP Area Plan: Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) – Location: Northerly of S. Circle Drive, Southerly of Ridge View Drive, and westerly of Village Center Drive – 0.18 Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST:** The Plot Plan proposes to convert an existing 2,988 sq. ft. two story medical building to a church. – APN: 565-062-008

Please review the attached map(s) and/or exhibit(s) for the above-described project by October 23, 2014. Should you have any questions regarding this project, please do not hesitate to contact **Damaris Abraham**, Project Planner, at **(951) 955-5719** or email at **dabraham@rctlma.org** / **MAILSTOP# 1070**.

COMMENTS:

Corrections

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

IDYLLWILD WATER DISTRICT

P.O. BOX 397 • IDYLLWILD, CALIFORNIA 92549-0397 • 25945 HIGHWAY 243
PHONE (951) 659-2143 • FAX (951) 659-9990 • www.idyllwildwater.com

May 15, 2014

Shiloh Christian Ministries, Inc.
54295 Village Circle Drive
P.O. Box 1675
Idyllwild, CA 92549-1675

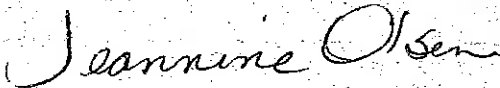
APN# 565-062-008

To whom it may concern:

This letter is to verify that the property listed above is in the Idyllwild Water District and IWD Improvement District #1 and is currently hooked up to both the Idyllwild water and sewer systems. We have reviewed your proposed plans and intended use. We are satisfied that the proposed use would not alter the demand, or capacity of our services to this building. If there are any further questions, please call our office at (951) 659-2143. Thank you.

Sincerely,

IDYLLWILD WATER DISTRICT



Jeannine Olsen
IWD Assistant

cc: John McAndrews/P.O. Box 470/Idyllwild, CA 92549

SHILOH CHRISTIAN MINISTRIES INC.
P. O. Box 1675
Idyllwild, Ca. 92549

PLOT PLAN # 11145

Explanation of revised permit concerns.

- I. Meetings
- II. Meeting times
- III. Occupancy
- IV. Room uses
- V. Employees

I. Meetings

- a. Sunday Service
Includes Sunday School and Nursery
- b. Wednesday night bible study
- c. Thursday womans group
- d. Thursday worship practice

II. Meeting times

- a. Sunday Service 10:00 am to 12:00 pm
- b. Wednesday night bible study 6:00 to 7:00 pm
- c. Thursday womens group 10:00 to 11:00 am
- d. Thursday worship practice 6:00 to 7:00 pm

III. Occupancy

- a. Members are approximately 25 people
- b. Visitors at Sunday service are no more than 1 or 2 per service

IV. Room uses

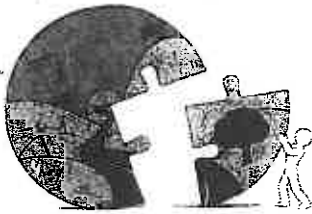
- a. The assembly hall will be used for Sunday Service, Bible study, womens group,

and worship practice

- b. Classrooms for Childrens Sunday School, Nursery, and Young Adults Class
(Sundays only)
- c. The fellowship area will be used once a month for after church Pot Luck Lunch
- d. The office is used for Pastors study; also office equipment, and office supply

V. Employees

- a. We have no employees



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- ☒ PLOT PLAN ☐ CONDITIONAL USE PERMIT ☐ TEMPORARY USE PERMIT
☒ REVISED PERMIT ☐ PUBLIC USE PERMIT ☐ VARIANCE

PROPOSED LAND USE: CHURCH

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: 9.5(a)(102)

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: _____ DATE SUBMITTED: _____

APPLICATION INFORMATION

Applicant's Name: JOHN E McANDREWS E-Mail: JMMOUNTAIN CONSTRUCTION
@YAHOO.COM

Mailing Address: PO Box 470
IOYLLWILLO CA 92549
City State ZIP

Daytime Phone No: (951) 837-6093 Fax No: () _____

Engineer/Representative's Name: N/A E-Mail: _____

Mailing Address: _____

City State ZIP

Daytime Phone No: () _____ Fax No: () _____

Property Owner's Name: SHILOH CHRISTIAN
MINISTRIES, INC E-Mail: N/A

Mailing Address: PO Box 1675
IOYLLWILLO CA 92549
City State ZIP

Daytime Phone No: (951) 659-5182 Fax No: () _____

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR LAND USE PROJECT

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

JOHN E. McANONUE [Signature]
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Kristeen Bandelino Sholeh Christian McIntire [Signature]
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

☐ See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 565-062-008-8

Section: 18 Township: 5S Range: 3E

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: 0.18 AC

General location (nearby or cross streets): North of SOUTH CIRCLE, South of RIDGEVIEW, East of N/A, West of VILLAGE CENTER

Thomas Brothers map, edition year, page number, and coordinates: PB 814 - PG (2000)

Project Description: (describe the proposed project in detail)

REVISED PLOT PLAN - FORMERLY MEDICAL BUILDING TO A SMALL CHURCH.

Related cases filed in conjunction with this application:

PLOT PLAN 11145

Is there a previous application filed on the same site: Yes ☒ No ☐

If yes, provide Case No(s). PP 11145 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes ☐ No ☒

If yes, indicate the type of report(s) and provide a copy: _____

Is water service available at the project site: Yes ☒ No ☐

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes ☐ No ☒

Is sewer service available at the site? Yes ☒ No ☐

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes ☐ No ☒

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: N/A

APPLICATION FOR LAND USE PROJECT

Estimated amount of fill = cubic yards N/A

Does the project need to import or export dirt? Yes ☐ No ☒

Import _____ Export _____ Neither _____

What is the anticipated source/destination of the import/export? N/A

What is the anticipated route of travel for transport of the soil material? N/A

How many anticipated truckloads? N/A truck loads.

What is the square footage of usable pad area? (area excluding all slopes) _____ sq. ft.

Is the project located within 8½ miles of March Air Reserve Base? Yes ☐ No ☒

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes ☐ No ☐

Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: <http://cmluca.projects.atlas.ca.gov/>) Yes ☐ No ☒

Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes ☐ No ☒

Does the project area exceed one acre in area? Yes ☐ No ☒

Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

☐ Santa Ana River ☐ Santa Margarita River ☒ San Jacinto River ☐ Whitewater River

NOTICE OF PUBLIC HEARING

A **PUBLIC HEARING** has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY DIRECTOR'S HEARING** to consider the project shown below:

PLOT PLAN NO. 25720 – CEQA Exempt – Applicant: John E. McAndrews – Third Supervisorial District – Idyllwild Zoning District – REMAP Area Plan: Community Development: Commercial Retail (CD:CR) (0.20-0.35 Floor Area Ratio) – Location: Northerly of S. Circle Drive, southerly of Ridge View Drive, and westerly side of Village Center Drive, more specifically 54295 Village Center Drive – 0.18 Acres - Zoning: Scenic Highway Commercial (C-P-S) – **REQUEST:** The Plot Plan proposes to convert an existing 2,988 sq. ft. two story medical, light retail and business offices to a Church (Shiloh Christian Ministries). The project includes a 325 sq. ft. assembly area, classrooms, nurseries, a fellowship area, and an office. The project also proposes ten (10) parking spaces. (Quasi-judicial)

TIME OF HEARING: 1:30 pm or as soon as possible thereafter
DATE OF HEARING: **FEBRUARY 9, 2015**
PLACE OF HEARING: RIVERSIDE COUNTY ADMINISTRATIVE CENTER
1ST FLOOR, CONFERENCE ROOM 2A
4080 LEMON STREET, RIVERSIDE, CA 92501

For further information regarding this project, please contact Damaris Abraham, Project Planner at 951-955-5719 or e-mail dabraham@rctlma.org, or go to the County Planning Department's Director's Hearing agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above-described application is exempt from the provisions of the California Environmental Quality Act (CEQA). The Planning Director will consider the proposed application at the public hearing.

The case file for the proposed project may be viewed Monday through Friday, from 8:00 A.M. to 5:00 P.M. at the Planning Department office, located at 4080 Lemon St. 12th Floor, Riverside, CA 92501.

Any person wishing to comment on the proposed project may do so in writing between the date of this notice and the public hearing; or, may appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Director, and the Planning Director will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If this project is challenged in court, the issues may be limited to those raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing. Be advised that as a result of public hearings and comment, the Planning Director may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Damaris Abraham
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 12/10/2014.

The attached property owners list was prepared by Riverside County GIS.

APN (s) or case numbers PP11145R1/PP25720 For

Company or Individual's Name Planning Department.

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

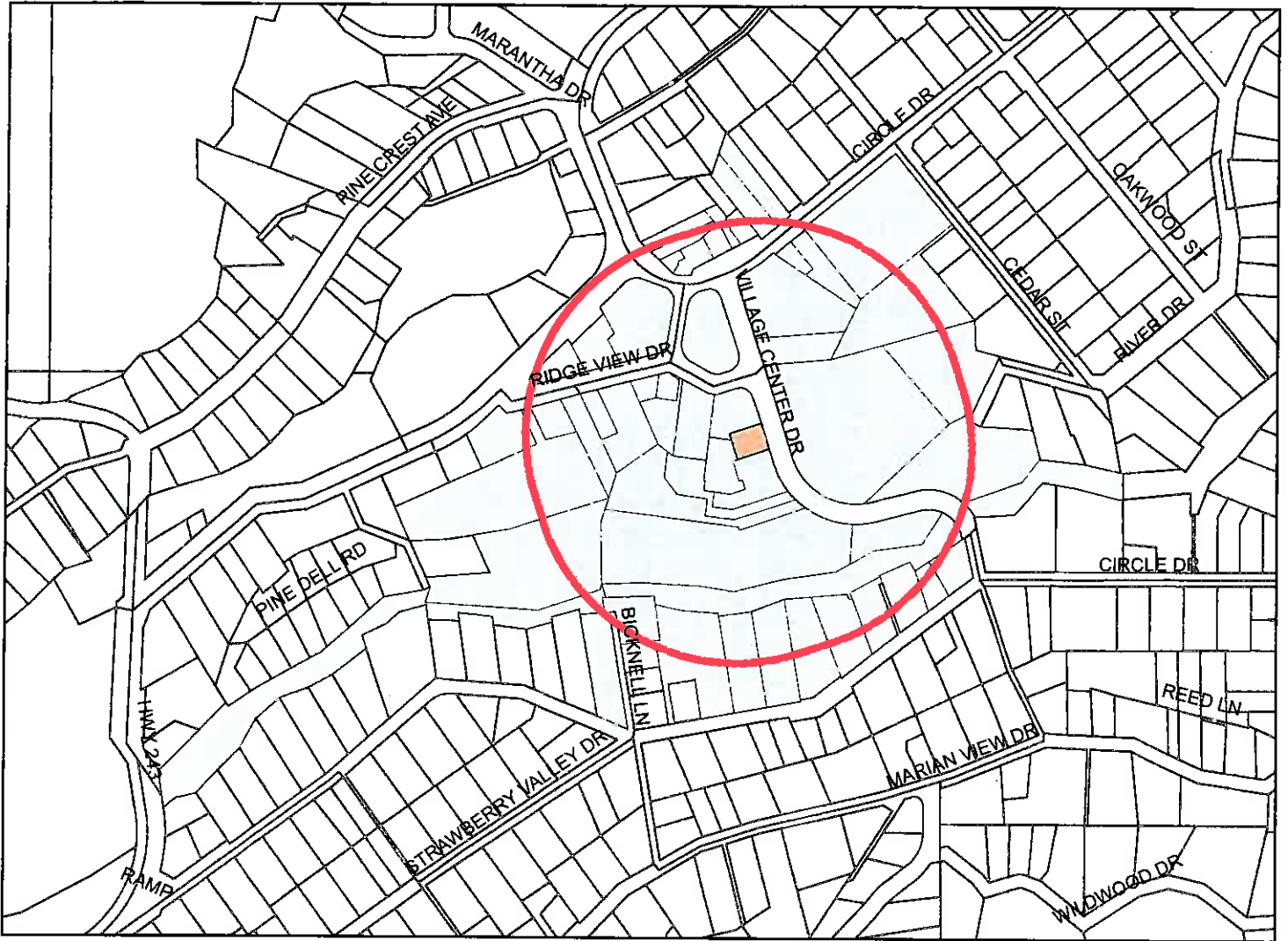
ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

*1-11
expiries
6/10/15*

PP11145R1 (600 feet buffer)



Selected Parcels

565-101-005	563-291-001	563-300-029	565-062-019	565-070-022	565-101-017	565-101-018	565-062-003	565-062-022	565-062-023
565-101-006	565-101-039	565-062-010	565-062-009	565-070-007	563-292-011	563-300-030	565-051-005	565-062-030	565-080-049
563-292-009	565-061-036	565-061-037	565-062-033	563-300-035	563-300-032	565-061-003	565-101-040	563-292-015	565-101-030
565-091-016	563-292-003	563-292-013	565-101-015	563-313-006	565-101-008	565-070-014	565-070-020	565-070-025	563-313-001
565-101-007	565-062-008	565-062-001	563-292-012	563-300-026	563-300-027	563-300-031	563-300-033	563-300-034	565-062-015
565-062-016	565-062-026	563-313-007	565-101-038	565-062-017	565-062-020				



570 285 0 570 Feet

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ASMT: 563291001, APN: 563291001
BETTY LACKEY
P O BOX 1905
IDYLLWILD CA 92549

ASMT: 563313006, APN: 563313006
RICHARD KRUPP
101 STATE PL STE I
ESCONDIDO CA 92029

ASMT: 563292011, APN: 563292011
JANIS VANZANTEN, ETAL
P O BOX 2332
IDYLLWILD CA 92549

ASMT: 563313007, APN: 563313007
VILLAGE CENTER PARTNERS
P O BOX 165
IDYLLWILD CA 92549

ASMT: 563292013, APN: 563292013
MILE HI PLAZA
C/O JIM ENGLE
79785 WESTWARD HO DR
LA QUINTA CA 92253

ASMT: 565061003, APN: 565061003
JAMES JOHNSON
P O BOX 147
IDYLLWILD CA 92549

ASMT: 563292015, APN: 563292015
KI CHO, ETAL
4477 WILSHIRE BLV NO 103
LOS ANGELES CA 90010

ASMT: 565061037, APN: 565061037
IDYLLWILD INN INC
C/O JOSHUA B WHITE
P O BOX 515
IDYLLWILD CA 92549

ASMT: 563300029, APN: 563300029
GEORGE KRETSINGER, ETAL
P O BOX 911
IDYLLWILD CA 92549

ASMT: 565062001, APN: 565062001
SUBURBAN PROPANE
240 RTE 10 WEST
WHIPPANY NJ 7981

ASMT: 563300035, APN: 563300035
LAJUANA CROSS, ETAL
45500 STONEBROOK CT
LA QUINTA CA 92253

ASMT: 565062003, APN: 565062003
DELOBO ENTERPRISES INC
P O BOX 2423
IDYLLWILD CA 92549

ASMT: 563313001, APN: 563313001
SONS INC, ETAL
P O BOX 72
MOUNTAIN CENTER CA 92561

ASMT: 565062008, APN: 565062008
SHILOH CHRISTIAN MINISTRIES
P O BOX 1675
IDYLLWILD CA 92549

ASMT: 565062010, APN: 565062010
GEERTRUIDA TWARDOWSKI
C/O TRUDY TWARDOWSKI
P O BOX 2143
IDYLLWILD CA 92549

ASMT: 565062016, APN: 565062016
TENACITY
P O BOX 243
IDYLLWILD CA 92549

ASMT: 565062017, APN: 565062017
WILLIAM WAGSTAFF
P O BOX 69
IDYLLWILD CA 92549

ASMT: 565062019, APN: 565062019
COUNTY OF RIVERSIDE
C/O REAL ESTATE DIVISION
P O BOX 1180
RIVERSIDE CA 92502

ASMT: 565062020, APN: 565062020
ZIEMKOWSKI ENTERPRISES
C/O JAME A ZIEMKOWSKI
406 N QUAIL TR
COTTONWOOD AZ 86326

ASMT: 565062022, APN: 565062022
MARY MILLER, ETAL
NO 170-110
11700 W CHARLESTON
LAS VEGAS NV 89135

ASMT: 565062023, APN: 565062023
MARY MILLER, ETAL
P O BOX 488
IDYLLWILD CA 92549

ASMT: 565062033, APN: 565062033
IDYLLWILD WATER DIST
P O BOX 397
IDYLLWILD CA 92549

ASMT: 565070007, APN: 565070007
GENERAL TELEPHONE CO OF CALIF
C/O GTE ATTN GARY WILLIAMS HQCO2G08
P O BOX 152206
IRVING TX 75015

ASMT: 565070022, APN: 565070022
LOIS BUTTERFIELD, ETAL
P O BOX 928590
SAN DIEGO CA 92192

ASMT: 565070025, APN: 565070025
SAN JACINTO MOUNTAIN COMMUNITY CENTE
P O BOX 1770
IDYLLWILD CA 92549

ASMT: 565080049, APN: 565080049
IDYLLWILD ALL YEAR RESORT
BOX 147
IDYLLWILD CA 92549

ASMT: 565091016, APN: 565091016
BONNIE LARGENT, ETAL
3121 SANTA ROSA PL
FULLERTON CA 92835

ASMT: 565101005, APN: 565101005
MICHAEL BURGESS, ETAL
C/O MICHAEL BURGESS
4847 SE 37TH AVE
PORTLAND OR 97202

ASMT: 565101006, APN: 565101006
FRANZ HUBER
P O BOX 1299
IDYLLWILD CA 92549

ASMT: 565101038, APN: 565101038
MARCIA MONROE, ETAL
P O BOX 3322
IDYLLWILD CA 92549

ASMT: 565101007, APN: 565101007
SHEILA ZACKER
P O BOX 1824
IDYLLWILD CA 92549

ASMT: 565101039, APN: 565101039
DONNA STRUTHERS, ETAL
12770 EASTRIDGE CT
SAN DIEGO CA 92131

ASMT: 565101008, APN: 565101008
ROBERT DYSON
4025 CAMINO DEL RIO S 318
SAN DIEGO CA 92108

ASMT: 565101040, APN: 565101040
LON MERCER, ETAL
P O BOX 3384
IDYLLWILD CA 92549

ASMT: 565101015, APN: 565101015
JOLENE HOETGER, ETAL
P O BOX 564
IDYLLWILD CA 92549

ASMT: 565101017, APN: 565101017
CHELSEA MARSH, ETAL
2517 ROYAL CREST DR
ESCONDIDO CA 92025

ASMT: 565101018, APN: 565101018
DAVID WINTON
34122 SELVA RD NO 277
DANA POINT CA 92629

ASMT: 565101030, APN: 565101030
GLORIA PATTON, ETAL
26150 BICKNELL LN
IDYLLWILD, CA. 92549

Southern California Edison
2244 Walnut Grove Ave., Rm 312
P.O. Box 600
Rosemead, CA 91770

Hemet Unified School District
2350 W. Latham Ave.
Hemet, CA 92545-3654

Idyllwild Water District
25945 Hwy. 243
P.O. Box 397
Idyllwild, CA 92549

The Gas Company
7000 Indiana Ave., #105
Riverside, CA 92506

Applicant:
John E. McAndrews
P.O. Box 470
Idyllwild, CA 92549

Owner:
Shiloh Christian Ministries, Inc.
P.O. Box 1675
Idyllwild, CA 92549

Applicant:
John E. McAndrews
P.O. Box 470
Idyllwild, CA 92549

Owner:
Shiloh Christian Ministries, Inc.
P.O. Box 1675
Idyllwild, CA 92549

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

N* REPRINTED * R1400860

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: JOHN E MCANDREWS
paid by: CK 4429
EA42667

\$50.00

paid towards: CFG06046 CALIF FISH & GAME: DOC FEE
at parcel: 54295 VILLAGE CENTER DR IDYL
appl type: CFG3

By _____ Jan 29, 2014 12:28
MGARDNER posting date Jan 29, 2014

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!

Agenda Item No.: 3.2
Area Plan: Elsinore
Zoning Area: Meadowbrook
Supervisory District: First
Project Planner: Damaris Abraham
Director's Hearing: February 9, 2015

PLOT PLAN NO. 20158,
REVISED PERMIT NO. 1
Environmental Assessment No. 42631
Applicant: Trip Hord Associates
Engineer/Representative: Jones, Cahl & Associates

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Revised Permit to the approved Plot Plan proposes to increase the square footage of the project building footprint for the proposed Self-Storage (a mini-warehouse) Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft. mainly with Building F) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings (Building E – 37,906 sq. ft. and Building F – 25,531 sq. ft.), and four (4) single-story Self-Storage Buildings (Building A – 10,396 sq. ft., Building B – 2,100 sq. ft., Building C – 18,807 sq. ft., and Building D – 5,000 sq. ft.). The project also proposes to update the Water Quality Management Plan to meet current regional board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to an Onsite Wastewater Treatment System (OWTS).

The project is located northeasterly corner of Conrad Avenue and State Highway 74.

BACKGROUND:

Plot Plan No. 20158 proposed the construction and operation of a Self-Storage Facility that included a 3,854 sq. ft. Office Building, two (2) two-story Self-Storage Buildings (Building E – 37,906 sq. ft. and Building F – 23,600 sq. ft.), and four (4) single-story Self-Storage Buildings (Building A 10,610 sq. ft., Building B – 2,100 sq. ft., Building C – 18,657 sq. ft., and Building D – 5,000 sq. ft.). The development proposal included a total of 101,727 sq. ft. of building area, 25,612 sq. ft. of landscaping, 41,062 sq. ft. of open space, and four (4) parking spaces was approved by the Board of Supervisors on December 9, 2008.

An addendum to the previously adopted Mitigated Negative Declaration for Environmental Assessment No. 39984 was prepared for this project that assessed and identified all environmental impacts. The proposed project is utilizing an addendum to the existing Environmental Assessment No. 39984 for its environmental review per the requirements of the California Environmental Quality Act, with the addition of two environmental review components; Greenhouse Gas Emissions and Forest Resources.

SUMMARY OF FINDINGS:

- | | |
|---------------------------------------|---|
| 1. Existing General Plan Land Use: | Community Development: Business Park (CD: BP) (0.25-0.60 Floor Area Ratio) |
| 2. Surrounding General Plan Land Use: | Community Development: Business Park (CD: BP) (0.25-0.60 Floor Area Ratio) to the northeast, southwest, and east
City of Lake Elsinore to the west |
| 3. Existing Zoning: | Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1) |
| 4. Surrounding Zoning: | Scenic Highway Commercial (C-P-S) to the |

D.M.

5. Existing Land Use: northeast, southwest, and east
City of Lake Elsinore to the south and east
6. Surrounding Land Use: Vacant
Vacant land to the north, an unpermitted Automotive Repair Facility and Residential to the west, a CalTrans Maintenance Yard to the south, and Residential to the west
7. Project Data: Total Acreage: 4.79
Total Number of Buildings: 7
Total sq. ft. of Buildings: 103,661
Total Number of Parking Spaces: 4
8. Environmental Concerns: See attached environmental assessment

RECOMMENDATIONS:

CONSIDER an **ADDENDUM** to an **ADOPTED MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 39984**, based on the findings incorporated in the initial study (EA42631) and the conclusion that none of the conditions described in CEQA Guidelines Section 15162 exist; and,

APPROVE PLOT PLAN NO. 20158, REVISED PERMIT NO. 1, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Business Park (CD: BP) (0.25-0.60 Floor Area Ratio) on the Elsinore Area Plan.
2. The Business Park land use designation allows for employee-intensive uses, including research and development, technology centers, corporate and support office uses, "clean" industry and supporting retail uses. The project is for a self-storage (a mini-warehouse) facility.
3. The project site is surrounded by properties which are located in the City of Lake Elsinore to the west and designated Community Development: Business Park (CD: BP) (0.25-0.60 Floor Area Ratio) to the northeast, southwest, and east.
4. The zoning for the subject site is Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1).
5. The proposed self-storage facility (a mini-warehouse), is a permitted use, subject to approval of a plot plan, in the I-P zone, in accordance with Section 10.1a.(1) (g) 2. of Ordinance No. 348.
6. The proposed self-storage facility (a mini-warehouse) is consistent with the development standards set forth in the I-P zone:

- a. The lot size is 4.79 acres which exceeds the required 20,000 sq. ft. minimum lot size requirement.
 - b. A minimum of 15 percent of the site proposed for development will be landscaped and irrigated.
 - c. The buildings are setback at least 25 ft. from the street.
 - d. The buildings are setback at least 15 ft. from the rear yard line.
 - e. Parking and trash enclosures are screened by structures and landscaping.
 - f. Automobile parking areas meet Section 18.12 requirements of Ordinance No. 348.
 - g. Utilities will be installed underground.
 - h. Lighting fixtures will be focused, directed, and arranged to prevent glare or direct illumination on streets or adjoining property.
7. The proposed self-storage facility (a mini-warehouse) as designed and conditioned is consistent with the development standards set forth in Section 18.46.D. of Ordinance No. 348.
8. The project site is surrounded by properties which are located in the City of Lake Elsinore to the south and east and which are zoned Scenic Highway Commercial (C-P-S) to the northeast, southwest, and east.
9. Similar uses have been constructed and are operating in the project vicinity.
10. The project is not located within a Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).
11. The project is located within the City Sphere of Influence of Lake Elsinore. The project has been transmitted to the City of Lake Elsinore for review. No response has been received.
12. Pursuant to CEQA Guidelines 15162, the Riverside County Planning Department has determined that the proposed project would not have a significant effect on the environment and nothing further is required because all potentially significant effects have been adequately analyzed in a previously adopted Mitigated Negative Declaration pursuant to applicable legal standards; and have been avoided or mitigated pursuant to that previously adopted Mitigated Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project.
 - a. The project is proposing to increase the square footage of the overall project building footprint by approximately 2,000 sq. ft. and change sewer disposal method from sewer to an Onsite Wastewater Treatment System (OWTS). No other changes are proposed. No new substantial changes are proposed in the project which will require major revisions of the previous adopted Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
 - b. The project is proposing to increase the square footage of the overall project building footprint by approximately 2,000 sq. ft. and change sewer disposal method from sewer to an Onsite Wastewater Treatment System (OWTS). No other changes are proposed. No new substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous adopted Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or,

- c. The project is proposing to increase the square footage of the overall project building footprint by approximately 2,000 sq. ft. and change sewer disposal method from sewer to an Onsite Wastewater Treatment System (OWTS). No other changes are proposed. No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the Mitigated Negative Declaration, was adopted.
- d. Since the time of the adoption of Environmental Assessment No. 39984 (EA39984), there have been two additions to CEQA Guidelines and reviewable impacts; Greenhouse Gas emissions and Forest Resources. An addendum to EA39984 was prepared as part of this project to analyze the potential impacts of Greenhouse Gas emissions and Forest Resources. The addendum revealed that these two new environmental categories either have no impact or less than significant impact.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Business Park (CD: BP) (0.25-0.60 Floor Area Ratio) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Industrial Park (I-P) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A Fault Zone;
 - b. An Airport Influence Area; or,
 - c. A High Fire area.
3. The project site is located within:
 - a. Areas of Flooding Sensitivity;
 - b. An area Susceptible to Subsidence;
 - c. The Stephens Kangaroo Rat Fee Area;
 - d. The Boundaries of the Lake Elsinore Unified School District;
 - e. The City of Lake Elsinore Sphere of Influence; and,
 - f. An area with moderate liquefaction potential.

4. The subject site is currently designated as Assessor's Parcel Numbers 377-372-015, 377-372-027, and 377-372-033.

DA:da

Y:\Planning Case Files-Riverside office\PP20158R1\DH-PC-BOS Hearings\DH-PC\PP20158R1.Staff Report.docx

Date Prepared: 12/10/14

Date Revised: 01/22/15

PP20158R1

**Selected parcel(s):**

377-372-015 377-372-027 377-372-033

LEGEND

SELECTED PARCEL



INTERSTATES



HIGHWAYS



PARCELS



CITY

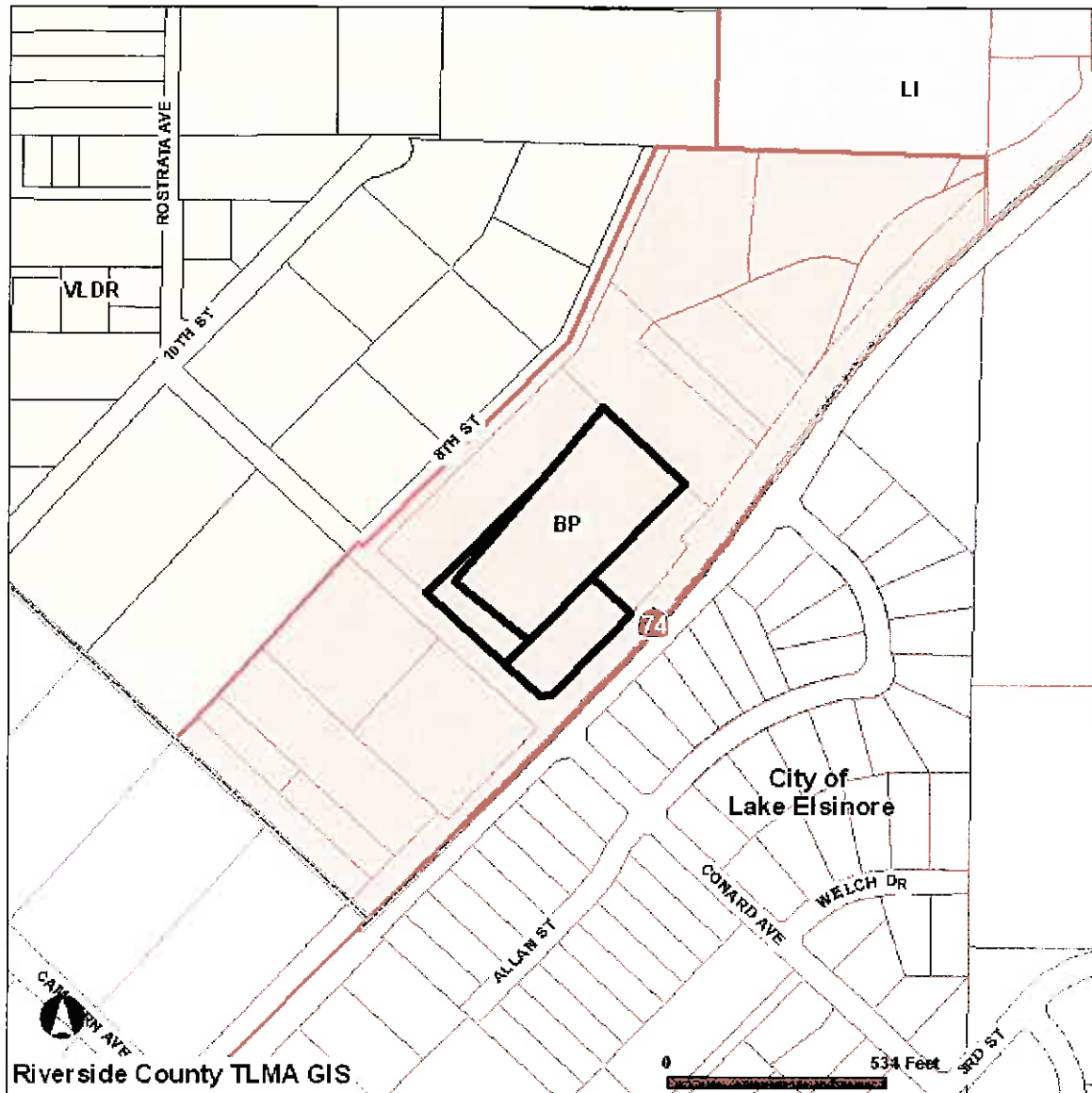
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 131127

PP20158R1



Selected parcel(s):

377-372-015 377-372-027 377-372-033

LAND USE

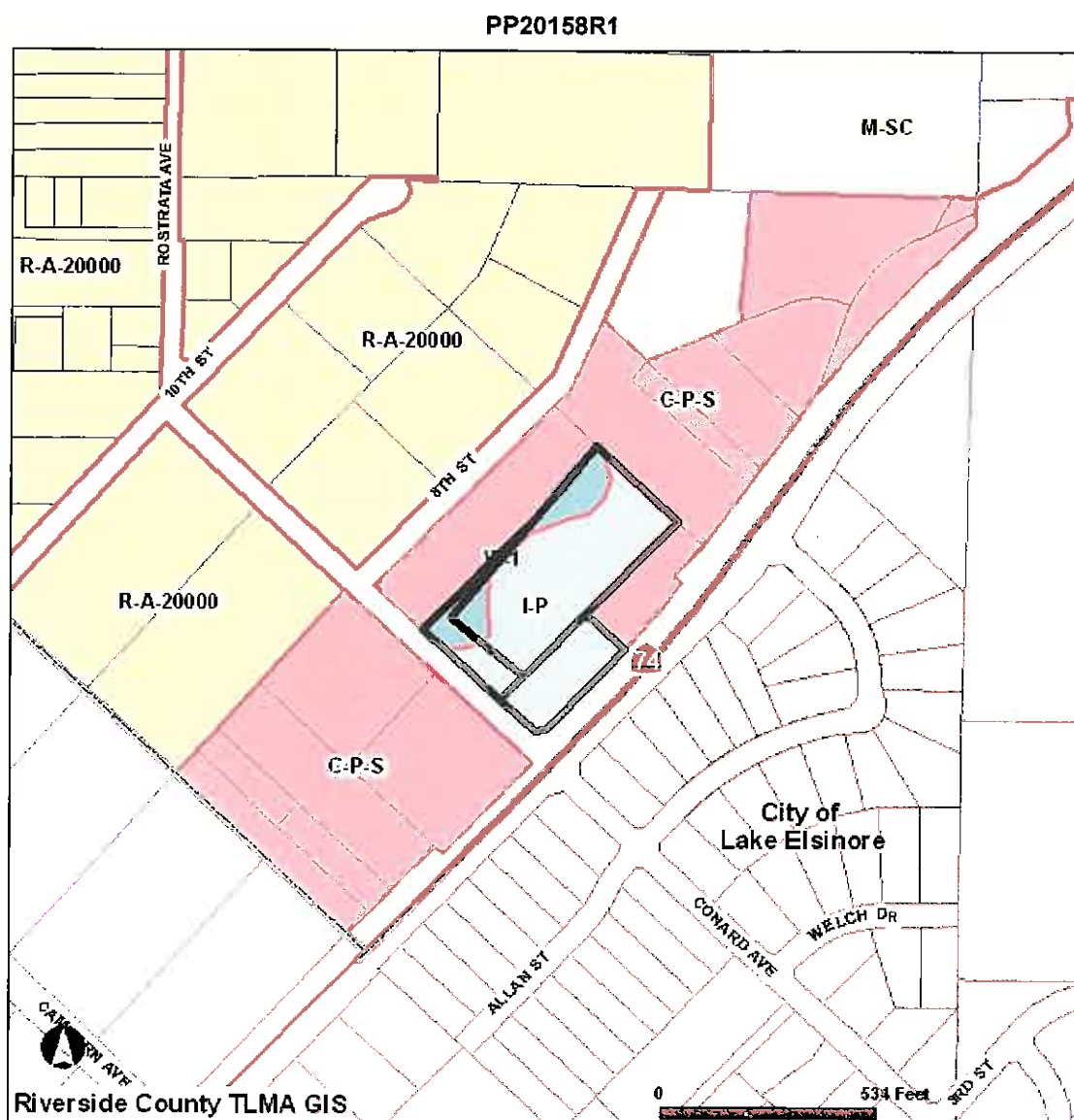
SELECTED PARCEL	INTERSTATES	HIGHWAYS	CITY
PARCELS	BP - BUSINESS PARK	LI - LIGHT INDUSTRIAL	VLDR - VERY LOW DENSITY RESIDENTIAL

IMPORTANT

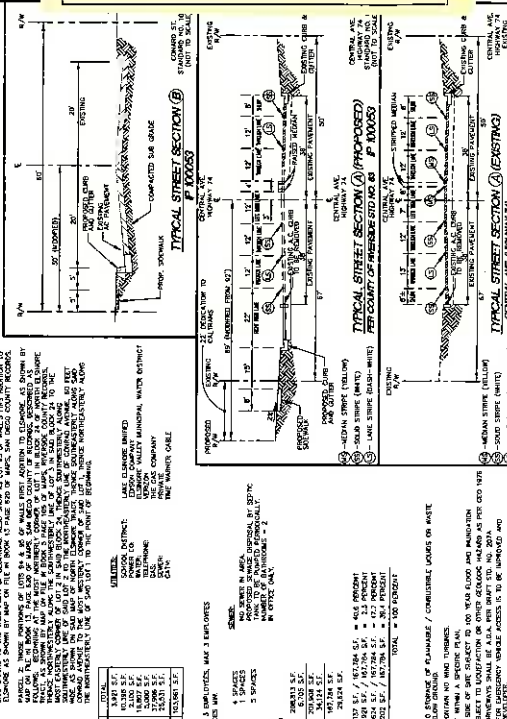
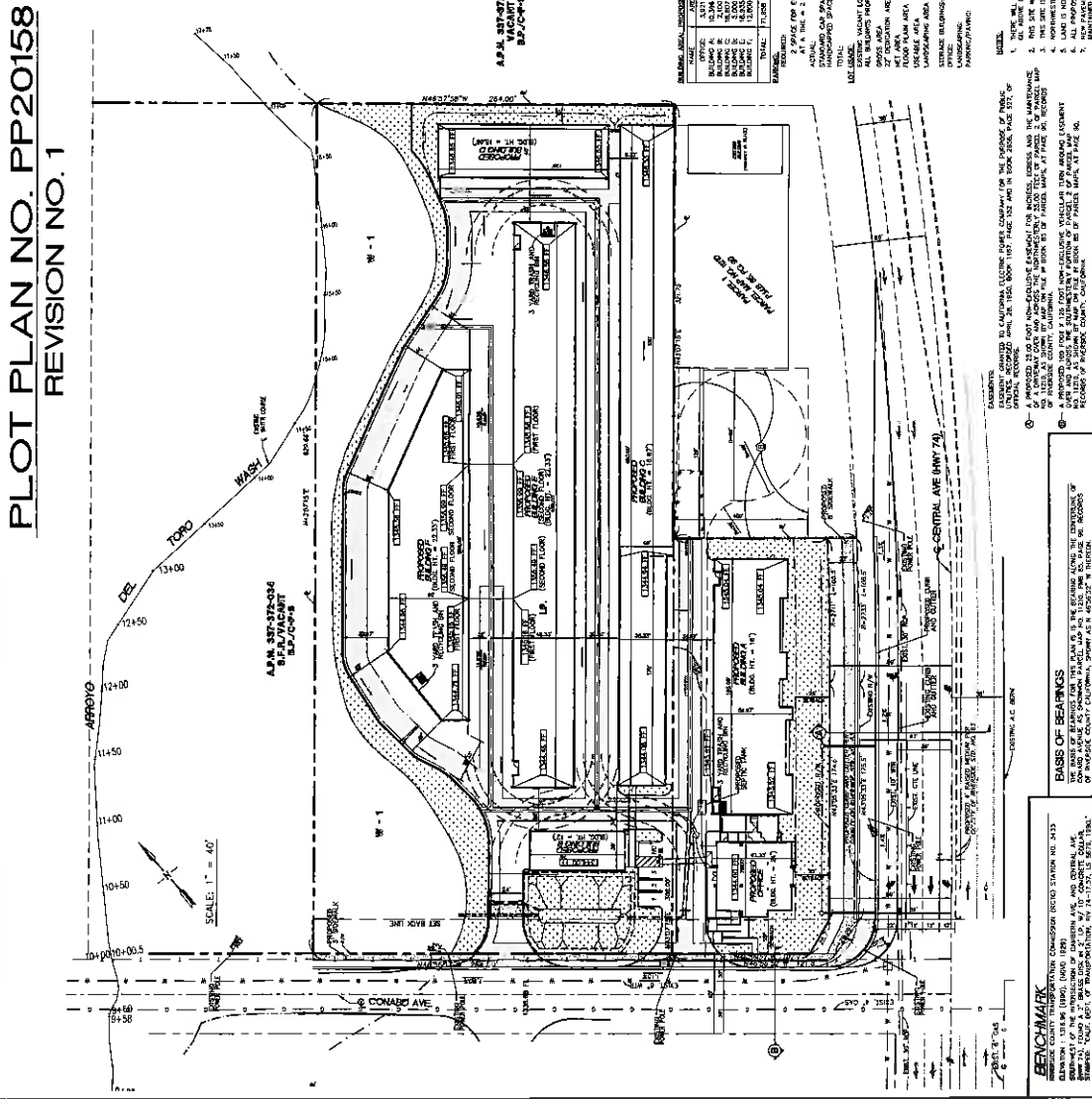
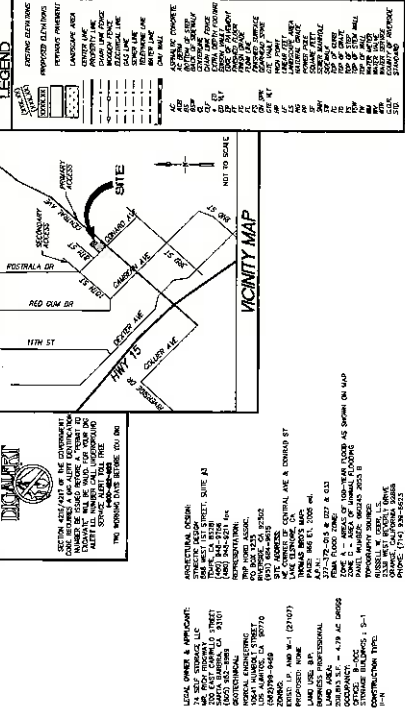
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Version 131127



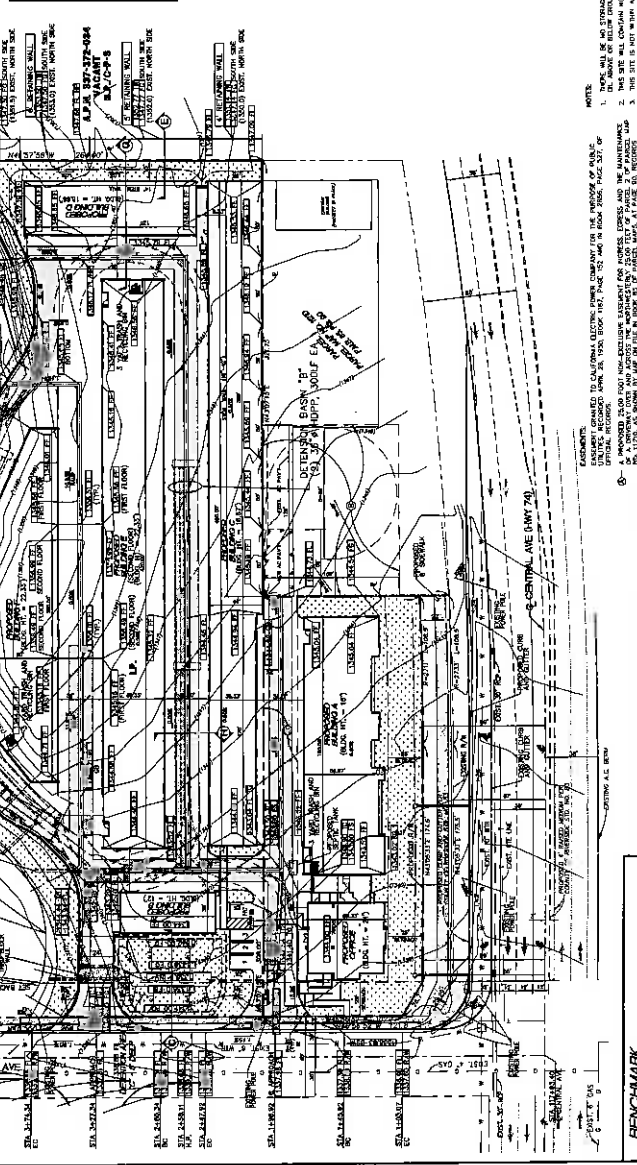
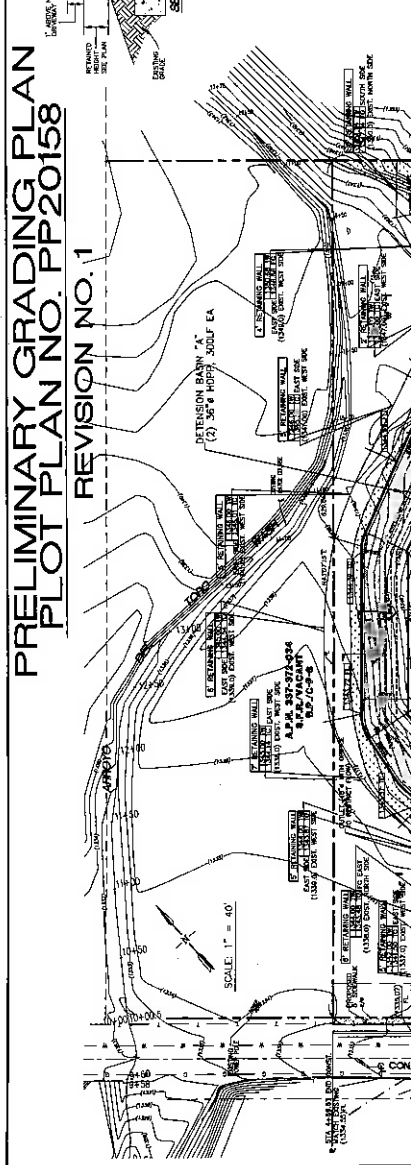
PLOT PLAN NO. PP20158
REVISION NO. 1



MARK	REVISIONS	APPR.	DATE	<p>THESE PLANS HAVE BEEN PREPARED FOR COMPLIANCE WITH THE APPLICABLE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE.</p> <p>RIVERSIDE COUNTY BUILDING & SAFETY DEPARTMENT</p> <p>APPROVED BY: _____ DATE: _____</p>	<p>PREPARED BY</p> <p>JCA JONES, CAUL & ASSOCIATES Structural Engineers 10000 Wilshire Blvd., Suite 1000 Beverly Hills, CA 90210 California (916) 471-9494</p>		<p>74 SELF-STORAGE, LLC</p> <p>SITE PLAN PLOT PLAN NO. 20158, REV. 1 LAKE ELSINORE, CALIFORNIA</p> <p>SCALE: 1" = 40'</p> <p>BENCH MARK: _____</p> <p>DATE: 10/27/13</p>	<p>FILE No. 13-204-PP</p> <p>SHEET 1 OF 2 SHEETS</p> <p>RIVERSIDE COUNTY</p> <p>CENTRAL AVE. DEPARTMENT 74</p> <p>FILED - L&E (SELF-STORAGE) UNIT</p> <p>NOT TO SCALE</p>
------	-----------	-------	------	--	--	---	--	---

CASE: PP20158R1, AMD.#1
EXHIBIT: A (Sheets 1-2)
DATE: 12/10/14
PLANNER: D. ABRAHAM

REVISION NO. 1



PASSENGER	CARRIER	FLIGHT	CLASS	STATUS	REMARKS
PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
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PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
PASSENGER	UNITED STATES AIRLINES	FLIGHT 800	ECONOMY	OK	PASSENGER
PASSENGER					

REPORTING A.G. NEWS

THE BASIS OF BLAIRTON FOR THIS PLAN IS THE BEARING ALONG THE CENTERLINE OF
COLUMBIAN AVENUE AS SHOWN ON PARCEL MAP NO. 11236, LAB. 80, PAGE 60, RECORDS

BENCH-MARK

INVERKEE COUNTY TRANSFORMATION COMMISSION (NCTC) STATION NO. 2413

ELEVATION : 136.90 (1985) INVS# 1120

SOUTHWEST OF THE INTERSECTION OF CAMERON AVE. AND CENTRAL AVE.
SHEET 743, FOUND A 3" BRASS BOD M. 2" I.P. W/ 10" CONCRETE COLLAR.

DATE: 06 MAR 9

[illegible]



74 SELF STORAGE, LLC
 1400 E. 14TH AVE., SUITE 100
 CHICO, CA 95926



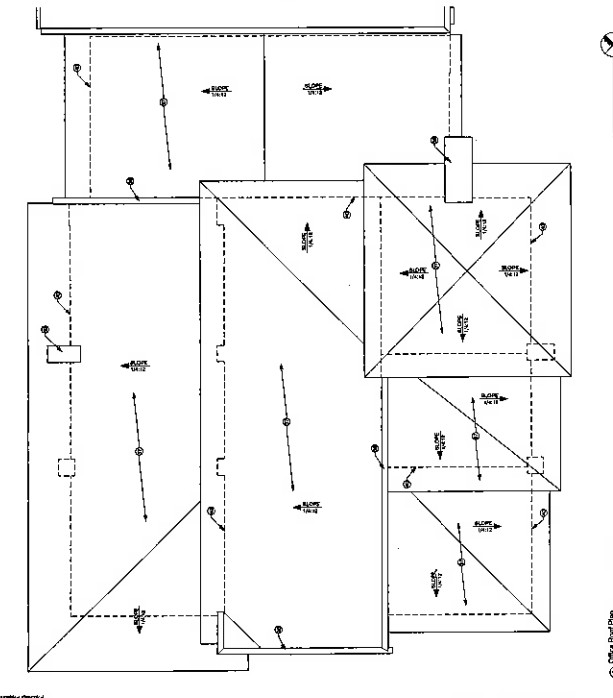
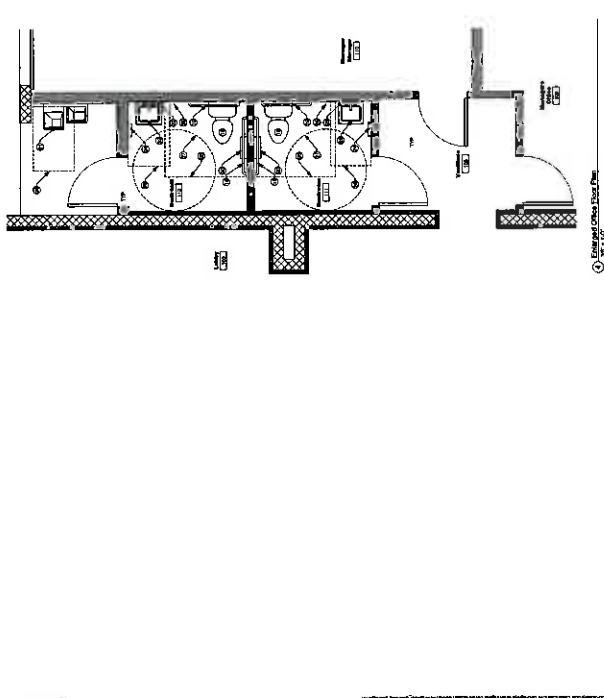
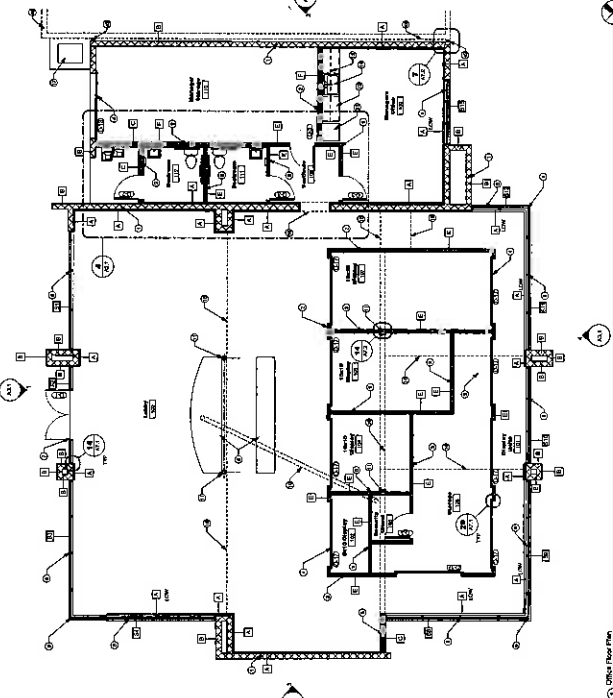
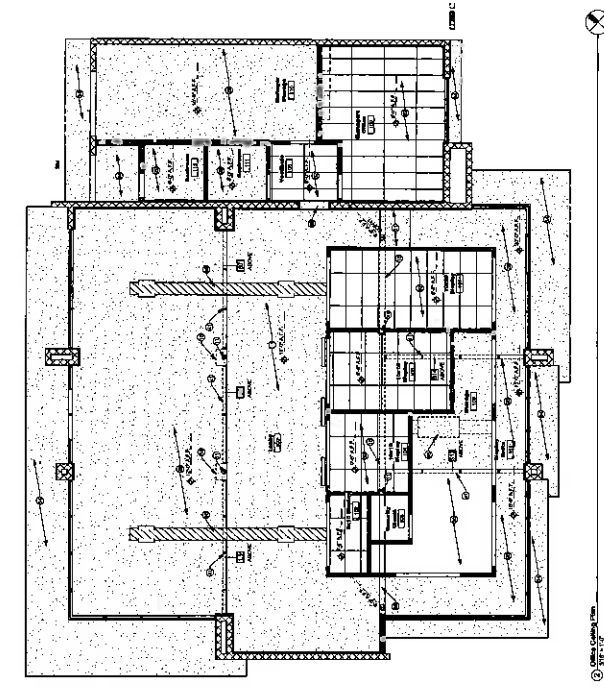
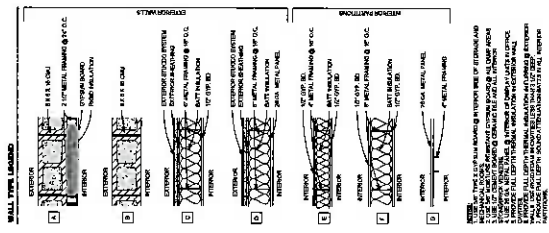
REVISIONS

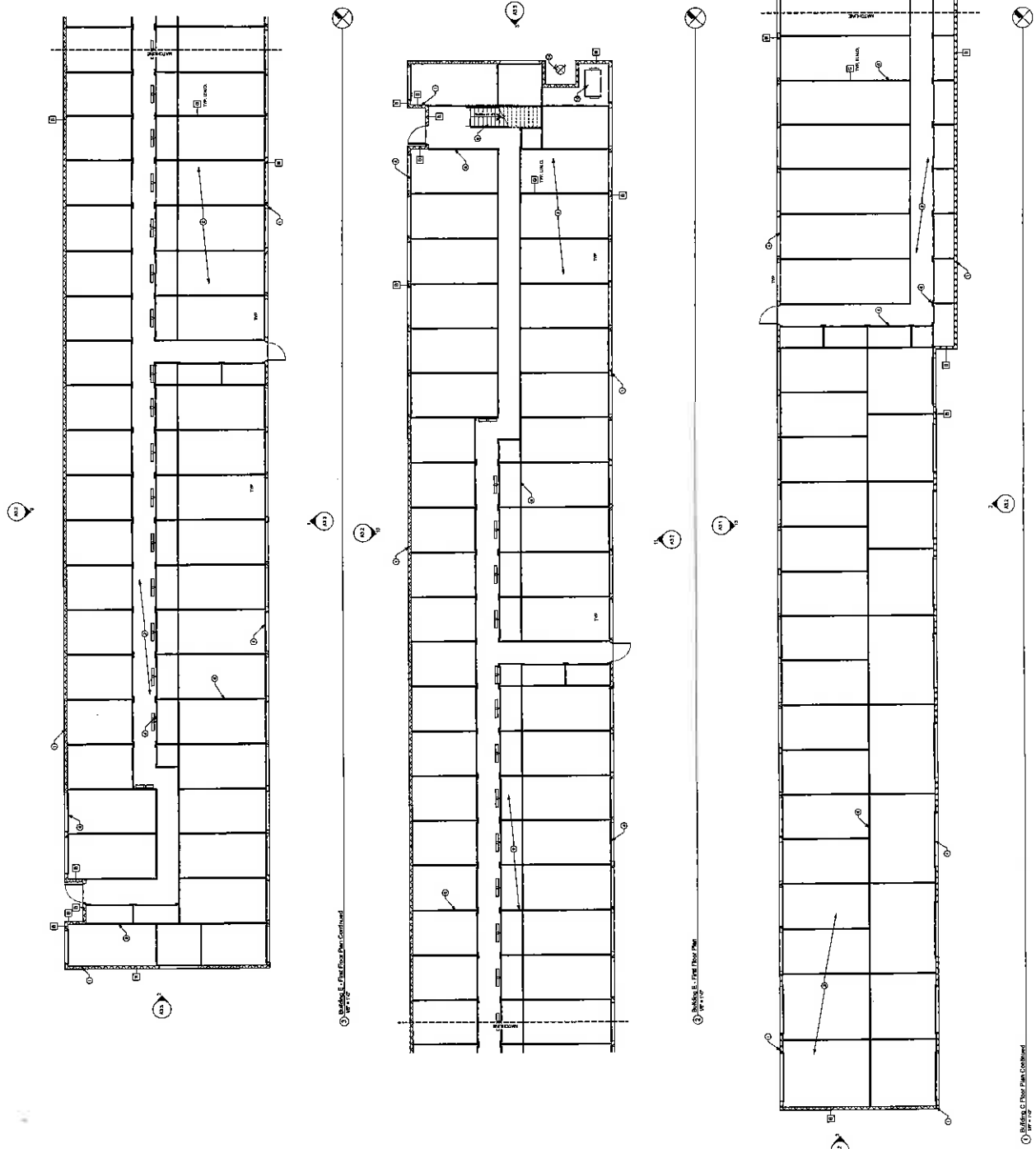
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 Checked By: [Blank]
 Date: 12/10/14

A2.1
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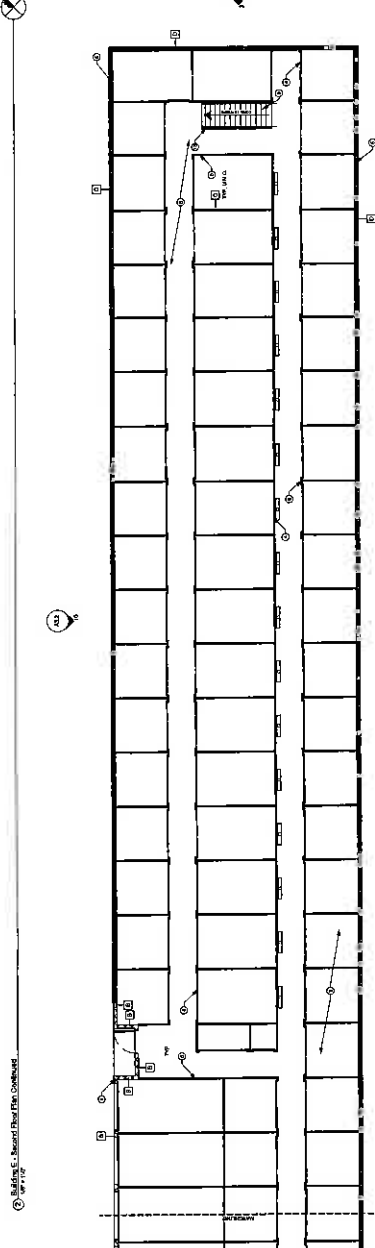
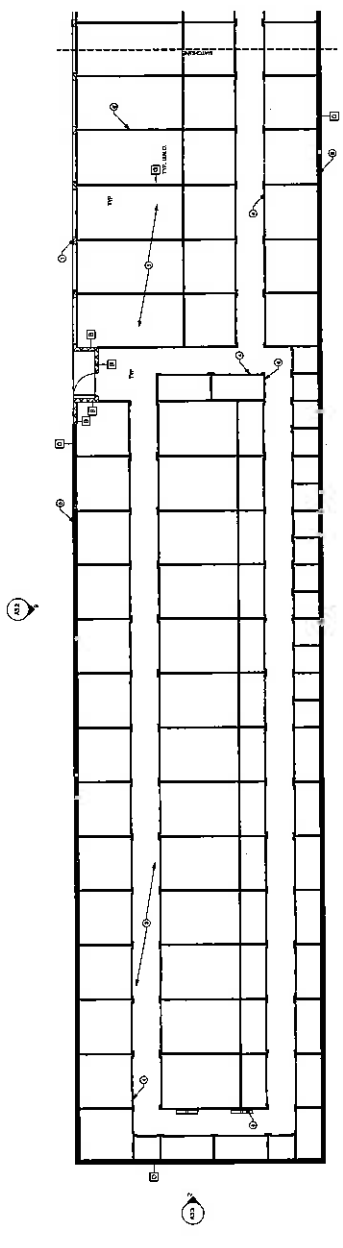
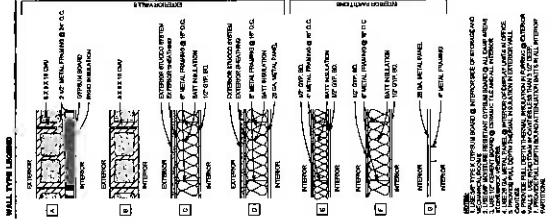
- OFFICE GENERAL NOTES:**
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE ORDINANCES.
 2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
- OFFICE PLUMBING NOTES:**
1. ALL PLUMBING SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLUMBING CODE (CPC) AND ALL APPLICABLE ORDINANCES.
 2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
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SECTION 1.00 - GENERAL NOTES

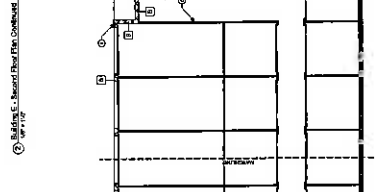
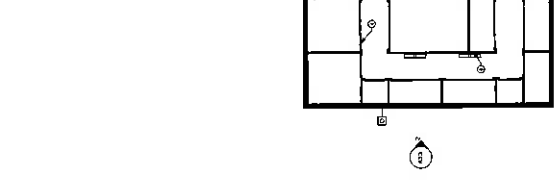
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- 2.00 MATERIALS
- 3.00 CONSTRUCTION
- 4.00 FINISHES
- 5.00 EQUIPMENT
- 6.00 UTILITIES
- 7.00 STRUCTURE
- 8.00 ROOFING
- 9.00 EXTERIOR WALLS
- 10.00 INTERIOR WALLS
- 11.00 FLOORS
- 12.00 CEILING
- 13.00 MECHANICAL
- 14.00 ELECTRICAL
- 15.00 PAVING
- 16.00 LANDSCAPE
- 17.00 SIGNAGE
- 18.00 FURNITURE
- 19.00 LIGHTING
- 20.00 SECURITY
- 21.00 ACCESSIBILITY
- 22.00 SUSTAINABILITY
- 23.00 HISTORIC PRESERVATION
- 24.00 OTHER



① Building C - Second Floor Plan
Sheet 1 of 2

SECTION 1.00 - GENERAL NOTES

- 1.00 GENERAL NOTES
- 2.00 MATERIALS
- 3.00 CONSTRUCTION
- 4.00 FINISHES
- 5.00 EQUIPMENT
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① Building C - Second Floor Plan
Sheet 1 of 2

SECTION 1.00 - GENERAL NOTES

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- 24.00 OTHER



① Building C - Second Floor Plan
Sheet 1 of 2

SECTION 1.00 - GENERAL NOTES

- 1.00 GENERAL NOTES
- 2.00 MATERIALS
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- 22.00 SUSTAINABILITY
- 23.00 HISTORIC PRESERVATION
- 24.00 OTHER



① Building C - Second Floor Plan
Sheet 1 of 2

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74 SELF STORAGE, LLC
Claremont, CA 91711

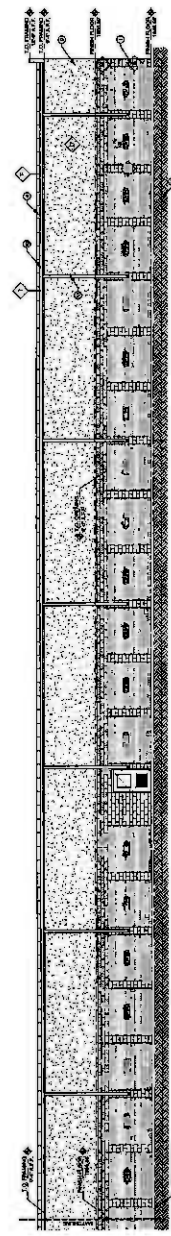


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Drawing No.: 74-01
Drawing Date: 08/11/11
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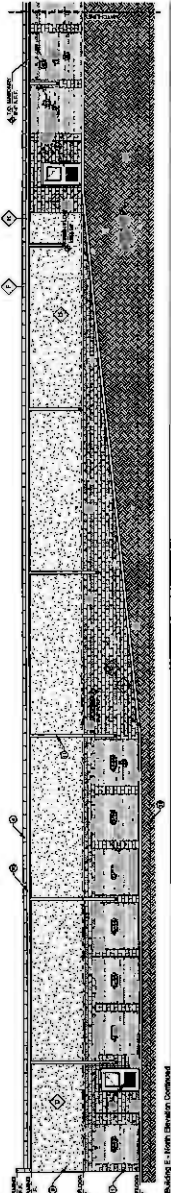
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GENERAL NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA FIRE CODE (CFC).
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
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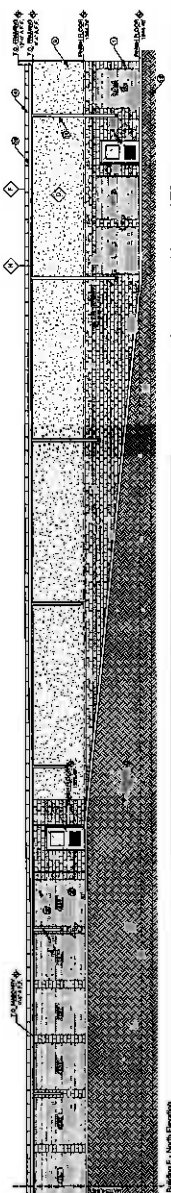
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5	ROOF	100	CU YD	100.00
6	MECHANICAL	100	CU YD	100.00
7	ELECTRICAL	100	CU YD	100.00
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9	PAINT	100	CU YD	100.00
10	LANDSCAPE	100	CU YD	100.00



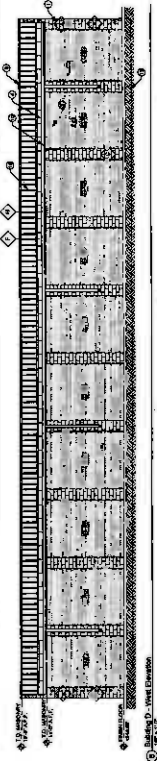
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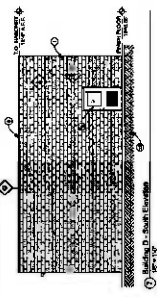
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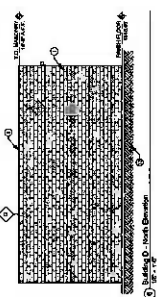
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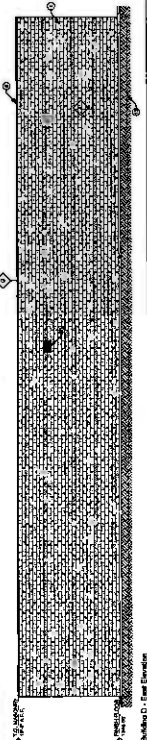
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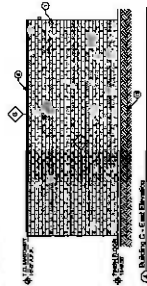
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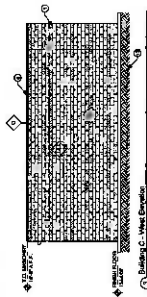
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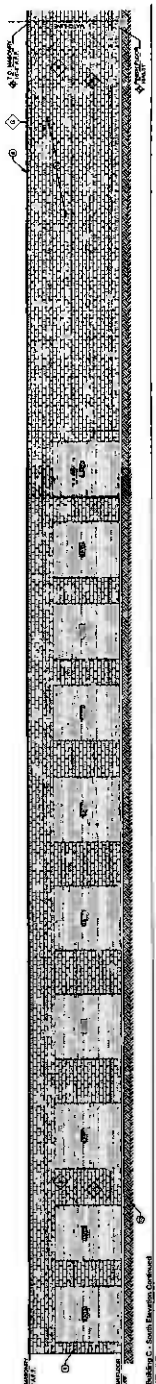
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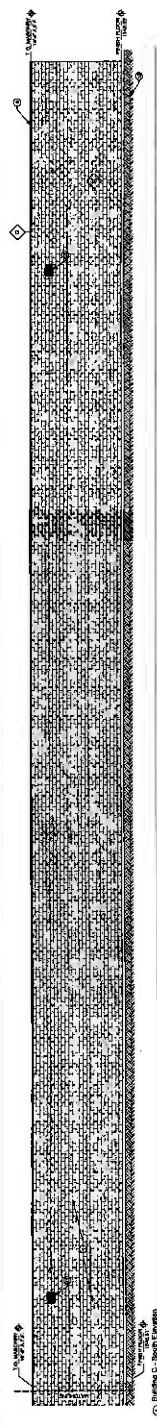
Building 8 - North Elevation



Building 9 - North Elevation



Building 10 - North Elevation



Building 11 - North Elevation



74 SELF STORAGE, LLC

14444 Elgin Road, Suite 100, Elgin, IL 60120



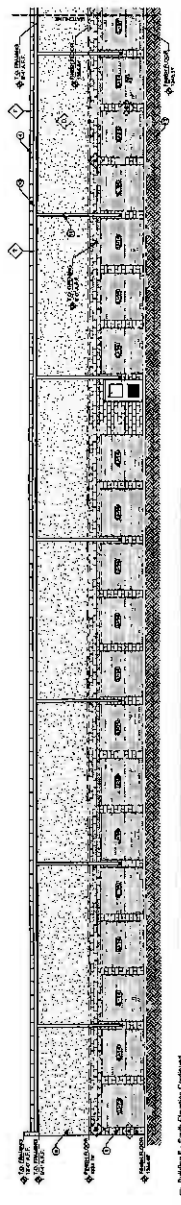
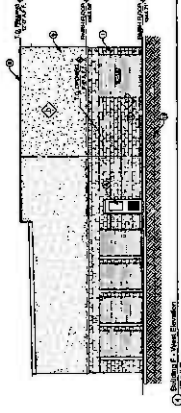
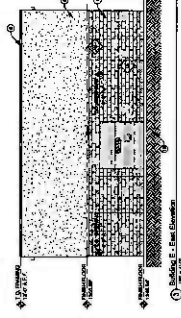
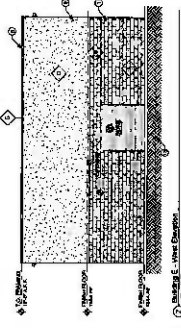
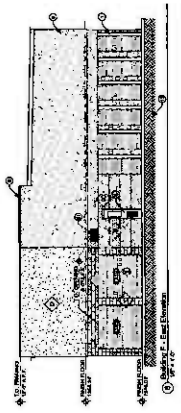
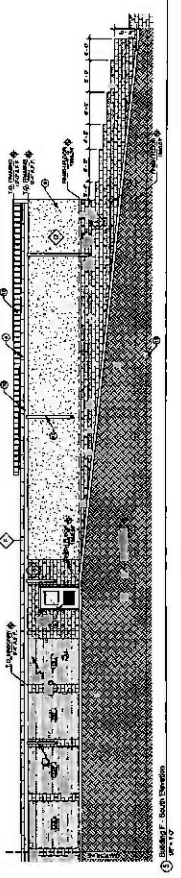
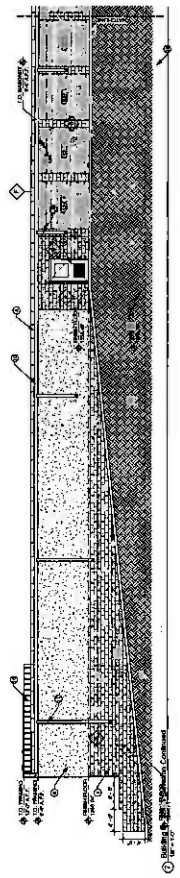
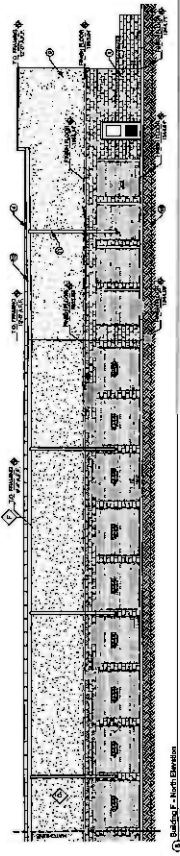
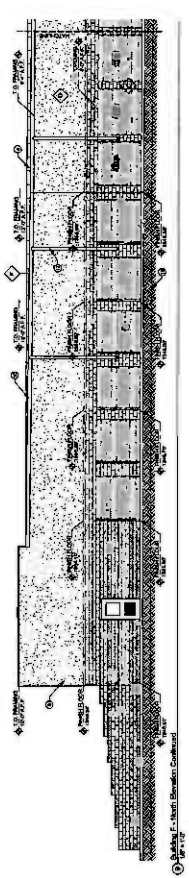
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Drawn By: _____
Checked By: _____
Date: _____

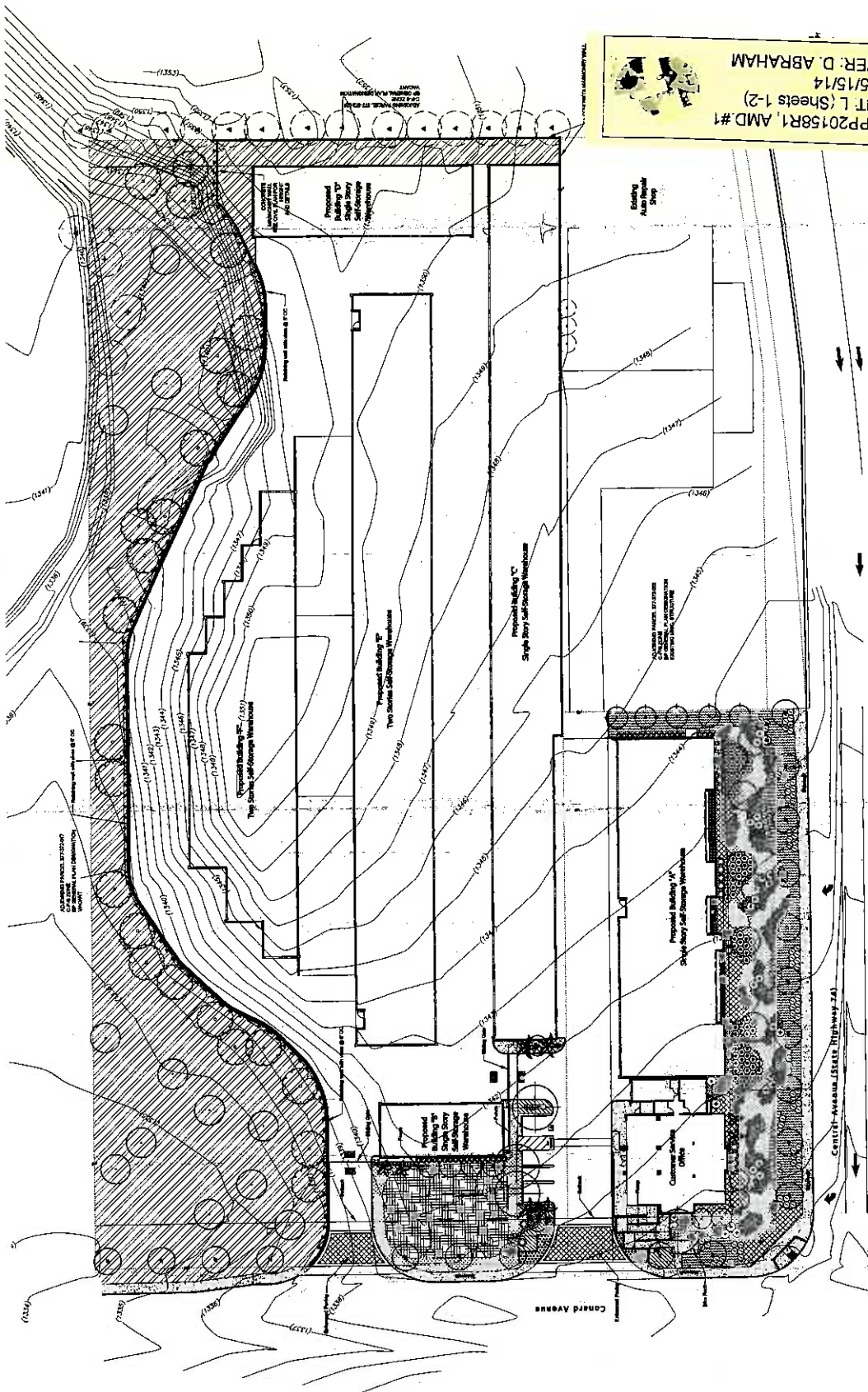
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Sheet 3 of 3

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
2. A. THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC)
3. B. THE 2012 INTERNATIONAL BUILDING CODE (IBC)
4. C. THE 2012 INTERNATIONAL MECHANICAL CODE (IMC)
5. D. THE 2012 INTERNATIONAL PLUMBING CODE (IPC)
6. E. THE 2012 INTERNATIONAL ELECTRICAL CODE (NEC)
7. F. THE 2012 INTERNATIONAL FIRE CODE (IFC)
8. G. THE 2012 INTERNATIONAL SMOKE ALARM CODE (ISAC)
9. H. THE 2012 INTERNATIONAL ENERGY EFFICIENCY CODE (IEEC)
10. I. THE 2012 INTERNATIONAL GREEN BUILDING CODE (IGBC)
11. J. THE 2012 INTERNATIONAL SUSTAINABLE DESIGN RATING SYSTEM (SDRS)
12. K. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
13. L. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
14. M. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
15. N. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
16. O. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
17. P. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
18. Q. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
19. R. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
20. S. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
21. T. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
22. U. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
23. V. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
24. W. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
25. X. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
26. Y. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)
27. Z. THE 2012 INTERNATIONAL WELL-BEING RATING SYSTEM (WBS)

ITEM	DESCRIPTION	QUANTITY	UNIT
1	Concrete Slab (4 in.)	10,000	SF
2	Concrete Slab (6 in.)	10,000	SF
3	Concrete Slab (8 in.)	10,000	SF
4	Concrete Slab (10 in.)	10,000	SF
5	Concrete Slab (12 in.)	10,000	SF
6	Concrete Slab (14 in.)	10,000	SF
7	Concrete Slab (16 in.)	10,000	SF
8	Concrete Slab (18 in.)	10,000	SF
9	Concrete Slab (20 in.)	10,000	SF
10	Concrete Slab (22 in.)	10,000	SF
11	Concrete Slab (24 in.)	10,000	SF
12	Concrete Slab (26 in.)	10,000	SF
13	Concrete Slab (28 in.)	10,000	SF
14	Concrete Slab (30 in.)	10,000	SF
15	Concrete Slab (32 in.)	10,000	SF
16	Concrete Slab (34 in.)	10,000	SF
17	Concrete Slab (36 in.)	10,000	SF
18	Concrete Slab (38 in.)	10,000	SF
19	Concrete Slab (40 in.)	10,000	SF
20	Concrete Slab (42 in.)	10,000	SF
21	Concrete Slab (44 in.)	10,000	SF
22	Concrete Slab (46 in.)	10,000	SF
23	Concrete Slab (48 in.)	10,000	SF
24	Concrete Slab (50 in.)	10,000	SF
25	Concrete Slab (52 in.)	10,000	SF
26	Concrete Slab (54 in.)	10,000	SF
27	Concrete Slab (56 in.)	10,000	SF
28	Concrete Slab (58 in.)	10,000	SF
29	Concrete Slab (60 in.)	10,000	SF
30	Concrete Slab (62 in.)	10,000	SF
31	Concrete Slab (64 in.)	10,000	SF
32	Concrete Slab (66 in.)	10,000	SF
33	Concrete Slab (68 in.)	10,000	SF
34	Concrete Slab (70 in.)	10,000	SF
35	Concrete Slab (72 in.)	10,000	SF
36	Concrete Slab (74 in.)	10,000	SF
37	Concrete Slab (76 in.)	10,000	SF
38	Concrete Slab (78 in.)	10,000	SF
39	Concrete Slab (80 in.)	10,000	SF
40	Concrete Slab (82 in.)	10,000	SF
41	Concrete Slab (84 in.)	10,000	SF
42	Concrete Slab (86 in.)	10,000	SF
43	Concrete Slab (88 in.)	10,000	SF
44	Concrete Slab (90 in.)	10,000	SF
45	Concrete Slab (92 in.)	10,000	SF
46	Concrete Slab (94 in.)	10,000	SF
47	Concrete Slab (96 in.)	10,000	SF
48	Concrete Slab (98 in.)	10,000	SF
49	Concrete Slab (100 in.)	10,000	SF





CASE: P20158R1, AMD #1
 EXHIBIT L (Sheets 1-2)
 DATE: 5/15/14
 PLANNER: D. ABRAHAM

James Goodman
 Architect
 1725 North Main Street
 Suite 100
 Lake Elsinore, California 92530
 Jones, Cull & Associates - Civil Engineering

A Self Storage Facility for
74 Self-Storage, LLC
 Central Avenue @ Conard Avenue
 Lake Elsinore, California

Sheet 1 of 2



PLOT PLAN 2008H - REVISION NO.1
 UPDATED LANDSCAPING NOTES:
 1) Project shall conform to the provisions of Riverside County Ordinance 889.2 or the standards in effect at the time that a Building Permit has been requested.
 2) Parkway Landscaping shall be maintained by 64 AND 65-4C for the life of the project. The project shall maintain the right-of-way, including California ROW along Hwy 74.

EMERALD
D • E • S • I • G • N
 305 N. Harbor Blvd, Suite 222
 Fullerton, California 92633
 Tel: (714) 640-0417 Fax: (714) 871-5197
 Email: emerald@emeraldsg.com

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42631
Project Case Type (s) and Number(s): Plot Plan No. 20158, Revised Permit No. 1
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Damaris Abraham
Telephone Number: (951) 955-5719
Applicant's Name: Trip Hord Associates
Applicant's Address: P.O. Box 1235, Riverside, CA 92502
Engineer's Name: Jones, Cahl and Associates
Engineer's Address: 18090 Beach Blvd, Huntington Beach, CA 92648

I. PROJECT INFORMATION

- A. Project Description:** The Revised Permit to the approved Plot Plan proposes to increase the square footage of the project building footprint for the proposed Self-Storage (a mini-warehouse) Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft. mainly with Building F) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings (Building E – 37,906 sq. ft. and Building F – 25,531 sq. ft.), and four (4) single-story Self-Storage Buildings (Building A – 10,396 sq. ft., Building B – 2,100 sq. ft., Building C – 18,807 sq. ft., and Building D – 5,000 sq. ft.). The project also proposes to update the Water Quality Management Plan to meet current regional board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to an Onsite Wastewater Treatment System (OWTS).

An addendum to the previously adopted Mitigated Negative Declaration for Environmental Assessment No. 39984 was prepared for this project that assessed and identified all environmental impacts. The proposed project is utilizing an addendum to the existing Environmental Assessment No. 39984 for its environmental review per the requirements of the California Environmental Quality Act, with the addition of two environmental review components; Greenhouse Gas Emissions and Forest Resources.

- B. Type of Project:** Site Specific ☒; Countywide ☐; Community ☐; Policy ☐.

- C. Total Project Area:** 4.79 gross acres

Residential Acres:	Lots:	Units:	Projected No. of Residents:
Commercial Acres: 4.79	Lots: 1	Sq. Ft. of Bldg. Area: 103,661	Est. No. of Employees: 2
Industrial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other:			

- D. Assessor's Parcel No(s):** 377-372-015, 377-372-027, and 377-372-033

- E. Street References:** Northwesterly corner of Conrad Avenue and State Highway 74.

- F. Section, Township & Range Description or reference/attach a Legal Description:**
Township 5 South, Range 4 West, Sections 30 and 31

- G. Brief description of the existing environmental setting of the project site and its surroundings:** The project site is currently vacant. Surrounding land uses include Vacant

Land to the north, an Automotive Repair Facility and Residential to the west, a CalTrans Maintenance Yard to the south, and Residential to the west.

I. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The proposed project is consistent with the Community Development: Business Park (CD: BP) (0.25-0.60 Floor Area Ratio) land use designation and other applicable land use policies within the General Plan.
2. **Circulation:** The proposed project has been reviewed by the Riverside County Transportation Department. Adequate circulation facilities exist and are proposed to serve the project. The proposed project all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** The project site is not located within a cell of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP); as such, the project was not required to preserved or set land aside per the MSHCP. However, since a watercourse (blue line stream) transverses the site, as part of the site design considerations, the project has been designed to avoid the watercourse completely, thus preserving the blue line stream on its natural state. The proposed project meets all other applicable Multipurpose Open Space Element policies.
4. **Safety:** Part of the project site (the blue line stream) is located within FEMA Flood Zone A; however, no development is proposed within this area. The proposed project is not located within any other special hazard zone (including fault zone, high fire hazard area, dam inundation zone, etc.). The project site is subject to liquefaction potential, which has been mitigated for as noted in the project conditions of approval. The proposed project has allowed for sufficient provision of emergency response services to the future users of the project. The proposed project meets all other applicable Safety Element policies.
5. **Noise:** Sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
6. **Housing:** The proposed project is in conformance with the Housing Element of the General Plan.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality element policies.

B. General Plan Area Plan(s): Elsinore

C. Foundation Component(s): Community Development

D. Land Use Designation(s): Business Park (CD: BP) (0.25-0.60 Floor Area Ratio)

E. Overlay(s), if any: Not Applicable

F. Policy Area(s), if any: Warm Springs Policy Area

G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any: The project site is surrounded by properties which are located in the City of Lake Elsinore to the west and designated Community Development: Business Park (CD: BP) (0.25-0.60 Floor Area Ratio) to the northeast, southwest, and east.

H. Adopted Specific Plan Information

1. Name and Number of Specific Plan, if any: Not Applicable

2. Specific Plan Planning Area, and Policies, if any: Not Applicable

I. Existing Zoning: Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1)

J. Proposed Zoning, if any: Not Applicable

K. Adjacent and Surrounding Zoning: The project site is surrounded by properties which are City of Lake Elsinore to the west and which are zoned Scenic Highway Commercial (C-P-S) to the northeast, southwest, and east.

II. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|--|---|--|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input checked="" type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input checked="" type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

III. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

☐ I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

☐ I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

☐ I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

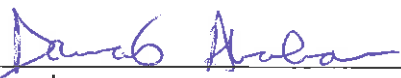
☐ I find that although the proposed project could have a significant effect on the environment, **NO**

NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

☒ I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

☐ I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

☐ I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.


Signature

Damaris Abraham

Printed Name

December 12, 2014
Date

For Juan C. Perez, Interim Planning
Director

IV. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a-b) The project site is located adjacent to State Highway 74 which is designated as an Eligible State Scenic Highway; however, the potential environmental impacts of the project were fully studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

2. Mt. Palomar Observatory				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project site is located 35.72 miles away from the Mt. Palomar Observatory; which is within the designated 45-mile (ZONE B) Special Lighting Area that extends from the Mt. Palomar Observatory; however, the potential environmental impacts of the project were fully studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Expose residential property to unacceptable light levels?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: On-site Inspection, Project Application Description

Findings of Fact:

a-b) The project proposes lighting; however, the potential environmental impacts of the project were fully studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No.

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
625 "Right-to-Farm")?				
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, and Project Application Materials.

Findings of Fact:

a-d) Potential impacts to Agricultural Resources were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?				
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The project will not conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)).

b) The project will not result in the loss of forest land or conversion of forest land to non-forest use.

c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AIR QUALITY Would the project				
6. Air Quality Impacts				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook

Findings of Fact:

a-f) Potential impacts to Air Quality were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project				
7. Wildlife & Vegetation				
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, WRCMSHCP, Environmental Programs Division (EPD) review

Findings of Fact:

a-g) Potential impacts to Biological Resources were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

EA39984 determined the project would have a less than significant impact to biological resources, subject to implementation of a mitigation measure that requires a nesting bird survey to be conducted prior to issuance of a grading permit. This mitigation measure has been incorporated in the project's recommended conditions of approval (COA 60.EPD.1).

Mitigation: No additional mitigation measures are required.

Monitoring: No additional monitoring measures are required.

CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials

Findings of Fact:

a-b) Potential impacts to Historic Resources were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

9. Archaeological Resources

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a-d) Potential impacts to Archaeological Resources were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

10. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) Potential impacts to Paleontological Resources were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

☐ ☐ ☒ ☐

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

☐ ☐ ☒ ☐

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, County Geologist Comments, GEO No. 1976 Update

Findings of Fact:

a-b) Potential impacts to Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone

☐ ☐ ☐ ☒

a) Be subject to seismic-related ground failure, including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction, GEO No. 1976 Update

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) Potential impacts to Liquefaction were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.

13. Ground-shaking Zone

Be subject to strong seismic ground shaking?

☐
☐
☐
☒

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), GEO No. 1976 Update

Findings of Fact:

Potential impacts to Ground-shaking were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

☐
☐
☐
☒

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope", GEO No. 1976 Update

Findings of Fact:

a) Potential Landslide Risk impacts were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas", GEO No. 1976 Update

Findings of Fact:

a) Potential impacts to Ground Subsidence were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials, GEO No. 1976 Update

a) Potential impacts to Other Geologic Hazards were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

a) Change topography or ground surface relief features?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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b) Create cut or fill slopes greater than 2:1 or higher

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
than 10 feet?				
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

a-c) Potential impacts to Slopes were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: General Plan figure S-6 “Engineering Geologic Materials Map”, Project Application Materials, Building and Safety Grading review

a-c) Potential impacts to Soils were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

EA39984 determined the project would have a less than significant impact to soils, subject to implementation of mitigation measures that require the submittal of a geotechnical soils reports to the Department of Building and Safety: Grading division and that require the project incorporate County grading standards, best management practices, and a WQMP to eliminate significant erosion hazards. These mitigation measures have been incorporated in the project's recommended conditions of approval (COA 10.BS GRADE.3, 60.BSGRADE.4, 60.BSGRADE.13, 60.BSGRADE.14, AND 60.FLOODRI.3).

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No additional mitigation measures are required.

Monitoring: No additional monitoring measures are required.

19. Erosion

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Flood Control District review, Project Application Materials

Findings of Fact:

a-b) Potential impacts to Erosion were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

EA39984 determined the project would have a less than significant impact to erosion, subject to implementation of mitigation measures that require the project incorporate County grading standards, best management practices, and a WQMP to eliminate significant erosion hazards. These mitigation measures have been incorporated in the project's recommended conditions of approval (COA 10.BS GRADE.3, 60.BS GRADE.4, 60.BS GRADE.13, 60.BS GRADE.14, AND 60.FLOODRI.3).

Mitigation: No additional mitigation measures are required.

Monitoring: No additional monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) Potential impacts to Erosion were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

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☐
☒
☐

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

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☒
☐

Source: Project application materials, Mini-Storage Development Focused Greenhouse Gas Assessment, prepared by Urban Crossroads, dated November 14, 2014

Findings of Fact:

a) The Mini-Storage Development Focused Greenhouse Gas Assessment, dated November 14, 2014, prepared by Urban Crossroads, indicates that the project's annual GHG emissions will be 720.81 metric tons per year (MTY) of CO₂-equivalents (CO₂e). This total is below the threshold of 3,000 MTY CO₂e per year for mixed use projects proposed by the South Coast Air Quality Management District. This project total includes both direct (amortized construction, area source, and potential increases to mobile) and indirect (electricity and energy to deliver water for landscaping and process waste water) GHG emissions. Therefore, the project would not result in significant generation of greenhouse gases, either directly or indirectly, and would not have a significant impact on the environment due to greenhouse gas emissions.

b) The project is consistent with the Riverside County General Plan's land use designation (Business Park) for the site. Hence the project does not represent development in excess of the State's "Business As Usual" (BAU) scenario. Further, the project would be subject to a variety of measures that would reduce the project's greenhouse gas emissions to below the BAU level that include installing efficient lighting and lighting control systems, installing solar lights or light-emitting diodes (LEDs) for lighting, and complying the County Ordinance No. 859, *Water-Efficient Landscaping Standards*. As a result of implementation of, and compliance with, these measures, the project would further reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County and the State, AB 32 in particular. These measures ensure the project would not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions, and that this project's effect on the attainment of these plans is less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?

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☐
☐
☒

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a-e) Potential impacts to Hazards and Hazardous Materials were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a-d) Potential impacts to Airports were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

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☐
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Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) Potential impacts due to a Hazardous Fire Area were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

☐
☐
☒
☐

b) Violate any water quality standards or waste discharge requirements?

☐
☒
☐
☐

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

☐
☐
☒
☐

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

a-h) Potential impacts to Water Quality were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

EA39984 determined the project would have a less than significant impact to Water Quality, subject to implementation of mitigation measures that require the project to submit a copy of the proposed improvement plans, grading plans, and WQMP. These mitigation measures have been incorporated in the project's recommended conditions of approval (COA 10.FLOODRI.1, 10.FLOODRI.10, 60.FLOODRI.2, 60.FLOODRI.3, 60.FLOODRI.4, 60.FLOODRI.5, 60.TRANS.4, 70.TRANS.1, 90.TRANS.16, AND 90.TRANS.16).

Mitigation: No additional mitigation measures are required.

Monitoring: No additional monitoring measures are required.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable ☒

U - Generally Unsuitable ☐

R - Restricted ☐

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?

☐ ☐ ☒ ☐

b) Changes in absorption rates or the rate and amount of surface runoff?

☐ ☒ ☐ ☒

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

a-d) Potential impacts to Water Quality were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

EA39984 determined the project would have a less than significant impact to Water Quality, subject to implementation of mitigation measures that require the project to submit a copy of the proposed improvement plans, grading plans, and WQMP. These mitigation measures have been incorporated in the project's recommended conditions of approval (COA 10.FLOODRI.1, 10.FLOODRI.10, 60.FLOODRI.2, 60.FLOODRI.3, 60.FLOODRI.4, 60.FLOODRI.5, 60.TRANS.4, 70.TRANS.1, 90.TRANS.16, AND 90.TRANS.16).

Mitigation: No additional mitigation measures are required.

Monitoring: No additional monitoring measures are required.

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

a-b) Potential impacts to Land Use/Planning were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

28. Planning				
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a-e) Potential impacts to Planning were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

The current zoning for the site Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1). The watercourse area is zoned W-1 and the project will be constructed in the I-P zoned portion of the site. The project is a permitted use with the zoning classification. The proposed project is compatible with the existing and planned surrounding land uses in the area as adjacent parcels have been or are currently being developed with commercial projects. The proposed project will not disrupt or divide the physical arrangement of an established community as the project site is vacant and adjacent parcels are either vacant or have been developed with commercial projects. Residential developments are located further away from the site across State Highway 74 to the east and across the watercourse to the west.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

MINERAL RESOURCES Would the project

29. Mineral Resources				
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

a-d) Potential impacts to Mineral Resources were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA ☒ A ☐ B ☐ C ☐ D ☐

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA ☒ A ☐ B ☐ C ☐ D ☐

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a-b) Potential impacts to Airport Noise were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA ☒ A ☐ B ☐ C ☐ D ☐ ☐ ☐ ☐ ☒

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: Potential impacts to Railroad Noise were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

32. Highway Noise

NA ☒ A ☐ B ☐ C ☐ D ☐ ☐ ☐ ☒ ☐

Source: On-site Inspection, Project Application Materials

Findings of Fact: Potential impacts to Highway Noise were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise

NA ☒ A ☐ B ☐ C ☐ D ☐ ☐ ☐ ☐ ☒

Source: Project Application Materials, GIS database

Findings of Fact: No other noise sources have been identified near the project site that would contribute a significant amount of noise to the project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a-d) Potential impacts due to Noise Effects on or by the Project were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

POPULATION AND HOUSING Would the project

35. Housing

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local popu-	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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lation projections?

f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a-f) Potential impacts to Housing were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Safety Element

Findings of Fact:

Potential impacts to Fire Services were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

37. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

Potential impacts to Sheriff Services were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside Unified School District correspondence, GIS database

Findings of Fact:

Potential impacts to Schools were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

Potential impacts to Libraries were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
40. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

Potential impacts to Health Services were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

RECREATION

41. Parks and Recreation				
a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a-b) Potential impacts to Parks and were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

42. Recreational Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan

Findings of Fact: Potential impacts to Recreational Trails were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

☐ ☐ ☒ ☐

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

☐ ☐ ☒ ☐

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

☐ ☐ ☐ ☒

d) Alter waterborne, rail or air traffic?

☐ ☐ ☐ ☒

e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

☐ ☐ ☐ ☒

f) Cause an effect upon, or a need for new or altered maintenance of roads?

☐ ☒ ☐ ☐

g) Cause an effect upon circulation during the project's construction?

☐ ☐ ☒ ☐

h) Result in inadequate emergency access or access to nearby uses?

☐ ☐ ☐ ☒

i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?

☐ ☐ ☐ ☒

Source: Riverside County General Plan

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a-i) Potential impacts to Circulation were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

EA39984 determined the project would have a less than significant impact to circulation, subject to implementation of mitigation measures. These mitigation measures have been incorporated in the project's recommended conditions of approval (COA 10.TRANS.3, 80.TRANS.1, 80.TRANS.2, 80.TRANS.6, 90.TRANS.1, 90.TRANS.3, 90.TRANS.4, 90.TRANS.6, 90.TRANS.11, AND 90.TRANS.12).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

44. Bike Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: Potential impacts to Bike Trails were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Department of Environmental Health Review

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a-b) Potential impacts to Water were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

☐ ☐ ☒ ☐

b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

☐ ☐ ☒ ☐

Source: Department of Environmental Health (DEH) Review, Soils Percolation Report Project No. 1199-CR3 dated June 24, 2014 prepared by GEOTEK, Inc., DEH site evaluation conducted on July 14, 2014

Findings of Fact:

a-b) The project proposes to utilize an Onsite Wastewater Treatment System (OWTS). The applicant shall submit to DEH for review Floor Plans showing all plumbing fixture units and copies of detailed contoured plot plans wet stamped and signed by GEOTEK, Inc. with the OWTS design utilizing seepage pits that take into consideration that the total depth of any proposed seepage pit cannot exceed a total depth of 17 feet below ground surface. (COA 10.E HEALTH. 1) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

☐ ☐ ☐ ☒

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes

☐ ☐ ☐ ☒

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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including the CIWMP (County Integrated Waste Management Plan)?

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) Potential impacts to Solid Waste were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a-g) Potential impacts to Utilities were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Energy Conservation

a) Would the project conflict with any adopted energy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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conservation plans?

Source:

a) Potential impacts to Energy Conservation were studied in Environmental Assessment No. 39984 (EA39984), which is on file in the Planning Department. The Riverside County Board of Supervisors adopted the Mitigated Negative Declaration on December 23, 2008. The proposed project will not result in any new significant environmental impacts not identified in EA39984, nor will it substantially increase the severity of the environmental impacts identified in EA39984. No considerably different mitigation measures have been identified.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

- | | | | | |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

- | | | | | |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| 52. Does the project have environmental effects that will cause substantial adverse effects on human beings, | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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either directly or indirectly?

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: Environmental Assessment No. 39984

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92502

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is to increase the square footage of the project building footprint for the proposed Self-Storage (a mini-warehouse) Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft. mainly with Building F) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings (Building E - 37,906 sq. ft. and Building F - 25,531 sq. ft.), and four (4) single-story Self-Storage Buildings (Building A - 10,396 sq. ft., Building B - 2,100 sq. ft., Building C - 18,807 sq. ft., and Building D - 5,000 sq. ft.). The project also proposes to update the Water Quality Management Plan to meet current regional board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to an Onsite Wastewater Treatment System (OWTS).

In accordance with Section 18.46.C. Ord. No. 348, mini-warehouse facilities shall be designed and operated for the storage of goods in individual compartment or rooms, which are available for use by the general public on a rental or lease basis. In no case shall storage spaces be used for manufacturing, retail or wholesale selling, compounding, office functions, other business or service uses, or human habitation.

10. EVERY. 2 USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

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10. GENERAL CONDITIONS

10. EVERY. 2 USE - HOLD HARMLESS (cont.)

RECOMMND

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 20158R1 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 20158R1, Exhibit A (Sheets 1-2), Amended No. 1, dated December 10, 2014.

APPROVED EXHIBIT B&C = Plot Plan No. 20158R1, Exhibit B&C (Sheets 1-8), Amended No. 1, dated December 10, 2014.

APPROVED EXHIBIT L = Plot Plan No. 20158R1, Exhibit L (Sheets 1-2), Amended No. 1, dated May 15, 2014.

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

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10. GENERAL CONDITIONS

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety

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10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.)

RECOMMND

upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT

RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL

RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

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10. GENERAL CONDITIONS

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 14 USE - SLOPES IN FLOODWAY RECOMMND

Graded slopes which infringe into the 100 year storm flood way boundaries, shall be protected from erosion, or other flood hazards, by a method acceptable to the Building & Safety Department's Engineer - which may include Riverside County Flood Control & Water Conservation District's review and approval. However, no graded slope will be allowed which in the professional judgment of the Building & Safety Department Engineer blocks, concentrates or diverts drainage flows.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater

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10. GENERAL CONDITIONS

10.BS GRADE. 23 USE - MANUFACTURED SLOPES (cont.) RECOMMND

in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

E HEALTH DEPARTMENT

10.E HEALTH. 1 PP 20158 R1-WASTEWATER REQ'MNT RECOMMND

Plot Plan 20158 Revised Permit 1 (PP 20158 R1) is proposing a Self Storage Building utilizing an Onsite Wastewater Treatment System (OWTS). All other Department of Environmental Health (DEH) clearances for the original PP 20158 shall remain "INEFFECT".

DEH shall accept for review the proposed use of an OWTS based on GEOTEK, Inc. Soils Percolation Report Project No. 1199-CR3 dated June 24, 2014. DEH site evaluation was conducted on July 14, 2014 (c/o Marc Haraksin). Based on DEH site evaluation observations, the deep boring was dry to a total depth of 27 feet below ground surface.

PRIOR TO BUILDING PERMIT ISSUANCE, the applicant shall provide the following to DEH:

- 1) Floor Plans showing all plumbing fixture units.
- 2) At least three copies of detailed contoured plot plans wet stamped and signed by GEOTEK, Inc. with the OWTS design utilizing seepage pits that take into consideration that the total depth of any proposed seepage pit cannot exceed a total depth of 17 feet below ground surface.

Please note that if this parameter cannot be met, the applicant shall contact DEH at (951) 955-8980 for additional requirements.

- 3) An initial deposit based fee of \$612.00.

**Additional requirements may apply pending review of all

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10. GENERAL CONDITIONS

10.E HEALTH. 1 PP 20158 R1-WASTEWATER REQ'MNT (cont.) RECOMMND
requested items.**

10.E HEALTH. 2 EVMWD POTABLE WATER SERVICE RECOMMND

Plot Plan 20158 Revised Permit 1 (PP 20158 R1) is proposing to obtain potable water service from Elsinore Valley Municipal Water District (EVMWD). It is the responsibility of the facility operator to ensure that all requirements to receive potable water service are met with EVMWD as well as all other applicable agencies.

10.E HEALTH. 3 ENV CLEANUP PROGRAM-COMMENTS RECOMMND

If previously unidentified contamination is discovered at the site, assessment, investigation, and/or cleanup may be required. For further information, please contact the Department of Environmental Health, Environmental Cleanup Programs at (951) 955-8980.

10.E HEALTH. 4 USE - NO NOISE REPORTS RECOMMND

Based upon the information provided, a noise study is not required. However, the project shall be required to comply with the following:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library, or nursing home", must not exceed the following worst-case noise levels: 45 dB(A) - 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB(A) - 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard).

2. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exception to these standards shall be allowed only with the written consent of the building official.

For any questions, please contact the Department of Environmental Health, Office of Industrial Hygiene at (951) 955-8982.

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10. GENERAL CONDITIONS

10.E HEALTH. 5 USE - CONTACT HAZMAT RECOMMND

The owner or operator of any business that handles or stores any hazardous material/waste equal to or above the threshold quantities; 55 gallons of a liquid, 200 cubic feet of a gas, 500 pounds of a solid, and/or radioactive materials (where an emergency plan is required by Federal Law), and/or extremely hazardous substances, shall contact the Department of Environmental Health, Hazardous Materials Management Branch at (951) 358-5055 for the requirements.

FIRE DEPARTMENT

10.FIRE. 1 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 2125 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site.

10.FIRE. 2 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 3 USE-#20-SUPER FIRE HYDRANT RECOMMND

Super fire hydrants) (6"x4"x 2-2 1/2") shall be located ot less than 25 feet or more than 250 feet from any portion of the building as measured along approved vehicular travel ways.

10.FIRE. 4 USE-#25-GATE ENTRANCES RECOMMND

ny gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

10.FIRE. 5 USE-#88A-AUTOMATIC GATES RECOMMND

Gate(s) shall be automatic operated, minimum 20 feet in width, with a setback of 35 feet from face of curb/flow

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10. GENERAL CONDITIONS

10.FIRE. 5

USE-#88A-AUTOMATIC GATES (cont.)

RECOMMND

line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1

USE FLOOD HAZARD REPORT

RECOMMND

PP 250158R1 is a proposal to construct a mini-storage facility in the Lake Elsinore area. The 4.9 acre site is located at the north corner of Highway 74 and Conard Avenue.

The northwest portion of the site lies within the 100-year Zone A floodplain limits for Arroyo Del Toro Creek as delineated on Panel No. 060245 2055 B of the Flood Insurance Rate Maps issued in conjunction with the National Emergency Management Agency (FEMA). This creek has a tributary drainage area of approximately 5 square miles. A Letter of Map Revision (LOMR) has been processed which defines the floodplain limits in this area. A portion of the site would still be within the revised floodplain limits.

The developer proposes to avoid the floodplain limits for Arroyo Del Toro which is along the northwest portion of the site. The floodplain would be left undeveloped. No grading will be allowed within the floodplain, including fill or borrow material. The District recommends that the project be FEMA certified to establish that it is out of the floodplain and therefore not subject to mandatory flood insurance.

The developer proposes to mitigate for increased runoff with a combination detention basin and underground storage pipes. This concept is acceptable to the District. Some redesign may be necessary during the improvement plan check stage. Any fencing within the floodplain shall have sufficient openings (3" high by 6" wide minimum) as to not obstruct the flow and any roadway work within the floodplain shall be built to the original grade.

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10. GENERAL CONDITIONS

10.FLOOD RI. 3 USE 10 YR CURB - 100 YR ROW

RECOMMND

The 10 year storm flow shall be contained within the curb and the 100 year storm flow shall be contained within the street right of way. When either of these criteria is exceeded, additional drainage facilities shall be installed. The property shall be graded to drain to the adjacent street or an adequate outlet.

10.FLOOD RI. 4 USE 100 YR SUMP OUTLET

RECOMMND

Drainage facilities outletting sump conditions shall be designed to convey the tributary 100 year storm flows. Additional emergency escape shall also be provided.

10.FLOOD RI. 10 USE INCREASED RUNOFF

RECOMMND

The development of this site will adversely impact downstream property owners by increasing the rate and volume of flood flows. To mitigate this impact, the developer has proposed a detention basin. Although final design of the basin will not be required until the improvement plan stage of this development, the applicant's engineer has submitted a preliminary hydrology and hydraulics study that indicates that the general size, shape, and location of the proposed basin is sufficient to mitigate the impacts of the development.

10.FLOOD RI. 11 USE INCREASED RUNOFF CRITERIA

RECOMMND

The development of this site would increase peak flow rates on downstream properties. Mitigation shall be required to offset such impacts. An increased runoff basin shall be shown on the exhibit and calculations supporting the size of the basin shall be submitted to the District for review.

The entire area of proposed development will be routed through a detention facility(s) to mitigate increased runoff. All basins must have positive drainage; dead storage basins shall not be acceptable.

A complete drainage study including, but not limited to, hydrologic and hydraulic calculations for the proposed detention basin shall be submitted to the District for review and approval.

Storms to be studied will include the 1-hour, 3-hour, 6-hour and 24-hour duration events for the 2-year, 5-year and 10-year return frequencies. Detention basin(s) and

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10. GENERAL CONDITIONS

10.FLOOD RI. 11

USE INCREASED RUNOFF CRITERIA (cont.)

RECOMMND

outlet(s) sizing will ensure that none of these storm events has a higher peak discharge in the post-development condition than in the pre-development condition. For the 2-year and 5-year events the loss rate will be determined using an AMC I condition. For the 10-year event AMC II will be used. Constant loss rates shall be used for the 1-hour, 3-hour and 6-hour events. A variable loss rate shall be used for the 24-hour events.

Low Loss rates will be determined using the following:

1. Undeveloped Condition --> LOW LOSS = 90%
2. Developed Condition --> LOW LOSS = $.9 - (.8 \times \% \text{IMPERVIOUS})$
3. Basin Site --> LOW LOSS = 10%

Where possible and feasible the on-site flows should be mitigated before combining with off-site flows to minimize the size of the detention facility required. If it is necessary to combine off-site and on-site flows into a detention facility two separate conditions should be evaluated for each duration/return period/before-after development combination studied; the first for the total tributary area (off-site plus on-site), and the second for the area to be developed alone (on-site). It must be clearly demonstrated that there is no increase in peak flow rates under either condition (total tributary area or on-site alone), for each of the return period/duration combinations required to be evaluated. A single plot showing the pre-developed, post-developed and routed hydrographs for each storm considered, shall be included with the submittal of the hydrology study.

No outlet pipe(s) will be less than 18" in diameter. Where necessary an orifice plate may be used to restrict outflow rates. Appropriate trash racks shall be provided for all outlets less than 48" in diameter.

The basin(s) and outlet structure(s) must be capable of passing the 100-year storm without damage to the facility. Embankment shall be avoided in all cases unless site constraints or topography make embankment unavoidable in the judgment of the General Manager-Chief Engineer.

Mitigation basins should be designed for joint use and be incorporated into open space or park areas. Sideslopes should be no steeper than 4:1 and depths should be minimized where public access is uncontrolled.

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10.FLOOD RI. 11 USE INCREASED RUNOFF CRITERIA (cont.) (cont.)RECOMMND

A viable maintenance mechanism, acceptable to both the County and the District, should be provided for detention facilities. Generally, this would mean a CSA, landscape district, parks agency or commercial property owners association.

PLANNING DEPARTMENT

10.PLANNING. 1 USE - INADVERTANT FIND RECOMMND

INADVERTENT ARCHAEOLOGICAL FINDS:

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, cultural resources* are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed:

1)All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist**, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find.

2)The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

3)At the meeting with the aforementioned parties, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4)Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the

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10. GENERAL CONDITIONS

10.PLANNING. 1 USE - INADVERTANT FIND (cont.)

RECOMMND

appropriate mitigation measures.

* A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 2 USE - IF HUMAN REMAINS FOUND

RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:

The developer/permit holder or any successor in interest shall comply with the following codes:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Archaeologist.

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10. GENERAL CONDITIONS

10.PLANNING. 3 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 4 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 5 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 6 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT B&C.

10.PLANNING. 8 USE - HOURS OF OPERATION RECOMMND

Use of the facilities approved under this plot plan shall be limited to the hours of 7:00 a.m. to 10:00 p.m., Monday through Sunday in order to reduce conflict with adjacent residential zones and/or land uses.

10.PLANNING. 9 USE - BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b),

Mini-warehouses, self storage: 2 spaces per 3 employees.

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10. GENERAL CONDITIONS

10.PLANNING. 14 USE - PHASE BY NEW PERMIT

RECOMMND

Construction of this project may be done progressively in phases provided a plan is submitted with appropriate fees to the Planning Department and approved prior to issuance of any building permits. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless so indicated by the affected agency.

10.PLANNING. 17 USE - RECLAIMED WATER

RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 19 USE - NO RESIDENT OCCUPANCY

RECOMMND

No permanent occupancy shall be permitted within the property approved under this plot plan as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10.PLANNING. 21 USE - EXTERIOR NOISE LEVELS

RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 24 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this plot plan,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit

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10. GENERAL CONDITIONS

10.PLANNING. 24 USE - CAUSES FOR REVOCATION (cont.) RECOMMND

shall be subject to the revocation procedures.

10.PLANNING. 25 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 27 USE - MINI-WAREHOUSE LIMITS RECOMMND

Mini-warehouse facilities shall be designated and operated for the storage of goods in individual compartments or rooms, which are available for use by the general public on a rental or lease basis. In no case shall storage spaces be used for manufacturing, retail or wholesale selling, compounding, office functions, other business or service uses, or human habitation. Individual storage spaces within a mini-warehouse shall have a maximum gross floor area of 500 square feet. The following facilities shall not be permitted in mini-warehouses:

1) No, water, sanitary facilities, or electricity, with the exception of lighting fixtures, shall be provided in individual storage units.

2) Prefabricated shipping containers shall not be used as mini-warehouse facilities.

The following prohibited materials shall not be stored in mini-warehouse facilities:

1) Flammable or explosive matter or materials.

2) Matter or material which create obnoxious dust, odor, or fumes.

3) Hazardous or extremely hazardous waste, as defined by applicable provisions of the Hazardous Waste Control Law (Health and Safety Code Section 25100, et. seq.)

10.PLANNING. 29 USE - MT PALOMAR LIGHTING AREA RECOMMND

The subject property lies within the boundary of Zone B of Ordinance No. 655 (Mt. Palomar Special Lighting Area.) In accordance with Section 5 (General Requirements) of this Ordinance, Low Pressure Sodium lamps and other lamps below

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10.PLANNING. 29 USE - MT PALOMAR LIGHTING AREA (cont.) RECOMMND

4050 lumens are allowed, and other lamps above 4050 lumens are prohibited.

Note that all outdoor lighting must be fully shielded if feasible or partially shielded in all other cases, and must be focused to minimize spill light into the night sky and onto adjacent properties. All outdoor lighting must remain in compliance with the requirements of Ord. No. 655 for the life of this permit.

10.PLANNING. 31 USE - PERMIT SIGNS RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.43.B and D (Substantial Conformance-Uncirculated) of Ordinance No. 348.

10.PLANNING. 34 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 36 USE - LOW PALEO RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified

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10.PLANNING. 36 USE - LOW PALEO (cont.)

RECOMMND

of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the

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10. GENERAL CONDITIONS

10.PLANNING. 36 USE - LOW PALEO (cont.) (cont.)

RECOMMND

Western Science Center in the City of Hemet.

8.The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

10.PLANNING. 37 USE - GEO01976 UPDATE

RECOMMND

UPDATE to GEO01976

County Geologic Report (GEO) No. 1976, submitted for this project (PP20158), was prepared by NorCal Engineering and is entitled: "Geotechnical Engineering Investigation, Proposed Mini-Storage Development, Northeast Corner of Conrad Avenue and Central Avenue, Lake Elsinore, in the County of Riverside, California", dated March 15, 2005. GEO01976 was reviewed and approved by the County Geologist for PP20158 and included the following reports were submitted for this project:

"Response to County Geologic Review Sheet - Proposed Mini-Storage Development - Located at the Northeast Corner of Conrad Avenue and Central Avenue, Lake Elsinore, in the County of Riverside, California, Project Number 11934-05" dated March 27, 2008.

"Response to County Geotechnical Report Review Sheet - Proposed Mini-Storage Development - Located at the Northeast Corner of Conrad Avenue and Central Avenue, Lake Elsinore, in the County of Riverside, California, Project Number 11934-05" dated March 23, 2008.

In support of a revision to PP20158 (PP20158R1), NorCal prepared "Update to Geotechnical Engineering Investigation - Proposed Mine-Storage Development - Located at the Northeast Corner of Conard Avenue and Central Avenue, Lake Elsinore, in the County of Riverside, California", dated May 9, 2014. This document is herein incorporated as a part of GEO01976.

This update report to GEO01976 concluded the overall geotechnical conditions of the subject site are currently representative of the conditions described in the previous

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10. GENERAL CONDITIONS

10.PLANNING. 37 USE - GEO01976 UPDATE (cont.)

RECOMMND

geotechnical report and the planned construction will be geotechnically feasible provided that all of the recommendations presented in the previous geotechnical and meets requirments of the latest California Building Code are implemented.

GEO No. 1976 satisfies the requirement for a Geologic/Seismic Study for Planning /CEQA purposes for PP20158R1. GEO No. 1976 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO (ORD 461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 USE - COUNTY WEB SITE

RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

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10.TRANS. 3 USE - TS/EXEMPT

RECOMMND

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

10.TRANS. 4 USE LANDSCAPE RQMTS (LS)

RECOMMND

The developer/permit holder shall ensure that all common area landscaping is healthy, free of weeds, disease and pests and all plant materials are maintained in a viable growth condition.

Prior to the installation or rehabilitation of 2,500 square feet or more of landscaped area, the developer/ permit holder/landowner shall:

- 1) Submit landscape and irrigation plans to the County Transportation Department, Landscape Section for review and approval. Such plans shall be submitted with a completed Agreement for Payment of Costs of Application Processing form (IP application) with the applicable current fee as determined by the County, comply with Ordinance No. 859 and be prepared in accordance with the County of Riverside Guide to California Friendly Landscaping guidelines. Emphasis shall be placed on using low water use plant species that are drought tolerant;
- 2) Ensure all landscape and irrigation plans are in conformance with the approved conceptual landscape exhibit;
- 3) Ensure all landscaping is provided with a weather-based irrigation controller(s) as defined by County Ordinance No. 859; and,
- 4) Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

The developer/permit holder is responsible for the maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the installation inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any

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10.TRANS. 4 USE LANDSCAPE RQMTS (LS) (cont.) RECOMMND

other successor-in-interest, whichever occurs later.

10.TRANS. 5 USE - SUBMIT FINAL WQMP RECOMMND

In compliance with the currently effective Municipal Stormwater Permit issued by the Santa Ana Regional Water Quality Control Board [Order No. R8-2010-0033, et seq.], and beginning January 1, 2005, all projects that 1) are located within the drainage boundary (watershed) of the Santa Ana River; and 2) require discretionary approval by the County of Riverside must comply with the Water Quality Management Plan (WQMP) for Urban Runoff. The WQMP addresses post-development water quality impacts from new development and significant redevelopment projects. The WQMP provides detailed guidelines and templates to assist the applicant in completing the necessary documentation and calculations. These documents are available on-line at: www.rcflood.org/npdes.

To comply with the WQMP, applicants must prepare and submit a "Project Specific" WQMP. At a minimum, the WQMP must: a) identify the post-project pollutants associated with the development proposal together with any adverse hydrologic impacts to receiving waters; b) identify site-specific mitigation measures or Best Management Practices (BMPs) for the identified impacts including site design, source control and treatment control post-development BMPs; and c) identify a sustainable funding and maintenance mechanism for the aforementioned BMPs. A template for this report is included as 'Exhibit A' in the WQMP.

The applicant has submitted a report that meets the criteria for a Preliminary Project Specific. However, in order to meet the requirements of a Final Project Specific WQMP, the report must be completed in substantial conformance to the Preliminary Project Specific WQMP. Also, the applicant should note that, if the project requires a Section 401 Water Quality certification, the Regional Water Quality Control Board may require additional water quality measures.

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60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 USE - IMPORT / EXPORT (cont.) RECOMMND

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed n accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 9 USE - RECORDED ESMT REQ'D RECOMMND

In instances where the grading plan proposes drainage facilities on adjacent offsite property, the owner/applicant shall provide a copy of the recorded drainage easement.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 10 USE - ALTERNATIVE PVMT RECOMMND

In instances where the grading plan involves the use of porous or pervious pavements as an alternative to asphalt and concrete surfaces, prior to the issuance of a grading permit, approval shall be obtained from the Building and Safety Department.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 13 USE- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 14 USE - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

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60. PRIOR TO GRADING PRMT ISSUANCE

EPD DEPARTMENT

60.EPD. 1 - GNATCATCHER NESTING SURV

RECOMMND

Potential suitable habitat for California gnatcatcher is present onsite and this property occurs within an MSHCP Cell, thus no grading permits may be issued during the breeding season (March 1 - August 15) without written documentation that no California gnatcatchers currently inhabit this site. A presence/absence survey for this species shall be conducted by a biologist that has an MOU with EPD and the findings submitted to EPD for review prior to issuance of any grading permit.

FLOOD RI DEPARTMENT

60.FLOOD RI. 2 USE SUBMIT PLANS

RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

60.FLOOD RI. 3 USE EROS CNTRL AFTER RGH GRAD

RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to the District for review.

60.FLOOD RI. 4 USE OFFSITE EASE OR REDESIGN

RECOMMND

Offsite drainage facilities shall be located within dedicated drainage easements obtained from the affected property owner(s). Document(s) shall be recorded and a copy submitted to the District prior to issuance of permits. If the developer cannot obtain such rights, the project shall be redesigned to eliminate the need for the easement.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 5 USE WRITTEN PERM FOR GRADING

RECOMMND

Written permission shall be obtained from the affected property owner(s) allowing the proposed grading and/or facilities to be installed outside of the project boundaries. A copy of the written authorization shall be submitted to the District for review and approval.

PLANNING DEPARTMENT

60.PLANNING. 7 USE - SKR FEE CONDITION

RECOMMND

Prior to the issuance of a grading permit, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance. The amount of the fee required to be paid may vary depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 4.79 acres (gross) in accordance with APPROVED EXHIBIT NO. A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

60.PLANNING. 10 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 20158R1, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

60.PLANNING. 13 USE - PARCEL MERGR REQD (1)

RECOMMND

Prior to the issuance of a grading permit, a Certificate of Parcel Merger shall be reviewed and approved by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 377-372-015, 377-372-027, and 377-372-033. The permit holder shall submit proof of recordation of the

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 13 USE - PARCEL MERGR REQD (1) (cont.) RECOMMND

parcel merger to the Planning Department within 6 (six) months of Planning Department approval. The proposed parcel shall comply with the development standards of the I-P and W-1 zones.

60.PLANNING. 14 USE - TURNAROUND EASEMENT (1) RECOMMND

Prior to the issuance of Grading Permits, the "Turnaround Easement Agreement" shall be executed and recorded. The easement agreement shall provide for emergency vehicle access and improvements over APN 377-372-032 as noted on APPROVED EXHIBIT A.

TRANS DEPARTMENT

60.TRANS. 1 USE-SBMT/APPVD GRADG PLAN/TRAN RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan shall be submitted and approved by the Transportation Department prior to a grading permit issuance.

Submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA.

60.TRANS. 2 USE - PRIOR TO ROAD CONSTRUCT RECOMMND

Prior to road construction, survey monuments including centerline monuments, tie points, property corners and benchmarks shall be located and tied out and corner records filed with the County Surveyor pursuant to Section 8771 of the Business & Professions Code. Survey points destroyed during construction shall be reset, and a second corner record filed for those points prior to completion and acceptance of the improvements.

60.TRANS. 3 USE - FILE L&LMD APPLICATION RECOMMND

File an application with the Transportation Department, L&LMD Section, 8th Floor, 4080 Lemon Street, Riverside, CA, for required annexation per condition of approval 80.TRANS.4 and 90.TRANS.5.

If you have any questions or for the processing fee amount, please call the L&LMD Section at (951) 955-6748.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 4 USE - SUBMIT PLANS

RECOMMND

The project specific Final WQMP, improvement plans, grading plans, final map, Environmental Constraint Sheet, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the Transportation Department for review and approval. The Final WQMP and plans must receive Transportation Department approval prior to the issuance of grading permits. All submittals shall be date stamped by a registered engineer.

60.TRANS. 5 USE - WQMP MAINT DETERMINATION

RECOMMND

The project proponent shall contact the Transportation Department to determine the appropriate entity that will maintain the BMPs identified in the project specific WQMP. This determination shall be documented in the project specific WQMP. The project proponent shall begin the process of establishing the maintenance entity identified in the approved project specific WQMP.

70. PRIOR TO GRADING FINAL INSPECT

TRANS DEPARTMENT

70.TRANS. 1 USE - IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants.

70.TRANS. 2 USE - ESTABLISH MAINT ENTITY

RECOMMND

The project proponent shall begin the process of establishing the maintenance entity identified in the approved project specific WQMP.

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80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT

RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

BS PLNCK DEPARTMENT

80.BS PLNCK. 1 USE* - BUILD & SAFETY PLNCK

RECOMMND

There are four different size storage areas available. Accessibility requirements regarding self storage

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80. PRIOR TO BLDG PRMT ISSUANCE

80.BS PLNCK. 1 USE* - BUILD & SAFETY PLNCK (cont.) RECOMMND

facilities shall be verified during the Building Department building plan review in accordanc with the following minimum requirements for each self storage space size provided:

1-200: 5%, but not less than one.

201 and over: 10, plus 2% of the total above 200.

The Building plan wil indicate a total count of each of the four space sizes and aallocated accessible spaces.

ACCESSIBLE PATH OF TRAVEL:

A site plan to indicate the required continuous accessible paved path of travel. The accessible path of travel details shall include;

- 1.Accessible path construction type (Asphalt or concrete).
- 2.Accessible path width.
- 3.Accessible path directional slope % and cross slope %.
- 4.All accessible ramp and curb cut-out locations and details where applicable.

The Accessible path of travel shall:

- 1.Connect to the public R.O.W.
- 2.Connect to all building(s).
- 3.Connect to all accessible parking loading/unloading areas.
- 4.Connect to accessible sanitary facilities.

Please be aware that the approved site plan with accessibility requirements should be included with any building plan submittals. The plan review staff may have additional comments depending on the additional information or revisions provided during the plan review process. Additional accessible requirements within the structure shall be reviewed during the building plan review.

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - E.HEALTH CLEARANCE REQ. RECOMMND

ENVIRONMENTAL HEALTH CLEARANCE IS REQUIRED PRIOR TO THE ISSUANCE OF THIS BUILDING PERMIT.

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80. PRIOR TO BLDG PRMT ISSUANCE

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$ RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

FLOOD RI DEPARTMENT

80.FLOOD RI. 2 USE SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the District for review. The plans must receive District approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

PLANNING DEPARTMENT

80.PLANNING. 3 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B&C.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 4 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT B&C.

80.PLANNING. 5 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 12 USE - PARCEL MERGR REQD (2) RECOMMND

Prior to the issuance of a building permit, a Certificate of Parcel Merger shall be reviewed and approved by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 377-372-015, 377-372-027, and 377-372-033. The permit holder shall submit proof of recordation of the parcel merger to the Planning department within six (6) months of Planning Department approval. The proposed parcel shall comply with the development standard of the I-P and W-1 zones.

This condition shall be considered MET if Condition Of Approval No. 60.PLANNING.13 is satisfied.

80.PLANNING. 16 USE - WASTE MGMT. CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated November 18, 2013, summarized as follows:

Prior to issuance of a building permit, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation facade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.

Prior to issuance of a building permit, A Waste Recycling

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 16 USE - WASTE MGMT. CLEARANCE (cont.) RECOMMND

Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by demolition, construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

80.PLANNING. 17 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Lake Elsinore Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 18 USE - LIGHTING PLANS RECOMMND

All parking lot lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 19 USE - FEE STATUS RECOMMND

Prior to issuance of building permits for Plot Plan No. 20158R1, the Planning Department shall determine the status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

80.PLANNING. 20 USE - TURNAROUND EASEMENT (2) RECOMMND

Prior to the issuance of Building Permits, the "Turnaround Easement Agreement" shall be executed and recorded. The easement agreement shall provide for emergency vehicle access and improvements over APN 377-372-032 as noted on APPROVED EXHIBIT A.

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80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 1 USE - CALTRANS ENCRCHMNT PRMT

RECOMMND

Prior to issuance of a building permit or any use allowed by this permit, and prior to doing any work within the State highway right-of-way, clearance and/or an encroachment permit must be obtained by the applicant from the District 08 Office of the State Department of Transportation in San Bernardino.

80.TRANS. 2 USE - R-O-W DEDICATION 1

RECOMMND

Sufficient public street right-of-way along Central Avenue (SH-74) shall be conveyed for public use to provide for a 89 foot half-width right-of-way.

Sufficient public street right-of-way along Conard Avenue shall be conveyed for public use to provide for a 30 foot half-width right-of-way.

80.TRANS. 3 USE - CORNER CUT-BACK I

RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461.

80.TRANS. 4 USE - ANNEX L&LMD/OTHER DIST

RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Central Avenue (SH-74) and Conard Avenue.
- (2) Streetlights.
- (3) Traffic signals located on Central Avenue (SH-74) at intersection of Conard Avenue.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 4 USE - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

(4) Street sweeping.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 5 USE - LIGHTING PLAN RECOMMND

A separate street light plan and/or a separate bridge light plan is required for this project. Street (and/or bridge) lighting shall be designed in accordance with County Ordinance 460 and Streetlight Specification Chart found in Specification Section 22 of Ordinance 461. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 6 USE - LANDSCAPING RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Central Avenue (SH-74) and Conard Avenue and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

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80.TRANS. 7 USE - UTILITY PLAN

RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

80.TRANS. 8 USE - LANDSCAPE PLAN SUBMITTAL

RECOMMND

Prior to issuance of building permits, the developer/permit holder shall submit a combined on-site and off-site landscape plan to the Transportation Department, Landscape Section for review and approval. The submittal shall include the Agreement for Payment of Costs of Application Processing form with the applicable fee.

The landscaping plans shall be in conformance with the approved conceptual landscape exhibit; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping. At minimum, plans shall include the following components:

- 1) Landscape and irrigation working drawings "stamped" by a California Licensed/Registered landscape architect;
- 2) Weather-based controllers and necessary components to eliminate water waste;
- 3) A copy of the "stamped" approved grading plans;
- 4) Emphasis on native and drought tolerant plant species.

When applicable, plans shall include the following components:

- 1) Identification of all common/open space areas;

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80.TRANS. 8 USE - LANDSCAPE PLAN SUBMITTAL (cont.) RECOMMND

- 2) Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3) Shading plans for projects that include parking lots/areas;
- 4) The use of canopy trees (24" box or greater) within the parking areas;
- 5) Landscaping plans for slopes exceeding 3 feet in height;
- 6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
- 7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

The Transportation Department shall clear this condition.

80.TRANS. 9 USE - LANDSCAPE SECURITY (LS) RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Transportation Department, Landscape Section. Once the Transportation Department has approved the estimate, the developer/permit holder shall submit the estimate to the Transportation Department who will then provide the developer/permit holder with the required forms. The required forms shall be completed and submitted to the Transportation Department for processing and review in conjunction with County Counsel. Upon determination of compliance, the Transportation Department shall clear this condition.

NOTE: A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the one-year post-establishment inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order

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80.TRANS. 9 USE - LANDSCAPE SECURITY (LS) (cont.) RECOMMND
consistent with the approved landscaping plans.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 5 USE - WQMP ANNUAL INSP FEE

RECOMMND

Prior to final building inspection, the applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

90.BS GRADE. 6 USE - REQ'D GRADING INSP'S

RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Sub-grade inspection prior to base placement.

2.Base inspection prior to paving.

3.Precise grade inspection of entire permit area.

a.Inspection of Final Paving

b.Precise Grade Inspection

c.Inspection of completed onsite storm drain facilities

d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 7 USE - PRECISE GRDG APPROVAL

RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final)

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 7 USE - PRECISE GRDG APPROVAL (cont.) RECOMMND

Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 2 USE-#12A-SPRINKLER SYSTEM RECOMMND

Install a complete fire sprinkler system per NFPA 13 2013 edition in all buildings requiring a fire flow of 1500 GPM or greater. Fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

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90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 3

USE-#27-EXTINGUISHERS

RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

PLANNING DEPARTMENT

90.PLANNING. 3

USE - PARKING PAVING MATERIAL

RECOMMND

A minimum of four (4) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 4

USE - ACCESSIBLE PARKING

RECOMMND

A minimum of one (1) accessible parking space for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ____ or by telephoning ____."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at

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90.PLANNING. 4 USE - ACCESSIBLE PARKING (cont.) RECOMMND

least 3 square feet in size.

90.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view to a minimum sight distance of 1,320 ft. Screening material shall be subject to Planning Department approval.

90.PLANNING. 12 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 15 USE - TRASH ENCLOSURES RECOMMND

Three (3) trash enclosures which are adequate to enclose a minimum of two (2) bins per enclosure shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 18 USE - REMOVE OUTDOOR ADVERTISE RECOMMND

All existing outdoor advertising displays, signs or billboards shall be removed.

90.PLANNING. 19 USE - WALL & FENCE LOCATIONS RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT A. A six foot high decorative masonry wall combined with an earthen berm or landscaping to provide an eight foot high screen shall be provided around the entire mini-warehouse land use. The exterior side of all perimeter masonry walls shall be coated with a protective coating

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90.PLANNING. 19 USE - WALL & FENCE LOCATIONS (cont.) RECOMMND

that will facilitate the removal of graffiti in accordance with Section 18.46.D.2. of Ord. No. 348.

90.PLANNING. 23 USE - SKR FEE CONDITION RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 663, which generally requires the payment of the appropriate fee set forth in that ordinance.

The amount of the fee required to be paid may vary, depending upon a variety of factors, including the type of development application submitted and the applicability of any fee reduction or exemption provisions contained in Riverside County Ordinance No. 663. Said fee shall be calculated on the approved development project which is anticipated to be 4.79 acres (gross) in accordance with APPROVED EXHIBIT A. If the development is subsequently revised, this acreage amount may be modified in order to reflect the revised development project acreage amount. In the event Riverside County Ordinance No. 663 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 663 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 24 USE - CONDITION COMPLIANCE RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

90.PLANNING. 27 USE - ORD 810 O S FEE RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 20158R1 is calculated to

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90.PLANNING. 27 USE - ORD 810 O S FEE (cont.)

RECOMMND

be 4.64 net acres. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 28 USE - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 20158R1 has been calculated to be 4.79 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 29 USE - WASTE MGMT. CLEARANCE

RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated November 18, 2013, summarized as follows:

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 29 USE - WASTE MGMT. CLEARANCE (cont.) RECOMMND

Prior to final building inspection, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department.

Prior to issuance of an occupancy permit, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition {C&D} materials recycled.

TRANS DEPARTMENT

90.TRANS. 1 USE - WRCOG TUMF RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

90.TRANS. 2 USE STREETLIGHT AUTHORIZATION RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from SCE, IID or other electric provider.

90.TRANS. 3 USE - STREETLIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3 USE - STREETLIGHTS INSTALL (cont.) RECOMMND

that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 4 USE - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 5 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Central Avenue (SH-74) and Conard Avenue.
- (2) Streetlights.
- (3) Traffic signals located on Central Avenue (SH-74) at intersection of Conard Avenue.
- (4) Street sweeping.

90.TRANS. 6 USE - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending

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90.TRANS. 6 USE - IMP PLANS (cont.) RECOMMND

a minimum of 300 feet beyond the limit of construction at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

NOTE: Before you prepare the street improvement plan(s), please review the Street Improvement Plan Policies and Guidelines from the Transportation Department Web site: www.rctlma.org/trans/land_dev_plan_check_guidelines.html.

90.TRANS. 7 USE - LANDSCAPING RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards and Ordinance 461 and shall require approval by the Transportation Department. Landscaping shall be improved within Central Avenue (SH-74) and Conard Avenue.

Assurance of continuous maintenance is required by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division; or if desired the developer may file an application for annexation into Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767.

90.TRANS. 8 USE - CONSTRUCT RAMP RECOMMND

Ramps shall be constructed at 4-way intersections and "T" intersections per Standard No. 403, sheets 1 through 7 of Ordinance 461.

90.TRANS. 9 USE - R-O-W DEDICATION 1 RECOMMND

Sufficient public street right-of-way along Central Avenue (SH-74) shall be conveyed for public use to provide for a 89 foot half-width right-of-way.

Sufficient public street right-of-way along Conard Avenue shall be conveyed for public use to provide for a 30 foot half-width right-of-way.

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90.TRANS. 10 USE - LANDSCAPING

RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way, (or within easements adjacent to the public rights-of-way), in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859.

Landscaping will be improved within Central Avenue (SH-74) and Conard Avenue.

90.TRANS. 11 USE - EXISTING MAINTAINED

RECOMMND

Central Avenue (SH-74) along project boundary is a paved Caltrans maintained road designated EXPRESSWAY and shall be improved with 8" concrete curb and gutter, located 55 feet from centerline to curb line, 8" curbed edge of pavement and landscaped median, and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within the 89 foot half-width dedicated right-of-way in accordance with County Standard No. 83. (55'/89') (Modified for reduced right-of-way from 92' to 89'.)

NOTE: An 8' sidewalk shall be constructed 15' from the curb line within the 34' parkway.

Conard Avenue along project boundary is a paved County maintained road designated LOCAL street and shall be improved with 6" concrete curb and gutter, located 20 feet from centerline to curb line, and match up asphalt concrete paving; reconstruction; or resurfacing of existing paving as determined by the Transportation Department within the 30 foot half-width dedicated right-of-way in accordance with County Standard No. 105, Section C. (40'/60') (Modified)

NOTE: A 5' sidewalk shall be constructed adjacent to the right-of-way line within the 10' parkway.

90.TRANS. 12 USE - SIGNING & STRIPING

RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan or as approved by the Director of Transportation.

PLOT PLAN:TRANSMITTED Case #: PP20158R1

Parcel: 377-372-033

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 13 USE-LNDSCP INSPECTION DEPOSIT

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds in the IP/ST account to cover the costs of the applicable landscape inspection. The deposit required for landscape inspections shall be determined by the Transportation Department, Landscape Section.

The Transportation Department shall clear this condition upon determination of compliance.

90.TRANS. 14 USE-LANDSCAPE INSPECTION RQM

RECOMMND

The permit holder's landscape architect (or on-site representative) is responsible for preparing the landscaping and irrigation plans and shall arrange for an installation inspection with the Transportation Department at least five (5) working days prior to the installation of any landscape or irrigation component.

Upon successful completion of the installation inspection, the applicant will arrange for an 1-year installation inspection at least five (5) working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first, and comply with the Transportation Department's 80.TRANS.9 condition entitled "USE-LANDSCAPE SECURITY" and the 90.TRANS.13 condition entitled "LANDSCAPE INSPECTION DEPOSIT."

Upon successful completion of the installation inspection, the Transportation Department's landscape inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Transportation Department. The Transportation Department shall clear this condition upon determination of compliance.

90.TRANS. 15 USE-COMPLY WITH LNDSCP/IRRGTN

RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Transportation Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with approved conceptual landscape exhibit, landscaping, irrigation, and shading plans. The Transportation Department will verify and inspect that all

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90.TRANS. 15 USE-COMPLY WITH LNDSCP/IRRGTN (cont.) RECOMMND

landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Transportation Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Transportation Department shall clear this condition.

90.TRANS. 16 USE - IMPLEMENT WQMP RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants.

90.TRANS. 17 USE - BMP MAINT AND INSPECTION RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the Transportation Department for review and approval prior to the issuance of occupancy permits.

LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: November 7, 2013

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health – Industrial Hygiene
Riv. Co. Public Health – M. Osur
Riv. Co. Flood Control District
Riv. Co. Fire Department
Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check

Regional Parks & Open Space District
Riv. Co. Environmental Programs Division
P.D. Geology Section
P.D. Landscaping Section
P.D. Archaeology Section
Riv. Co. Sheriff's Dept.
Riv. Co. Waste Management Dept.
1st District Supervisor

1st District Planning Commissioner
City of Lake Elsinore
Lake Elsinore Unified School Dist.
Elsinore Valley Municipal Water Dist.
Southern California Edison
Southern California Gas Co.
CALTRANS Dist. #8

PLOT PLAN NO. 20158, REVISED PERMIT NO. 1 – EA42631 – Applicant: Trip Hord Associates – Engineer/Representative: Jones, Cahl & Associates – Fifth/First Supervisorial District – Meadowbrook Zoning Area – Elsinore Area Plan: Community Development: Business Park (CD:BP) (0.25 - 0.60 Floor Area Ratio) – Location: Northwesterly corner of Conard Avenue and State Highway 74 – 4.79 Acres - Zoning: Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1) - **REQUEST:** The Revised Permit proposes to increase the square footage of the project building footprint for the proposed Self-Storage Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft.) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings; Building E – 37,906 sq. ft. and Building F – 25,531 sq. ft., and four (4) single-story Self-Storage Buildings; Building A 10,396 sq. ft., Building B – 2,100 sq. ft., Building C – 18,807 sq. ft., and Building D – 5,000 sq. ft. The project also proposes to update the Water Quality Management Plan to meet current regional board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to pump out septic tank. – APNs: 377-372-015, 377-372-027, and 377-372-033 – Related Cases: PP20158

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **DRT meeting on December 5, 2013**. All LDC/DRT Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **Damaris Abraham**, Project Planner, at (951) 955-1888 or email at **dabraham@rcplma.org / MAILSTOP# 1070**.

Public Hearing Path: DH: ☒ PC: ☐ BOS: ☐

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: May 12, 2014

TO:
Riv. Co. Fire Department

PLOT PLAN NO. 20158, REVISED PERMIT NO. 1 – EA42631 – Applicant: Trip Hord Associates – Engineer/Representative: Jones, Cahl & Associates – Fifth/First Supervisorial District – Meadowbrook Zoning Area – Elsinore Area Plan: Community Development: Business Park (CD:BP) (0.25 - 0.60 Floor Area Ratio) – Location: Northwesterly corner of Conard Avenue and State Highway 74 – 4.79 Acres - Zoning: Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1) - **REQUEST:** The Revised Permit proposes to increase the square footage of the project building footprint for the proposed Self-Storage Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft.) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings; Building E – 37,906 sq. ft. and Building F – 25,531 sq. ft., and four (4) single-story Self-Storage Buildings; Building A 10,396 sq. ft., Building B – 2,100 sq. ft., Building C – 18,807 sq. ft., and Building D – 5,000 sq. ft. The project also proposes to update the Water Quality Management Plan to meet current regional board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to pump out septic tank. – APNs: 377-372-015, 377-372-027, and 377-372-033 – Related Cases: PP20158

Please provide all comments or clearance. Should you have any questions regarding this item, please do not hesitate to contact **Damaris Abraham**, Project Planner, at **(951) 955-5719** or email at dabraham@rctlma.org / **MAILSTOP# 1070**.

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

*If you do not include this transmittal in your response, please include a reference to the case number and project planner's name.
Thank you.*

LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: May 15, 2014

TO:

Riv. Co. Transportation Dept. – Landscaping
Section

PLOT PLAN NO. 20158, REVISED PERMIT NO. 1 – EA42631 – Applicant: Trip Hord Associates – Engineer/Representative: Jones, Cahl & Associates – Fifth/First Supervisorial District – Meadowbrook Zoning Area – Elsinore Area Plan: Community Development: Business Park (CD:BP) (0.25 - 0.60 Floor Area Ratio) – Location: Northwesterly corner of Conard Avenue and State Highway 74 – 4.79 Acres - Zoning: Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1) - **REQUEST:** The Revised Permit proposes to increase the square footage of the project building footprint for the proposed Self-Storage Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft.) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings; Building E – 37,906 sq. ft. and Building F – 25,531 sq. ft., and four (4) single-story Self-Storage Buildings; Building A 10,396 sq. ft., Building B – 2,100 sq. ft., Building C – 18,807 sq. ft., and Building D – 5,000 sq. ft. The project also proposes to update the Water Quality Management Plan to meet current regional board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to pump out septic tank. – APNs: 377-372-015, 377-372-027, and 377-372-033 – Related Cases: PP20158

Please provide all comments or clearance. Should you have any questions regarding this item, please do not hesitate to contact **Damaris Abraham**, Project Planner, at **(951) 955-5719** or email at dabraham@rctlma.org / **MAILSTOP# 1070**.

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

*If you do not include this transmittal in your response, please include a reference to the case number and project planner's name.
Thank you.*



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

November 18, 2013

Damaris Abraham, Project Planner
Riverside County Planning Department
P.O. Box No. 1409
Riverside, CA 92502-1409

RE: Plot Plan (PP) 20158, Revised Permit No. 1 – Increase the Total Square Footage of the Building Area of a Previously Approved Self-Storage Facility (APN: 377-372-015)

Dear Ms. Abraham:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project, located northwesterly corner of Conard Avenue and State Highway 74 within the Elsinore Area Plan. In order to mitigate the potential solid waste impacts of PP 20158R1 and help the County comply with AB 939 (Integrated Waste Management Act), AB 1327 (California Solid Waste Reuse and Recycling Access Act), the California Green Building Standards, and AB 341 (Mandatory Commercial Recycling) through diverting solid waste from landfill disposal, the Department recommends that the following conditions be made a part of any Conditions of Approval for PP 20158R1:

1. **Prior to issuance of a building permit**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department.
3. **Prior to issuance of a building permit**, A Waste Recycling Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by demolition, construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction,

the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

4. **Prior to issuance of an occupancy permit, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.**
5. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234.
6. AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. **A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:**
 - **Source separate recyclable and/or compostable material from solid waste and donate or self-haul the material to recycling facilities.**
 - **Subscribe to a recycling service with their waste hauler.**
 - **Provide recycling service to their tenants (if commercial or multi-family complex).**
 - **Demonstrate compliance with the requirements of California Code of Regulations Title 14.**

For more information, please visit:

www.rivcowm.org/opencms/recycling/recycling_and_compost_business.html#mandatory

7. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

8. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3283.

Sincerely,

A handwritten signature in black ink, appearing to read 'Sung Key Ma', with a long horizontal flourish extending to the right.

Sung Key Ma
Urban/Regional Planner IV

PD #145475

DEPARTMENT OF TRANSPORTATION

DISTRICT 8

PLANNING (MS 1221)

464 WEST 4th STREET, 6th Floor

SAN BERNARDINO, CA 92401-1400

PHONE (909) 383-4557

FAX (909) 383-6890

TTY (909) 383-6300

www.dot.ca.gov/dist8

*Flex your power!
Be energy efficient!***RECEIVED**
NOV 18 2013
ADMINISTRATION
RIVERSIDE COUNTY
PLANNING DEPARTMENT

November 14, 2013

Damaris Abraham

Project Planner

Riverside County Planning Department

P.O. Box 1409

Riverside, CA 92502-1409

Plot Plan No.20158 Revised Permit No.1 (SR-74 PM 17.84)

Mr. Abraham,

We have completed our initial review for the above mentioned proposal to increase the square footage of the project building footprint for the proposed Self-Storage Facility. The project is now proposing a total 103,661 square foot building area (an increase of 2,000 square feet) with a 3,921 square foot Office Building.

As the owner and operator of the State Highway System (SHS), it is our responsibility to coordinate and consult with local jurisdictions when proposed development may impact our facilities. As the responsible agency under the California Environmental Quality Act (CEQA), it is also our responsibility to make recommendations to offset associated impacts with the proposed project. Although the project is under the jurisdiction of the City of Hemet due to the Project's potential impact to State facilities it is also subject to the policies and regulations that govern the SHS.

We recommend the following to be provided:

Encroachment

- Issuance of a Caltrans Encroachment Permit will be required prior to any construction within State right-of-way. In addition, all work undertaken with State Route 74 shall be in compliance to all current design standards, applicable policies, and construction practices.
- Review and approval of street, grading and drainage construction plans will be necessary prior to permit issuance. Information regarding permit application and submittal requirements may be obtained by contacting:

Mr. Abraham
November 14, 2013
Page 2

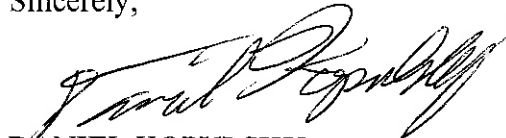
Office of Encroachment Permits
Department of Transportation
464 West 4th Street, 6th Floor, MS-619
San Bernardino, CA 92401-1400
(909) 383-4526

Drainage

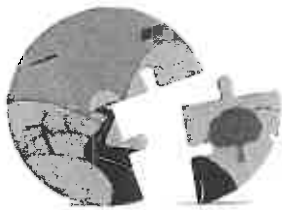
- All tributary runoff areas, existing area drainage facilities, and proposed project drainage design should be clearly identified and analyzed in a comprehensive project drainage study. To the extent possible, the drainage study should include impacts associated with drainage facilities to be constructed with new freeway interchange.
- The extent of potential impact to nearby State transportation facilities cannot be verified using information provided

We appreciate the opportunity to offer comments concerning this project. If you have any questions regarding this letter, please contact Talvin Dennis at (909) 383-6908 or myself at (909) 383-4557 for assistance.

Sincerely,



DANIEL KOPULSKY
Office Chief
Community and Regional Planning



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

CC006489

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- ☐ PLOT PLAN ☐ CONDITIONAL USE PERMIT ☐ TEMPORARY USE PERMIT
☒ REVISED PERMIT ☐ PUBLIC USE PERMIT ☐ VARIANCE

PROPOSED LAND USE: Revised Permit for PP 20158. Mini-Storage Project

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: Article X (I-P) a (1) g)2

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP 20158 R1

DATE SUBMITTED: 10-22-13

APPLICATION INFORMATION

Applicant's Name: Trip Hord Associates

E-Mail: ambrosehord@gmail.com

Mailing Address: P.O. Box 1235
Riverside CA 92502
City State ZIP

Daytime Phone No: (951) 684-9615 Fax No: (951) 789-4951

Engineer/Representative's Name: Jones, Cahl Associates - Dick Cahl E-Mail: jca@jonescahl.com

Mailing Address: 18090 Beach Blvd
Huntington Beach, CA 92648
City State ZIP

Daytime Phone No: (714) 848-0566 Fax No: ()

Property Owner's Name: 74 Central Self Storage, LLC E-Mail: rich@investecre.com

Mailing Address: 200 E. Camarillo St #200
Santa Barbara CA 93101
City State ZIP

Daytime Phone No: (805) 962-8989 x304 Fax No: ()

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR LAND USE PROJECT

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Trip Hord Associates

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

74 Central Self Storage, LLC

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

☐ See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 377-372-015, 027, & 033

Section: 30 Township: 5 South Range: 4 West

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage. 3 / 5.08 AC.

General location (nearby or cross streets): North of Conard, South of VACANT LAND, WEST East of Hwy 74 (Central), EAST West of 8th Street

Thomas Brothers map, edition year, page number, and coordinates: 866 E-1

Project Description: (describe the proposed project in detail)

Revise Approved Plot Plan 20158 by (1) Increasing leasable square footage (21000 SF.)

(2) Modifying approved architecture and floor plans (3) Updating Preliminary Water Quality

Management Plan (PWQMP) to comply with Regional Water Quality Control Board MS4 Permit

(4) method of sewage disposal will be on site waste water treatment.

Related cases filed in conjunction with this application:

None

Is there a previous application filed on the same site: Yes ☒ No ☐

If yes, provide Case No(s). PP20158; CZ 7107 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) EA 39984 E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes ☒ No ☐

If yes, indicate the type of report(s) and provide a copy: PDB03601;GEO01976

Is water service available at the project site: Yes ☒ No ☐

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes ☒ No ☐

Is sewer service available at the site? Yes ☐ No ☒

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes ☐ No ☒

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 7,000 cy

APPLICATION FOR LAND USE PROJECT

Estimated amount of fill = cubic yards 3,500 cy

Does the project need to import or export dirt? Yes ☐ No ☒

Import _____ Export _____ Neither ☒

What is the anticipated source/destination of the import/export?

N/A

What is the anticipated route of travel for transport of the soil material?

N/A

How many anticipated truckloads? N/A truck loads.

What is the square footage of usable pad area? (area excluding all slopes) 167,784 sq. ft.

Is the project located within 8½ miles of March Air Reserve Base? Yes ☐ No ☒

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes ☐ No ☒

Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: <http://cmluca.projects.atlas.ca.gov/>) Yes ☐ No ☒

Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes ☐ No ☒

Does the project area exceed one acre in area? Yes ☒ No ☐

Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

☒ Santa Ana River

☐ Santa Margarita River

☐ Whitewater River

Please note: If your project is within the San Jacinto River as shown on the RCLIS, please check Santa Ana River above and use the Santa Ana River worksheet, "Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP) within the Santa Ana River Region" on the following pages.

APPLICATION FOR LAND USE PROJECT

HAZARDOUS WASTE AND SUBSTANCES STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project and any alternatives are located on an identified site and shall specify any lists. Under the statute, no application shall be accepted as complete without this signed statement.

I (We) certify that I (we) have investigated our project and any alternatives with respect to its location on an identified hazardous waste site contained on all lists compiled pursuant to Government Code Section 65962.5 and that my (our) answers are true and correct. My (Our) investigation has shown that:

☒ The development project and any alternatives proposed in this application are not contained on the lists compiled pursuant to Section 65962.5 of the Government Code.

☐ The development project and any alternatives proposed in this application are contained on the lists compiled pursuant to Section 65962.5 of the Government Code. Accordingly, the following information is provided and incorporated herein. Attach a separate sheet setting forth the following information with respect to each list.

Name of Applicant:

Address:

Phone number:

Address of site (street name and number if available, and ZIP Code):

Local Agency: County of Riverside

Assessor's Book Page, and Parcel Number:

Specify any list pursuant to Section 65962.5 of the Government Code:

Regulatory Identification number:

Date of list:

Applicant (1) Trip Hord Associates - [Signature] Date 10/03/2013

Applicant (2) _____ Date _____

HAZARDOUS MATERIALS DISCLOSURE STATEMENT

Government Code Section 65850.2 requires the owner or authorized agent for any development project to disclose whether:

1. Compliance will be needed with the applicable requirements of Section 25505 and Article 2 (commencing with Section 25531) of Chapter 6.95 of Division 20 of the Health and Safety Code or the requirements for a permit for construction or modification from the air pollution control district or air quality management district exercising jurisdiction in the area governed by the County.

Yes ☐ No ☒

NOTICE OF PUBLIC HEARING
and
**INTENT TO CERTIFY AN ADDENDUM TO AN
MITIGATED NEGATIVE DECLARATION (MND)**

A **PUBLIC HEARING** has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY DIRECTOR'S HEARING** to consider the project shown below:

PLOT PLAN NO. 20158, REVISED PERMIT NO. 1 – Consider an Addendum to an adopted Mitigated Negative Declaration – Applicant: Trip Hord Associates – First Supervisorial District – Meadowbrook Zoning Area – Elsinore Area Plan: Community Development: Business Park (CD:BP) (0.25 - 0.60 Floor Area Ratio) – Location: Northwesterly corner of Conrad Avenue and State Highway 74 – 4.79 Gross Acres – Zoning: Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1) – **REQUEST:** The Revised Permit to the approved Plot Plan proposes to increase the square footage of the project building footprint for the proposed Self-Storage (a mini-warehouse) Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft. mainly with Building F) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings (Building E – 37,906 sq. ft. and Building F – 25,531 sq. ft.), and four (4) single-story Self-Storage Buildings (Building A – 10,396 sq. ft., Building B – 2,100 sq. ft., Building C – 18,807 sq. ft., and Building D – 5,000 sq. ft.). The project also proposes to update the Water Quality Management Plan to meet current regional board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to an Onsite Wastewater Treatment System (OWTS). (Quasi-Judicial)

TIME OF HEARING: 1:30 p.m. or as soon as possible thereafter.
DATE OF HEARING: **FEBRUARY 9, 2015**
PLACE OF HEARING: County Administrative Center
First Floor, Conference Room 2A
4080 Lemon Street
Riverside, CA 92501

For further information regarding this project, please contact project planner, Damaris Abraham at (951) 955-5719 or e-mail dabraham@rctlma.org, or go to the County Planning Department's Director's Hearing agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above-described project will not have a significant effect on the environment and has recommended certification of an addendum to an MND. The Planning Director will consider the proposed project, and the proposed addendum, at the public hearing.

The case file for the proposed project, and the final environmental impact report, may be viewed Monday through Friday, from 8:00 A.M. to 5:00 P.M. at the Planning Department office, located at 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Any person wishing to comment on the proposed project may do so in writing between the date of this notice and the public hearing; or, may appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Director, and the Planning Director will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If this project is challenged in court, the issues may be limited to those raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing. Be advised that as a result of public hearings and comment, the Planning Director may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:

RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Damaris Abraham, P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 12/10/2014,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 20158 R1 For

Company or Individual's Name Planning Department,

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

TITLE GIS Analyst

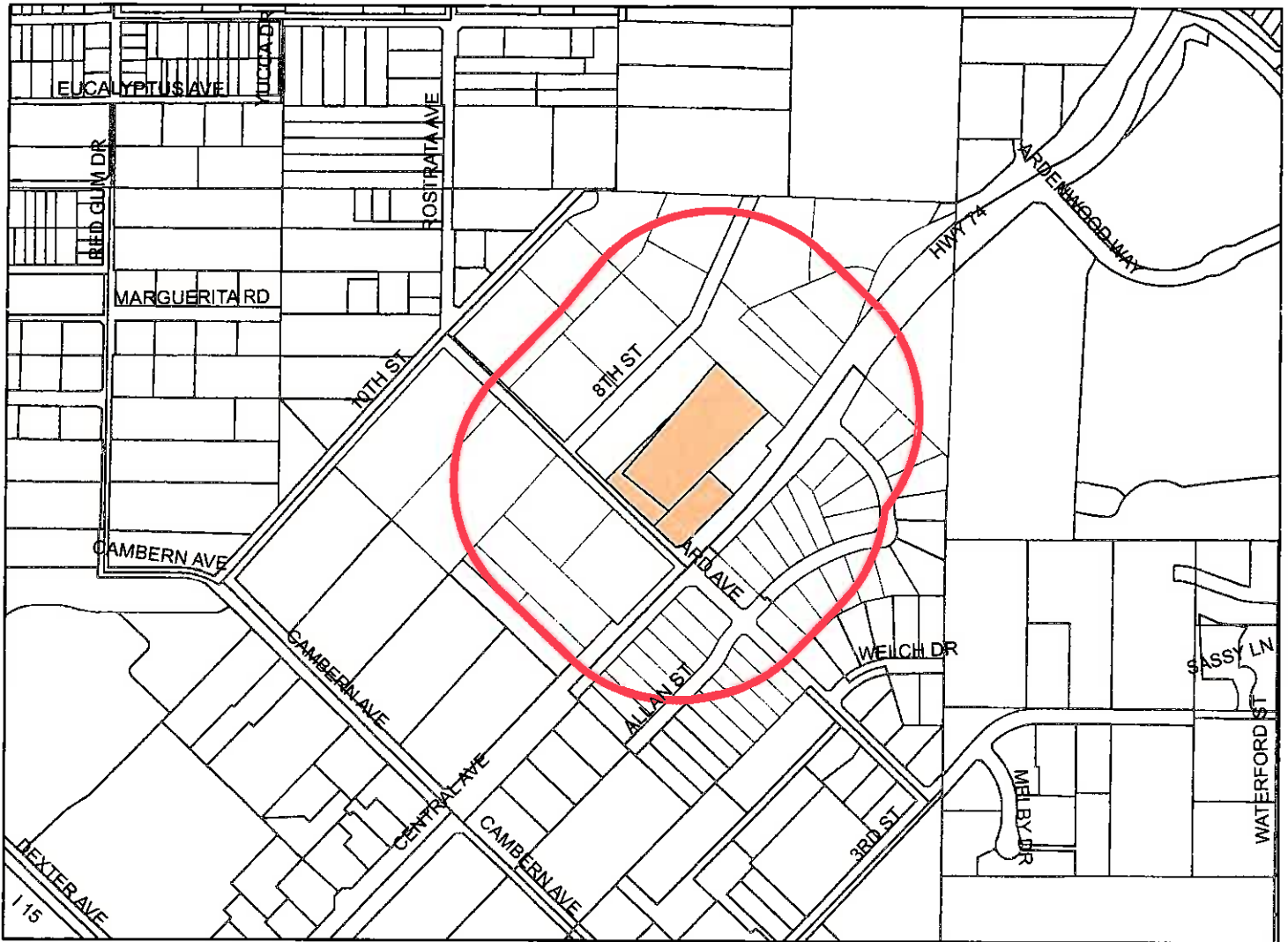
ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

LAA
copies
6/10/15

PP20158R1 (600 feet buffer)



Selected Parcels

377-372-015	377-372-027	377-372-033	377-372-032	377-403-003	377-392-001	377-372-009	377-372-035	377-372-039	377-392-008
377-371-005	377-404-006	377-020-003	377-403-005	377-391-004	377-391-002	377-391-003	377-371-003	377-371-006	377-371-010
377-392-006	377-401-001	377-391-011	377-404-008	377-392-007	377-404-004	377-392-009	377-404-007	377-392-002	377-371-011
377-391-008	377-404-003	377-391-012	377-372-017	377-392-005	377-371-008	377-391-010	377-371-004	377-392-004	377-392-003
377-372-008	377-372-036	377-372-037	377-373-011	377-391-009	377-401-002	377-403-002	377-372-038	377-403-004	377-020-004
377-020-023	377-020-025	377-404-002	377-403-001	377-404-005	377-391-020	377-020-026	377-020-001	377-020-002	



525 262.5 0 525 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 377020002, APN: 377020002
XIU SHI
30351 BEAR RIVER DR
CANYON LAKE CA 92587

ASMT: 377371005, APN: 377371005
CHARLES CLIFFORD
5523 SECREST DR
LOS ANGELES CA 90043

ASMT: 377020003, APN: 377020003
ANDREA SIMS, ETAL
33280 HOLLISTER ST
LAKE ELSINORE CA 92530

ASMT: 377371006, APN: 377371006
JUAN GARCIA, ETAL
28830 10TH ST
LAKE ELSINORE, CA. 92532

ASMT: 377020004, APN: 377020004
STATE OF CALIFORNIA
DIVISION OF HIGHWAYS
P O BOX 231
SAN BERNARDINO CA 92403

ASMT: 377371008, APN: 377371008
JEFFERY BRODIE, ETAL
C/O JEFFREY BRODIE
28815 8TH ST
LAKE ELSINORE, CA. 92532

ASMT: 377020025, APN: 377020025
BILLY VANMETER, ETAL
C/O BILLY VAN METER
30239 CALLE BELCANTO
MENIFEE CA 92584

ASMT: 377371010, APN: 377371010
GABRIEL SOLEDAD
28821 8TH ST
LAKE ELSINORE, CA. 92532

ASMT: 377020026, APN: 377020026
ROSALYNE HALL, ETAL
45935 VIA ESPERANZA
TEMECULA CA 92590

ASMT: 377371011, APN: 377371011
JOSE GALVAN
28800 10TH ST
LAKE ELSINORE, CA. 92532

ASMT: 377371003, APN: 377371003
SUSAN TAFOYA, ETAL
403 N 1200 W
SALT LAKE CTY UT 84116

ASMT: 377372017, APN: 377372017
LAURIE LABBITT
28830 8TH ST
LAKE ELSINORE, CA. 92532

ASMT: 377371004, APN: 377371004
PATRICIA ROSALES, ETAL
28841 8TH ST
LAKE ELSINORE CA 92532

ASMT: 377372027, APN: 377372027
74 CENTRAL SELF STORAGE
C/O GENE EITEL
27403 YNEZ RD NO 218
TEMECULA CA 92591



ASMT: 377372032, APN: 377372032
ABDALLAH MATTA
18770 CONRAD ST
LAKE ELSINORE, CA. 92532

ASMT: 377372033, APN: 377372033
74 CENTRAL SELF STORAGE
C/O RICHARD L RIDGWAY
200 E CARRILLO ST NO 200
SANTA BARBARA CA 93101

ASMT: 377372037, APN: 377372037
PACIFIC GLOBAL DEV
1554 S ST ANDREWS PL
LOS ANGELES CA 90019

ASMT: 377372038, APN: 377372038
MAURA PERDUE, ETAL
41919 MORENO RD STE A
TEMECULA CA 92590

ASMT: 377372039, APN: 377372039
ARROYO DEL TORO EQQ
28051 TEFIR
MISSION VIEJO CA 92692

ASMT: 377373011, APN: 377373011
PLAZA APARTMENTS INV
C/O R & V MANAGEMENT CORP
3444 CAMINO DEL RIO N 202
SAN DIEGO CA 92109

ASMT: 377391002, APN: 377391002
SUSAN CASTRO, ETAL
1109 S PARTON ST
SANTA ANA CA 92707

ASMT: 377391003, APN: 377391003
GLADYS HINOJOSA, ETAL
28962 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377391004, APN: 377391004
DORA MUNOZ, ETAL
28978 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377391008, APN: 377391008
JULIO BUSTOS
29042 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377391009, APN: 377391009
VIVIAN BALTHROPE, ETAL
29058 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377391010, APN: 377391010
MARIA LOTTERER
29074 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377391011, APN: 377391011
JAMES OBRIEN FAMILY PROP
10427 SAN SEVAINE STE H
MIRA LOMA CA 91752

ASMT: 377391012, APN: 377391012
EMILY ARAGON, ETAL
29106 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377391020, APN: 377391020
VIRGINIA SHERFEY
28930 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377392007, APN: 377392007
JERRY WESSELING
28971 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377392001, APN: 377392001
TERESA BECERRA, ETAL
29111 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377392008, APN: 377392008
BAY NGUYEN
28949 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377392002, APN: 377392002
MARIA VALENCIA, ETAL
29101 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377392009, APN: 377392009
EMILIE KELTY, ETAL
28933 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377392003, APN: 377392003
MO PROP INC
1301 W 19TH ST
UPLAND CA 91784

ASMT: 377401001, APN: 377401001
IDA WEINREICH
8791 HILLCREST RD
BUENA PARK CA 90621

ASMT: 377392004, APN: 377392004
SALVADOR CURIEL, ETAL
29083 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377401002, APN: 377401002
KELLY BONNER, ETAL
29122 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377392005, APN: 377392005
LILIANA RODRIGUEZ, ETAL
29075 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377403001, APN: 377403001
CAROL SOLIS JONES, ETAL
29138 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377392006, APN: 377392006
GREGORIO MUNIZ
29059 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377403002, APN: 377403002
TAKAKO MCCLARY, ETAL
29146 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377403003, APN: 377403003
ALLAN ST LAKE ELSINORE INC
C/O EZZEDDINE ITANI
29154 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377403004, APN: 377403004
SARETH LOEUNG
29170 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377403005, APN: 377403005
VALERIE MATTESON, ETAL
29186 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377404002, APN: 377404002
THOMAS PACHECO
29225 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377404003, APN: 377404003
KIMBERLY PALACIOS
20631 FOX DEN RD
WILDOMAR CA 92595

ASMT: 377404004, APN: 377404004
CHERICE BRANSON, ETAL
29193 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377404005, APN: 377404005
TU NGUYEN
1634 VIA MODENA WAY
CORONA CA 92881

ASMT: 377404006, APN: 377404006
MARJORIE LAGRONE, ETAL
29161 ALLAN ST
LAKE ELSINORE, CA. 92532

ASMT: 377404007, APN: 377404007
J & amp, ETAL
C/O J & K TRUST
29147 ALLAN ST
LAKE ELSINORE CA 92530

ASMT: 377404008, APN: 377404008
JASON LEMMON
29139 ALLAN ST
LAKE ELSINORE, CA. 92532

Southern California Edison
2244 Walnut Grove Ave., Rm 312
P.O. Box 600
Rosemead, CA 91770

Lake Elsinore Unified School District
545 Chaney St.
Lake Elsinore, CA 92530

Elsinore Valley
Municipal Water District
31315 Chaney St.
P.O. Box 3000
Elsinore, CA 92531

The Gas Company
7000 Indiana Ave., #105
Riverside, CA 92506

CALTRANS District #8
ATTN: Dan Kopulsky
464 W. 4th St., 6th Floor
Mail Stop 725
San Bernardino, CA 92401-1400

City of Lake Elsinore
130 Main St.
Lake Elsinore, CA 92530

Applicant:
Trip Hord Associates
P.O. Box 1235
Riverside, CA 92502

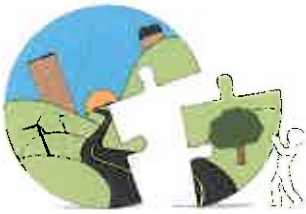
Engineer:
Jones, Cahl Associates
18090 Beach Blvd,
Huntington Beach, CA 92648

Owner:
Rich Ridgway
74 Central Self Storage, LLC.
c/o Investec
200 E. Camarillo St. #200
Santa Barbara, CA 93101

Applicant:
Trip Hord Associates
P.O. Box 1235
Riverside, CA 92502

Engineer:
Jones, Cahl Associates
18090 Beach Blvd,
Huntington Beach, CA 92648

Owner:
Rich Ridgway
74 Central Self Storage, LLC.
c/o Investec
200 E. Camarillo St. #200
Santa Barbara, CA 93101



RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez
Interim Planning Director

TO: ☐ Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
☒ County of Riverside County Clerk

FROM: Riverside County Planning Department
☒ 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

☐ 38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42631/PP20158R1

Project Title/Case Numbers

Damaris Abraham

County Contact Person

(951) 955-5719

Phone Number

N/A

State Clearinghouse Number (if submitted to the State Clearinghouse)

Trip Hord Associates

Project Applicant

P.O. Box 1235, Riverside, CA 92502

Address

The project is located northwesterly corner of Conrad Avenue and State Highway 74.

Project Location

The Revised Permit to the approved Plot Plan proposes to increase the square footage of the project building footprint for the proposed Self-Storage (a mini-warehouse) Facility. The project is now proposing a total of 103,661 sq. ft. building area (an increase of approximately 2,000 sq. ft.) with 3,921 sq. ft. Office Building, two (2) two-story Self-Storage Buildings (Building E – 37,906 sq. ft. and Building F – 25,531 sq. ft.), and four (4) single-story Self-Storage Buildings (Building A – 10,396 sq. ft., Building B – 2,100 sq. ft., Building C – 18,807 sq. ft., and Building D – 5,000 sq. ft.). The project also proposes to update the Water Quality Management Plan to meet current regional board criteria, update architectural elevations and floor plans, and change sewer disposal method from sewer to pump out septic tank. Pursuant to CEQA Guidelines 15162, the proposed project would not have a significant effect on the environment and nothing further is required because all potentially significant effects have been adequately analyzed in a previously adopted Mitigated Negative Declaration pursuant to applicable legal standards; and have been avoided or mitigated pursuant to that previously adopted Mitigated Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project as indicated in the staff report findings for this project, which is incorporated herein by reference.

Project Description

This is to advise that the Riverside County Planning Director, as the lead agency, has approved the above-referenced project on February 9, 2015, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. An Addendum to adopted EA No. 39984 was prepared for the project pursuant to the provisions of the California Environmental Quality Act Proof of prior payment + \$50.00 and reflect the independent judgment of the Lead Agency.
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.
6. Findings were made pursuant to the provisions of CEQA.

This is to certify that the earlier EA, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Project Planner

Title

February 9, 2015

Date

Date Received for Filing and Posting at OPR: _____

DM/dm Revised 12/15/2014

Y:\Planning Case Files-Riverside office\PP20158R1\DH-PC-BOS Hearings\DH-PC\PP20158R1.NOD Form.docx

Please charge deposit fee case#: ZEA42631 ZCFG6008

FOR COUNTY CLERK'S USE ONLY

STATE OF CALIFORNIA - THE RESOURCES AGENCY
DEPARTMENT OF FISH AND GAME
ENVIRONMENTAL FILING FEE CASH RECEIPT

Receipt # 200801277

Lead Agency: COUNTY PLANNING Date: 12/30/2008

County Agency of Filing: Riverside Document No: 200801277

Project Title: EA 39984; CA 7107; PPN 20158

Project Applicant Name: 74 SELF STORAGE, LLC/ RICK HANSON Phone Number:

Project Applicant Address: 22205 SHADY RIM CIRCLE LAKE FOREST, CA 92630

Project Applicant: Local Public Agency

CHECK APPLICABLE FEES:

☐ Environmental Impact Report

☒ Negative Declaration

☐ Application Fee Water Diversion (State Water Resources Control Board Only)

☐ Project Subject to Certified Regulatory Programs

☒ County Administration Fee

☐ Project that is exempt from fees (DeMinimis Exemption)

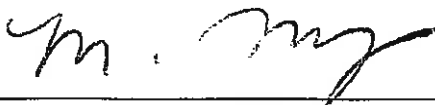
☐ Project that is exempt from fees (Notice of Exemption)

1876.75

\$64.00

Total Received 1940.75

Signature and title of person receiving payment:



Notes:

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY

George A. Johnson - Agency Director

Planning Department

Ron Goldman - Planning Director

TO: ☐ Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
☒ County of Riverside Clerk

FROM: Riverside County Planning Department
☒ 4080 Lemon Street, 9th Floor
P. O. Box 1409
Riverside, CA 92502-1409

☐ 38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA 39984, Change of Zone No. 7107, Plot Plan No. 20158

Project Title/Case Numbers

Jeff Childers
County Contact Person

(951) 955-3626
Phone Number

N/A

State Clearinghouse Number (if submitted to the State Clearinghouse)

74 Self Storage, LLC / Rick Hanson
Project Applicant

22205 Shady Rim Circle, Lake Forest, CA 92630
Address

Northerly of Conard Avenue, and westerly of State Highway 74 within the Elsin
Project Location

The Change of Zone proposes to change the project site's current zoning classification from Scenic Highway Commercial (C-P-S) to a combination of Industrial Park (I-P) and Watercourse, Watershed & Conservation Areas (W-1). The Plot Plan proposes the construction and operation of a Self-Storage Facility on a 4.9 net acre site. The facility includes a 3,854 sq. ft. Office Building, two (2) two-story Self-Storage Buildings, and four (4) single-story Self-Storage Buildings. The development proposal includes a total of 101,727 sq. ft. of building area, 25,612 sq. ft. of landscaping, 41,062 sq. ft. of open space, and four (4) parking spaces.

Project Description

Adopted by the Board of Supervisors on December 23, 2008.

This is to advise that the Riverside County Planning Commission, as the lead agency, has approved the above-referenced project on November 5, 2008, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act. (\$1,876.75 plus \$64.00)
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 9th Floor, Riverside, CA 92501.

Verified by C. Foley, Deputy
Catherine Foley for NANCY ROMERO Clerk of the Board

[Signature]
Signature

Carla Regional Planner IV 11-17-08
Title Date

Date Received for Filing and Posting at OPR: _____

Y:\Planning Case Files-Riverside office\PP20158\NOD Form pp20158.doc Revised 01/15/08

12.09.08 16.1; ORD. 348.4631 12.23.08 2.9

Please charge deposit fee case#: ZEA39984 ZCFG3446

FOR COUNTY CLERK'S USE ONLY

FILED
RIVERSIDE COUNTY

DEC 30 2008

LARRY W. WARD, CLERK

By [Signature] B. Reese
Deputy

COUNTY CLERK
Neg Declaration/Ntc Determination
Filed per P.R.C. 21152
POSTED

DEC 30 2008

Removed: 1-30-09
By: [Signature] Dept.
County of Riverside, State of California

12.23.08 2.9

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY

George A. Johnson · Agency Director

Planning Department

Ron Goldman · Planning Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: EA39984, Change of Zone No. 7107, Plot Plan No. 20158

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Jeff Childers Title: Project Planner Date: October 7, 2008

Applicant/Project Sponsor: 74 Self Storage, LLC Date Submitted: January 12, 2005

ADOPTED BY: Planning Commission

Person Verifying Adoption: Jeff Childers Date: November 5, 2008
Adopted by the Board of Supervisors on December 23, 2008.

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 9th Floor, Riverside, CA 92501

For additional information, please contact Jeff Childers at (951) 955-3626.

Verified by [Signature], Deputy
Catherine Foley for NANCY ROMERO Clerk of the Board

Revised: 10/16/07

Y:\Planning Case Files-Riverside office\PP20158\Mitigated Negative Declaration PP20158.doc

Please charge deposit fee case#: ZEA39984 ZCFG3446

FOR COUNTY CLERK'S USE ONLY

[Empty box for County Clerk's Use Only]

12.23.08 2.9

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

M* REPRINTED * R0804470

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

82675 Highway 111
Room 209
Indio, CA 92201
(760) 863-8271

Received from: 74-CENTRAL SELF STORAGE LLC

\$1,876.75

paid by: CK 91

FISH AND GAME DOC FEE FOR PP20158/CZ07107/EA39984

paid towards: CFG03446

CALIF FISH & GAME: DOC FEE

at parcel:

appl type: CFG3

By

MBRASWEL

May 01, 2008 11:12

posting date May 01, 2008

Account Code
658353120100208100

Description
CF&G TRUST

Amount
\$1,876.75

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

M* REPRINTED * R0500653

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

82675 Highway 111
Room 209
Indio, CA 92201
(760) 863-8271

Received from: 74-CENTRAL SELF STORAGE LLC
paid by: CK 16

\$64.00

FISH AND GAME DOC FEE FOR PP20158/CZ07107/EA39984
paid towards: CFG03446 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By DFOGLE Jan 12, 2005 09:28
posting date Jan 12, 2005

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

D* REPRINTED * R1310094

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: TRIP HORD ASSOCIATES \$50.00
paid by: CK 106
EA42631
paid towards: CFG06008 CALIF FISH & GAME: DOC FEE
at parcel: 18730 CONARD AVE LELS
appl type: CFG3

By _____ Oct 22, 2013 12:01
MGARDNER posting date Oct 22, 2013

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!