

PLANNING DEPARTMENT

Steve Weiss, AICP Planning Director

1:30 P.M. JUNE 16, 2015

AGENDA RIVERSIDE COUNTY PLANNING DEPARTMENT DIRECTOR'S HEARING

DESERT PERMIT ASSISTANCE CENTER 77-588 El Duna Court, Suite H Palm Desert. CA 92211

NOTE: Please be aware that the indicated staff recommendation shown below for each item may differ from that presented to the Planning Director during the public hearing.

If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Planning Director. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s).

In compliance with the Americans with Disabilities Act, if you require reasonable accommodations, please contact Mary Stark at (951) 955-7436 or e-mail at mcstark@rctlma.org. Requests should be made 72 hours in advance or as soon as possible prior to the scheduled meeting. Alternative formats are available upon request.

- 1.0 CONSENT CALENDAR:
 - 1.1 **NONE**
- 2.0 PUBLIC HEARINGS CONTINUED ITEMS: 1:30 p.m. or as soon as possible thereafter.
 - 2.1 **NONE**
- 3.0 PUBLIC HEARINGS NEW ITEMS: 1:30 p.m. or as soon as possible thereafter:
 - 3.1 **PLOT PLAN NO. 25673** Intent to Adopt a Mitigated Negative Declaration Applicant: Gabriela Marks Eng-Rep: Marks Architects Fourth Supervisorial District Bermuda Dunes Zoning District Western Coachella Valley Community Area Plan: Community Development: Commercial Retail (CD: CR) (0.20 0.35 FAR) Zoning: Scenic Highway Commercial (C-P-S) Location: North of Market Place, south of Wildcat Drive, west of Washington Street and east of Berkey Drive Project Area: 0.66 Acres **REQUEST:** The Plot Plan proposes a 2,036 square foot fast food

FINAL: 06/04/15

DIRECTOR'S HEARING JUNE 16, 2015

restaurant building up to approximately 22 feet in height with indoor/outdoor seating, drive-thru lane, signage, and 19 parking spaces. Business hours of operation are proposed between 6:00 a.m. and 1:00 a.m. Project Planner: Jay Olivas at (760) 863-7050 or email at jolivas@rctlma.org.

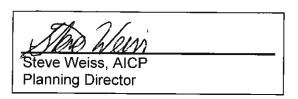
4.0 PUBLIC COMMENTS:

Agenda Item No.: 3.1

Area Plan: Western Coachella Valley Zoning District: Bermuda Dunes Supervisorial District: Fourth Project Planner: Jay Olivas Directors Hearing: June 16, 2015 **PLOT PLAN NO. 25673**

Environmental Assessment No. 42729

Applicant: Marks Architects



COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

PLOT PLAN NO. 25673 proposes a 2,036 square foot fast food restaurant building up to approximately 22 feet in height with indoor/outdoor seating, drive-thru lane, signage, and 19 parking spaces. Business hours of operation are proposed between 6:00 a.m. and 1:00 a.m.

The project is located northerly of Market Place, south of Wildcat Drive, west of Washington Street and east of Berkey Drive.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use: Commercial Retail (0.20 - 0.35 Floor Area Ratio)

2. Surrounding General Plan Land Use: Community Development: Commercial Retail (CD:

CR), Light Industrial (CD: LI), Medium Density Residential (CD: MDR); Medium High Density Residential (CD: MHDR); Open Space—

Recreation (OS-R)

3. Existing Zoning: Scenic Highway Commercial (C-P-S)

4. Surrounding Zoning: Specific Plan (S-P); Scenic Highway Commercial

(C-P-S), Industrial Park (I-P), General Commercial

(C-1/C-P)

Existing Land Use: Vacant

6. Surrounding Land Use: Commercial retail, bank, single family residential,

hotels, restaurants, golf cart shop, vacant land

7. Project Data: Total Acreage: 0.66 acres

8. Environmental Concerns: See attached Environmental Assessment

RECOMMENDATIONS:

<u>ADOPT</u> MITIGATED NEGATIVE DECLARATION for ENVIRONMENTAL ASSESSMENT NO. 42729 and the MITIGATION MEASURES set forth herein based on the findings incorporated in the initial study, the staff report, and the conclusion that the project will not have a significant effect on the environment; and,

<u>APPROVE</u> PLOT PLAN NO. 25673 subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

<u>FINDINGS</u>: The following findings are in addition to those incorporated in the summary of findings which is incorporated herein by reference.

- 1. The project site is designated Commercial Retail (C-R) on the Western Coachella Valley Area Plan.
- 2. The proposed use, a fast food restaurant building, is a permitted use in the Commercial Retail (C-R) land use designation.
- 3. The project site is surrounded by properties which are designated Community Development: Commercial Retail (CD: CR), Light Industrial (CD: LI), Medium Density Residential (CD: MDR); Medium High Density Residential (CD: MHDR); Open Space—Recreation (OS-R).
- 4. The project site is not located within a general plan policy area.
- 5. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
- 6. The proposed use, a fast food restaurant building, is a permitted use, subject to approval of a plot plan in the C-P-S zone since it is indicated that restaurant uses are permitted in Article IXb (Scenic Highway Commercial), Section 9.50 of Ordinance No. 348.
- 7. The project site is surrounded by properties which are zoned Specific Plan (S-P); Scenic Highway Commercial (C-P-S), Industrial Park (I-P), and General Commercial (C-1/C-P).
- 8. The project is surrounded by existing urbanized development consisting of commercial retail businesses, existing bank, single family residences, hotels, restaurants, a golf cart sales shop, and vacant land. The project is located within an existing developed retail, industrial, and residential area.
- 9. The proposed site plan, as designed and conditioned, is consistent with the development standards set for in C-P-S zone:
 - a) There are no minimum lot area requirements.
 - b) There are no yard requirements for buildings which do not exceed 35 feet in height and project complies with this standard since building is at approximately 22 feet in height.
 - c) No structure will exceed 50-feet in height at the yard setback line. The project building height is approximately 22 feet.
 - d) Automobile storage space must meet Section 18.12 requirements of Ordinance No. 348. The proposed 19 parking spaces equal or exceed the minimum requirements (639 square foot serving area (1 space per 45 square feet of serving area) plus 1 space per 2 employees.
 - e) All roof mounted mechanical equipment shall be screened from the ground elevation view to a minimum site distance of 1,320 feet. All roof equipment has been shielded based on roof design of the restaurant building.
- 10. The project has adequate access to paved roads. Washington Street (116' ROW) and Market Place are paved and improved. The project site has paved access through the internal drive isles of the proposed parking lot and drive through lane.

- 11. This project is not located within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).
- 12. The project was transmitted to the City of Palm Desert (Sphere of Influence) where no response was received based on county transmittal.
- 13. Visual impacts are addressed with project architecture including varied roof lines, perimeter landscaping including along Washington Street to buffer adjacent commercial center and residential properties within Del Webb, and requirement for directed and shielded lighting in accordance with Ordinance 655 (Mt. Palomar Lighting).
- 14. Noise impacts are addressed in that the project is conditioned to comply with construction noise standards, drive-thru is located on the north and east side of building with automatic volume control loudspeaker which is at 36 decibels (dBA) at 16 feet which negates noise impacts to residences to the east within Del Webb at approximately 200 feet to the east across Washington Street which includes existing traffic noise, and restaurant operating hours which will be between 6:00 a.m. and 1:00 a.m.
- 15. The project was reviewed by the Airport Land Use Commission (ALUC) and was found to be "consistent" as stated in the ALUC letter dated December 15, 2014.
- 16. Environmental Assessment No. 42729 identified the following potentially significant impacts:
 - a) Hydrology / Water Quality
 - b) Hazards and Hazardous Materials

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

CONCLUSIONS:

- 1. The proposed project is in conformance with the Community Development: Commercial Retail (CD: CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
- The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
- 3. The public's health, safety, and general welfare are protected through project design.
- 4. The proposed project is clearly compatible with the present and future logical development of the area.
- 5. Based on the whole record, the proposed project will not have a significant effect on the environment and the mitigated negative declaration reflects the County's independent judgment and analysis.

PLOT PLAN NO. 25673

Directors Hearing: June 16, 2015

Page 4 of 4

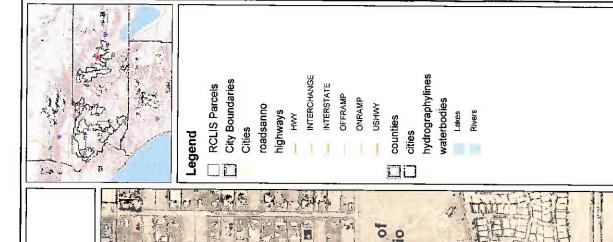
INFORMATIONAL ITEMS:

- 1. As of this writing (5/22/14), no letters, in support or opposition, from the general public have been received.
- 2. The project site is not located within:
 - a. Tribal Land;
 - b. A High Fire Area;
 - c. A General Plan Policy Area;
 - d. A Historic Preservation District;
 - e. A Redevelopment Area;
 - f. An Agricultural Preserve;
 - g. A Fault Zone;
 - h. An area of low potential for paleontological sensitivity; and,
 - i. Conservation Area of the Coachella Valley Multiple Species Conservation Plan.
- 3. The project site is located within:
 - a. The boundaries of the Western Coachella Valley Area Plan;
 - b. An Airport Influence Area;
 - c. An Area of Flooding Sensitivity;
 - d. The Sphere of Influence of the City of Palm Desert;
 - e. Desert Sands Unified School District:
 - f. An area of moderate liquefaction; and
 - g. Mt. Palomar Observatory Area Zone B;
 - h. Coachella Valley Multiple Species Conservation Plan Fee Area.
- 4. The subject site is currently designated as Assessor's Parcel Number: 748-370-056.

C:\Users\Jay\Documents\PP25673\SR PP25673.docx Date Revised: 05/26/15

PP25673

Vicinity Map



Notes

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



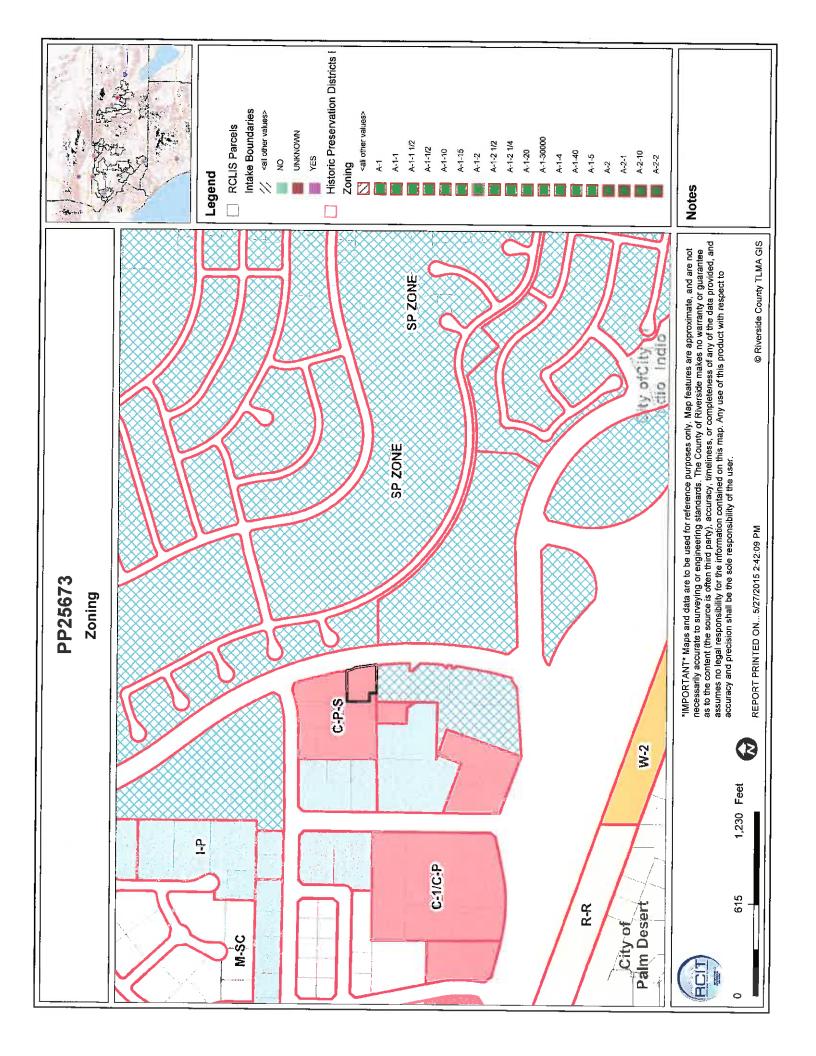
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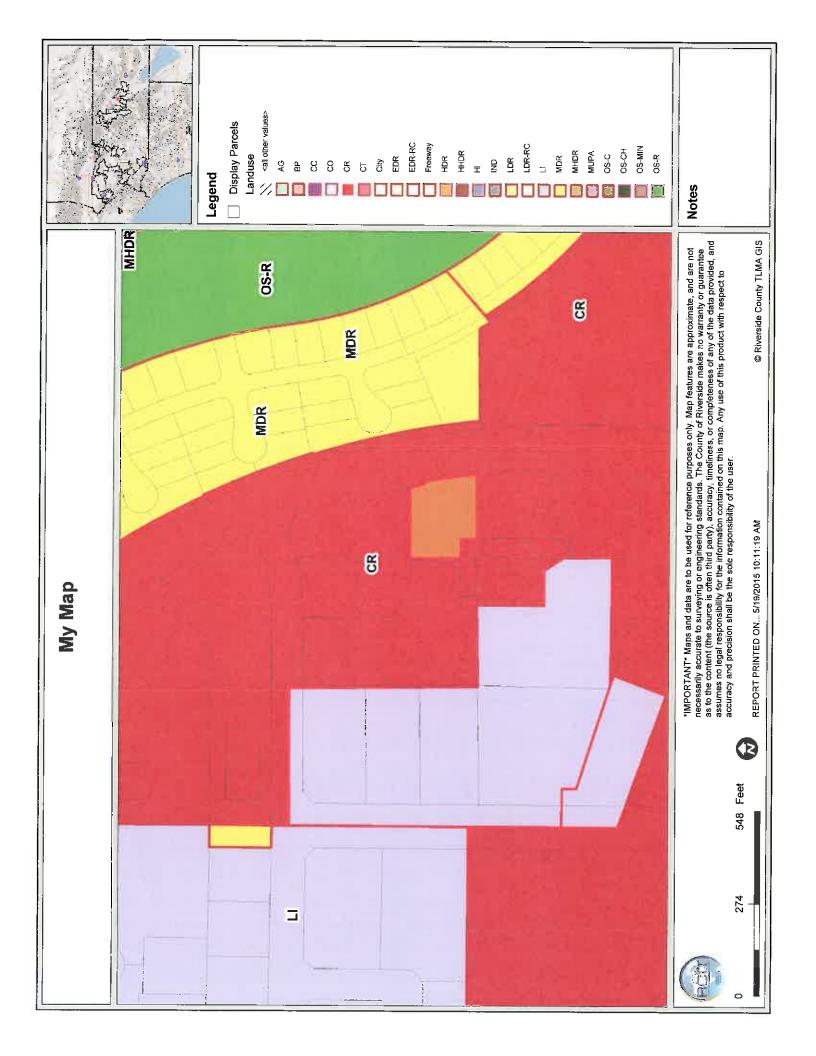
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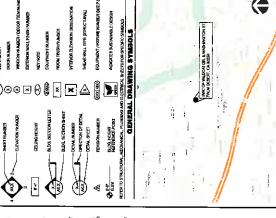
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PROPERTY OWNER

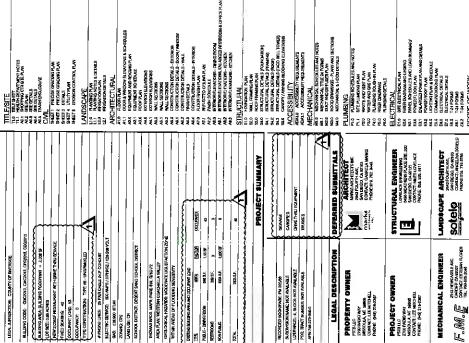
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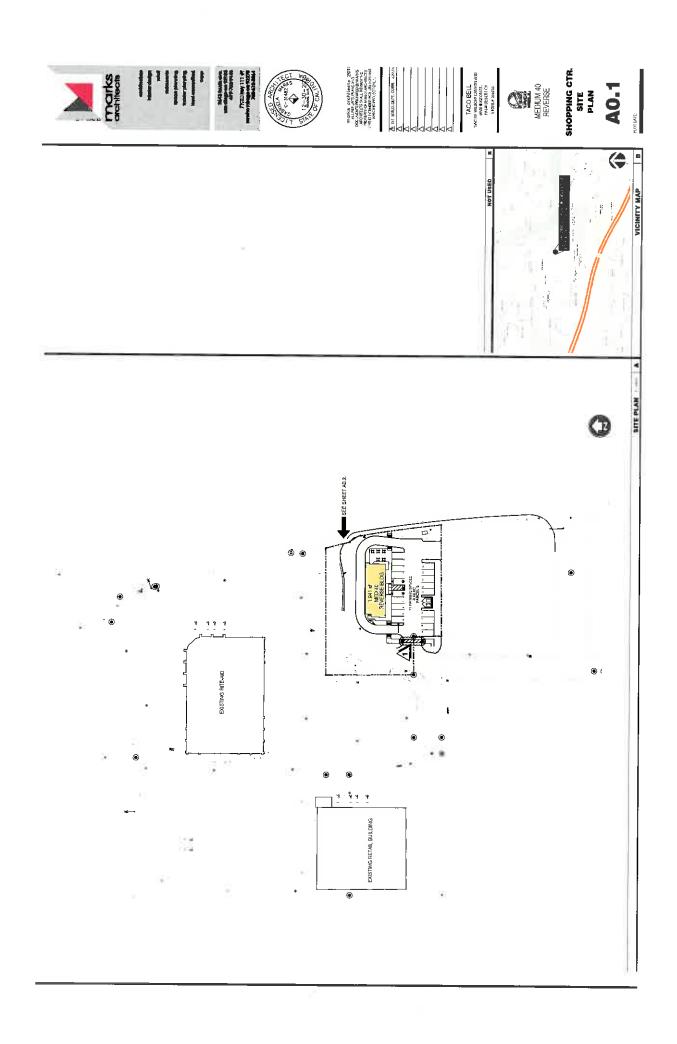


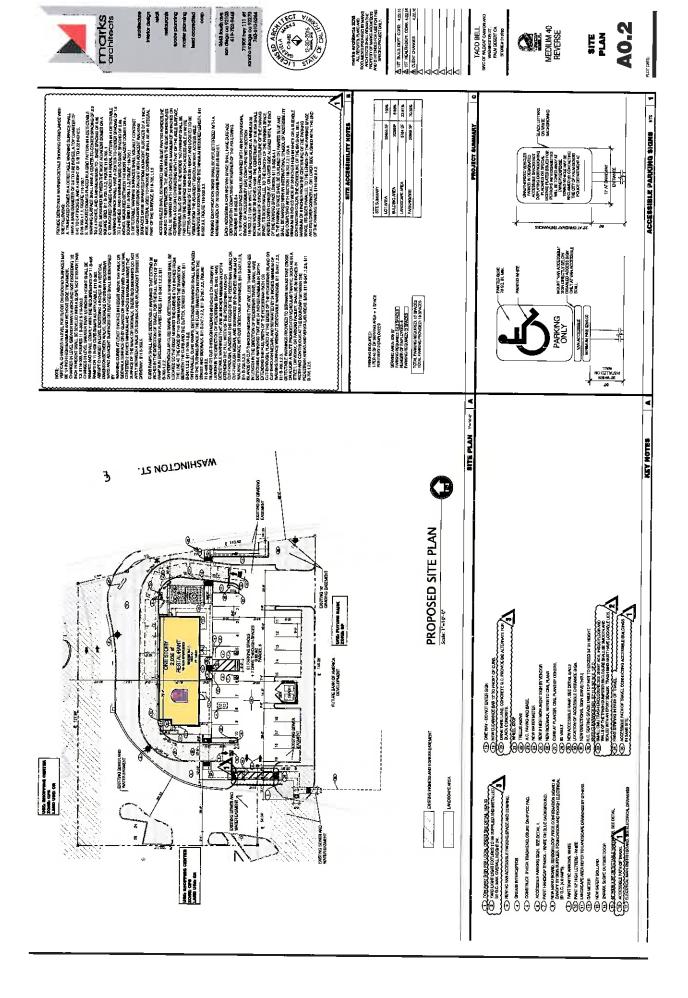
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COUNTY OF RIVERSIDE BUILDING AND SAFETY DEPARTMENT

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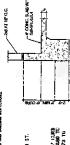
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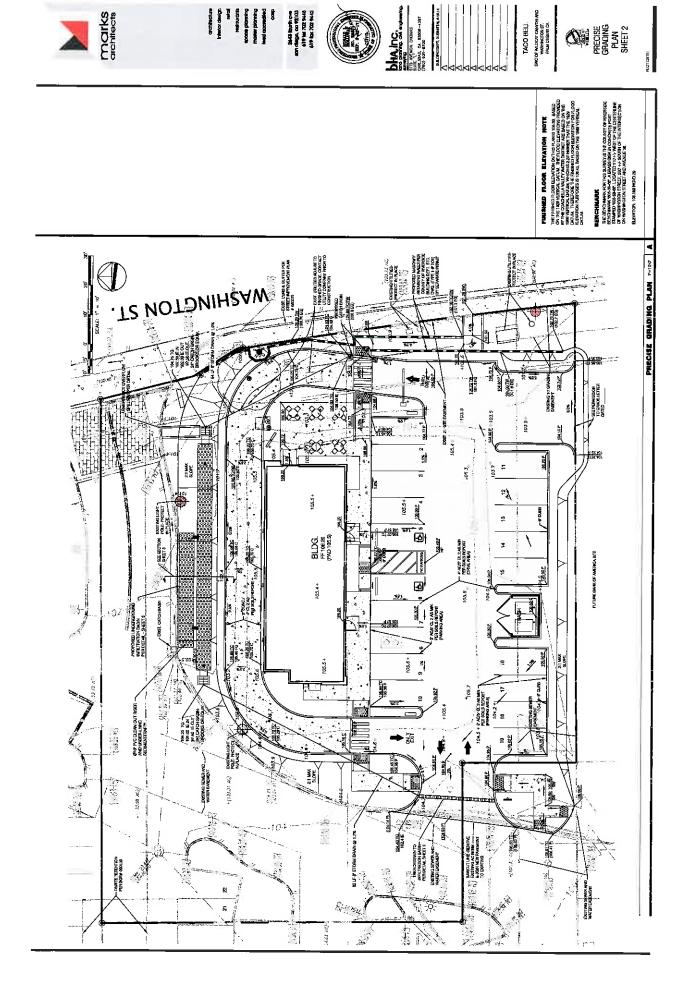
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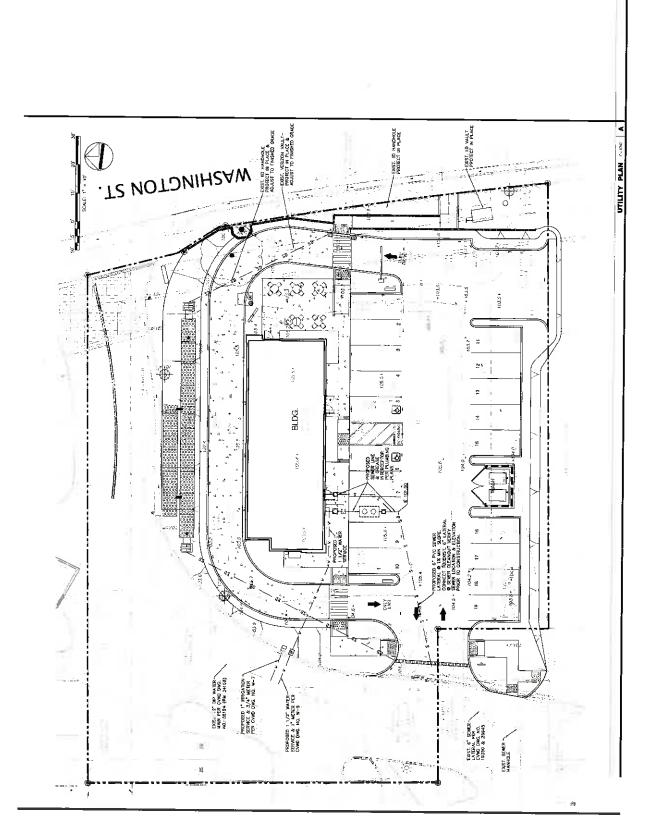
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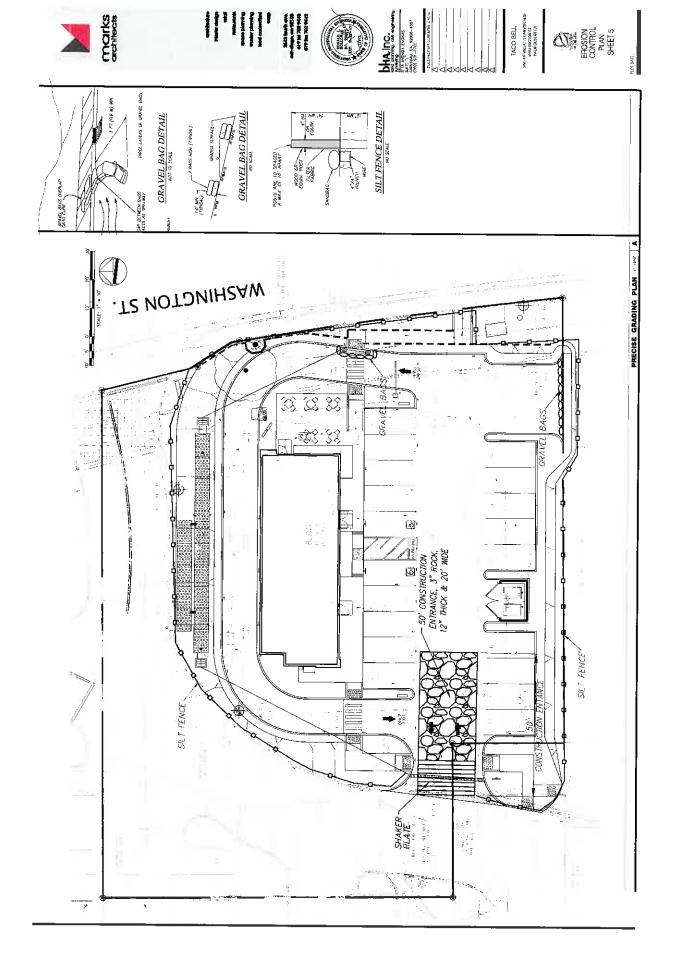
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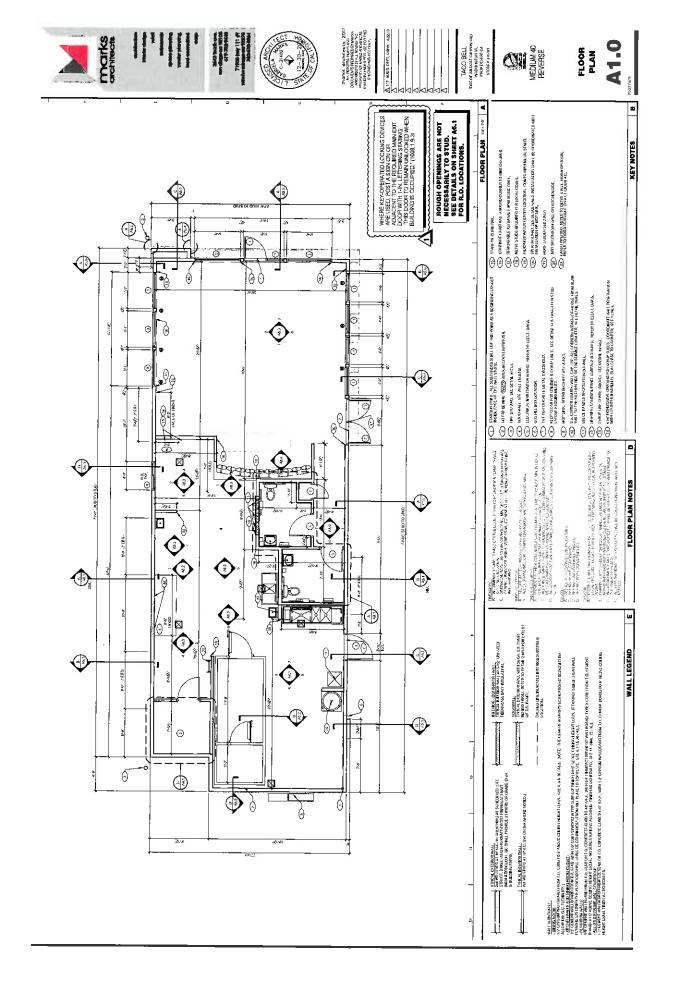


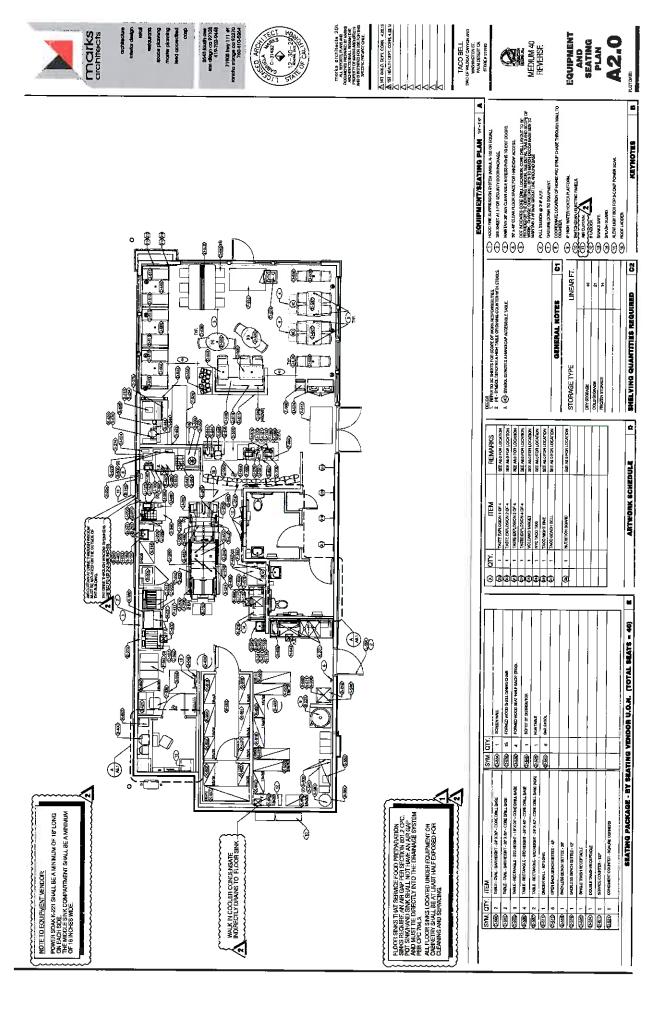


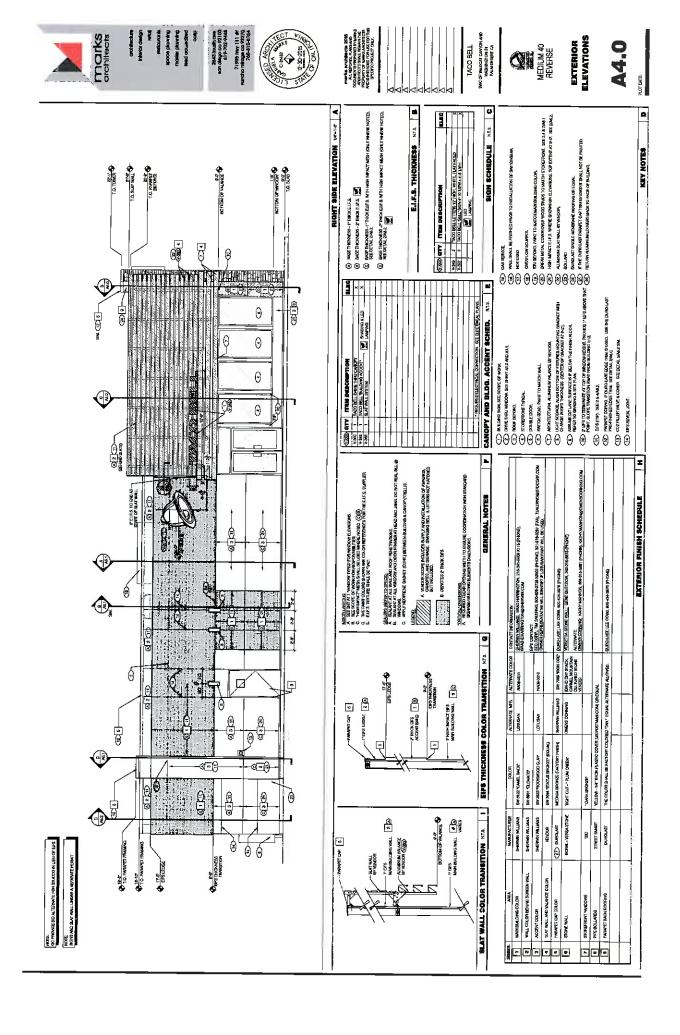


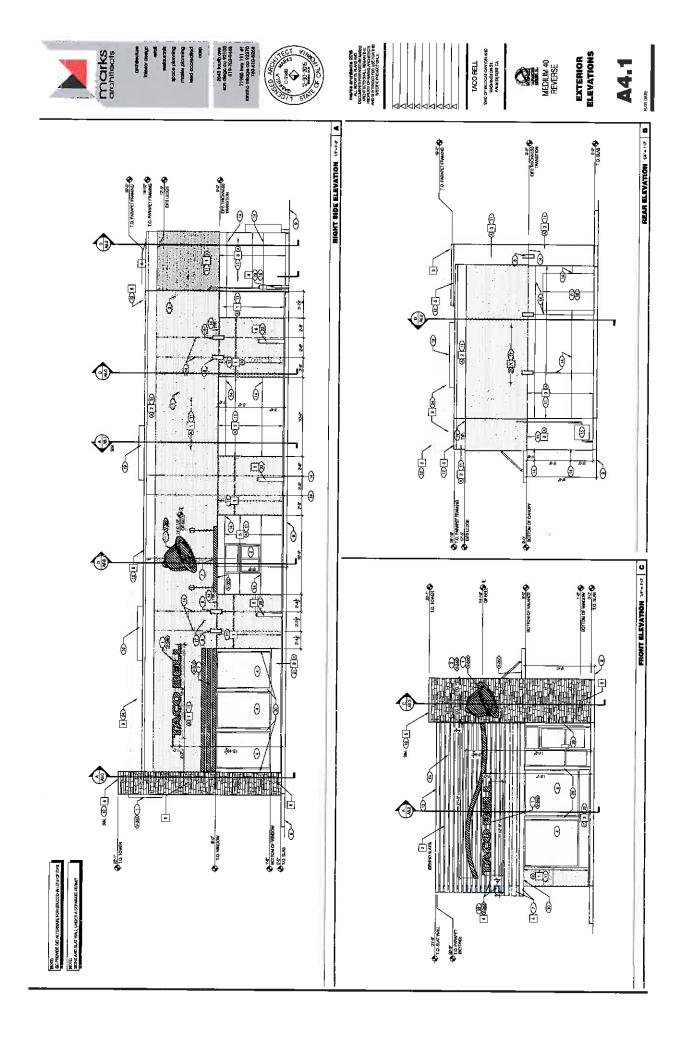


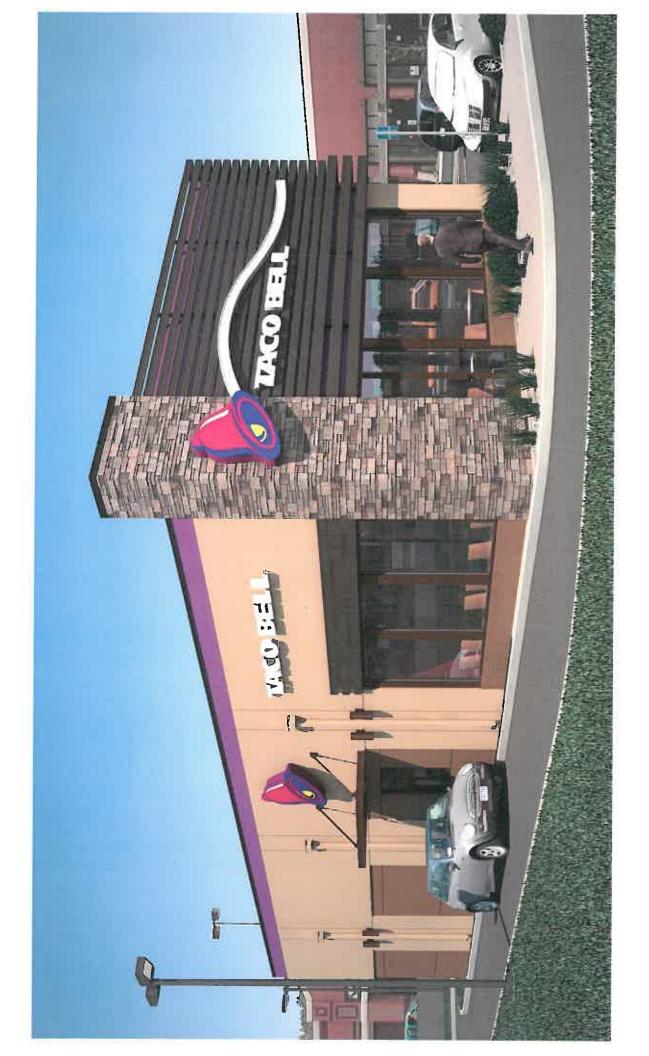
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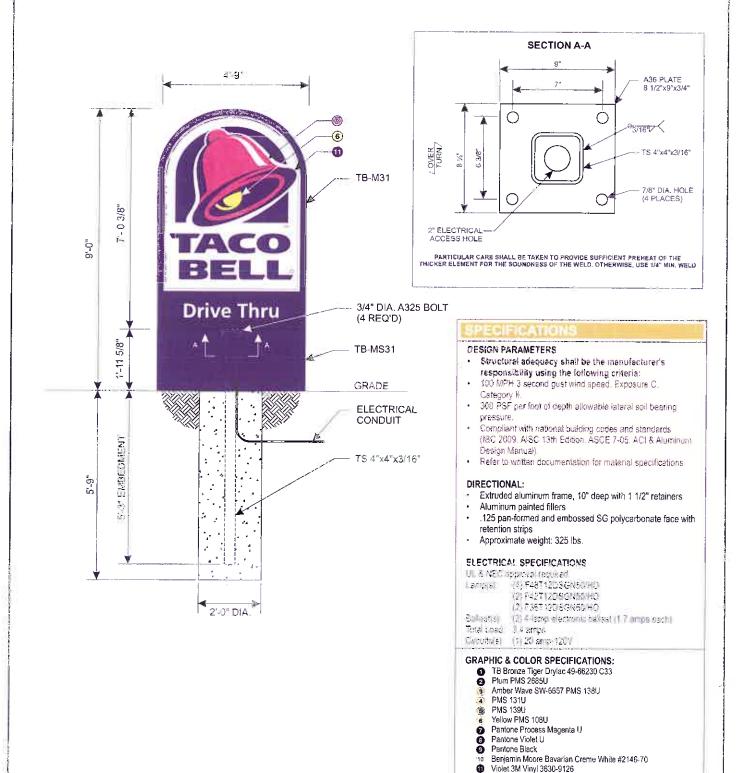






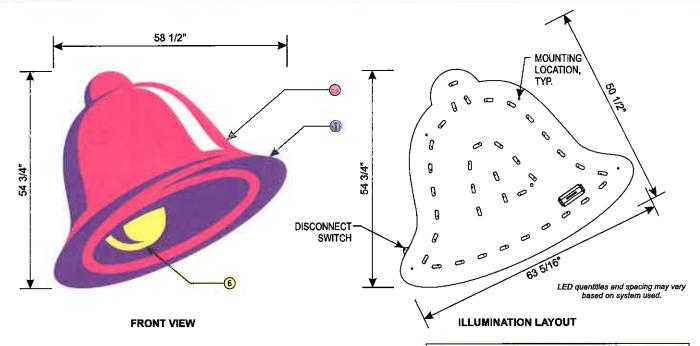


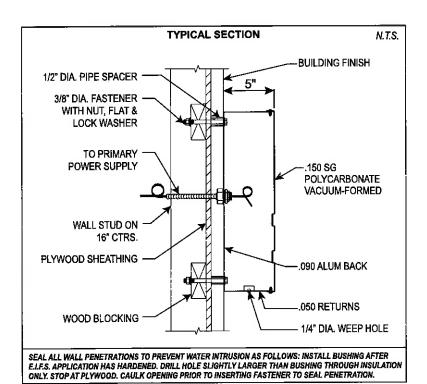




White Matte - Cabinet Interior

Taco Bell - Swinging Bell - Formed Face





PECIFICATIONS

DESIGN PARAMETERS

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 110 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

Materials

- Cabinet: .050 aluminum returns w/ violet finish and .090 aluminum back
- Face: .150 SG polycarbonate vacuum formed
- Second surface decoration
- Removable face for service

Squared: 22.24 sf

Actual: 14.19 sf Weight (Est.)

100 lbs

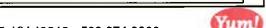
ELECTRICAL/ PERFORMANCE SPECIFICATIONS

- NEC approval required.
- 12V, Class II UL approved system.
- 50,000 hour system where no greater than 30% lumen depreciation is experienced at 50K hours.
- Thermally managed surface mount devices (SMD).

 (36) AgiLight LS-APEX-50K-G2 White (5000K) LED(s):
- LEDs (18 ft) or equivalent pre-approval required Power Supply: (1) General LED PS12-60W-100-277V @
- - 0.8 amps or equivalent
- Total Load: 0.8 amps Circuits(s): (1) 20 amp-120V

GRAPHIC & COLOR SPECIFICATIONS:

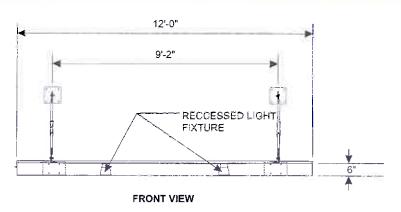
- TB Bronze Tiger Drylac 49-66230 C33
- Plum PMS 2685U 3
- Amber Wave SW-6657 PMS 138U
- PMS 131U
- PMS 139U
- Yellow PMS 108U
- Pantone Process Magenta U
- Pantone Violet U
- Pantone Black
- Benjamin Moore Bavarian Creme White #2146-70
- Violet 3M Vinyl 3630-9126
- White Matte Cabinet Interior

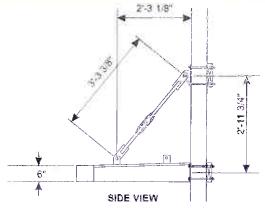




Taco Bell - Flex2Five DT Canopy 12'-0"



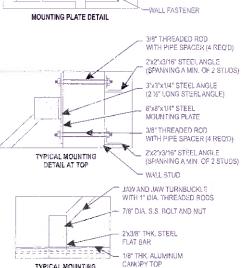




12'-0" POINT OF ELECTRICAL CONNECTION .8/2 o SEAM CAP **TOP VIEW**

SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS: INSTALL BUSHING AFTER E.I.E.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY, STOP AT PLYWOOD, CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

STEEL MOUNTING PLATE 2 WILLONG STEEL ANGLE 7/8" DIA, S.S BOLT AND NUT JAWAND JAW TURNBUCKLE WITH 1" DIA. THREADED RODS WALL FASTENER



TYPICAL MOUNTING

DETAIL AT BOTTOM

DESIGN PARAMETERS

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 110 MPH 3 second gust wind speed. Exposure C. Category II. Components & Cladding, Zone 5.
- Snow load as required.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (JBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual)
- Refer to written documentation for material specifications.

CANOPY:

- .125 aluminum skin
- Fabricated using channel and angle frame
- · Suspended with 1" diameter turnbuckles and plates

ELECTRICAL SPECIFICATIONS

UL & NEC approval required.

Lamp(s): Recessed down-lighting fixtures utilizing (2)

20W self-ballasted compact fluorescent lamps

N 17 airts ea:

34 20003 Total Cond

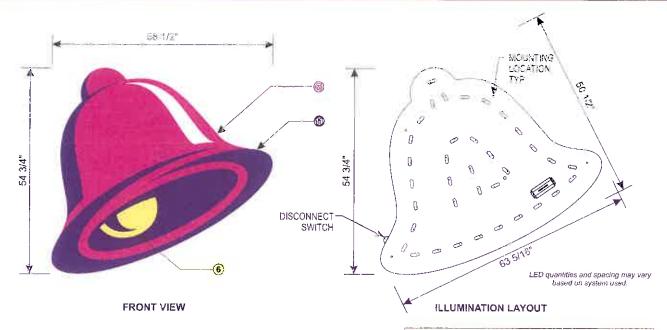
Oficults at (1) 20 amp 120V

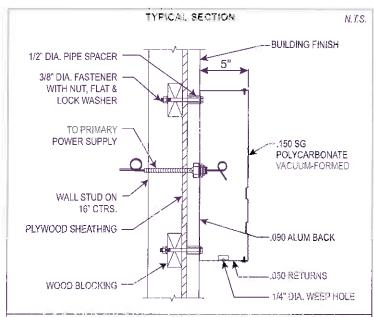
GRAPHIC & COLOR SPECIFICATIONS

- 15 Sumate Tiger China 49 -: 523 (C.)
 20 PMS 20300 ()
- 8 Amber Wave SW 6657 PMS 1960
- PMS 1310
- is. માર્ક કુમો
- Yelina PMS 108U
- Paridone Process Medenta U
- Pantone Volat U
- Pantona Black
 - Benjahan Moore Baranton Channe White #2145-70
- Violet 3M Vm (2000 0120
- Mining Pages Labored mile as

NOT FOR CONSTRUCTION
DECEMBER 2012







SEALALL WALL PENETRADORS TO PREVEIT WATER INTRUSTON AS FOLLOWS: 1937ALL BUSINES AFTER ELES, APPLICATION HAS MADDENED, DIVIL HOLS SLIGHTLY LANGER THAN SUSSING THROUGH INSULATION ONLY, STOP AT MLYWOGD, CAULK OPENING PRIOR TO INSURTING PASTENER TO SELL PENETRATION.

DESIGN PARAMETERS

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 110 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual)
- Refer to written documentation for material specifications.

Materials

- Cabinet: .050 aluminum returns w/ violet finish and .090 aluminum back
- Face: .150 SG polycarbonate vacuum formed Second surface decoration
- Removable face for service

Area

- Squared: 22.24 sf
- Actual: 14.19 sf

Weight (Est.)

100 lbs

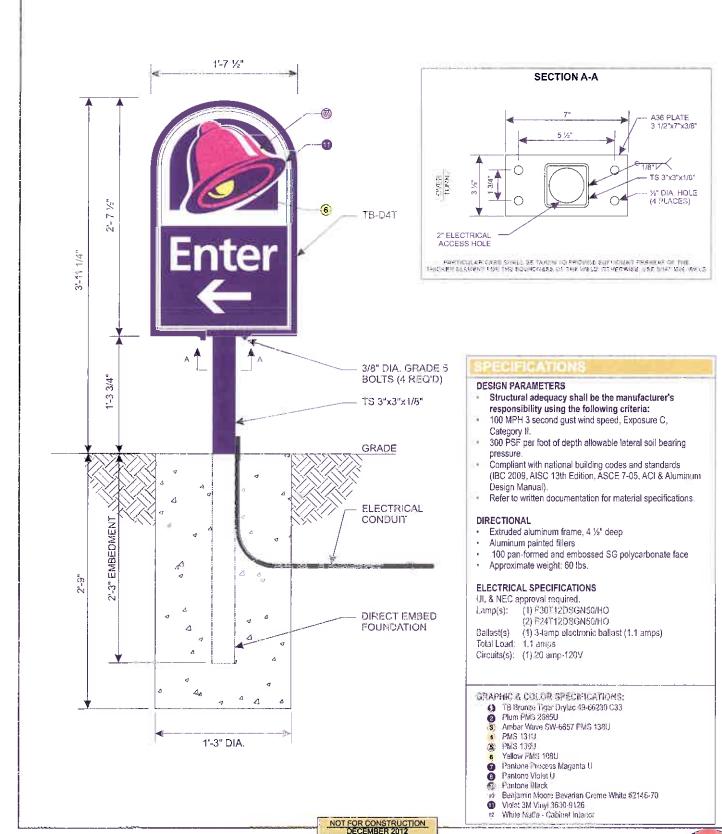
ELECTRICAL/ PERFORMANCE SPECIFICATIONS

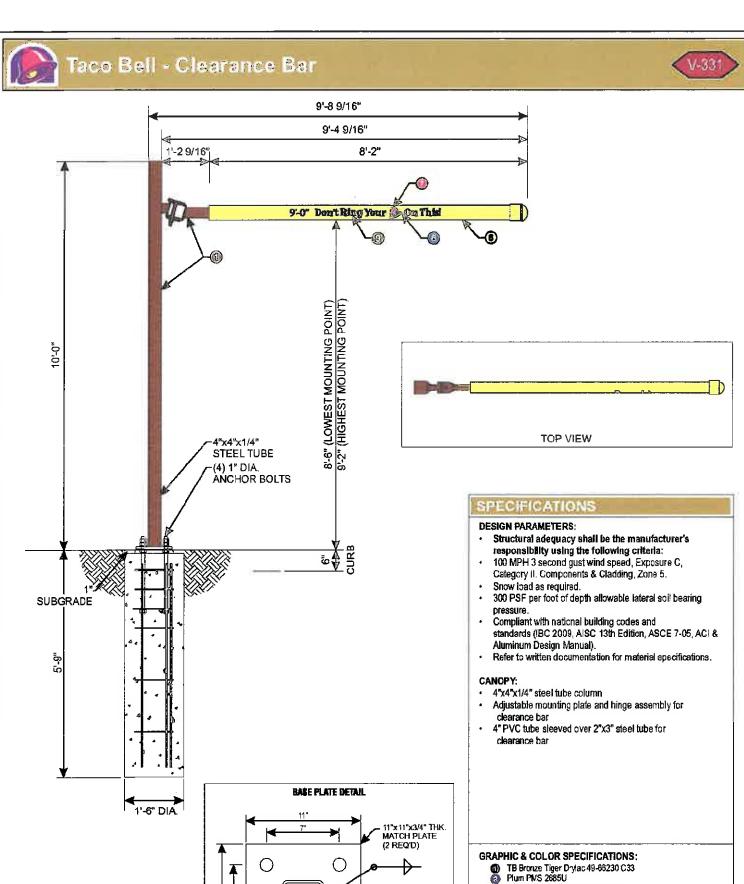
- NEC approval required.
- 12V, Class II UL approved system.
- 50,000 hour system where no greater than 30% lumen depreciation is experienced at 50K hours.
- Thermally managed surface mount devices (SMD)
- LED(s): (36) Agil light LS-APEX-50K-G2 White (5000K) LEDs (18 t) or equivalent - pre-approval required
- Power Supply: (1) General LED PS 12-60W-100-277V @
- - 0.8 amps or aguivalent
- Total Load: 0.8 amps

(1) 20 amp-120V Circuits(s):

- GRAPHIC & COLOR SPECIFICATIONS:
 - Plum PMS 2585U
 Amber We ☼ TB Bronze Tiger Orylad 49-66230 €33
 - Anthor Wave SW-6657 PMS 138U
 - PMS 131U PMS 139U
 - 1 Yellow PMS 108U
 - Pantone Process Mayenta U Ø
 - Pantona Violet U
 - Pantone Black
 - Benjumin Moore Bayarian Creme White #2146-70
 - Φ Violat 3M Vinyl 3630-9126
 - 12 Write Matte Cupinst Interior







- Amber Wave SW-6657 PMS 138U PMS 131U
- PMS 139U
- Yellow PMS 108U
- Partone Process Magenta U
- Pantone Violet U
- Pantone Black
- Benjamin Moore Bavarian Creme White #2146-70
- Violet 3M Virryl 3630-9126
- White Matte Cabinet Interior



-

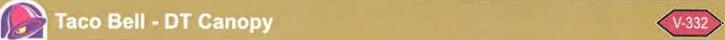
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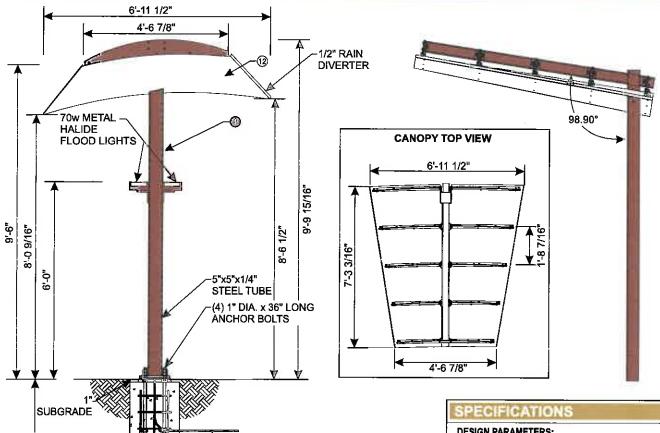
 \bigcirc

4"x4"x 1/4"

STEEL TUBE

* 1/4" DIA. HOLE FOR 1" DIA. ANCHOR BOLT





ELECTRICAL

CONDUIT

6-3

DESIGN PARAMETERS:

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 100 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Snow load as required.
- 300 PSF per foot of depth allowable lateral soil bearing
- Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

CANOPY

- 5"x5"x1/4" steel tube column
- 4"x4"x1/4" steel tube horizontal canopy support
- .063 aluminum canopy deck
- 1/4" steel rib plates rafters

ELECTRICAL SPECIFICATIONS

UL & NEC approval required.

Lamp(s): (2) Flood lights - 70W Metal Halide Total Load: 1.17 amps/120 volts

Circuits(s): (1) 20 amp-120V

GRAPHIC & COLOR SPECIFICATIONS:

- TB Bronze Tiger Drylac 49-66230 C33
 Plum PMS 2685U
- Amber Wave SW-6657 PMS 138U
- PMS 131U
- PMS 139U
- Yellow PMS 108U Pantone Process Magenta U
- Pantone Violet U
- Pantone Black
- Benjamin Moore Bavarian Creme White #2146-70
- Violet 3M Vinyl 3630-9126 White Matte - Cabinet Interior



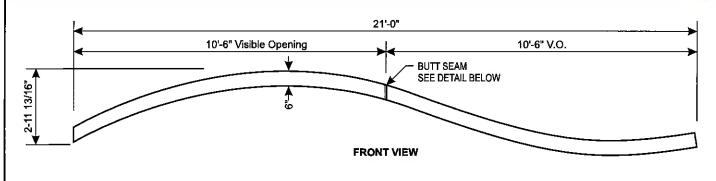
11"x11"x3/4" THK. STEEL PLATE

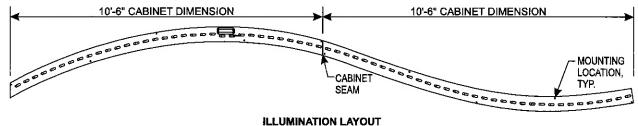
STEEL TUBE

1 1/4" DIA. HOLE FOR 1" DIA. ANCHOR BOLT



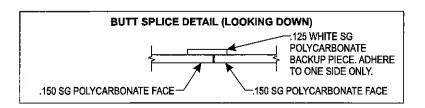
BASE PLATE DETAIL





LED quantities and spacing may vary based on system used.

TYPICAL SECTION N.T.S. **BUILDING FINISH** 1/2" DIA, PIPE SPACER 5" 3/8" DIA. FASTENER 1" JEWELITE WITH NUT, FLAT & LOCK WASHER TO PRIMARY POWER SUPPLY .150 7328 WHITE SG POLYCARBONATE WALL STUD ON 16" CTRS. PLYWOOD SHEATHING .063 ALUM BACK .040 RETURNS WOOD BLOCKING 1/4" DIA. WEEP HOLE



SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS: INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION

ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

DESIGN PARAMETERS

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 110 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (iBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications. **Materials**
- Cabinet: .040 aluminum returns w/ white finish and .063 aluminum back. 2 piece can with field connection.
- 1" white Jewelite trim
- Face: .150 7328 white SG polycarbonate with butt-splice connection
- Removable face for service

- Squared: 62.67 sf
- Actual: 13.95 sf

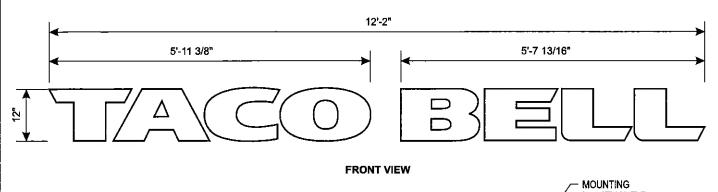
ELECTRICAL/ PERFORMANCE SPECIFICATIONS

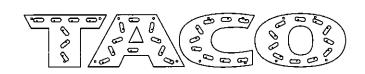
- NEC approval required.
- 12V, Class II UL approved system.
- 50,000 hour system where no greater than 30% lumen depreciation is experienced at 50K hours.
- Thermally managed surface mount devices (SMD). D(s): (66) AgiLight LS-CORE-65K-G2 White (6500K) LED(s):
- LEDs (22 tt) or equivalent pre-approval required Power Supply: (1) General LED PS12-60W-100-277V @
- - 0.8 amps or equivalent 0.8 amps
- Total Load: Circuits(s): (1) 20 amp-120V

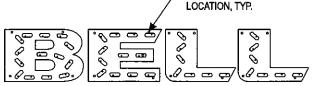
GRAPHIC & COLOR SPECIFICATIONS:

- TB Bronze Tiger Drylac 49-66230 C33
- Plum PMS 2685U
- Amber Wave SW-6657 PMS 138U
- PMS 131U
- PMS 139U
- Yellow PMS 108U
- Pantone Process Magenta U
- Pantone Violet U
- Pantone Black
- Benjamin Moore Bavarian Creme White #2146-70
- Violet 3M Vinyl 3630-9126
- White Matte Cabinet Interior



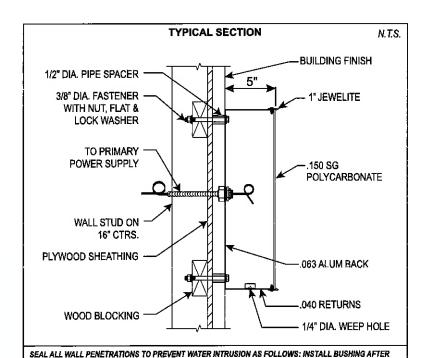






ILLUMINATION LAYOUT

LED quantities and spacing may vary based on system used.



E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD. CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

DESIGN PARAMETERS

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 110 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

Materials

- Cabinet: .040 aluminum returns w/ white finish and .063 aluminum back
- 1" white Jewelite trim
- Face: .150 SG polycarbonate
- Removable face

Area

- Squared: 12.17 sf
- Actual: 8.18 sf

ELECTRICAL/ PERFORMANCE SPECIFICATIONS

- NEC approval required.
- 12V, Class II UL approved system.
- 50,000 hour system where no greater than 30% lumen depreciation is experienced at 50K hours.
- Thermally managed surface mount devices (SMD).
- LED(s); (77) AgiLight LS-CORE-65K-G2 White (6500K)
 - LEDs (26 ft) or equivalent pre-approval required
- Power Supply: (1) General LED PS12-60W-100-277V @
 - 0.8 amps or equivalent Remotely Located
- Total Load: 0.8 amps

(1) 20 amp-120V Circuits(s):

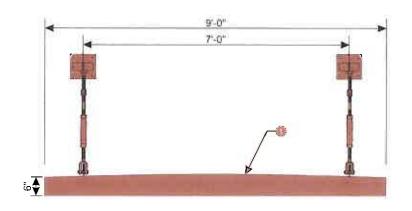
- TB Bronze Tiger Drylac 49-66230 C33
 Plum PMS 268511 **GRAPHIC & COLOR SPECIFICATIONS:**

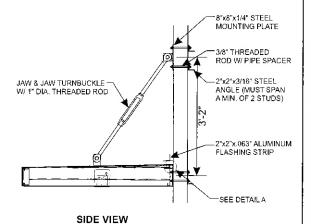
 - Amber Wave SW-6657 PMS 138U
 - PMS 131U
 - PMS 139U
 - Yellow PMS 108U
 - Pantone Process Magenta U
 - Pantone Violet U
 - Pantone Black
 - **9** Benjamin Moore Bavarian Creme White #2146-70
 - Violet 3M Vinyl 3630-9126
- White Matte Cabinet Interior









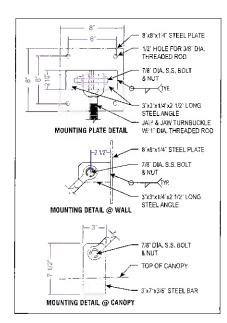


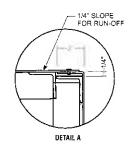
FRONT VIEW



DISCONNECT SWITCH

TOP VIEW





SEAL ALL WALL PENETRATIONS TO PREVENT WATER INTRUSION AS FOLLOWS: INSTALL BUSHING AFTER E.I.F.S. APPLICATION HAS HARDENED. DRILL HOLE SLIGHTLY LARGER THAN BUSHING THROUGH INSULATION ONLY. STOP AT PLYWOOD, CAULK OPENING PRIOR TO INSERTING FASTENER TO SEAL PENETRATION.

DESIGN PARAMETERS

- Structural adequacy shall be the manufacturer's responsibility using the following criteria:
- 110 MPH 3 second gust wind speed, Exposure C, Category II. Components & Cladding, Zone 5.
- Snow load as required.
- Attachment may vary based on wall conditions.
- Compliant with national building codes and standards (IBC 2009, AISC 13th Edition, ASCE 7-05, ACI & Aluminum Design Manual).
- Refer to written documentation for material specifications.

Canopy

.125" ALUMINUM SKIN

"x2"x3/16" STEEL ANGLE FRAME C4X5.4 STEEL CHANNEL

- .125 aluminum skin
- Channel and angle construction
- Suspended with 1" dia. turnbuckles and plates

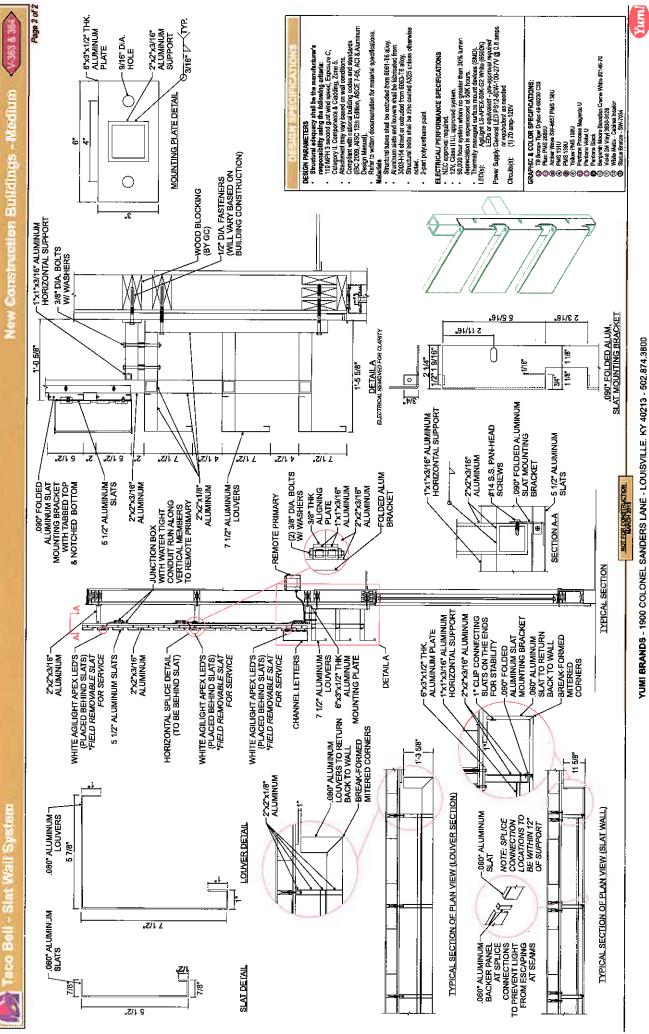
ELECTRICAL/ PERFORMANCE SPECIFICATIONS

- NEC approval required.
- 12V, Class II UL approved system.
- Thermally managed surface mount devices (SMD).
- Recessed down-lighting fixtures utilizing Lamp(s):
 - (2) 20W self-ballasted compact fluorescent lamps
 - (0.17 amps ea)
- Total Load: 0.34 amps
- Circuits(s): (1) 20 amp-120V

GRAPHIC & COLOR SPECIFICATIONS:

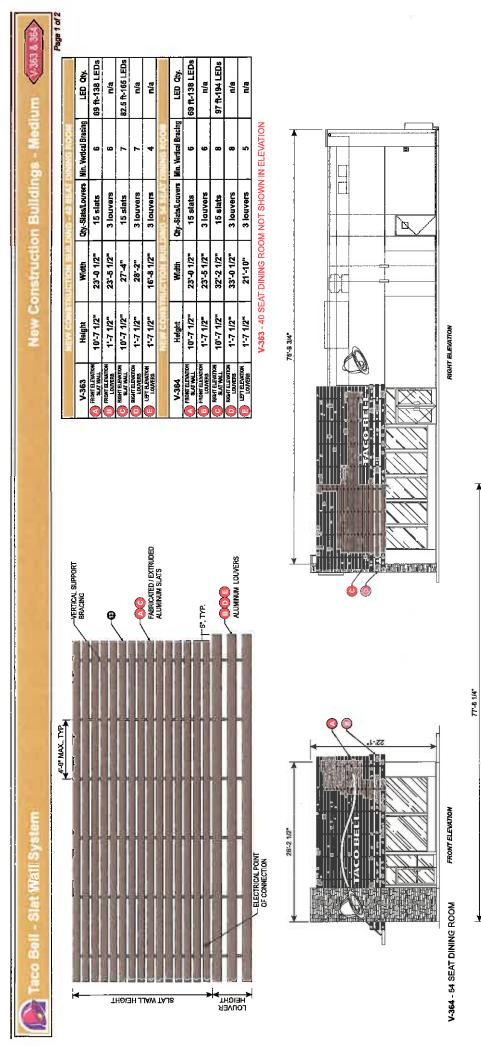
- TB Bronze Tiger Drylac 49-66230 C33
- Plum PMS 2685U 3 Amber Wave SW-6 Amber Wave SW-6657 PMS 138U
- PMS 131U
- (B) PMS 139U
- Yellow PMS 108U
- Pantone Process Magenta U
- Pantone Violet U
- Õ Pantone Black
- Benjamin Moore Bavarian Creme White #2146-70
- Violet 3M Vinyl 3630-9126 White Matte Cabinet Interior 0

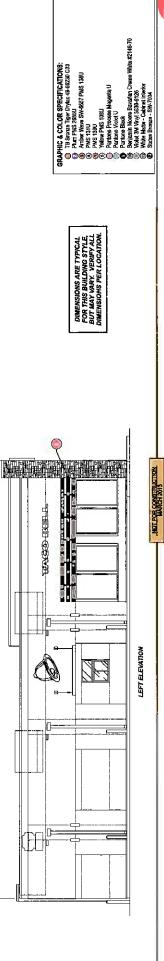






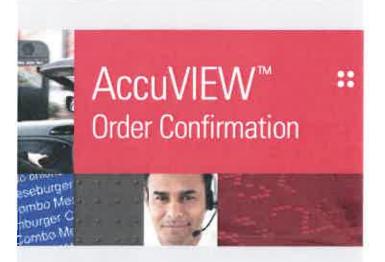






YUMI BRANDS - 1900 COLONEL SANDERS LANE - LOUISVILLE. KY 40213 - 502.874.3800





Enhance your bottom line with AccuVIEW - created by the company that started it all.

Features & Benefits

- Increase order accuracy
- Improve Speed-of-Service
- Influence sales at Point-of-Purchase
- Reduce operating expenses
- Enhance customer satisfaction

Why Texas Digital?

- · Core competency—Texas Digital has been communicating business vitals for over 30 years
- 17,000+ units installed worldwide
- Our continued dedication to research and development ensures that you will benefit as our products improve and evolve
- Our unique Best Value Guarantee™—the only one in the industry-makes it easy for you to get the absolute most out of your purchase

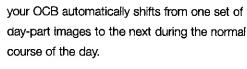
Take control of your drive-thru

with the AccuVIEW OCB

Texas Digital, the leader in order confirmation display technology with over 17,000 units installed, presents the AccuVIEW Order Confirmation Board (OCB). Texas Digital's AccuViEW solution has proven to improve order accuracy, increase speed of service, influence sales at the point-of-purchase and reduce theft and food loss-thereby increasing drive-thru profits and the customers' overall experience.

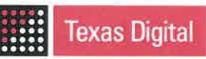


The AccuVIEW incorporates state-of-the-art liquid crystal display (LCD) technology to visually confirm drive-thru customer orders through integration with over 95% of POS systems. AccuVIEW displays the items ordered, the item prices, and a running tax and total. Simultaneously, AccuVIEW delivers merchandising messages through a combination of welcome images, scrolling text messages, and up-sell/cross-sell suggestive images. AccuVIEW also supports unlimited day-parts and has an internal clock so



The AccuVIEW OCB solution is the most widely installed, reliable solution available for your restaurants. Through our product's reliability, extensive feature set, unsurpassed "bumper-tobumper" warranty and our world-class technical support, TDS is committed to making your purchase decision the best decision you can make for your drive-thru.





** AccuVIEW Order Confirmation Specifications

Simulated Order





2 Cheeseburger Classic Combo Meal No teriptors	8.98
No mustard 1 Hamburger Classic Combo Meal No more	4.49
1 Small Chocolate Shake	1.79
make it was a second surple of the second surple of	Tax: 1.46
combo	Total 18 41





Delivering Business Communication Vitals
Texas Digital, AccuMEW and AccuMEW Front Counter are trademarks of
Texas Digital Systems, Inc. All other trademarks are the property of the
respective owners. © 2006. Texas Digital Systems, Inc. PED 01/08

Features & Options			
Graphics automatically change by daypart	Customizable order screens		
Future graphics and message scheduling	Microphone and speaker		
Cross-sell and up-sell	Remote Access Kit for remote update		
Alternate language support	Slideshow restart at drive-up		
TCP/IP ethernet network interface	Enterprise management software		
Scrolling message capability	Sleep mode		
Optional menuboard and canopy mount	Cashless payment		

Environmental/Power Requirements		
Ambient Operating Temperature:	-40° to 140° F	
Climate Control:	Completely sealed display	
Supply Voltage:	120 VAC 50/60 Hz 1.7A	
International Supply Voltage:	230-240 VAC 50/60 Hz 1.7A	

Display Details		Hardware		
Туре:	15.0" Active Matrix LCD	Dimensions:	49.2"h x 17"w x 6.5" d	
Resolution:	1024×768	Weight:	102 lbs.	
Color Depth:	24 bit			
Brightness.	2000 Nits	Mounting Plate:	Universal	

Regulatory Certifications		
UL:	UL 1950	
cUL (Canadian).	E130638	
FCC 47 CFR Part 15, Subpart B, Class A	CE Approved	

www.txdigital.com sales@txdigital.com

Toll Free (North America): 800.693.2628 Outside North America: +1.979.693.9378

Fax: 979.694.2402 400 Technology Parkway College Station, TX 77845

HyperView[®]

Model 07 15" Exterior Display Module - Specifications



HyperView 07



Model 07

Lowest Total Cost of Ownership

- MTBF of 100,000 hours without the need for internal. heaters/fans
- LED backlight is immune to extreme cold or extreme heat
- OCD is NEMA 4 certified making it impervious to wind, rain, moisture and dust
- · Lifetime warranty on the seal against moisture incursion

Best All Weather Operation

- · Low power LED-based design provides superior color compared to CCFL
- LED backlight maintains its brightness over time compared to CCFL
- Optical bonding of coverglass provides superior visuals while eliminating reflection
- Controller is located inside the store where it is protected from the elements

Simplest Installation in the Industry

- Model 07 fits existing Delphi[®] pedestals and menu boards without modification
- NEMA 4 certification means HyperView will survive direct exposure to the elements without diminishing MTBF
- Optional HyperView hardware kit includes network appliance, cabling and content management software
- Or HyperView can be used as an external monitor with your existing POS driving the content

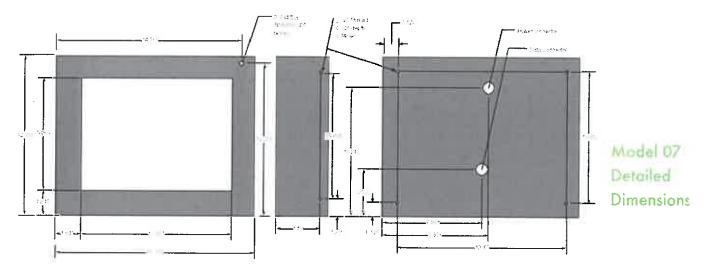












Input Power	
Voltage	100 -240 VAC (auto sensing)
Frequency	50-60 Hz
Display	
Туре	TFT Liquid Crystal Display (LCD)
Size	15" Diagonal (12" w x 9" h)
Automatic Brightness Settings	6
Brightness Control Setting	Ambient Light Sensor
Brightness vs Power	Brightness Level 0 : 1933 nits : 50 watts Brightness Level 1 : 1303 nits : 37 watts (Standard max setting) Brightness Level 4 : 550 nits : 29 watts
Resolution	1024 x 768 (XGA)
Unit Contrast Ratio	1100 to 1
Status Monitoring	Enclosure temperature, Display controller power, Ambient light setting
L ₇₀ - (Hours to 70% Brightness)	75,000 hours (Industrial standard 70% brightness)
Display Backlight	
Technology	White LED for improved contrast, color clarity, and temperature rang
MTBF	100,000 hours
Communications	
Communication Protocol	RS-232, VGA
Cabling Requirements	(1) CAT5e cable req. (health monitoring & video)
Connectors	Power; RJ45
Connector(s) Rating	IP68 Rated
Enclosure	
Construction	Welded Aluminum
Finish	Graphite Black Powder Coat (custom colors available)
Mounting Provisions	Rear and side of panel
Screws	Vandal-proof
Environmental	
Operating Temperature Range	From -40°C (-40°F) to +80°C (+176°F)
Storage Temperature Range	From -40°C (-40°F) to +80°C (+176°F)
Cover glass	3mm, Anti-glare etched, Optically bonded
Physical	4 A MANUAL AND A STATE OF THE ADDRESS OF THE ADDRES
Base Unit	12.25" h x 15.75" w x 4.125" d
Weight	14 [bs

REGULATORY APPR	OVALS - UNITED STATES, CANADA, EUROPEAN UNION
FCC	Subpart B - 15.107 Subpart B - 15.109
ETL	ANSI/UL 60950-1 / CAN/CSA C22.2 No. 60950-1-07 NEMA 4
CE	Declaration of Conformity (DoC)
RoHS	Declaration of Conformity (DoC)

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Memo

Re: Drive-Thru Sound Pressure Levels From the Menu Board or Speaker Post

The sound pressure levels from the menu board or speaker post are as follows:

- 1. Sound pressure level (SPL) contours (A weighted) were measured on a typical HME SPP2 speaker post. The test condition was for pink noise set to 84 dBA at 1 foot in front of the speaker. All measurements were conducted outside with the speaker post placed 8 feet from a non-absorbing building wall and at an oblique angle to the wall. These measurements should not be construed to guarantee performance with any particular speaker post in any particular environment. They are typical results obtained under the conditions described above.
- 2. The SPL levels are presented for different distances from the speaker post:

Distance from the Speaker (Feet)	SPL (dBA)
1 foot	84 dBA
2 feet	78 dBA
4 feet	72 dBA
8 feet	66 dBA
16 feet	60 dBA
32 feet	54 dBA

3. The above levels are based on factory recommended operating levels, which are preset for HME components and represent the optimum level for drive-thru operations in the majority of the installations.

Also, HME incorporates automatic volume control (AVC) into many of our Systems. AVC will adjust the outbound volume based on the outdoor, ambient noise level. When ambient noise levels naturally decrease at night, AVC will reduce the outbound volume on the system. See below for example:

Distance from Outside Speaker	Decibel Level of standard system with 45 dB of outside noise without AVC	Decibel level of standard system with 45 dB of outside noise with AVC active
1 foot	84 dBA	60 dBA
2 feet	78 dBA	54 dBA
4 feet	72 dBA	48 dBA
8 feet	66 dBA	42 dBA
16 feet	60 dBA	36 dBA

If there are any further questions regarding this issue please contact HME customer service at 1-800-848-4468.

Thank you for your interest in HME's products.

COUNTY OF RIVERSIDE **ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY**

Environmental Assessment (E.A.) Number: 42729

Project Case Type (s) and Number(s): Plot Plan No. 25673 **Lead Agency Name:** County of Riverside Planning Department Address: 77588 El Duna Ct, Ste. H Palm Desert, CA 92211

Contact Person: Jay Olivas, Project Planner

Telephone Number: (760) 863-8271 Applicant's Name: Gabriela Marks

Applicant's Address: 2643 Fourth Avenue San Diego, CA 92103

Engineer's Name: Marks Architects

Engineer's Address: 2643 Fourth Avenue San Diego, CA 92103

I. PROJECT INFORMATION

- A. Project Description: Plot Plan proposes a 2,036 square foot fast food restaurant building up to approximately 22 feet in height with indoor/outdoor seating, drive-thru lane, signage and 19 parking spaces. Business hours of operation are proposed between 6:00 a.m. and 1:00 a.m. Project grading consists of approximately 500 cubic vards of cut and fill.
- **B.** Type of Project: Site Specific \boxtimes ; Countywide \square ; Community \square ; Policy \square .
- C. Total Project Area: .66 Acres

Residential Acres:

Lots:

Units:

Projected No. of Residents:

Commercial Acres: 0.66

Sq. Ft. of Bldg. Area: 2,036

Est. No. of Employees: 6

Industrial Acres:

Lots: 1

Lots:

Sq. Ft. of Bldg. Area:

Est. No. of Employees:

Other:

D. Assessor's Parcel No(s): 748-370-056

- E. Street References: North of Market Place, south of Wildcat Drive, west of Washington Street and east of Berkey Drive.
- F. Section, Township & Range Description or reference/attach a Legal Description: Township 5 South, Range 7 East, Section 6.
- G. Brief description of the existing environmental setting of the project site and its surroundings: This project site consists of a vacant commercial pad. The project site is surrounded by Rite Aid drug store to the north, commercial center and Del Webb residential lots to the east, commercial center, hotels, fast food restaurant, and golf cart shop to the south, and vacant land and industrial park to the west. The project is located in an existing urbanized area. The City of Palm Desert is located approximately 1,500 feet to the south on south side of Interstate 10. The project site is not located within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

- 1. Land Use: The proposed project meets the requirements of the Community Development: Commercial Retail General Plan Land Use designation. The proposed project meets all other applicable land use policies.
- 2. Circulation: The project has adequate circulation to the site with improved streets including Washington Street that contains curbs, gutters, and sidewalks. Therefore, it is consistent with the Circulation Element of the General Plan. The proposed project meets all other applicable circulation policies of the General Plan.
- 3. Multipurpose Open Space: No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
- **4. Safety:** The proposed project is located within Areas of Flooding Sensitivity. Proposed retention areas mitigate flood impacts from increased runoff. The proposed project has allowed for sufficient provision of emergency response services. The proposed project meets with all other applicable Safety element policies.
- 5. Noise: Sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
- 6. Housing: The proposed project is not subject to Housing Element Policies.
- 7. Air Quality: The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed fast food restaurant building meets all applicable Air Quality element policies.
- B. General Plan Area Plan(s): Western Coachella Valley
- C. Foundation Component(s): Community Development
- **D.** Land Use Designation(s): Commercial Retail (0.20 0.35 Floor Area Ratio)
- E. Overlay(s), if any: Not Applicable
- F. Policy Area(s), if any: Not Applicable
- G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any: The project site is surrounded by properties which are designated Commercial Retail, Light Industrial, Medium Density Residential, Open Space-Recreation, and Medium High Density Residential.

 Name and Number of Specific Plan, if any: Not applicable 				
2. Specific Plan Planning Area, and Policies, if any: Not applicable				
I. Existing Zoning: Scenic Highway Commercial (C-P-S)				
J. Proposed Zoning, if any: Not Applicable				
K. Adjacent and Surrounding Zoning: The project site is surrounded by properties which are zoned Specific Plan (S-P), Scenic Highway Commercial (C-P-S), General Commercial (C-1/C-P), and Industrial Park (I-P).				
III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED				
The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.				
□ Aesthetics □ Hazards & Hazardous Materials □ Recreation □ Agriculture & Forest Resources □ Hydrology / Water Quality □ Transportation / Traffic □ Air Quality □ Land Use / Planning □ Utilities / Service Systems □ Biological Resources □ Mineral Resources □ Other: □ Cultural Resources □ Noise □ Other: □ Geology / Soils □ Population / Housing □ Mandatory Findings of Significance □ Greenhouse Gas Emissions □ Public Services Significance				
IV. DETERMINATION				
On the basis of this initial evaluation:				
A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED				
☐ I find that the proposed project COULD NOT have a significant effect on the environment, and a				
NEGATIVE DECLARATION will be prepared.				
I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document,				
have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION				
will be prepared.				
I find that the proposed project MAY have a significant effect on the environment, and an				
ENVIRONMENTAL IMPACT REPORT is required.				
A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED				
I find that although the proposed project could have a significant effect on the environment, NO				
NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant				
NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative				
NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed				
NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the				
NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier				
NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the				

H. Adopted Specific Plan Information

become feasible.	
☐ I find that although all potentially significant effects	have been adequately analyzed in an earlier
EIR or Negative Declaration pursuant to applicable lega	al standards, some changes or additions are
necessary but none of the conditions described in Cal	ifornia Code of Regulations, Section 15162
exist. An ADDENDUM to a previously-certified EIR or N	Negative Declaration has been prepared and
will be considered by the approving body or bodies.	
I find that at least one of the conditions described	
15162 exist, but I further find that only minor additions or	
EIR adequately apply to the project in the changed sit	
ENVIRONMENTAL IMPACT REPORT is required that no	- · · · · · · · · · · · · · · · · · · ·
make the previous EIR adequate for the project as revise	
☐ I find that at least one of the following conditions	
Section 15162, exist and a SUBSEQUENT ENVIRONMENT	
Substantial changes are proposed in the project which w	
or negative declaration due to the involvement of new sig	
increase in the severity of previously identified signifi	
occurred with respect to the circumstances under which	
major revisions of the previous EIR or negative declarati	
environmental effects or a substantial increase in the	
effects; or (3) New information of substantial importance	
been known with the exercise of reasonable diligence a	•
complete or the negative declaration was adopted, show	
one or more significant effects not discussed in the	
Significant effects previously examined will be substantia	•
EIR or negative declaration;(C) Mitigation measures or a	· · · · · · · · · · · · · · · · · · ·
would in fact be feasible, and would substantially reduce	
but the project proponents decline to adopt the mitigation	
measures or alternatives which are considerably differen	
negative declaration would substantially reduce one or	
environment, but the project proponents decline to adopt	the mitigation measures or alternatives.
	M 40, 0045
	May 18, 2015
Signature	Date
Jay Olivas, Project Planner	For Steve Weiss, AICP
•	Planning Director

Printed Name

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project		·		
 Scenic Resources a) Have a substantial effect upon a scenic highway corridor within which it is located? 				
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?			\boxtimes	

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

- a) The project site is located along Washington Street which is not designated as a scenic highway corridor. Therefore, there would be no impact.
- b) The proposed fast food restaurant building within an existing commercial area will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these features do not exist on the project site. Additionally, the project will not result in the creation of an aesthetically offensive site open to public view as the project includes architecture, landscaping, screening of mechanical equipment, and placement of utilities underground indicated by Conditions of Approval (COA's) such as 80.Planning.1 Conform to Elevations and 90.Planning.3 Roof Equipment Shielding along with project landscaping. Impacts would be less than significant.

<u>Mitigation:</u> No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
2. Mt. Palomar Observatory a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?				
Source: GIS database, Ord. No. 655 (Regulating Light Pollu	ıtion)			
Findings of Fact:				
a) The project site is located approximately 42 miles fro Zone B of Ordinance No. 655. It has the potential to it is required to comply with Ordinance No. 655 or Guidelines. The purpose of Ordinance No. 655 is to emitting into the night sky that can create undesit astronomical observations and research. Ordinance lighting, aside from street lighting, be low to the go obstruct shining onto adjacent properties and street Lighting Area). Impacts would be less than significant	nterfere with f the <i>River</i> o restrict the rable light be No. 655 round, hoo ets (COA 1	n the Observerside County e use of cer rays and de mandates ded and dire	atory. The part of	oroject is and extures affect utdoor der to
Mitigation: No mitigation measures are required.				
Monitoring: No mitigation measures are required.				
3. Other Lighting Issues a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? 			\boxtimes	
b) Expose residential property to unacceptable light levels?			\boxtimes	
Source: On-site Inspection, Project Application Description				
Findings of Fact:				
a) The project consisting of a 2,036 square foot fast foo would create a new light source, however, any new so significant level due to the size and scope of the conditioned to be shielded and hooded thereby 10.Planning.3 – Lighting Hooded). Impacts would be in	ource of light ne project. reducing	nt is not antic Additionally any lighting	ipated to re any light	each a ing is
b) Surrounding land uses include commercial building vacant land. The amount of light that will be created is considered substantial; therefore, surrounding proper light levels. All lighting shall be shielded and hood- residential properties to the east within Sun City De	consistent ties will not ed and will	with existing be exposed not be dire	levels and to unacce cted towar	is not ptable d any

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
minimum, landscaping along the drive-thru will be toward the adjoining commercial center and Del W are considered less than significant.				
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
AGRICULTURE & FOREST RESOURCES Would the proje	ct			
4. Agriculture a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?				
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?				
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?				
Source: Riverside County General Plan Figure OS-2 "Agr Project Application Materials	ricultural Re	sources," GI	S databas	e, and
Findings of Fact:				
a-d) The project is not affected by agriculture pr Riverside County General Plan. The project site importance", it is designated "other lands" and "u adjacent to, or within 300 feet of agricultural zones (a does not involve changes to the existing environ Farmland to non-agricultural use. Therefore, there wo Mitigation: No mitigation measures are required.	is not design rban-built up A-1, A-2, C/\ ment that c	gnated as fa p land". Th V, A-D and A ould result	armland of ne project A-P). The p	"local is not project
Monitoring: No monitoring measures are required				

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
- Format			r -	
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?				
b) Result in the loss of forest land or conversion of forest land to non-forest use?				\boxtimes
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?				
Source: Riverside County General Plan Figure OS-3 "Part Project Application Materials.	ks, Forests	and Recrea	ition Areas	," and
Findings of Fact:				
Resources Code section 12220(g)), timberland (as de 4526), or timberland zoned Timberland Production 51104(g)). Therefore, the proposed project will not timberland, or timberland zoned Timberland Production b) According to General Plan, the project is not locate the loss of forest land or conversion of forest land to occur as a result of the proposed project.	n (as defii impact lan n. ed within fo	ned by Gov d designated rest land and	t. Code s d as forest d will not re	ection land,
c) The project will not involve other changes in the location or nature, could result in conversion of forest			nich, due te	o their
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
AIR QUALITY Would the project				
6. Air Quality Impacts a) Conflict with or obstruct implementation of the applicable air quality plan? 			\boxtimes	
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?				
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?				
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?				
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?				
f) Create objectionable odors affecting a substantial number of people?				\boxtimes

Source: SCAQMD Significance Thresholds and Analysis

<u>Findings of Fact:</u> The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan (Salton Sea Air Basin) to ensure compliance with state and federal air quality standards. The SCAQMD has adopted the 2012 Air Quality Management Plan (AQMP). The primary implementation responsibility assigned to the County (i.e. local governments) by the 2012 AQMP is the implementation of air quality control measures associated with transportation facilities. This project does not propose any transportation facilities that would require transportation control measures, and therefore will not obstruct implementation of the AQMP.

- a) The 2012 AQMP is based on socio-economic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan Land Use designations, and population estimates. The population proposed by this project will not obstruct the implementation of the 2012 AQMP. Therefore, impacts are considered less than significant.
- b) Minor air quality impacts would occur during business operations which the majority would come from vehicle trips to the proposed restaurant building. Vehicle trips and the air quality emissions that are associated with them are anticipated to be less than significant due to the fact that the project is located within an area intended for commercial development and is limited to approximately 0.66 acres, and it is reasonable to assume that a portion of the customers will be already visiting the immediate area which is bordered by existing commercial shopping center. Impacts would be less than significant.
- c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment status pursuant to any applicable federal or state ambient air quality standard. Therefore, less than significant impacts are expected.
- d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include commercial buildings, industrial buildings, residences, and vacant land; the project is approximately 200 feet from nearest residence, but is not expected to generate substantial point-source emissions due to limited size of project. The project will not include major transportation facilities or generate significant odors. Therefore, impacts are less than significant.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
 e) Surrounding uses do not include significant localized odors. Therefore, the proposed project will not involve located within one mile of an existing substantial poir are expected. 	e the const	ruction of a s	sensitive re	ceptor
 f) The project will not create objectionable odors affec impacts are anticipated. 	ting a subs	tantial numb	er of peop	le. No
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
BIOLOGICAL RESOURCES Would the project				
7. Wildlife & Vegetation a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?				\boxtimes
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?				
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?				
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?				\boxtimes
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?				
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?				

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Source: GIS database, WRC-MSHCP and/or CV-MSHCP, review	Environme	ntal Progran	ns Division	(EPD)
Findings of Fact:				
a-g) The proposed project is not located within a Co Multiple Species Habitat Conservation Plan (CV-MS Programs Division of the Planning department was d MSHCP plan. No inconsistencies were reported. The grading for commercial pad. The project site does not above adopted Habitat Conservation Plans, Natural approved local, regional, or state conservation plan. The	HCP). A one to ass e land is proceed to conflict wire conservations.	review by the consisted reviously disented the provision Community.	he Environiency with the turbed with ions of any hity Plan, or	mental ne CV- rough of the
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
CULTURAL RESOURCES Would the project				
Historic Resources a) Alter or destroy an historic site?				\boxtimes
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?				
Source: On-site Inspection, Project Application Materials				
Findings of Fact:				
a-b) The project does not propose the disturbance historic structures. The project will not cause a substate of a historical resource as defined in California Califo	antial adver	se change i	n the signifi	cance
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
9. Archaeological Resources				
a) Alter or destroy an archaeological site.				$oxed{oxed}$
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?				\boxtimes
c) Disturb any human remains, including those interred outside of formal cemeteries?				\boxtimes
d) Restrict existing religious or sacred uses within the potential impact area?				
		_		

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impac
Source: Project Application Materials				
Findings of Fact:				
a) Site disturbance has already occurred we Potential impacts to archaeological resources were located on above project. Therefore, the project will not a and there will be no impact.	were previously re this lot based o	viewed und n surveys o	er PM3416 completed f	8, and or the
 b) The proposed project is not expected to during any ground disturbing activities, unique disturbances shall halt until a meeting is hel Native American representative to discuss the Unanticipated Resources). No impacts are expense 	cultural resource d between the d significance of the	es are disco eveloper, a	vered, all g rchaeologis	ground it, and
c) There may be a possibility that ground distur project is subject to State Health and Safety discovered during ground disturbing activities. N	Code Section 7	050.5 if hui		
0.0	no impacts are an	licipated.		
d) The project will not restrict existing religious of Therefore, there is no impact.	•	•	ential impac	t area.
d) The project will not restrict existing religious	•	•	ential impac	t area.
d) The project will not restrict existing religious of Therefore, there is no impact.	•	•	ential impac	t area.
d) The project will not restrict existing religious of Therefore, there is no impact. Mitigation: No mitigation measures are required.	or sacred uses wit	•	ential impac	t area.
d) The project will not restrict existing religious of Therefore, there is no impact. Mitigation: No mitigation measures are required. Monitoring: No monitoring measures are required. 10. Paleontological Resources a) Directly or indirectly destroy a unique pale	or sacred uses wit	•	ential impac	
d) The project will not restrict existing religious of Therefore, there is no impact. Mitigation: No mitigation measures are required. Monitoring: No monitoring measures are required. 10. Paleontological Resources a) Directly or indirectly destroy a unique pale logical resource, or site, or unique geologic feature?	or sacred uses wit	•	ential impac	
d) The project will not restrict existing religious of Therefore, there is no impact. Mitigation: No mitigation measures are required. Monitoring: No monitoring measures are required. 10. Paleontological Resources a) Directly or indirectly destroy a unique pale logical resource, or site, or unique geologic feature? Source: GIS database, County Geologist review	or sacred uses with onto- been mapped at l, no paleontologiced, all site earthi	s having a cal report ha	low potent as been red I be cease	ial for quired.
d) The project will not restrict existing religious of Therefore, there is no impact. Mitigation: No mitigation measures are required. Monitoring: No monitoring measures are required. 10. Paleontological Resources a) Directly or indirectly destroy a unique pale logical resource, or site, or unique geologic feature? Source: GIS database, County Geologist review Findings of Fact: a) According to GIS database, this site has paleontological resources. Due to low potentia However, should fossil remains be encounter County Paleontologist shall be notified, the app	or sacred uses with onto- been mapped at l, no paleontologiced, all site earthi	s having a cal report ha	low potent as been red I be cease	ial for quired.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GEOLOGY AND SOILS Would the project 11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?				\boxtimes
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?				
Source: Riverside County General Plan Figure S-2 "Earthq County Geologist review	uake Fault	Study Zones	s," GIS data	abase,
Findings of Fact:				
a) According to RCLIS (GIS database), the propose special studies zone. Based on the review of aer research, there is no evidence of active faults cross would expose people to structures to potential substantant are expected.	ial photos, ing trendin	site mappii g toward the	ng and lite subject sit	rature te that
b) In addition, the site is not located within one-had Therefore, the potential for this site to be affected by and no impacts are expected.				
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
12. Liquefaction Potential Zone a) Be subject to seismic-related ground failure, including liquefaction?				
Source: Riverside County General Plan Figure S-3 "Ge County Geologist review; County Geological Report No. 2352		Liquefaction"	, GIS Data	abase,
Findings of Fact:				
a) According to the County Geologist, the potential for the potential for seismically induced liquefaction in Building Codes (CBC 2013) and foundation design values concerns. Therefore, impacts from liquefaction are les	s unlikely. would addr	Compliance ess any pote	e with Cal	ifornia
Mitigation: No mitigation measures required.				
Monitoring: No monitoring measures are required.				

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
13. Ground-shaking Zone Be subject to strong seismic ground shaking?			\boxtimes	
Source: Riverside County General Plan Figure S-4 "Eart Figures S-13 through S-21 (showing General Ground Shak				o," and
Findings of Fact:				
 a) There are no known active or potentially active fallocated within an Alquist-Priolo Earthquake Faucould affect the site is ground shaking resulting fallocative or potentially active faults in soupertaining to development will mitigate the potential 	ilt Zone. The from an eartho ithern Califori	principal sei quake occurr nia. CBC 20	ismic haza ring along s 013 require	rd that several
Mitigation: No mitigation measures are required.				
Monitoring: No mitigation measures are required.				
14. Landslide Risk a) Be located on a geologic unit or soil that unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide lateral spreading, collapse, or rockfall hazards?	ne			\boxtimes
Source: Riverside County General Plan Figure S-5 "Regreview	gions Underla	in by Steep	Slope", Ge	ologist
Findings of Fact:				
 a) According to the County Geologist, landslide Therefore, the project will have no impact. 	s are not a	potential ha	zard to th	e site.
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
15. Ground Subsidence a) Be located on a geologic unit or soil that unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?				
Source: GIS database, County Geologist review				
Findings of Fact:				
a) According to GIS database, the site is located However, County Geologist review concluded that				

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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
differential settlement or cracking to the proposed 2013. Impacts would be less than significant.	building fo	undation su	bject to the	e CBC
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
16. Other Geologic Hazards a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard? 				\boxtimes
Source: Project Application Materials, County Geologist rev	view			
 a) According to the County Geologist, tsunamis and site. Therefore, the project will have no impact. 	seiching ar	e not potent	ial hazards	to the
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
17. Slopes a) Change topography or ground surface relief features?				
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?				
c) Result in grading that affects or negates subsurface sewage disposal systems?				
Source: Project Application Materials, Building and Safety –	Grading Re	/iew		
Findings of Fact:				
 a) The project proposes contains relatively flat topographed. The proposed project will not substantially alter there is no impact. 				
 No slopes with a slope ratio greater than two to or proposed. Therefore, there is no impact. 	ne (2:1) (ho	rizontal run:	vertical ris	e) are
c) No infiltration lines will be disturbed as a result of the	project. The	erefore, there	e is no impa	ct.
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
18. Soils a) Result in substantial soil erosion or the loss of topsoil?				
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact		
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?			\boxtimes			
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?						
Source: General Plan figure S-6 "Engineering Geolog Materials, Building and Safety Grading review	gic Material	s Map", Pr	oject Appli	cation		
 a) The project will not result in substantial soil erosion of improvements, paving, landscaping. Impacts would be 			proposed b	uilding		
 b) The expansion potential of the onsite soils is considered depth of footings will create less than significant imparts. 	ered low and cts.	d engineered	d fill and re	quired		
 c) The project site does not propose septic system Therefore, there is no impact. 	s or altern	ative waste	water dis	posal.		
Mitigation: No mitigation measures are required.						
Monitoring: No monitoring measures are required.						
19. Erosiona) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?				\boxtimes		
b) Result in any increase in water erosion either on or off site?						
Source: Flood Control District review, Project Application Ma	aterials		-			
Findings of Fact:						
a) The project will not have an impact or change deposition, siltation, or erosion that may modify the channel of a river, stream, or the bed of a lake. Therefore, there would be no impact.						
b) The proposed project is anticipated to slightly incr addressed due to proposed on-site retention and tr project is required to accept and properly dispose through the site. Impacts related to water erosion are	ansportatior of all off-s	n related im ite drainage	provements flowing o	. The		
		·	illiourie.			
Mitigation: No mitigation measures are required.		J	illiourit.			

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
20. Wind Erosion and Blowsand from project either on or off site.a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?				
Source: Riverside County General Plan Figure S-8 "Wind Sec. 14.2 & Ord. 484	d Erosion S	Susceptibility	Map," Ord	l. 460,
Findings of Fact:				
a) The project site lies within a high to moderate wind site is not anticipated to be heavily impacted by w proposed site improvements and required PM10 Dus 60.BS Grade.15 – PM 10 Plan). Impacts would be less Mitigation: No mitigation measures are required. Monitoring: No monitoring measures are required.	ind erosion it Control P	and blow : lan during c	sand becai	use of
GREENHOUSE GAS EMISSIONS Would the project				
21. Greenhouse Gas Emissions a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? 				
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?				
Source: Project application materials Findings of Fact:				
a) The Planning Department does not require a green projects that would not contribute cumulatively signiful generate cumulatively considerable levels of GHGs frowater and electricity demands. The type of small-scale would not generate enough GHG emissions from its significant sufficient to warrant quantitative or qualitat California Air Pollution Control Officers Association (900 metric tons per year of GHG emissions threshold The intent of the 900-ton threshold is to capture 90% development projects. CAPCOA's threshold was be associated with 50 single-family residential units, who California. The 900-ton threshold would also corresponding of the projects of approximately 35,000 square for the shold was projects of approximately 35,000 square for the shold was projects of approximately 35,000 square for the projects of approximately 35,000 square for the shold was projects of approximately 35,000 square for the projects of the	ficant amount ficant amount file composed on the condition of all new seed on the condition appears on to apage to a condition account for to apage on the condition account for the condition account file co	unts of exhaubustion or intent authorized to be deen nalysis. More proposed autial and combor residential examount of the for 84% continued to the continued to	ust emissication with emission with the substitution of the project dominiums.	ons or tantial project atively by, the essive ojects. hercial essions ects in of 70

than significant.

and supermarkets of 6,300 square feet, but would exclude smaller residential developments, offices and retail stores from having to quantify and mitigate GHG emissions under CEQA. The contribution to GHG emissions is far below the 900-ton threshold that might otherwise trigger GHG analysis according to CAPCOA's model. Therefore, the impact is considered less

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
 b) As of the creation of this environmental analysis, the opposition of the control /li>	This project	d policy that ct does not	would impa	act this ith the
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
HAZARDS AND HAZARDOUS MATERIALS Would the proj	ject			
22. Hazards and Hazardous Materials a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials? 				
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				\boxtimes
 c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan? 				
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				\boxtimes
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				
Source: Project Application Materials				
Findings of Fact:				
 a) The project does not propose any use that would in hazardous material—beyond a small increase in typica with the proposed restaurant building. Therefore, less 	al househol	d cleaning a	gents to be	used
b) The proposed project is not anticipated to create a environment through reasonably foreseeable upset release of hazardous materials into the environment.	and accide	ent conditio	ns İnvolvin	
c) The proposed project will not impair implementation of emergency response plan or an emergency evacuation emergency access. Therefore, there is no impact.	of or physica on plan. The	ally interfere e project allo	with an acows for ade	lopted equate
 d) There are no existing or proposed schools within proposed project does not propose the transportatio materials. Therefore, there is no impact. 	1000 feet in of substa	the project antial amoun	site. Also its of haza	o, the irdous

	Potentially Significant	Less than Significant	Less Than	No Impact
	Impact	with Mitigation Incorporated	Significant Impact	
e) The proposed project is not located on a site which is sites compiled pursuant to Government Code Sersignificant hazard to the public or the environment. To Mitigation: No mitigation measures are required. Monitoring: No monitoring measures are required.	ction 65962	.5 and, wo	uld not cre	iterials eate a
23. Airportsa) Result in an inconsistency with an Airport Master Plan?				\boxtimes
b) Require review by the Airport Land Use Commission?		\boxtimes		
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?				\boxtimes
Source: Riverside County General Plan Figure S-19 "Airpo Use Commission letter dated December 15, 2014	rt Locations	," GIS datab	ase Airport	Land
 a) The project site is located within an Airport Master consistent with the 2004 Bermuda Dunes Airport Land 	Plan. The p d Use Comp	roject was o atibility Plan.	determined	to be
b) The project site is located within an Airport Master Land Use Commission. Compliance with the Airpo dated December 15, 2014 summarized as follows: p steady light or flashing light towards an aircraft, prohil or water vapor, prohibit any use that would generadditional ALUC review for any future discretionary significant with mitigation incorporated.	rt Land Use prohibiting a bit any use r rate electric	e Commission ny use which which would al interferer	n (ALUC) h would di generate s ice, and re	Letter rect a smoke equire
c) The project site is located within an airport land use p by ALUC with conditions as stated in the December project will not create a safety hazard for people re reference to a public airport or public use airport. Im	15, 2014 let esiding or w	ter from ALL orking in the	JC; therefo project a	re the rea in

<u>Mitigation</u>: Compliance with ALUC letter dated December 15, 2014 which includes mitigations to minimize impacts to Bermuda Dunes Airport including, but not limited to, hooded lighting, prohibit steady or flashing lights toward an aircraft, any use which would cause sunlight to be reflected,

d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area. Therefore, there is no impact.

mitigation incorporated.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
provide airport notice to all potential purchasers of the progenerate smoke or water vapor or which would attract 10.Planning.13 – ALUC Letter).	perty, and t large co	prohibit any encentrations	uses that of birds	would (COA
Monitoring: Monitoring to be provided by Planning Department ALUC staff.	ent, Buildin	g and Safety	Departmer	nt, and
a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				⊠
Source: Riverside County General Plan Figure S-11 "Wildfin	e Susceptib	oility," GIS da	tabase	
Findings of Fact:				
a) The project site is not located in a high fire area. Th	erefore, the	ere is no impa	act.	
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
HYDROLOGY AND WATER QUALITY Would the project				,.
25. Water Quality Impactsa) Substantially alter the existing drainage pattern of			\boxtimes	
the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?				
b) Violate any water quality standards or waste discharge requirements?			\boxtimes	
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?				
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?			\boxtimes	
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?		\boxtimes		
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
g) Otherwise substantially degrade water quality?				
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?				\boxtimes

Source: bHA, Inc. Drainage Report dated April 1, 2015; WQMP Report dated August 29, 2014; Coachella Valley Water District letter dated October 23, 2014; Transportation Dept. Memo dated May 17, 2015

Findings of Fact:

- a) The topography of the site is partially graded desert land. The project would not substantially alter the existing drainage patterns of the project site; however, the project is required to retain 100 percent of the incremental increase runoff for a 100-year event for the proposed restaurant building. The owner shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties as part of the drainage of the site (COA 10.Trans.1-Drainage 1). Impacts are less than significant.
- b) The proposed project will not violate any water quality standards or waste discharge requirements. The water quality calculations were based on the Design Handbook for Low Impact Development Best Management Practices (BMP's). The Whitewater Watershed spreadsheet was applied in the water quality calculations. Impacts would be less than significant with the BMP's incorporated and required BMP permit (COA BS Grade 60.BMP.13 Construction NPDES Permit).
- c) Water service is provided by the Coachella Valley Water District. The proposed project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). Therefore, there is less than significant impact.
- d) The project has the potential to contribute to additional polluted runoff water. However, the project will not exceed the capacity of existing or planned storm water drainage systems. The project provides for adequate drainage facilities and/or appropriate easements. Therefore, the impact is considered less than significant.
- e) The proposed project will not place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. Therefore, there is no impact.
- f) The project proposes a restaurant building within a FEMA 100-year flood hazard area Zone A0, depth 3 feet which would impede or redirect flood flows, but is less than significant with mitigation measures incorporated due to proposed storm chambers of adequate size to retain 100 percent incremental increase of storm water runoff from the 100 year storm event (COA 80.Trans.18 Increased Runoff).

	Significant Impact	Significant with Mitigation Incorporated	Than Significant Impact	Impact
 g) The proposed project is not anticipated to substant Water Quality Management Plan. Impacts would le 	ially degrade v ss than signific	water quality cant.	due to rev	viewed
 h) The site proposes drainage infrastructure. The pro- new or retrofitted storm water Treatment Control water quality treatment basins). Impacts would be leading 	Best Manager	ment Praction	le construc ces (BMPs	tion of (e.g.
Mitigation: Compliance with the conditions of approval on District letter dated October 23, 2014 outlining drainage cor	ntrol measures	s including st	torm chami	bers.
Monitoring: Monitoring to be provided by Transportation Coachella Valley Water District.	Department, E	Building Dep	artment, a	nd the
26. Floodplains Degree of Suitability in 100-Year Floodplains. As in Suitability has been checked.		, the appro	priate Deg	ree of
NA - Not Applicable U - Generally Unsuitable			R - Restric	ted 🗵
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would	e LJ e			
result in flooding on- or off-site?	•			
b) Changes in absorption rates or the rate and amount of surface runoff?				
c) Expose people or structures to a significant risk o loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	, L			
d) Changes in the amount of surface water in any water body?	′ 🗆			
Source: Riverside County General Plan Figure S-9 "100- a S-10 "Dam Failure Inundation Zone," bHA, Inc. Drainage F dated August 29, 2014; Coachella Valley Water District lett Dept. Memo dated May 17, 2015	Report dated A	April 1, 2015	: WQMP F	Report
Findings of Fact:				
 a) The project will not substantially alter the existing proposed drainage improvements including storm of the Whitewater River Basin Thousand Palms Floretention facilities to preserve natural storage of rivenot increased. Impacts are considered less than signature. 	hambers. The ood Control Pi verine flows si	e project lies roject which uch that dov	s within the requires o vnstream f	e area on-site
 b) It is not anticipated that offsite flows will be substantial proposed project due to proposed drainage in considered less than significant with mitigation incorpantial. 	nprovements.	ed by impler Therefore,	mentation of the impa	of the act is

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) The proposed project would not expose people or st or death involving flooding, including flooding as a re proposed drainage improvements and minimum addition, the project site is not located in an area sur levee or dam. Impacts are considered less than sign	sult of the fa finished floc sceptible to	illure of a levor or elevation the impacts	ee or dam (FF 106.2 of the failu	due to 20). In
 d) The proposed project is not expected to change the water. Therefore, there is no impact. 	amount of	surface wat	er in any b	ody of
Mitigation: Compliance with the conditions of approval on fi District letter dated October 23, 2014 outlining drainage cont	le in the LMS rol measure	S and Coach s including s	nella Valley torm cham	Water bers.
Monitoring: Monitoring to be provided by Transportation D Coachella Valley Water District.	epartment,	Building Der	partment, a	nd the
LAND USE/PLANNING Would the project	<u></u>			
 27. Land Use a) Result in a substantial alteration of the present or planned land use of an area? 			\boxtimes	
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?				
Source: GIS database, Project Application Materials Findings of Fact:				
a) The project would result in an alteration of the presequare foot restaurant building is proposed on a 0.66 is located within an existing commercial area intend consistent with the subject land since the land is directaurant uses are allowed within C-R designation. See also discussion under Sections I and II, herein, and general plan consistency.	acre vacar ed for such esignated C Impacts wo	nt parcel, but development commercial fould be less	t the subjec nt. The pro Retail (C-R than signi	ot land ject is), and ficant.
 b) The project is located within the Sphere of Influence (made no reply based on county's transmittal. Any imp 	SOI) of the	City of Palm be less than	Desert. Th significant.	e City
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
28. Planning a) Be consistent with the site's existing or proposed zoning?				
b) Be compatible with existing surrounding zoning?		П	\boxtimes	
c) Be compatible with existing and planned surrounding land uses?				
D 00 105				

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?				
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?				
Source: Riverside County General Plan Land Use Element,	Staff review	v, GIS databa	ase	
Findings of Fact:				
a-b) The project will be conditionally consistent with the site (C-P-S) zone due to the commercial nature of the project a listed and is supported use with an approved plot plan. The pare zoned Specific Plan (S-P), Scenic Highway Commer General Commercial (C-1/C-P). The project would buffer a hooded lighting, and landscaping. Therefore, impacts would be	as a restau oroject is su cial (C-P-S djacent zor	rant use whi rrounded by i), Industrial nes with peri	ich is spec properties Park (I-P	ifically which). and
c-d) The proposal to add a 2,036 restaurant building up to compatible with existing and surrounding land uses inclured residential, hotels, restaurants, golf cart shop, industrial land improvements. Additionally, the proposed intercom with approximately 36 decibels at 16 feet which will negate any including residences within Del Webb. Therefore, impacts we	uding comr d and vaca drive-thru la noise impa	nercial cento nt land due ane has a c cts to surrou	er, single to propose decibel rati Indina land	family ed site ing of
e) The project will not disrupt or divide the physical arrangement	ent of an es	tablished cor	mmunity.	
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required				
MINERAL RESOURCES Would the project				
29. Mineral Resource			·	
a. Result in the loss of availability of a known	Ш	Ш		\boxtimes
mineral resource that would be of value to the region or the residents of the State?				
b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				\boxtimes
c. Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?				
d. Expose people or property to hazards from proposed, existing or abandoned quarries or mines?				\boxtimes
		·		

			Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
Source	e: Riverside County Genera	l Plan Figure OS-5 "N	lineral Resource	s Area"		
a)	The project area has not bloss of availability of a know that would be of value to impact.	vn mineral resource i	n an area classif	ied or desigr	nated by th	e State
b)	The project site has not be in the loss of availability of local general plan, specific	a locally important r	nineral resource	recovery sit	e delineate	
c)	Surrounding the project sit land. There are no existing will be compatible with th classified, designated area,	g surface mines surro e surrounding uses	ounding the proj and will not be	ect site; thei located ad	refore, the jacent to a	project
d)	The project site is not loc project will not expose peo no impact.					
NOISE Definit Wh NA - N	ring: No monitoring measu Would the project result in tions for Noise Acceptabiliere indicated below, the apport Applicable nerally Unacceptable	ty Ratings	table		necked.	eptable
e. use pl within would	Airport Noise	ited within an airport has not been adop ort or public use ain esiding or working in	land lated, port			
f. airstrip						
Source Facilitie	e: Riverside County Genera es Map	al Plan Figure S-19 ".	Airport Locations	s," County of	Riverside	Airport
<u>Finding</u>	gs of Fact:					
people	project site is located within using the project to some a mercial nature of the project	airport noise, but the	noise level woul			

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) The project is not located within the vicinity of a privaresiding on the project site or area to excessive noise levels.	ite airstrip a . No impacts	nd would no are expected	t expose p d.	eople
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
31. Railroad Noise NA A B C D D				\boxtimes
Source: Riverside County General Plan Figure C-1 "Country Inspection	Circulation P	lan", GIS da	atabase, O	n-site
Findings of Fact: The proposed project is located within an adjacent to Interstate 10, but there would no impact due to c	proximately ommercial n	1500' of an ature of the p	existing rail roject.	l road
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
32. Highway Noise NA ☐ A ☒ B ☐ C ☐ D ☐				\boxtimes
Source: On-site Inspection, Project Application Materials				
Findings of Fact: The proposed project is located within located to the south, but there would no impact due to comm	approximate ercial nature	ely 1500 feet of the projec	of Intersta	te 10
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
33. Other Noise NA ☐ A ☐ B ☐ C ☐ D ☐				
Source: Project Application Materials, GIS database				
Findings of Fact: The project includes restaurant intercome However noise levels are 36 decibels at 16 feet so there residents which are approximately 200 feet away. Therefore,	would be no	noise impac	drive thru ets to Del V	lane. Vebb
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
34. Noise Effects on or by the Project a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?				
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?				
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			\boxtimes	
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?				

<u>Source</u>: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

- a) The project shall not create a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project. The proposed development as a restaurant building with drive thru will not substantially increase ambient noise levels due to existing traffic noise along Washington Street and automatic volume control intercom for restaurant drive thru. Therefore, impacts are less than significant.
- b) The proposed project may create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project during construction of the restaurant building. However, the project will be consistent with the County Noise Ordinance No. 847; therefore, impacts are considered less than significant.
- c) The proposed project will not expose people to or generate noise levels in excess of standards established in the local general plan, noise ordinance (County Ordinance No. 847), or applicable standards of other agencies. Exterior noise levels will be limited to less than or equal to 45 dB(A) 10-minute LEQ between the hours of 10:00 p.m. to 7:00 a.m., and 65 dB(A) at all other times pursuant to County Ordinance No. 847 (COA's 10.Planning 8 Exterior Noise Levels and 10.Planning.9 Noise Monitoring Report). Therefore, impacts are expected to be less than significant.
- d) The proposed project will not expose people to or generate excessive ground-borne vibration or ground-borne noise levels. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
POPULATION AND HOUSING Would the project				
35. Housing			·-	
 a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing else- where? 				
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?				
c) Displace substantial numbers of people, neces- sitating the construction of replacement housing else- where?				
d) Affect a County Redevelopment Project Area?				\boxtimes
e) Cumulatively exceed official regional or local population projections?				
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?			\boxtimes	
Source: Project Application Materials, GIS database, R Element	iverside Co	ounty Gener	al Plan Ho	ousing
Findings of Fact:				
 The proposed project will not displace any existing rest the project. Therefore, there is no impact. 	sidences du	e to the com	mercial nat	ure of
 b) The proposed project would not create a demand for a nature of the project. Therefore, there is no impact. 	additional h	ousing due to	the comm	nercial
 The project site will not displace substantial numbers of replacement housing elsewhere due to commercial 	of people r nature of th	necessitating ne project.	the constr	uction
d) The project is not located within or near a County Red	evelopmen	t Project Area	Э.	
 e) The project would add a new business with approximate increase will not exceed official regional or local popula 	ximately 6 ation projec	employees. tions.	This popu	ılation
f) The project will not induce substantial population grow be within a 2,036 square foot building and be limite impacts would be less than significant.	wth in an ai ed to appr	rea since the oximately 6	business employees	would . Any
Mitigation: No mitigation measures are required.				

<u>Monitoring</u>: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associate the provision of new or physically altered government facilities or the need for new or plattered governmental facilities, the construction of which could cause significant enviror impacts, in order to maintain acceptable service ratios, response times or other performances, in order to maintain acceptable services: 36. Fire Services Source: Riverside County General Plan Safety Element Findings of Fact: The proposed restaurant building will have a less than significant impact on the demand services since the project provides adequate fire access along Washington Street and Mark Street and will include fire protection improvements such as minimum required fire flow of 150 water certification, and exhaust ventilation system (COA's 10.Fire.1 – Fire Flow, 80.Fire.1 – Plans, and 90.Fire.1-Fire Lanes). Additionally, the project will not result in substantial adverse physical impacts associated to provision of new or physically altered government facilities or the need for new or physically governmental facilities. As such, this project will not cause additional construction that would any significant environmental impacts, in order to maintain acceptable service ratios, respons or other performance objectives for any of the public services. Therefore, the impact is concless than significant. Mitigation: No mitigation measures are required. Monitoring: No monitoring measures are required. Monitoring: No monitoring measures are required. The Riverside County Sheriff's Department (RCSD) provides law enforcement and crime preservices to the project site. Similar to fire protection services, the proposed project will incremincease the demand for sheriff services in the project area; however, due to its limited si proposed project will create a less than significant impact on sheriff services. Mitigation: No mitigation measures are required.	Potentially Less than Less No Significant Than Impact Impact with Significant Mitigation Impact Incorporated	Significant	
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Monitoring: No monitoring measures are required. 37. Sheriff Services	 the need for new or physically altered ditional construction that would result in eceptable service ratios, response times 	red government facilities or the need his project will not cause additional co acts, in order to maintain acceptable	provision of new or physically alte governmental facilities. As such, the any significant environmental impa or other performance objectives for
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Mitigation: No mitigation measures are required.	the proposed project will incrementally it; however, due to its limited size, the	r to fire protection services, the prop ervices in the project area; howeve	services to the project site. Simila increase the demand for sheriff s
		s are required.	Mitigation: No mitigation measure
Monitoring: No monitoring measures are required.		es are required.	Monitoring: No monitoring measur

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact		
38. Schools		_ D				
Source: GIS database						
Findings of Fact:						
The Desert Sands Unified School District provides public education services for the project area. The applicant of this project may be conditioned to pay the school impact fees as set by State Law. Fees are required to be paid prior to issuance of any future building permits. Therefore, with payment of school fees the potential impact is mitigated to a less than significant level.						
Mitigation: No mitigation measures are required.						
Monitoring: No monitoring measures are required.						
20 Libraria	··					
39. Libraries		<u>_</u>				
Source: Riverside County General Plan						
Findings of Fact:						
The proposed project will not create an incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. Therefore, there is no impact.						
Mitigation: No mitigation measures are required.						
Monitoring: No monitoring measures are required.						
40. Health Services						
Source: Riverside County General Plan						
Findings of Fact:						
The use of the proposed project area would not cause a significant impact on health services since the project proposes a restaurant building with approximately 10 workers. The site is located within the service parameters of County health centers. The project will not physically alter existing health facilities or result in the construction of new or physically altered health facilities. Therefore, there is no impact.						
Mitigation: No mitigation measures are required.						
Monitoring: No monitoring measures are required.						

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact			
RECREATION			<u></u>				
41. Parks and Recreation a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?							
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?							
c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?				⊠ 			
Source: GIS database, Ord. No. 460, Section 10.35 (Reg Recreation Fees and Dedications), Ord. No. 659 (Establishi Open Space Department Review	ulating the ing Develor	Division of I oment Impac	Land – Par t Fees), Pa	k and arks &			
Findings of Fact:							
a) The scope of the proposed project does not involve the construction or expansion of recreational facilities that would have an adverse physical effect on the environment since the land is part of an existing commercial area. Therefore, there is no impact.							
b) Due to the relatively small size of the .66 acre commercial lot, it is not anticipated that the project could generate impacts to nearby parks or recreational facilities. Therefore, there would be no impact.							
 The project is not subject to Quimby fees at this time since no subdivision is proposed. Thus, there is no impact. 							
Mitigation: No mitigation measures are required.							
Monitoring: No monitoring measures are required.							
42. Recreational Trails							
Source: Riverside County General Plan	`						
Findings of Fact: The General Plan identifies a Class I Bi Street, impacts are less than significant.	keway/Reg	ional Trail al	long Washi	ngton			
Mitigation: No mitigation measures are required.							
Monitoring: No mitigation measures are required.							

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
TRANSPORTATION/TRAFFIC Would the project		1		
a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?				
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?				
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	· 🗆			
d) Alter waterborne, rail or air traffic?				\boxtimes
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?				
f) Cause an effect upon, or a need for new or altered maintenance of roads?				
g) Cause an effect upon circulation during the project's construction?			\boxtimes	
h) Result in inadequate emergency access or access to nearby uses?				\boxtimes
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?				

Source: Riverside County General Plan

Findings of Fact:

a) The proposed project to add a restaurant building will slightly increase vehicular traffic on the surrounding streets including Washington Street (116' ROW) within a designated commercial area. However, the Transportation Department did not require a traffic study or street widening for the proposed project due to existing street improvements (COA 10.Trans.3— No Additional Road Improvements). The project will not cause an increase in traffic which is substantial in relation to the existing traffic loads and capacity of the street system. Nor will the project conflict with any County policy regarding mass transit. TUMF mitigation fees shall be required (COA 80.Trans.3 - TUMF). Impacts are considered less than significant.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
 b) The project site meets all parking requirements of Ordi Parking." Project parking consists of approximately 19 s project will not conflict with an applicable congestion manage 	paces with	one (1) dri	18.12 "Off ve-thru lan	-Street e. The
c & d) The proposed project is located within an Airport Inflair traffic patterns, including either an increase in traffic level substantial safety risks. Therefore, there is no impact.	luence Area els or a cha	a. The proje ange in loca	ect will not o tion that re	change sults in
 e) The proposed project will not substantially increase haza or dangerous intersections) or incompatible uses (e.g. fa impact. 	rds to a des rm equipm	sign feature ent). There	(e.g. sharp efore, there	curves is no
f) The project will cause a slight increase in the population maintenance responsibility. A portion of property taxes a District to offset the increased cost of maintenance. Therefore	re provided	I to the Cor	nmunity Se	ervices
g) It is not anticipated that there will be a substantial effective project's construction. Therefore, this impact is considered to			ring the pro	posed
h) The proposed project will not result in inadequate emer Therefore, there is no impact.	gency acce	ss or acces	s to nearby	uses.
i) The proposed project will not conflict with adopted police (e.g. bus turnouts, bicycle racks). Therefore, there is no imp	cies suppor act.	ting alternat	ive transpo	rtation
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
44. Bike Trails			\boxtimes	
Source: Riverside County General Plan				
Findings of Fact: The General Plan does identify a Class I E Street, impacts are less than significant.	sikeway/Reg	gional Trail a	along Wash	ington
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
UTILITY AND SERVICE SYSTEMS Would the project			-	
a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?				
b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?				
Page 33 of 37		E	A 42729	

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impac
Source: Coachella Valley Water District and Department of	Environmer	ntal Health R	eview	
 a) The proposed project is served by the Coachella Vall in the construction of new water treatment facilities result of the restaurant building. However, due to the square feet and desert landscaping, impacts would be 	or expansion relatively sm	on of existing all size of the	g facilities	as the
b) The proposed project will be served by CVWD. Ba dated October 23, 2014, it is anticipated that the p available for the project. Therefore, the impact is cons	roject will h	ave sufficier	nt water su	
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
46. Sewer a. Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?				
b. Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				
Source: Department of Environmental Health Review; Co October 23, 2014	achella Vall	ey Water Di	strict letter	dated
Findings of Fact:				
a) The proposed project may result in the construction of expansion of existing facilities as the result of the re Water District (CVWD) transmittal letter of October 23 area will be provided. Due to the relatively small size of significant.	estaurant bu 5, 2014 indic	uilding. The dates sanitation	Coachella on service	Valley to this
c) The proposed project, based on the CVWD transm likely to have adequate wastewater treatment cap Therefore, it is not anticipated the project will result in serve the project's projected demand. Therefore	acity to ser	ve the exist at has inaded	ting projec quate capa	t site. citv to

Mitigation: No mitigation measures are required.

significant.

<u>Monitoring</u>: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
47. Solid Waste				
a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?				
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Manage- ment Plan)?				
Source: Riverside County General Plan, Riverside correspondence	County	Waste Mana	agement [District
Findings of Fact:				
a-b) The project will not generate significant amounts of cons by Riverside County Waste Management Department and Recycling Plan (WMP) and compliance with AB 341 as indi 2014. The proposed project will not require nor result in the including the expansion of existing facilities. Therefore, impact Mitigation: No mitigation measures are required. Monitoring: No monitoring measures are required.	l shall be cated by ti ne constru	required to ransmittal da ction of new	submit a t ted Decem landfill fac	Waste ber 8,
48. Utilities Would the project impact the following facilities requiring facilities or the expansion of existing facilities; the construenvironmental effects?	or resulting	g in the con vhich could	struction c	of new nificant
a) Electricity?		🔲		
b) Natural gas?			\square	
c) Communications systems?			\square	
d) Storm water drainage?				
e) Street lighting?	<u> </u>		\square	
f) Maintenance of public facilities, including roads?	<u> </u>			
g) Other governmental services?				\square
Source: Riverside County General Plan Findings of Fact: a-g) No letters have been received eliciting responses th substantial new facilities or expand facilities. The project will be a substantial new facilities or expand facilities.	at the pro nave less tl	posed projec nan significar	ct would re it impact.	equire
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
49. Energy Conservation a) Would the project conflict with any adopted energy conservation plans?				
Source: Riverside County General Plan				
Findings of Fact:				
a-b) The proposed project will not project conflict with any project will have no impact.	adopted en	ergy conserv	ation plans	s. The
Mitigation: No mitigation measures are required.				
Monitoring: No monitoring measures are required.				
MANDATORY FINDINGS OF SIGNIFICANCE 50. Does the project have the potential to substantially				
50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?				
Source: Staff review, Project Application Materials				
Findings of Fact: Implementation of the proposed project we of the environment, substantially reduce the habitat of fish of populations to drop below self-sustaining levels, threaten to exercise the number or restrict the range of a rare or endanger examples of the major periods of California history or prehistory.	r wildlife sp eliminate a ed plant or	ecies, cause plant or anim	a fish or v al commun	vildlife itv. or
51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?				
Source: Staff review, Project Application Materials				
Findings of Fact: The project does not have impacts which considerable.	are individ	ually limited,	but cumula	atively

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?				

<u>Findings of Fact</u>: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

- Earlier Analyses Used, if any: SCAQMD
- GP: Riverside County General Plan
- RCLIS: Riverside County Land Information System
- PM34168

Location Where Earlier Analyses, if used, are available for review:

Location:

County of Riverside Planning Department 77588 El Duna Ct. Ste. H

Palm Desert, CA 92211

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; Sundstrom v. County of Mendocino (1988) 202 Cal.App.3d 296; Leonoff v. Monterey Board of Supervisors (1990) 222 Cal.App.3d 1337; Eureka Citizens for Responsible Govt. v. City of Eureka (2007) 147 Cal.App.4th 357; Protect the Historic Amador Waterways v. Amador Water Agency (2004) 116 Cal.App.4th at 1109; San Franciscans Upholding the Downtown Plan v. City and County of San Francisco (2002) 102 Cal.App.4th 656.

File: EA42792

PLOT PLAN: TRANSMITTED Case #: PP25673 Parcel: 748-370-056

10 GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is for a 2,036 square foot fast food restaurant building up to approximately 22 feet in height with indoor/outdoor seating, drive-thru lane, signage, and 19 parking spaces, located within Assessor's Parcel No. 748-370-056.

10. EVERY. 2 USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

- (a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,
- (b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

PLOT PLAN:TRANSMITTED Case #: PP25673

Parcel: 748-370-056

10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25673 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Exhibit A (Site & Grading Plans), Exhibit B (Elevations), Exhibit C (Floor Plans), Exhibit L (Landscape Plans), Exhibit S (Sign Plans).

BS GRADE DEPARTMENT

10 BS GRADE. 1 USE - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT

RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS

RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

PLOT PLAN:TRANSMITTED Case #: PP25673 Parcel: 748-370-056

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.)

RECOMMND

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. QSD or QSP must print and save records of the precipitation forecast for the project location area from (http://www.srh.noaa.gov/forecast) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT

RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season

Riverside County LMS CONDITIONS OF APPROVAL

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PLOT PLAN:TRANSMITTED Case #: PP25673 Parcel: 748-370-056

10. GENERAL CONDITIONS

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT (cont.)

RECOMMND

from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL

RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 11

USE - MINIMUM DRNAGE GRADE

RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE, 13

USE - SLOPE SETBACKS

RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 18

USE - OFFST. PAVED PKG

RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

10.BS GRADE, 24

USE - FINISH GRADE

RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE -PERMIT REQUIREMENTS

RECOMMND

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building

Riverside County LMS CONDITIONS OF APPROVAL

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PLOT PLAN:TRANSMITTED Case #: PP25673

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10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE -PERMIT REQUIREMENTS (cont.)

RECOMMND

department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building, structure, or equipment. In residential applications, each separate structure will require a separate building permit.

E HEALTH DEPARTMENT

10.E HEALTH. 1 USE - *WATER AND SEWER SERVICE

RECOMMND

PP25673 is proposing potable water service from Coachella Valley Water District and sanitary sewer service from Coachella Valley Water District. It is the responsibility of the developer to ensure that all requirements to obtain potable water service and sanitary sewer service are met with the appropriate purveyor(s) as well as all other applicable agencies.

Any existing onsite wastewater treatment system and/or onsite water well shall be properly removed or abandoned under permit with the Department of Environmental Health.

FIRE DEPARTMENT

10.FIRE. 1 USE*-#23-MIN REQ FIRE FLOW

RECOMMND

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type VB construction per the 2013.

10.FIRE. 2 USE-#20-SUPER FIRE HYDRANT

RECOMMND

Super fire hydrants) (6"x4"x 2-2 1/2") shall be located ot less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways.

10.FIRE. 3 USE-#89-KNOX BOX

RECOMMND

Knox Box- key storage shall be installed on the outside of the building. Knox Box application is available at The County Fire Department.

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PLANNING DEPARTMENT

10.PLANNING. 1 USE - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10 PLANNING. 2 USE - FEES FOR REVIEW

RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10 PLANNING. 3 USE - LIGHTING HOODED/DIRECTED

RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 4 USE - COLORS & MATERIALS

RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT A.

10.PLANNING. 5 USE - LAND DIVISION REQUIRED

RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with verside County Ordinance No. 460, and any other pertinent ordinance.

10 PLANNING. 6 USE - HOURS OF OPERATION

RECOMMND

Use of the facilities approved under this plot plan shall be limited to the hours of 6:00 AM to 1:00 AM, Monday through Sunday in order to reduce conflict with adjacent residential zones and/or land uses.

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10.PLANNING. 7 USE - LIMIT ON SIGNAGE

RECOMMND

Signage for this project shall be limited to the signs shown on APPROVED EXHIBIT A. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 8 USE - EXTERIOR NOISE LEVELS

RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. he permit holder shall comply with the applicable standards of Ordinance No. 847.

10 PLANNING. 9 USE - NOISE MONITORING REPORTS

RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 11 USE IF HUMAN REMAINS FOUND

RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:

The developer/permit holder or any successor in interest shall comply with the following codes:

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10 GENERAL CONDITIONS

10.PLANNING. 11 USE IF HUMAN REMAINS FOUND (cont.)

RECOMMND

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted by the Coroner within the period specified by law (24 hours). Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 12 USE - UNANTICIPATED RESOURCES

RECOMMND

UNANTICIPATED RESOURCES:

"The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, unanticipated cultural resources* are discovered, the following procedures shall be followed:

- 1) All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist**, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find.
- 2) The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

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10.PLANNING. 12 USE - UNANTICIPATED RESOURCES (cont.) RECOMMND

- 3) At the meeting with the aforementioned parties, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.
- 4) Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.
- * A cultural resource site is defined, for this condition, as being a feature and/or three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to sacred or cultural importance.
- ** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary."

10.PLANNING, 13 USE - ALUC LETTER

RECOMMND

The permit holder shall remain in compliance with the attached Airport Land Use Commission (ALUC) letter dated December 15, 2014, summarized as follows:

- 1) Any outdoor lighting installed shall be hooded or shielded:
- 2) The following uses shall be prohibited:
- a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations;
- b) Any use which would cause sunlight to be reflected towards an aircraft;
- c) Any use which would generate smoke or water vapor or

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10.PLANNING. 13 USE - ALUC LETTER (cont.)

RECOMMND

which would attract large concentrations of birds;

- d) Any use which would generate electrical interference that may be detrimental to aircraft;
- 3) The attached "Notice of Airport in Vicinity" shall be provided to all potential tenants and purchasers.
- 10.PLANNING. 14 USE 90 DAYS TO PROTEST

RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10.PLANNING. 15 USE - MT PALOMAR LIGHTING AREA

RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminares, shall be utilized.

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO (ORD 461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Riverside County Road Improvement Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

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10.TRANS. 2 USE - COUNTY WEB SITE

RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site: http://rctlma.org/trans/. If you have questions, please call the Plan Check Section at (951) 955-6527.

10 TRANS. 3 USE - NO ADD'L ON-SITE R-O-W

RECOMMND

No additional on-site right-of-way shall be required on Washington Street since adequate right-of-way exists.

10.TRANS. 4

USE - NO ADD'L ROAD IMPRVMNTS

RECOMMND

No additional road improvements will be required at this time along Washington Street due to existing improvements.

10.TRANS. 5 USE - SUBMIT FINAL WOMP

RECOMMND

In compliance with the currently effective Municipal Stormwater Permit issued by the Colorado River Regional Water Quality Control Board [Order No. R7-2008-0001], and beginning June 15, 2009, all projects that 1) are located within the drainage boundary (watershed) of the Whitewater River; and 2) require discretionary approval by the County of Riverside required to comply with the Water Quality Management Plan (WQMP) for Urban Runoff. The WQMP addresses post-development water quality impacts from new development and significant redevelopment projects. The WQMP provides detailed guidelines and templates to assist the applicant in completing the necessary documentation and calculations. These documents are available on-line at: www.rcflood.org/npdes.

To comply with the WQMP, applicants must prepare and submit a "Project Specific" WQMP. At a minimum, the WQMP must: a) identify the post-project pollutants associated with the development proposal together with any adverse hydrologic impacts to receiving waters; b) identify site-specific mitigation measures or Best Management Practices (BMPs) for the identified impacts including site design, source control and treatment control post-development BMPs; and c) identify a sustainable funding and maintenance mechanism for the aforementioned BMPs. A template for this report is included as 'Exhibit 1' in the WQMP.

The applicant has submitted a report that meets the

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10. GENERAL CONDITIONS

10.TRANS. 5

USE - SUBMIT FINAL WQMP (cont.)

RECOMMND

criteria for a Preliminary Project Specific WQMP (see Flood Hazard Report). However, the report will need to be revised to meet the requirements of a Final Project Specific WQMP. However, in order to meet the requirements of a Final Project Specific WQMP, it shall be prepared in substantial conformance to the Preliminary Project Specific WQMP. Also, the applicant should note that, if the project requires a Section 401 Water Quality certification, the Regional Water Quality Control Board may require additional water quality impact mitigation measures.

10 TRANS. 6

USE - DRAINAGE 1

RECOMMND

The proponent shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed." The protection shall be as approved by the Transportation Department.

10 TRANS. 7

USE - FLOOD HAZARD REPORT 1

RECOMMND

This is a proposal to construct a 2,036 square foot fast food restaurant building (Taco Bell) with drive-thru and 19 parking spaces. The project is located within an existing retail center west of Washington Street, north of Varner Road, and south of Wildcat Drive. For new developments in this area, they are required to retain the incremental increase of the runoff for a 100-year event. The proponent shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. The retention of the incremental increase of the 100 year storm shall be required as part of the drainage improvements for this project.

10 TRANS. 8

USE - FLOOD HAZARD REPORT 2

RECOMMND

Per letter from the Coachella Valley Water District, dated October 23, 2014, this project is located within the area of the Whitewater River Basin Thousand Palms Flood Control Project which is currently under design. This area is shown to be subject to shallow flooding and is designated Zone

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10 GENERAL CONDITIONS

10.TRANS. 8 USE - FLOOD HAZARD REPORT 2 (cont.)

RECOMMND

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AO, depth 3 feet on Federal Flood Insurance rate maps.

10.TRANS. 9 USE - DRAINAGE EASEMENT

RECOMMND

Coachella Valley Water District will need additional facilities to provide for the orderly expansion of its domestic water and sanitation systems. These facilities may include pipelines, wells, reservoirs, booster pumping stations, lift stations and other facilities. The project proponent may be required to install these facilities and provide land and/or easement on which some of these facilities will be located. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed." All drainage easements shall be maintained by the owner in perpetuity.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

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60 PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 2

USE - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100

RECOMMND

All drainage facilities shall be designed n accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

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60 PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS

RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60 BS GRADE. 8 USE - NOTARIZED OFFSITE LTR

RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 11 USE - APPROVED WOMP

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG

RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 13 USE- BMP CONST NPDES PERMIT

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

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60 PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 14 USE - SWPPP REVIEW

RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

60.BS GRADE. 15 USE - PM10 PLAN REQUIRED

RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit.

- 1.NOTE: The PM 10 plan shall require the posting of signs in accordance with Building and Safety form "Signage Recommendations".
- 2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

60 BS GRADE. 17 USE -PM 10 CLASS REQUIRED

RECOMMND

Prior to the issuance of a grading permit, as a requirement of the CIP, the owner, developer, contractor, and their assignees must attend the PM10 class conducted by SCAQMD. Currently, classes are scheduled monthly by SCAQMD.

EPD DEPARTMENT

60.EPD. 1 MBTA SURVEY

RECOMMND

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through August 31st). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. The biologist shall prepare and submit a report, documenting the results of the survey, to the Riverside County Planning Department, Environmental Programs Division (EPD) for review and approval. If nesting activity is observed, appropriate

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60 PRIOR TO GRADING PRMT ISSUANCE

60.EPD. 1 - MBTA SURVEY (cont.)

RECOMMND

avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 30 days prior to any ground disturbance. If ground disturbance does not begin within 30 days of the report date a second survey must be conducted.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - CVWD CLEARANCE

RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions stated in their letter dated October 23, 2014, summarized as follows: prior to issuance of grading permits, the developer shall comply with Riverside County Ordinance No. 458 as amended in the preparation of on-site flood protection facilities for this project.

60.PLANNING. 2 USE - PM10 MITIGATION PLAN

RECOMMND

Notwithstanding any provision of Riverside County Ordinance No. 742 (Control of Fugitive Dust & PM10) to the contrary, this project shall comply with the requirements of Ordinance No. 742, including, but not necessarily limited to, the submission of a PM10 Mitigation Plan containing all reasonably available fugitive dust control measures, and, thereafter, the permit holder shall comply with all provisions of the approved PM10 Mitigation Plan during grading, earth movement operations and construction of the project as determined by the Director of the Department of Building and Safety.

The permit holder shall submit a copy of the approved PM10 Mitigation Plan to the Planning Department and the submitted copy shall include a cover letter containing a written certification from a state licensed professional that the control measures of the plan are included in the grading and building plans submitted to the Department of Building and Safety pursuant to obtaining a grading permit.

60.PLANNING. 3 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 25673, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 3 USE - FEE STATUS (cont.)

RECOMMND

status, the permit holder shall pay the outstanding balance.

TRANS DEPARTMENT

60.TRANS. 5

USE - SUBMIT GRADING PLAN

RECOMMND

When you submit a grading plan to the Department of Building and Safety, a copy of the grading plan (24" X 36") shall be submitted to the Transportation Department for review and subsequently for the required clearance of the condition of approval prior to the issuance of a grading permit.

60 TRANS. 7

USE - SUBMIT WOMP AND PLANS

RECOMMND

The project specific Final WQMP, improvement plans, grading plans, final map, Environmental Constraint Sheet, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the Transportation Department for review and approval. The Final WQMP and plans must receive Transportation Department approval prior to the issuance of grading permits. All submittals shall be date stamped by a registered engineer.

60 TRANS. 8

USE - WOMP MAINT DETERMINATION

RECOMMND

The project proponent shall contact the Transportation Department to determine the appropriate entity that will maintain the BMPs identified in the project specific WQMP. This determination shall be documented in the project specific WQMP. The project proponent shall begin the process of establishing the maintenance entity identified in the approved project specific WQMP.

60 TRANS. 9

USE - DRAINAGE SUBMIT PLANS 1

RECOMMND

The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation for review and approval. The project proponent shall pay all fees as required by Riverside

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 9 USE - DRAINAGE SUBMIT PLANS 1 (cont.)

RECOMMND

County Transportation Department.

60.TRANS. 10

USE - DRAINAGE SUBMIT PLANS 2

RECOMMND

Per letter dated October 23, 2014, the project proponent shall submit plans for grading, landscaping, and irrigation systems to Coachella Valley Water District for review and approval. This review is for ensuring efficient water management.

60.TRANS. 11

USE - EASEMENT FOR DRAINAGE

RECOMMND

The project proponent will prepare record easements for drainage purposed by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed." All drainage easements shall be maintained by the owner in perpetuity.

60 TRANS. 12

USE - TYPICAL SITE GRADING

RECOMMND

All on-site grading shall be done to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

70. PRIOR TO GRADING FINAL INSPECT

TRANS DEPARTMENT

70.TRANS. 1 USE - IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants.

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70. PRIOR TO GRADING FINAL INSPECT

70.TRANS. 2 USE - ESTABLISH MAINT ENTITY

RECOMMND

The project proponent shall begin the process of establishing the maintenance entity identified in the approved project specific WQMP.

70 TRANS. 3

USE - EROSION CONTROL

RECOMMND

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site grading.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT

RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

- 1. Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.
- 2. Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.
- 3. Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

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80 PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL (cont.)

RECOMMND

4. Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 USE - FOOD PLANS REOD

RECOMMND

A total of 3 complete set of plans for each food establishment are needed including a fixture schedule, a finish schedule, and a plumbing schedule in order to ensure compliance with current State and Local regulations.

80 E HEALTH. 2 USE - WATR/SEWR WILL SERVE

RECOMMND

A "will serve" letter is required from the agency/agencies serving potable water and sanitary sewers.

80 E HEALTH. 3 USE - E.HEALTH CLEARANCE REO.

RECOMMND

ENVIRONMENTAL HEALTH CLEARANCE IS REQUIRED PRIOR TO THE ISSUANCE OF THIS BUILDING PERMIT.

FIRE DEPARTMENT

80.FIRE. 1 USE-#4-WATER PLANS

RECOMMND

The following shall comply, if no existing fire hydrant(s) on site for fire protection: The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by

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80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 1 USE-#4-WATER PLANS (cont.)

RECOMMND

the Riverside County Fire Department."

80.FIRE. 2 USE-#17A-BLDG PLAN CHECK \$

RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

PLANNING DEPARTMENT

80.PLANNING. 1 USE - CONFORM TO ELEVATIONS

RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT A.

80.PLANNING. 2 USE - CONFORM TO FLOOR PLANS

RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT A.

80 PLANNING 3 USE - ROOF EQUIPMENT SHIELDING

RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80 PLANNING. 4 USE - CVWD CLEARANCE

RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated October 23, 2014, summarized as follows: developer shall comply with Riverside County Ordinance No. 458 as amended in the preparation of on-site flood protection facilities:

80 PLANNING. 5 USE - LIGHTING PLANS

RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approvaland shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 6 USE - WASTE MGMT. CLEARANCE

RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated December 8, 2014, summarized as follows: prior to issuance of building permit, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan (WRP).

80 PLANNING. 7 USE - SCHOOL MITIGATION

RECOMMND

Impacts to the Desert Sands Unified School District shall be mitigated in accordance with California State law.

80 PLANNING. 9 USE - CC&R RECIPROCAL EASEMNT

RECOMMND

The permit holder shall (a) notify the Planning Department that the following documents shall be shortly, or have been, submitted to the Office of the County Counsel for review; and (b) the permit holder shall submit copies of the following documents to the Planning Department for concurrent review along with any condition review fee; and (c) the documents to be submitted by the permit holder to the Office of the County Counsel shall include all of the following:

- 1. A cover letter identifying the project for which approval is sought referencing the Planning Department case number;
- 2. A signed and notarized grant of reciprocal easement document, which includes, but is not necessarily limited to, both a legal description of the boundaries of the reciprocal easement and a scaled map or diagram of such boundaries, both signed and stamped by a California registered civil engineer or licensed land surveyor;
- 3. A sample document conveying title to the purchaser of an individual lot or unit which provides that the grant of reciprocal easement is incorporated therein by reference; and
- 4. A deposit equaling three (3) hours at the current hourly rate for the Review of Covenants, Conditions and Restrictions as established pursuant to Ordinance No. 671 at the time the above documents are submitted for review by the Office of the County Counsel.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 9 USE - CC&R RECIPROCAL EASEMNT (cont.)

RECOMMND

The grant of reciprocal easement document submitted for review shall (a) provide for no limit to the term of years or life of the reciprocal easement, (b) provide reciprocal easements for ingress and egress parking between properties known as PM34168, and (c) contain the following provision verbatim:

"Notwithstanding any provision in this Grant of Reciprocal Easement to the contrary, the following provision shall apply:

This Grant of Reciprocal Easement shall not be terminated, 'substantially' amended, or property deannexed therefrom absent the prior written consent of the Planning Director of the County of Riverside, or the County's successor-in-interest. A proposed amendment shall be considered 'substantial' if it affects the extent, usage or maintenance of the reciprocal easement established pursuant to this Grant of Reciprocal Easement."

Once approved by the Office of the County Counsel, the grant of reciprocal easement document shall be recorded by the permit holder. PRIOR TO THE ISSUANCE OF BUILDING PERMITS, the permit holder shall submit two (2) copies of the recorded Grant of Reciprocal Easement document to the Planning Department for verification and placement in the case file.

80.PLANNING. 10 USE - FEE BALANCE

RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

TRANS DEPARTMENT

80.TRANS. 3 USE - TUMF

RECOMMND

Prior to the issuance of a building permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 17

USE - CORNER CUT-BACK I

RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit 'C' of the Countywide Design Guidelines.

80 TRANS. 18

USE - INCREASED RUNOFF MIT

RECOMMND

Per the project drainage report (April 1, 2015 prepared by bHA, Inc.), the proponents engineer has calculated the storm water runoff from the 100-year event for the existing condition and the proposed condition. The proposed development shall retain the incremental increase of runoff between the pre-development and post-development 100-year storm event. The Preliminary Drainage Report proposes to utilize Stormchambers.

80.TRANS. 19

USE - EASEMENT FOR DRAINAGE 2

RECOMMND

The project proponent will prepare and record easements for drainage purposes by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed." All drainage easements shall be maintained by the owner in perpetuity.

80.TRANS. 20

USE - LANDSCAPING

RECOMMND

Landscaping within public road rights-of-way shall comply with Transportation Department standards and require approval by the Transportation Department.

Assurance of continuing maintenance is required by filing an application for annexation into a County Service Area, Landscaping and Lighting Maintenance District NO. 89-1-Consolidated and/or Assessment District or enter into a continuous landscape maintenance agreement as approved by the Transportation Department.

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90. PRIOR TO BLDG FINAL INSPECTION

B&S DEPARTMENT

90.B&S. 1

BP-FEMA FORM APPRVL REQUIRED

RECOMMND

Prior to building permit final, a development in FEMA mapped flood zones "A" or "AO" shall provide a FEMA form, filled out, wet stamped and signed by a registered civil engineer or licensed land surveyor, to the Building and Safety Department Grading Division.

The Grading division will transmit the form to the proper flood control district for their review and approval.

Upon receipt of their approval, this condition will be classified as "MET" and the building permit will be eligible for final approval:

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WOMP BMP INSPECTION

RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WOMP BMP CERT REO'D

RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES

RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 4 USE - BMP REGISTRATION

RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - WQMP ANNUAL INSP FEE

RECOMMND

Prior to final building inspection, the applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

90 BS GRADE. 6 USE - REQ'D GRADING INSP'S

RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

- 1. Sub-grade inspection prior to base placement.
- 2.Base inspection prior to paving.
- 3. Precise grade inspection of entire permit area.
- a. Inspection of Final Paving
- b.Precise Grade Inspection
- c. Inspection of completed onsite storm drain facilities
- d. Inspection of the WQMP treatment control BMPs

90.BS GRADE. 7 USE - PRECISE GRDG APPROVAL

RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

- 1.Requesting and obtaining approval of all required grading inspections.
- 2. Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical

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90 PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 7 USE - PRECISE GRDG APPROVAL (cont.)

RECOMMND

engineer as appropriate) for the sub-grade and base of all paved areas.

- 3. Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.
- 4. Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.
- 5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.
- 6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT CONTACT

RECOMMND

Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (760) 863-8976 for any additional requirements.

90 E HEALTH. 2 USE - HAZMAT BUS PLAN

RECOMMND

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

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90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1

USE-#45-FIRE LANES

RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90 FIRE. 2

USE-#37- EXIT SIGN

RECOMMND

Exit signs, exit markers and exit path marking shall be installed per the California Building Code.

90 FIRE. 3

USE-#27-EXTINGUISHERS

RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

90.FIRE. 4

USE-#36-HOOD DUCTS

RECOMMND

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

PLANNING DEPARTMENT

90.PLANNING. 1

USE - PARKING PAVING MATERIAL

RECOMMND

A minimum of 19 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 2 USE - ACCESSIBLE PARKING

RECOMMND

A minimum of two (2) accessible parking spaces for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ____ or by telephoning ___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 3 USE - ROOF EQUIPMENT SHIELDING

RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 4 USE - CURBS ALONG PLANTERS

RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 5 USE - UTILITIES UNDERGROUND

RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90 PLANNING. 6 USE - COLOR/FINISH COMPLIANCE

RECOMMND

The permittee shall properly install approved color and finish products in accordance with these conditions of approval:

90 PLANNING. 7 USE - LIGHTING PLAN COMPLY

RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval nd shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

90 PLANNING. 8 USE - INSTALL BIKE RACKS

RECOMMND

A bicycle rack with a minimum of four (4) spaces shall be provided in convenient locations to facilitate bicycle access to the project area. The bicycle racks shall be shown on project landscaping and improvement plans, and shall be installed in accordance with those plans.

90 PLANNING. 10 USE - TRASH ENCLOSURES

RECOMMND

Trash enclosure which is adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 10 USE - TRASH ENCLOSURES (cont.)

RECOMMND

the type of material to be deposited in each bin.

90.PLANNING. 11 USE - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cummulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 25673 has been calculated to be .66 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 12 USE - ORD 875 CVMSHCP FEE

RECOMMND

Prior to a certificate of occupancy or upon building permit final inspection, whichever comes first, the permit holder shall comply with the provisions of Riverside County Ordinance No. 875, which requires the payment of the appropriate fee set forth in the ordinance. The amount of the fee will be based on the "Project Area" as defined in the ordinance and the aforementiond condition of approval. The Project Area for Plot Plan No. 25673 is calculated to be .66 acres. In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable, However, in the event Riverside County

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 12 USE - ORD 875 CVMSHCP FEE (cont.)

RECOMMND

Ordinance No. 875 is rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 13 USE - CO WASTE MGMT CLEARANCE

RECOMMND

A clearance letter from the Riverside County Waste Management Department shall be provided to the Riverside County Planning Department verifying compliance with the conditions of their letter dated December 8, 2015, summarized as follows: prior to occupancy permit, evidence to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department.

TRANS DEPARTMENT

90.TRANS. 1 USE - IMPLEMENT WQMP

RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants.

90 TRANS. 2 USE - BMP MAINT AND INSPECTION

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the Transportation Department for review and approval prior to the issuance of occupancy permits.

90 TRANS. 3 USE - DRAINAGE IMRPOV COMPLETE

RECOMMND

All drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention systems are required to be completed prior to 05/26/15 11:23

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3 USE - DRAINAGE IMRPOV COMPLETE (cont.)

RECOMMND

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occupancy.

90.TRANS. 4 USE - EASEMENT FOR DRAINAGE 2

RECOMMND

The project proponent will prepare and record easements for drainage purposes by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed." All drainage easements shall be maintained by the owner in perpetuity.

90.TRANS. 5 USE - LANDSCAPING PLAN

RECOMMND

The project proponent shall comply in accordance with landscaping requirements within public road rights-of-way, in accordance with Ordinance 461. Landscaping shall be installed within Washington Street.

Landscaping plans shall be submitted on standard County Plan sheet format (24" X 36"). Landscaping plans shall be submitted with the street improvement plans. If landscaping maintenance to be annexed to County Service Area, or Landscaping and Lighting Maintenance District, landscaping plans shall depict ONLY such landscaping, irrigation and related facilities as are to be placed within the public road rights-of-way.



COUNTY OF RIVERSIDE

TRANSPORTATION AND LAND MANAGEMENT AGENCY



Juan C. Perez, P.E., T.E. Director of Transportation and Land Management

Transportation Department

Patricia Romo, P.E. Assistant Director of Transportation

Date: May 17, 2015

To: Majeed Farshad **From:** Kevin Tsang KKT

RE: Recommended Conditions of Approval for PP25673, Taco Bell on Washington Street

Transportation Development Review Riverside has received the following data:

- 1. Preliminary Water Quality Management Plan for PP 25673
- 2. Preliminary Drainage Report for PP 25673 (Dated April 1, 2015)

Transportation has completed the review of the above report and has prepared the drainage related conditions for the project. The proponent proposes to collect the incremental difference of the 100-year storm runoff generated from the site and convey it to an onsite basin at the north end of the site. The following are our recommended Conditions of Approval for drainage improvements for this project:

10. GENERAL CONDITIONS

10. TRANS

USE - DRAINAGE 1

The proponent shall protect downstream properties from damages caused by alteration of the drainage patterns, i.e., concentration or diversion of flow. Protection shall be provided by constructing adequate drainage facilities including enlarging existing facilities and/or by securing a drainage easement. All drainage easements shall be shown on the final map and noted as follows: "Drainage Easement - no building, obstructions, or encroachments by landfills are allowed." The protection shall be as approved by the Transportation Department.

10. TRANS

USE - FLOOD HAZARD REPORT 1

This is a proposal to construct a 2,036 square foot fast food restaurant building (Taco Bell) with drive-thru and 19 parking spaces. The project is located within an existing retail center west of Washington Street, north of Varner Road, and south of Wildcat Drive. For new developments in this area, they are required to retain the incremental increase of the runoff for a 100-year event. The proponent shall provide mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. The retention of the incremental increase of the 100 year storm shall be required as part of the drainage improvements for this project.

10. TRANS

USE – FLOOD HAZARD REPORT 2

Per letter from the Coachella Valley Water District, dated October 23, 2014, this project is located within the area of the Whitewater River Basin Thousand Palms Flood Control Project which is currently under design. This area is shown to be subject to shallow flooding and is designated Zone AO, depth 3 feet on Federal Flood Insurance rate maps.

10. TRANS

USE – DRAINAGE EASEMENT

Coachella Valley Water District will need additional facilities to provide for the orderly expansion of its domestic water and sanitation systems. These facilities may include pipelines, wells, reservoirs, booster pumping stations, lift stations and other facilities. The project proponent may be required to install these facilities and provide land and/or easement on which some of these facilities will be located. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed." All drainage easements shall be maintained by the owner in perpetuity.

60. PRIOR TO GRADING PRMT ISSUANCE

60. TRANS

USE - DRAINAGE SUBMIT PLANS 1

The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation for review and approval. The project proponent shall pay all fees as required by Riverside County Transportation Department.

60. TRANS

USE - DRAINAGE SUBMIT PLANS 2

Per letter dated October 23, 2014, the project proponent shall submit plans for grading, landscaping, and irrigation systems to Coachella Valley Water District for review and approval. This review is for ensuring efficient water management.

60. TRANS

USE - EASEMENT FOR DRAINAGE

The project proponent will prepare record easements for drainage purposed by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed." All drainage easements shall be maintained by the owner in perpetuity.

60. TRANS

USE - TYPICAL SITE GRADING

All on-site grading shall be done to drain to on site drainage facilities. Offsite drainage shall be conveyed through the project site in a manner that will not adversely impact either on-site improvements or worsen the existing drainage conditions to adjacent offsite properties.

70. PRIOR TO GRADING FINAL INSPECT

70. TRANS

USE – EROSION CONTROL

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing

these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site grading.

80. TRANS PRIOR TO BLDG PRMT ISSUANCE

80. TRANS

USE – INCREASED RUNOFF MIT

Per the project drainage report (April 1, 2015 prepared by bHA, Inc.), the proponents engineer has calculated the storm water runoff from the 100-year event for the existing condition and the proposed condition. The proposed development shall retain the incremental increase of runoff between the predevelopment and post-development 100-year storm event. The Preliminary Drainage Report proposes to utilize Stormchambers.

80. TRANS

USE -- EASEMENT FOR DRAINAGE 2

The project proponent will prepare and record easements for drainage purposes by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed." All drainage easements shall be maintained by the owner in perpetuity.

90. PRIOR TO BLDG FINAL INSPECTION

90. TRANS

USE – DRAINAGE IMPROV COMPLETE

All drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention systems are required to be completed prior to occupancy.

90. TRANS

USE – EASEMENT FOR DRAINAGE 2

The project proponent will prepare and record easements for drainage purposes by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement – no building, obstructions, or encroachments are allowed." All drainage easements shall be maintained by the owner in perpetuity.





Coachella Valley Water District

Directors: John P. Powell, Jr., President - Div. 3 Franz W. De Klotz, Vice President - Div. 1 Ed Pack - Div. 2

Peter Nelson - Div. 4 Debi Livesay - Div. 5

October 23, 2014

Officers: Jim Barrett, General Manager Julia Fernandez, Board Secretary

Best Best & Krieger LLP, Attorneys

File: 0163.1 0421.1 0721.1 1150.011

Geo. 0507063 PZ 14-5896

Jay Olivas Riverside County Planning Department 77588 El Duna Court, Suite H Palm Desert, CA 92211

Dear Mr. Olivas:

Subject: Plot Plan No. 25673-EA42729

This project lies within the area of the Whitewater River Basin Thousand Palms Flood Control Project, which will provide regional flood protection to a portion of the Thousand Palms area. Coachella Valley Water District (CVWD) is currently in the design phase of this project. Upon completion of the design phase, developers and property owners within the area may be required to dedicate right-of-way for regional flood control facilities and/or participate in the financing of a portion of these facilities. Until construction of this project is complete, the developer shall comply with Riverside County Ordinance 458.

Prior to issuance of grading permits for PP25673, the developer shall comply with Riverside County Ordinance 458 as amended in the preparation of on-site flood protection facilities for this project. The developer will be required to pay fees and submit plans to the Riverside County (County) as part of the flood management review. Flood protection measures shall include establishing a finished floor elevation at or above the flood depth, constructing erosion protection for the foundation of the buildings and allowing reasonable conveyance of off-site flow through the property.

Construction of walls may be in violation of Ordinance 458. When CVWD reviews a project for compliance with Ordinance 458, walls are reviewed carefully and seldom found to be compatible with the goals of Ordinance 458. Walls can cause diversion and concentration of storm flows onto adjacent properties and thus be in violation of Ordinance 458 and California drainage law.



Walls must be constructed in a manner that will not increase the risk of off-site stormwater flows on the adjacent properties. This can be accomplished by constructing open sections in the wall to accommodate flow-through. To achieve this, CVWD requires that if walls are constructed in a special flood hazard area, at least 50 percent of the total lineal footage of the wall be constructed of wrought iron fencing or similar material that will provide for flow-through of off-site stormwater flows. Construction materials used within the open sections must extend the entire vertical wall height so not to obstruct flow at the finish grade/surface.

This area is shown to be subject to shallow flooding and is designated Zone AO, depth 3 feet on Federal Flood Insurance rate maps, which are in effect at this time.

Flood protection measures shall comply with California Drainage Law and provide that stormwater flows are received onto and discharged from this property in a manner that is reasonably compatible with predevelopment conditions.

The County shall require mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. These measures shall require on-site retention of the incremental increase of runoff from the 100-year storm.

CVWD will provide domestic water and sanitation service to this area and such service will be subject to the satisfaction of terms and conditions established by CVWD and exercised from time to time, including but not limited to fees and charges, water conservation measures, etc.

CVWD may need additional facilities to provide for the orderly expansion of its domestic water and sanitation systems. These facilities may include pipelines, wells, reservoirs, booster pumping stations, lift stations, treatment plants and other facilities. The developer may be required to install these facilities and provide land and/or easements on which some of these facilities will be located. These sites shall be shown on the map as lots and/or easements to be deeded to CVWD for such purpose.

This notice of domestic water and sanitation service availability can only be used and relied upon for the specific property for which it was issued and shall expire three (3) years from date of issuance.

Domestic water and sanitation service remains at all times subject to changes in regulations adopted by CVWD's Board of Directors including reductions in or suspensions of service.

CVWD requires any business having the potential of discharging grease into a public sewer to install a grease interceptor, including a sample box, sanitary tee and running trap with cleanout, prior to any discharge to its sanitation facilities. The size of the grease interceptor will be determined and approved by CVWD. Installation of the interceptor will be inspected by CVWD.

This development is subject to the County's Landscape Ordinance which was adopted in accordance with the State's Model Water Efficient Landscape Ordinance and CVWD's Ordinance 1374. The purpose of these ordinances is to establish effective water efficient landscaping requirements for newly installed and rehabilitated landscapes. In order to ensure this development's compliance, plans for grading, landscaping and irrigation systems shall be submitted to CVWD for review. This review is for ensuring efficient water management.

This development lies within the study area of the 2010 Water Management Plan Update. The groundwater basin in the Coachella Valley is in a state of overdraft. Each new development contributes incrementally to the overdraft. CVWD has a Water Management Plan in place to reduce the overdraft to the groundwater basin. The elements of the Water Management Plan include supplemental imported water, source substitution and water conservation. The plan lists specific actions for reducing overdraft. The elements and actions described in the plan shall be incorporated into the design of this development to reduce its negative impact on the Coachella Valley groundwater basin.

If you have any questions please call Tommy Fowlkes, Development Services Supervisor, extension 3535.

Sincerely,

Carrie Oliphant

Engineering Services Manager

Carrie Oliphant

cc: Majeed Farshad

Riverside County Department of Transportation

77588 El Duna, Suite H

Palm Desert, CA 92211

Alan French

Riverside County Department of Transportation

4080 Lemon Street, 8th Floor

Riverside, CA 92501

Michael Mistica, MBA

County of Riverside, Department of Environmental Health

Land Use and Water Resources Program

3880 North Lemon St., Suite 200

Riverside, CA 92501

Marks Architects, Inc.

2643 Fourth Avenue

San Diego, CA 92103

SL: ms\Eng\Dev Srvs\2014\Oct\Dcv Review EA42729.doc



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

December 15, 2014

CHAIR Simon Housman Rancho Mirage

Mr. Jay Olivas, Urban Regional Planner IV Riverside County Planning Department 77-588 El Duna Court, Suite H Palm Desert, CA 92211

VICE CHAIRMAN Rod Ballance Riverside

COMMISSIONERS

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW

Arthur Butler Riverside File No.: ZAP1056BD14 Related File No.: PP 25673

Glen Holmes Hemet 748-370-056

John Lyon Riverside

Dear Mr. Olivas:

APN:

Greg Pettis Cathedral City

Steve Manos Lake Elsinore Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above-referenced proposal for the establishment of a 2,036 square foot fast food restaurant (Taco Bell) on a 0.66-acre parcel located westerly of Washington Street, northerly of Varner Road, southerly of Wildcat Drive, and easterly of Berkey Drive in the unincorporated community of Bermuda Dunes.

STAFF

Director Ed Cooper The site is located within Airport Compatibility Zone D of the Bermuda Dunes Airport Influence Area (AIA). The project is anticipated to accommodate a maximum of 62 people (50 in the building and 12 in the drive-through queue), resulting in a prorated average intensity of 94 people based on the 0.66-acre site area, which would be consistent with the Compatibility Zone D average acre criterion of 100 people. (Single-acre intensity is not applicable because the site is smaller than 3 acres in area.)

John Guerin Russell Brady Barbara Santos

Based on the distance of the parcel to the end of the runway at 7,200 feet and the elevation of the westerly end of the runway at 73.4 feet above mean sea level (AMSL), FAA Obstruction Evaluation review would be required for any structure with a top point elevation exceeding 145.4 feet AMSL. The proposed finished floor elevation is 106.20 feet AMSL and the maximum building height proposed is 22 feet, 1 inch (22.08 feet) for a total elevation of 128.28 feet AMSL. Therefore, FAA Obstruction Evaluation review for height/elevation reasons will not be required.

County Administrative Center 4080 Lemon St., 14tht Floor. Riverside, CA 92501 (951) 955-5132

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, subject to the following conditions:

www.rcaluc.org

CONDITIONS:

- 1. Any new outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky.
- 2. The following uses shall be prohibited:

- (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
- (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area, including but not limited to, composting operations, trash transfer stations that are open on one or more sides, recycling centers containing putrescible wastes, construction and demolition debris facilities, landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, incinerators, and fly ash disposal.
- (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
- 3. The attached notice shall be provided to all potential purchasers of the property and tenants of any habitable buildings thereon.
- 4. This determination of consistency is based on the site plan and related documents prepared for Plot Plan No. 25673, which provide for a restaurant with an indoor serving area of 639 square feet, plus a drive-through. In the event that subsequent tenant improvements result in a serving area exceeding 700 square feet, the resulting project shall be submitted to ALUC for amended review.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

Edward C. Cooper, Director

RB:bks

Attachments: Notice of Airport in Vicinity

cc: Marks Architects – Attn.: Gabriela Marks (representative)

PSTB, LLC – Attn.: Lee Mitchell (property owner)

Passco Washington Square (Irvine)

Mike Smith, Manager, Bermuda Dunes Executive Airport ALUC Case File

 $Y: AIRPORT\ CASE\ FILES \setminus Bermuda\ Dunes \setminus ZAP1056BD14 \setminus ZAP1056BD14 \cup TR. doc$

NOTICE OF AIRPORT IN VICINITY VICINITY

annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are This property is presently located in the vicinity of an airport, within what is known as an airport influence associated with the property before you complete your area. For that reason, the property may be subject to with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) some of the annoyances or inconveniences associated



Hans W. Kernkamp, General Manager-Chief Engineer

December 8, 2014

Jay Olivas, Project Planner Riverside County Planning Department 77588 El Duna Court, Suite H Palm Desert, CA 92211

RE: Plot Plan (PP) No. 25673

Proposal: Construct a new 2,036 square foot restaurant building

APN: 748-370-056

Dear Mr. Olivas:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project located west of Washington St., and south of Wildcat Dr. in the Western Coachella Valley Community Area Plan. In order to mitigate the project's potential solid waste impacts and help the County comply with AB 939 (Integrated Waste Management Act), the California Green Building Standards, AB 341 (Mandatory Commercial Recycling), and AB 1826 (Organic Waste Recycling) through diverting solid waste from landfill disposal, the RCWMD recommends that the following conditions be made a part of any Conditions of Approval for the project:

- 1. Prior to issuance of a building permit, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
- 2. **Prior to final building inspection**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department
- Prior to issuance of building permit, A Waste Recycling Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., cardboard, concrete, asphalt, wood, etc.) that will be by construction and generated development. the projected amounts. measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

Jay Olivas, Project Planner PP No. 25673 December 8, 2014 Page 2

- 4. Prior to issuance of an occupancy permit, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.
- 5. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234.
- 6. AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:
 - Source separate recyclable and/or compostable material from solid waste and donate self-haul the material to recycling facilities.
 - Subscribe to a recycling service with their waste hauler.
 - Provide recycling service to their tenants (if commercial or multi-family complex).
 - Demonstrate compliance with the requirements of California Code of Regulations Title 14.

For more information, please visit:

www.rivcowm.org/opencms/recycling/recycling and compost business.html#mandatory

- 7. AB 1826 (effective April 1, 2016) requires businesses that generate 8 cubic yards or more of organic waste per week to arrange for organic waste recycling services. The threshold amount of organic waste generated requiring compliance by businesses is reduced in subsequent years. Businesses subject to AB 1826 shall take at least one of the following actions in order to divert organic waste from disposal:
 - Source separate organic material from all other recyclables and donate or self-haul to a permitted organic waste processing facility.
 - Enter into a contract or work agreement with gardening or landscaping service provider or refuse hauler to ensure the waste generated from those services meet the requirements of AB 1826.

Jay Olivas, Project Planner PP No. 25673 December 8, 2014 Page 3

8. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3200.

Sincerely,

Jose L. Merlan

Urban Regional Planner II

Jan Ululan

PD# 165649



Director

PLANNING DEPARTMENT

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPR	JATE:			
☑ PLOT PLAN☐ REVISED PERMIT	☐ CONDITIONAL US ☐ PUBLIC USE PERI] TEMPORARY US] VARIANCE	SE PERMIT
PROPOSED LAND USE: _	Taco Bell Restaurant			
ORDINANCE NO. 348 SECT	ΓΙΟΝ AUTHORIZING PROI	POSED LAND (USE:	
ALL APPLICATIONS MUST INCLUDE TO THE SPECIFIC PROJECT. ADDIT	TIONAL INFORMATION MAY BE RE	NDER ANY SUPPLI QUIRED AFTER INI	EMENTAL INFORMATION TIAL RECEIPT AND REV	I LIST APPLICABLE IEW. INCOMPLETE
CASE NUMBER:	164905/	DATE SUB	MITTED:	1714
APPLICATION INFORMATION	<u>ON</u>			
Applicant's Name: <u>Gabriel</u>	a Marks	E-Mail: ga	briela@marksarchi	tects.com
Mailing Address: 2643 4th	n Ave. San Diego CA 9210 Street)3		
	City State		ZIP	
Daytime Phone No: (619)	702-9448	Fax No: (<u>619</u>) 702-9448	
Engineer/Representative's N	ame: Gabriela Marks		E-Mail: gabriela	@marksarchitects.com
Mailing Address: 2643 4t	h Ave. San Diego CA 921	03		
	Street			
	City State		ZIP	
Daytime Phone No: ()	F	ax No: (_)	
Property Owner's Name:		E-Mail:		
Mailing Address:		<u> </u>		
	Street		ZIP	
Daytime Phone No: ()	City State			·
Biverside Office 4000 Law	Charles 40th Flore	5.	Off 00000 TI 0	

Riverside Office · 4080 Lemon Street, 12th Floor P.O. Box 1409, Riverside, California 92502-1409 (951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road Palm Desert, California 92211 (760) 863-8277 · Fax (760) 863-7555 If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Gabriela Marks	
PRINTED NAME OF APPLICANT	SIGNATURE OF APPLICANT
AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:	
I certify that I am/we are the record owner(s) or authorized age correct to the best of my knowledge. An authorized agent indicating authority to sign the application on the owner's behalf	must submit a letter from the owner(s)
All signatures must be originals ("wet-signed"). Photocopies or	f signatures are not acceptable.
PSTB, LLC	Lee mil
PRINTED NAME OF PROPERTY OWNER(S)	SIGNATURE OF PROPERTY OWNER(S)
PRINTED NAME OF PROPERTY OWNER(S)	SIGNATURE OF PROPERTY OWNER(S)
If the property is owned by more than one person, attacapplication case number and lists the printed names and sign the property.	ch a separate sheet that references the natures of all persons having an interest in
☐ See attached sheet(s) for other property owners' signature	S.
PROPERTY INFORMATION:	
Assessor's Parcel Number(s): 748-370-056-0	
Section: Township:	Range:

<u>APPLICATION FOR LAND USE PROJECT</u> 0.66 AC Approximate Gross Acreage: General location (nearby or cross streets): North of Fwy 10 South of Wildcat Drive , East of Berkey Dr. , West of Washington St. _____ Thomas Brothers map, edition year, page number, and coordinates: Page 819 Grid F2 Project Description: (describe the proposed project in detail) New 2,036s sf Taco Bell Restaurant with Drive Through and 24 parking spaces Related cases filed in conjunction with this application: None Is there a previous application filed on the same site: Yes \square No \square If yes, provide Case No(s). $\frac{N/A}{}$ (Parcel Map, Zone Change, etc.) E.A. No. (if known) ___ N/A _____ E.I.R. No. (if applicable): Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes X No T If yes, indicate the type of report(s) and provide a copy: N/A Is water service available at the project site: Yes \square No \square If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) Washington St. Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes X No 🗌 Is sewer service available at the site? Yes 🖾 No 🗍 If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) N/A Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes \tag{X} \tag{No} \tag{X} How much grading is proposed for the project site? Estimated amount of cut = cubic yards:

APPLICATION FOR LAND USE PROJECT Estimated amount of fill = cubic yards Does the project need to import or export dirt? Yes No Import _____ Export _____ Neither What is the anticipated source/destination of the import/export? Contractor to determine What is the anticipated route of travel for transport of the soil material? How many anticipated truckloads? ______40 cy__truck = 43 truck loads. 14,000 What is the square footage of usable pad area? (area excluding all slopes) Is the project located within 8½ miles of March Air Reserve Base? Yes \(\bar{\bar{\text{No}}} \) No \(\bar{\text{No}} \) If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes \textstyle \text{No } \textstyle \text{X} Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: http://cmluca.projects.atlas.ca.gov/) Yes \(\square\) No \(\square\) Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes \(\square\) No \(\sqrt{X} \) Does the project area exceed one acre in area? Yes \(\simega\) No \(\simega\) Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html) for watershed location)? X Whitewater River Santa Ana River Santa Margarita River San Jacinto River

HAZARDOUS WASTE AND SUBSTA	NCES STATEMENT
Government Code Section 65962.5 requires the applicant specified state-prepared lists of hazardous waste sites and agency indicating whether the project and any alternatives a specify any lists. Under the statute, no application shall be statement.	d submit a signed statement to the loca are located on an identified site and shal
I (We) certify that I (we) have investigated our project and any an identified hazardous waste site contained on all lists comp 65962.5 and that my (our) answers are true and correct. My (iled pursuant to Government Code Section
The development project and any alternatives proposed lists compiled pursuant to Section 65962.5 of the Government	
The development project and any alternatives proposed i compiled pursuant to Section 65962.5 of the Government Cod provided and incorporated herein. Attach a separate sheet respect to each list.	le. Accordingly, the following information is
Name of Applicant: Address: Phone number: Address of site (street name and number if available, and ZIP Local Agency: County of Riverside Assessor's Book Page, and Parcel Number: Specify any list pursuant to Section 65962.5 of the Government Regulatory Identification number: Date of list:	
Applicant (1) Gabriela Marks	Date <u>8/29/14</u>
Applicant (2)	Date

HAZARDOUS MATERIALS DISCLOSURE STATEMENT

Government Code Section 65850.2 requires the owner or authorized agent for any development project to disclose whether:

1.	Compliance will be needed with the applicable requirements of Section 25505 and Article 2
	(commencing with Section 25531) of Chapter 6.95 of Division 20 of the Health and Safety Code
	or the requirements for a permit for construction or modification from the air pollution control
	district or air quality management district exercising jurisdiction in the area governed by the
	County.
	Yes X No T

APPLICATION FOR LAND USE PROJECT

2: The proposed project process or will contain Yes ☐ No 🔯					in a
(we) certify that my (our) an	swers are true and co	prirect.			
Owner/Authorized Agent (1)	Gabriela Marks	AMD'	Date	8/29/14	
Owner/Authorized Agent (2)		9	Date		

Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP) within the Whitewater River Region						
Project File No.						
Project Name:	Taco Bell Washington Square					
Project Location:	Washington St. Palm Desert CA					
Project Description:	2,036 sf Drive Through Restaurant					
Project Applicant Information	Gabriela Marks, Marks Architects 619-702-9448					
Proposed Project Consists of, o		YES	NO			
Single-family hillside residences that creat	e 10,000 square feet, or more, of impervious are where the natural slope is 25% or greater.		X			
Single-family hillside residences that creat conditions are known.	e 10,000 square feet of impervious area where the natural slope is 10% or greater where erosive soil		X			
Commercial and Industrial developments	· · · · · · · · · · · · · · · · · · ·		X			
Gasoline Service Stations,7532-Top, Boo 7534-Tire Retreading and Repair Shops,	trial Classification (SIC) Codes 5013-Motor vehicle supplies or parts, 5014-Tires & Tubes, 5541- ly & Upholstery Repair Shops and Paint Shops, 7533-Automotive Exhaust System Repair Shops, 7536-Automotive Glass Replacement Shops, 7537-Automotive Transmission Repair Shops, 7538- Automotive Repair Shops, not elsewhere classified)		X			
Retail gasoline outlets disturbing greater the			\mathbf{x}			
in the retail sale of prepared food and drin Beaneries, Box lunch stands, Buffets (restaurants, Concession stands, prepared Dining rooms, Dinner theaters, Drive-in re Grills, (eating places), Hamburger stands Luncheonettes, Lunchrooms, Oyster bars, Soda fountains, Soft drink stands, Submar		X				
Home subdivisions with 10 or more housing			X			
Parking lots of 5,000 square feet or more, or with 25 or more parking spaces, and potentially exposed to Urban Runoff.			X			
	DETERMINATION: Circle appropriate determination.					
If any question answered "YES"	Project requires a project-specific WQMP.					
If <u>all</u> questions answered "NO"	Project requires incorporation of Site Design Best Management Practices (B Source Control BMPs imposed through Conditions of Approval or permit conditions		and			

NOTICE OF PUBLIC HEARING

and

INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

A PUBLIC HEARING has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the RIVERSIDE COUNTY DIRECTOR'S HEARING to consider the project shown below:

PLOT PLAN NO. 25673 – Intent to Adopt Mitigated Negative Declaration – Applicant: Gabriela Marks – Eng-Rep: Marks Architects – Fourth Supervisorial District – Bermuda Dunes Zoning District - Western Coachella Valley Community Area Plan: Community Development: Commercial Retail (CD: CR) (0.20 – 0.35 FAR) - Zoning: Scenic Highway Commercial (C-P-S) - Location: North of Market Place, south of Wildcat Drive, west of Washington Street and east of Berkey Drive – Project Area: 0.66 Acres - **REQUEST:** Plot Plan proposes a 2,036 square foot fast food restaurant building up to approximately 22 feet in height with indoor/outdoor seating, drive-thru lane, signage, and 19 parking spaces. Business hours of operation are proposed between 6:00 a.m. and 1:00 a.m.

TIME OF HEARING:

1:30 pm or as soon as possible thereafter

JUNE 16, 2015

Palm Desert Permit Center 77-588 El Duna Court, Suite H Palm Desert, CA 92211

For further information regarding this project, please contact Project Planner, Jay Olivas, at (760) 863-7050 or email jolivas@rctlma.org or go to the County Planning Department's Director's Hearing agenda web page at http://planning.rctlma.org/PublicHearings.aspx.

The Riverside County Planning Department has determined that the above project will not have a significant effect on the environment and has recommended adoption of a mitigated negative declaration. The Planning Director will consider the proposed project and the proposed mitigated negative declaration, at the public hearing. The case file for the proposed project and the proposed mitigated negative declaration may be viewed Monday through Thursday, 8:30 a.m. to 5:00 p.m., at the County of Riverside Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501. For further information or an appointment, contact the project planner.

Any person wishing to comment on a proposed project may do so, in writing, between the date of this notice and the public hearing or appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Director, and the Planning Director will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

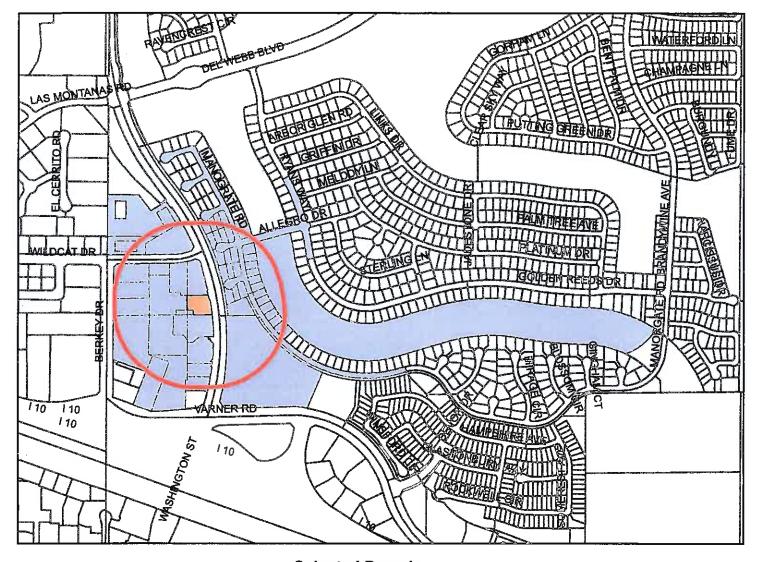
If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing. Be advised that, as a result of public hearings and comment, the Planning Director may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands, within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to: RIVERSIDE COUNTY PLANNING DEPARTMENT

Attn: Jay Olivas

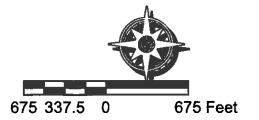
P.O. Box 1409, Riverside, CA 92502-1409

PP25673 (600 feet buffer)



Selected Parcels

748-350-005	748-350-007	748-360-022	748-350-048	748-350-050	748-360-019	748-370-015	748-370-062	748-360-024	748-350-002	
748-350-052	748-350-042	748-360-023	748-360-026	748-350-006	748-350-051	748-350-041	748-350-054	748-430-008	748-350-045	
748-370-025	748-360-020	748-360-017	748-350-056	748-350-044	748-370-054	748-370-058	748-370-033	748-350-047	748-360-018	
748-350-003	748-370-023	748-370-024	748-350-055	748-350-004	748-350-001	748-350-049	748-350-043	748-370-042	748-370-014	
748-350-008	748-370-044	748-370-045	748-370-040	748-370-052	748-370-060	748-370-065	748-370-066	748-370-053	748-370-056	
748-350-053	748-350-040	748-360-021	748-350-046	748-330-059	748-350-057	748-350-058	748-360-025	748-360-027	748-390-022	
748_390_024	748-430-001	748-430-002	748-430-005	748-430-006	748-370-030					



ASMT: 748350001, APN: 748350001

JUDY GIGANTE 5924 VIENNA WY LANSING MI 48917 ASMT: 748350008, APN: 748350008 NANCY JONES 39591 MANORGATE RD

PALM DESERT, CA. 92211

ASMT: 748350002, APN: 748350002

CATHERINE ROMMAL P O BOX 132127 BIG BEAR LAKE CA 92315 ASMT: 748350040, APN: 748350040 ANN SPIRES, ETAL 667 HAMPTON RD ARCADIA CA 91006

ASMT: 748350003, APN: 748350003

SHIRLEY CELLI, ETAL 39567 MANORGATE RD PALM DESERT, CA. 92211 ASMT: 748350041, APN: 748350041 DOLORES SCHILLING 76995 OKLAHOMA

PALM DESERT CA 92211

ASMT: 748350004, APN: 748350004

JUDITH JACKSON 39571 MANORGATE RD PALM DESERT, CA. 92211 ASMT: 748350042, APN: 748350042

CORINNE DILLARD 78079 DAMASK ROSE CT PALM DESERT, CA. 92211

ASMT: 748350005, APN: 748350005 DAKENDA MARKETING, ETAL 904 228 26TH AVENUE SW CALGARY AB CANADA T2S3C6 ASMT: 748350043, APN: 748350043

LOIS DEWITT
PMB 62
38180 DEL WEBB BLV
PALM DESERT CA 92211

ASMT: 748350006, APN: 748350006

CAROLYN MOSS, ETAL 39579 MANORGATE RD PALM DESERT, CA. 92211 ASMT: 748350044, APN: 748350044

VIRGINIA LINDLEY, ETAL 23 FALCON RIDGE MATTOON IL 61938

ASMT: 748350007, APN: 748350007

JUDITH MARCH, ETAL 6102 GOLF VIEW RD GURNEE IL 60031 ASMT: 748350045, APN: 748350045

ETTY SHERMAN 78068 ALLEGRO CT PALM DESERT, CA. 92211 ASMT: 748350046, APN: 748350046 ROBERT HART 78038 ALLEGRO CT PALM DESERT, CA. 92211

ASMT: 748350047, APN: 748350047 ELIZABETH ROBERSON, ETAL 78008 ALLEGRO CT PALM DESERT, CA. 92211

ASMT: 748350048, APN: 748350048 BARBARA BANSMER 232 S ALMONT DR BEVERLY HILLS CA 90211

ASMT: 748350049, APN: 748350049 MARIANNE VANDIJK, ETAL 285 MOBILE DR ASHLAND OR 97520

ASMT: 748350050, APN: 748350050 BARBARA SANTY 78071 ALLEGRO CT PALM DESERT, CA. 92211

ASMT: 748350051, APN: 748350051 DIANA HAMMONS 554 BRODERICK ST SAN FRANCISCO CA 94117

ASMT: 748350052, APN: 748350052 CAROL RIGGS, ETAL 78040 DEERBROOK CIR PALM DESERT, CA. 92211 ASMT: 748350053, APN: 748350053 MARY ANDERSON, ETAL 78010 DEERBROOK CIR PALM DESERT, CA. 92211

ASMT: 748350054, APN: 748350054 MARIAN TOCCI, ETAL 11181 ETTRICK ST OAKLAND CA 94605

ASMT: 748350055, APN: 748350055 THERESA FEMENELLA, ETAL 21762 CHATHAM MISSION VIEJO CA 92692

ASMT: 748350056, APN: 748350056 KATHRYN WYATT, ETAL 78083 DEERBROOK CIR PALM DESERT, CA. 92211

ASMT: 748360017, APN: 748360017 GEORGE SAHAGIAN 667 N SUNNYSLOPE AVE PASADENA CA 91107

ASMT: 748360018, APN: 748360018 JO PERRY 39535 MANORGATE RD PALM DESERT, CA. 92211

ASMT: 748360019, APN: 748360019 SARAH GONZALES, ETAL 39539 MANORGATE RD PALM DESERT, CA. 92211 ASMT: 748360020, APN: 748360020

GARY CLARK

39543 MANORGATE RD PALM DESERT, CA. 92211

ASMT: 748360021, APN: 748360021

ESTHER BLOCH, ETAL 39547 MANORGATE RD PALM DESERT, CA. 92211

ASMT: 748360022, APN: 748360022

ALICE FOTTRELL 75 PARTRIDGE CT ALAMO CA 94507

ASMT: 748360023, APN: 748360023

DAVID NOORTHOEK 488 OAK BROOK CT SANTA ROSA CA 95409

ASMT: 748360024, APN: 748360024

C V W D P O BOX 1058

COACHELLA CA 92236

ASMT: 748360026, APN: 748360026

DEL WEB CALIF CORP 39775 BERKEY DR

PALM DESERT CA 92211

ASMT: 748360027, APN: 748360027

SUN CITY PALM DESERT COMMUNITY ASSN

38180 DEL WEBB BL PALM DESERT CA 92211 ASMT: 748370014, APN: 748370014

MOTEL 6 OPERATING

C/O TAX DEPT P O BOX 117508

CARROLLTON TX 75011

ASMT: 748370015, APN: 748370015 BIG SKY INV HOSPITALITY INC

2545 RUDY ST

ROWLAND HEIGHTS CA 91748

ASMT: 748370024, APN: 748370024

JOHNSON FAMILY

78005 WILDCAT DR NO 107 PALM DESERT CA 92211

ASMT: 748370025, APN: 748370025

FORCE WILDCAT C/O ERICKSON P O BOX 13164

PALM DESERT CA 92255

ASMT: 748370033, APN: 748370033

HLDG

ATTN WESLEY D OLIPHANT 77900 AVE OF THE STATES PALM DESERT CA 92211

ASMT: 748370039, APN: 748370039

ALLIANCE JN HOSPITALITY GROUP, ETAL

21520 YORBA LINDA BL G338 YORBA LINDA CA 92887

ASMT: 748370042, APN: 748370042

OLEANDER, ETAL 88 LENORA ST

SEATTLE WA 98121

ASMT: 748370045, APN: 748370045

P D GROUP 2445 KISER TUSTIN CA 92782

ASMT: 748370056, APN: 748370056

PSTB

C/O CRAIG A LANGEL 2700 RADIO WAY MISSOULA MT 59808

ASMT: 748370058, APN: 748370058

SHOLEH HANSHAW, ETAL 4438 E WICKHAM AVE ORANGE CA 92867

ASMT: 748370062, APN: 748370062

BRAVO PROP INC C/O CLAUDIO BRAVO P O BOX 820 DSRT HOT SPG CA 92240

ASMT: 748370066, APN: 748370066 PASSCO WASHINGTON SQUARE

2050 MAIN ST STE 650 IRVINE CA 92614

ASMT: 748390022, APN: 748390022

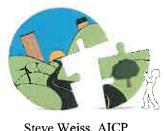
SUN CITY PALM SPRINGS COMMUNITY ASSN

C/O THOMAS LUCAS 2231 E CAMELBACK RD PHOENIX AZ 85016

ASMT: 748390024, APN: 748390024

FRONTIER BANK, ETAL C/O GEORGE CHAMI JR 1667 E LINCOLN AVE ORANGE CA 92865 ASMT: 748430006, APN: 748430006 WILDCAT DRIVE I C/O BEARDLAND IMPROVEMENT 530 11TH ST MODESTO CA 95354

ASMT: 748430008, APN: 748430008 EISENOWER MEDICAL CENTER ATTN CHIEF FINANCIAL OFFICER 39000 BOB HOPE DR RANCHO MIRAGE CA 92270



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP Planning Director

MITIGATED NEGATIVE DE	CLARATION
Project/Case Number: PLOT PLAN NO. 25673	
Based on the Initial Study, it has been determined that the primitigation measures, will not have a significant effect upon the e	
PROJECT DESCRIPTION, LOCATION, AND MITIGATION POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental A	
COMPLETED/REVIEWED BY:	
By: Jay Olivas Title: Project Planner	Date: <u>May 18, 2015</u>
Applicant/Project Sponsor: Marks Architects	Date Submitted: September 17, 2014
ADOPTED BY: Planning Director	
Person Verifying Adoption:	Date:
The Mitigated Negative Declaration may be examined, along study, if any, at: Riverside County Planning Department 77588 El Duna Ct. Ste. For additional information, please contact Jay Olivas at Project I Revised: 10/16/07 Y:\Planning Master Forms\CEQA Forms\Mitigated Negative Declaration.doc	H, Palm Desert, CA 92211.
lease charge deposit fee case#: ZEA42729 ZCFG06116 FOR COUNTY CLERK'S USE O	NLY



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP Planning Director

то:	 Office of Planning and Research (OPR) P.O. Box 3044 Sacramento, CA 95812-3044 ☑ County of Riverside County Clerk 	FROM:	4080 Lemon Street, 12th Floor P. O. Box 1409 Riverside, CA 92502-1409	□ 77588 El Duna Ct Palm Desert, California 92211
	JECT: Filing of Notice of Determination in compliance with	h Section	21152 of the California Public Resources C	Code.
	2729 PLOT PLAN NO. 25673 t Title/Case Numbers			
	Dlivas y Contact Person	760-86 Phone N	63-7050 Number	
N/A	Clearinghouse Number (if submitted to the State Clearinghouse)	· · · · · · · · · · · · · · · · · · ·		
	s Architects	2643 F	Fourth Avenue San Diego, CA 92103	
-	<i>t Applicant</i> n of Varner Road an <u>d Marketplace Street, east of Berkey D</u>	Address		n Street
	1 of Varner Road and Marketplace Street, east of Berkey L t Location	mve, sou	tri or vvlideat Drive, and west or vvasnington	n Sueet.
	Plan for 2.036 square foot fast food restaurant building up t Description	to 22 feet	in height with outdoor seating, drive-thru la	ane, and 19 parking spaces.
	is to advise that the Riverside County <u>Planning Director</u> , a ollowing determinations regarding that project:	as the lea	nd agency, has approved the above-referen	nced project on <u>June 16, 2015</u> , and has mad
2 3 4 5	The project WILL NOT have a significant effect on the env A Mitigated Negative Declaration was prepared for the progrand reflect the independent judgment of the Lead Agency. Mitigation measures WERE made a condition of the approx A Mitigation Monitoring and Reporting Plan/Program WAS A statement of Overriding Considerations WAS NOT adoptions were made pursuant to the provisions of CEQA.	ject pursu oval of the NOT add	uant to the provisions of the California Environal envir	ronmental Quality Act (\$2,181.25 + \$50.00)
This Cour	is to certify that the Mitigated Negative Declaration, with control Planning Department, 77588 El Duna Ct. Palm Desert,	omments, CA 9221	, responses, and record of project approval 1.	I is available to the general public at: Riversid
	Signature		Title	Date
Date	Received for Filing and Posting at OPR:			
	n Revised 7/29/2014 nning Master Forms\CEQA Forms\NOD Form.doc			
,	Please charge deposit fee case#: ZEA42729 ZCFG06		NTY CLERK'S USE ONLY	

COUNTY OF RIVERSIDE M* REPRINTED * 11402132 SPECIALIZED DEPARTMENT RECEIPT Permit Assistance Center

4080 Lemon Street Second Floor Riverside, CA

39493 Los Alamos Road Suite A

38686 El Cerrito Rd Indio, CA 92211 (760) 863-8271

(951) 955-3200

Murrieta, CA 92563 (951) 694-5242 ******************

Received from: PSTB, LLC

paid by: CK 3886

EA42729

paid towards: CFG06116

CALIF FISH & GAME: DOC FEE

at parcel:

appl type: CFG3

Sep 17, 2014 posting date Sep 17, 2014

******************* ***********************

Account Code

Description Amount \$50.00

\$50.00

Overpayments of less than \$5.00 will not be refunded!