



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

1:30 P.M.

JUNE 17, 2013

AGENDA RIVERSIDE COUNTY PLANNING DEPARTMENT DIRECTOR'S HEARING

County Administrative Center
4080 Lemon Street
1st Floor, Conference Room 2A
Riverside, CA 92501

NOTE: Please be aware that the indicated staff recommendation shown below for each item may differ from that presented to the Planning Director during the public hearing.

If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Planning Director. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s).

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Mary Stark at (951) 955-7436 or E-mail at mcstark@rctlma.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 CONSENT CALENDAR:

1.1 **NONE**

2.0 PUBLIC HEARINGS: 1:30 p.m. or as soon as possible thereafter.

- 2.1 **PLOT PLAN NO. 25186** - CEQA Exempt - Applicant: James Phelps – Fourth/Fourth Supervisorial District – Location: Southerly I-10 Freeway, northerly of 18th Avenue, westerly of Lovekin Boulevard, easterly of Defrain Boulevard - **REQUEST:** The Plot Plan is to a proposal to construct a 1,440 square foot detached carport on .72 acres. Continued from May 6, 2013. Project Planner, Bahelila Boothe at (951) 955-8703 or email bboothe@rctlma.org. (Quasi-judicial)
- 2.2 **PLOT PLAN NO. 25282** - CEQA Exempt - Applicant: Donald Waits – Fifth/First Supervisorial District – Location: Northerly of Poppy Hill Drive, southerly of Betty Street, easterly of Marie Street, westerly of Phillips Street - **REQUEST:** The Plot Plan is a proposal to construct 1,500 square foot detached metal garage on 19.71 acres. Continued from May 20, 2013. Project Planner, Bahelila Boothe at (951) 955-8703 or email bboothe@rctlma.org. (Quasi-judicial)

- 2.3 **PLOT PLAN NO. 25345** - CEQA Exempt - Applicant: Marilyn Gilbert – Third/Third Supervisorial District – Location: Northerly of Marlis Lane, southerly of Bailey Road, easterly of Terwilliger Road, westerly of Chapman Road - **REQUEST:** The Plot Plan is a proposal to permit existing unpermitted 1,350 square foot detached horse barn and a 960 square foot detached steel storage building on 8.66 acres. Project Planner, Bahelila Boothe at (951) 955-8703 or email bboothe@rctlma.org. (Quasi-judicial)
- 2.4 **PLOT PLAN NO. 25314** - CEQA Exempt - Applicant: Jody Rodriguez – Fifth/Fifth Supervisorial District – Location: Northerly of Jacinto Street, southerly of Contour Street, easterly of Hansen Avenue, westerly of Valley Road - **REQUEST:** The Plot Plan is a proposal to permit a 2,400 square foot detached residential Agricultural Building on 3.43 Acres. Project Planner, Bahelila Boothe at (951) 955-8703 or email bboothe@rctlma.org. (Quasi-judicial)
- 2.5 **PLOT PLAN NO. 25052** - CEQA Exempt - Applicant: Antonio Garcia – Fifth/Fifth Supervisorial District – Location: Northerly of Lake View Avenue, southerly of Steen Drive, easterly of North Drive, westerly of Walker Drive - **REQUEST:** The Plot Plan is a proposal to permit an existing unpermitted building consisting of a 498 square foot guest dwelling with attached 666 square foot storage room and 50 square foot porch on .76 acres. Project Planner, Bahelila Boothe at (951) 955-8703 or email bboothe@rctlma.org. (Quasi-judicial)
- 2.6 **PLOT PLAN NO. 24942** - CEQA Exempt - Applicant: David Abel – Fourth/Fourth Supervisorial District – Location: Northerly of 41st Avenue, southerly of Emerald Crest Drive, easterly of Yucca Lane - **REQUEST:** The Plot Plan is a proposal to permit seven (7) existing unpermitted detached structures. This application includes: an 81 sq. ft. wood pump shed, two (2) 325 sq. ft. separate detached wood tack/storage room totaling 650 sq. ft., 175 sq. ft. covered storage; a 1,882 sq. ft. horse arena with metal shade structure and corral, and a 968 sq. ft. RV shade. Project Planner, Bahelila Boothe at (951) 955-8703 or email bboothe@rctlma.org. (Quasi-judicial)
- 2.7 **PLOT PLAN NO. 24306** – Intent to Adopt a Negative Declaration – Applicant: Khalod Shkoukani –Second/Second Supervisorial District – Location: Northerly side of Magnolia Avenue and westerly of Lincoln Street – 1 Acre - **REQUEST:** The Plot Plan proposes a vehicle storage and impoundment facility. The project includes a 320 square foot office trailer with two (2) parking spaces. A maximum of 55 small and 8 large impounded vehicles are proposed to be stored at the site. No damaged or inoperable vehicles are to be stored at the facility. Project planner, Damaris Abraham at (951) 955-5719 or email dabraham@rctlma.org. (Quasi-judicial)

3.0 PUBLIC COMMENTS:

Agenda Item No.: **2 . 1**
Supervisory District: **Fourth/Fourth**
Project Planner: **Bahelila Boothe**
Director's Hearing: **June 17, 2013**
Continued from: **May 6, 2013**

PLOT PLAN NO: 25186
Applicant: James Phelps
CEQA Exempt

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is a proposal to construct a 1,440 square foot detached carport on .72 acres.

ISSUES OF RELEVANCE:

During Building and Safety initial review the project has been conditioned prior to issuance of building permits, the applicant will be required to obtain demolished permits for construction without permits for the 462 square foot carport, 240 square foot storage building, and attached 800 square foot attached patio cover.

FURTHER PLANNING CONSIDERATIONS:

May 6, 2013

Project was continued from the May 6, 2013 Director's Hearing per applicant testimony of incorrect property directions on advertisement. At that time the applicant also requested to update the project description and therefore the hearing officer continued this project to the June 17, 2013. As of June 4, 2013 the applicant will not update the project description and will continue with the approval of 1,440 square foot detached carport only.

RECOMMENDATIONS:

APPROVAL of **PLOT PLAN NO. 25186**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed projects are in conformance with the Riverside County General Plan.
2. The proposed projects are consistent with Section 18.18 of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed projects are compatible with the present and future logical development of the area.
5. The proposed projects will not have a significant effect on the environment.
6. These detached accessory buildings have been determined to be exempt under Section 15303(e) (New Construction or Conversion of Small Structures) of the California Environmental Quality Act.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project has a primary dwelling on the parcel where the detached accessory buildings are proposed.
2. The project site is designated Rural Community: Very Low Density Residence (1 Acres Minimum) on the Palo Verde Area Plan.
3. The proposed detached accessory uses are a permitted use in the general plan designation.
4. The proposed detached accessory buildings are a permitted use, subject to approval of a plot plan in the Light Agricultural (A-1-1) zone.
5. The proposed detached accessory buildings uses are consistent with the development standards set forth in the A-1-1 zone.
6. The proposed 1,440 square foot detached carport is considered detached accessory buildings under Section 18.18 of Ordinance No. 348.
7. The detached accessory 1,440 square foot detached carport is compatible with the character of the surrounding community.
8. The detached accessory 1,440 square foot carport is located over 30 feet from the main building and consistent with the characteristics of the surrounding community.
9. The project conforms to Section 15303, (New Construction or Conversion of Small Structures), of the CEQA guidelines and is exempt from CEQA if the project meets the following conditions: Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to: "... (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences".

PLOT PLAN:ADMINISTRATIVE Case #: PP25186

Parcel: 869-020-013

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - DBA FORM INEFFECT

APPLICANT NEEDS TO SUBMIT LAND USE & PERMIT APPLICATION
PROCESSING AGREEMENT (DBA) FORM

10. EVERY. 2 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a proposal to construct a 1,440
square foot detached carport on .72 acres,

10. EVERY. 3 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall
defend, indemnify, and hold harmless the County of
Riverside or its agents, officers, and employees (COUNTY)
from the following:

(a) any claim, action, or proceeding against the COUNTY to
attack, set aside, void, or annul an approval of the
COUNTY, its advisory agencies, appeal boards, or
legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to
attack, set aside, void or annul any other decision made by
the COUNTY concerning the PLOT PLAN, including, but not
limited to, decisions made in response to California Public
Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of
any such claim, action, or proceeding and shall cooperate
fully in the defense. If the COUNTY fails to promptly
notify the applicant/permittee of any such claim, action,
or proceeding or fails to cooperate fully in the defense,
the applicant/permittee shall not, thereafter, be
responsible to defend, indemnify or hold harmless the
COUNTY.

The obligations imposed by this condition include, but are
not limited to, the following: the applicant/permittee
shall pay all legal services expenses the COUNTY incurs in
connection with any such claim, action or proceeding,
whether it incurs such expenses directly, whether it is
ordered by a court to pay such expenses, or whether it
incurs such expenses by providing legal services through
its Office of County Counsel.

PLOT PLAN:ADMINISTRATIVE Case #: PP25186

Parcel: 869-020-013

10. GENERAL CONDITIONS

10. EVERY. 4 PPA - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25186 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 25186, Exhibit A, Amended #1, dated January 17, 2013. (Site Plan)

APPROVED EXHIBIT B = Plot Plan No. 25186, Exhibit B, Amended #1, dated January 17, 2013. (Elevations)

APPROVED EXHIBIT C = Plot Plan No. 25186, Exhibit C, Amended #1, dated January 17, 2013. (Floor Plans)

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - LANDUSE APPROVAL ONLY

RECOMMND

The applicant or the applicant's successor in interest is notified through this condition that the approval granted on Plot Plan No. 25186 is for land use approval only, and has only met the requirements of Ordinance 348. Any requirements deemed necessary by another department or agency of Riverside County on a subsequent building permit are valid and may cause this approval by the Riverside County Planning Department as it stands to be rendered null and void or require significant revision. It is incumbent upon the applicant to research the acceptability of this proposal to all responsible departments and agencies prior to the acceptance of this approval. Responsible agencies include, but are not limited to the Fire Department, Environmental Health Department, the local Flood Control District, Building and Safety Department, Transportation Department, the Environmental Programs Department, the County Geologist, or the Transportation Land Management Agency.

10.PLANNING. 2 PPA - NO HOME OCCUPATIONS

RECOMMND

No home occupations are permitted in an accessory structure or guest home.

From section 21.36 of Ordinance 348: Home Occupations:

Home occupations means those uses that are customarily conducted in a residence, provided such uses must be incidental and secondary to the principal use of a dwelling

PLOT PLAN:ADMINISTRATIVE Case #: PP25186

Parcel: 869-020-013

10. GENERAL CONDITIONS

10.PLANNING. 2

PPA - NO HOME OCCUPATIONS (cont.)

RECOMMND

as a residence. The following criteria shall apply to any home occupation:

a. Except for large family day care homes which may require two assistants and small family day care homes which may require one assistant to be present in addition to the licensee or provider, no person other than a resident of the dwelling shall be employed on the premises in the conduct of a home occupation.

b. A home occupation shall be conducted entirely within the dwelling and shall be incidental and secondary to the use of the dwelling as a residence.

c. A home occupation shall not be conducted in an accessory structure and there shall be no storage of equipment or supplies in an accessory structure or outside building.

d. The residential character of the exterior and interior of the dwelling shall not be changed.

e. No vehicles or trailers except those normally incidental to residential use shall be kept on the site.

f. No signs other than one unlighted identification sign, not more than two square feet in area, shall be erected on the premises.

10.PLANNING. 3

PPA - SETBACKS IN HIGH FIRE

RECOMMND

Please be advised that the setbacks for structures within a County designated high fire areas have increased. It is advisable prior to the purchase of structure or prior to planning of a structure (such as hiring an architect or engineer to create plans) that the applicant should contact the Fire Department to make sure that the structure question meets those requirements.

Fire Department Planning
2300 Market Street, Suite 150
Riverside, CA 92501
951-955-4777

PLOT PLAN:ADMINISTRATIVE Case #: PP25186

Parcel: 869-020-013

10. GENERAL CONDITIONS

10.PLANNING. 4 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 5 PPA - ACSRY BLD NO HBTBL AREA RECOMMND

No habitable area has been approved with this approval. The addition of habitable area will require additional permits.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

20.PLANNING. 4 PPA*- UNPERMITTED STRUCTURE RECOMMND

WITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permittee or the permittee's successors-in-interest shall apply to the Building and Safety Department for all necessary permits to demolish the unpermitted shed, attached patio cover and detached carport, including

PLOT PLAN:ADMINISTRATIVE Case #: PP25186

Parcel: 869-020-013

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 4 PPA*- UNPERMITTED STRUCTURE (cont.)

RECOMMND

the submission of all required documents and fees for review as determined by the Director of the Department of Building and Safety.

80. PRIOR TO BLDG PRMT ISSUANCE

B&S DEPARTMENT

80.B&S. 1 BP* - BUILD & SAFETY PLNCK

RECOMMND

The applicant shall obtain demolition permit(s) from the building department for the shed, attached patio cover, and detached carport, all constructed without permit.

The applicant shall obtain the building permit(s) from the building department for the proposed 1,440 square foot detached carport and roof mount solar PV system prior to the construction, or placement of any building or structure on the property.

All building plans and supporting documents shall comply with all current adopted California Building Codes and Riverside County ordinances. All building department plan submittal and fee requirements shall apply.

PLANNING DEPARTMENT

80.PLANNING. 1 PPA - CONFORM TO ELEVATIONS

RECOMMND

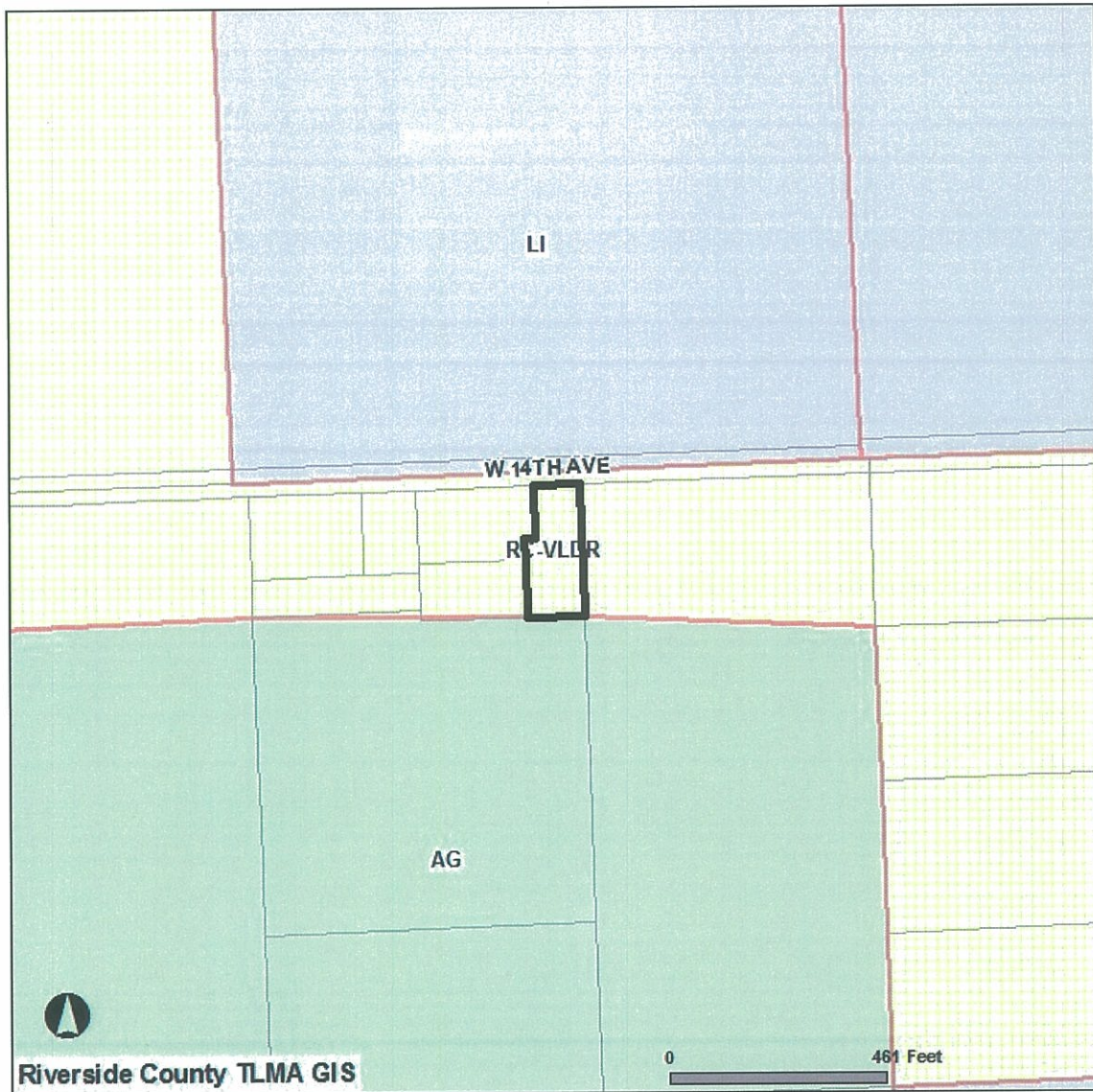
Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B, Amended #1, dated January 17, 2013.

80.PLANNING. 2 PPA - CONFORM TO FLOOR PLANS

RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C, Amended #1, dated January 17, 2013.

LAND USE



Selected parcel(s):
869-020-013

LAND USE

SELECTED PARCEL

INTERSTATES

HIGHWAYS

PARCELS

AG - AGRICULTURE

LI - LIGHT INDUSTRIAL

RC-VLDR - RURAL
COMMUNITY - VERY LOW
DENSITY RESIDENTIAL

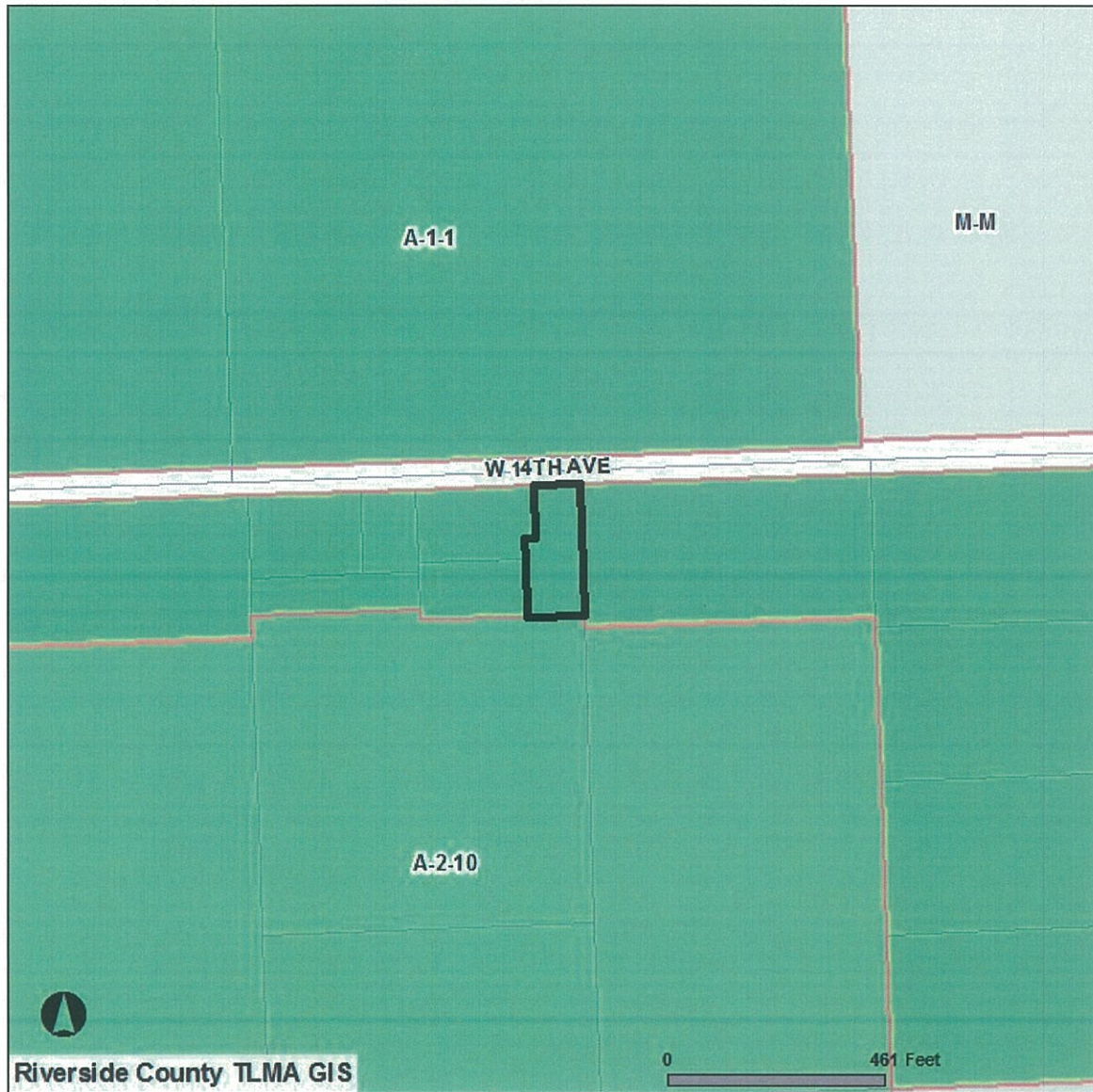
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 121101

ZONING



Selected parcel(s):
869-020-013

ZONING

- SELECTED PARCEL
- ZONING BOUNDARY
- N INTERSTATES
- N HIGHWAYS
- A-1-1
- A-2-10
- PARCELS
- M-M

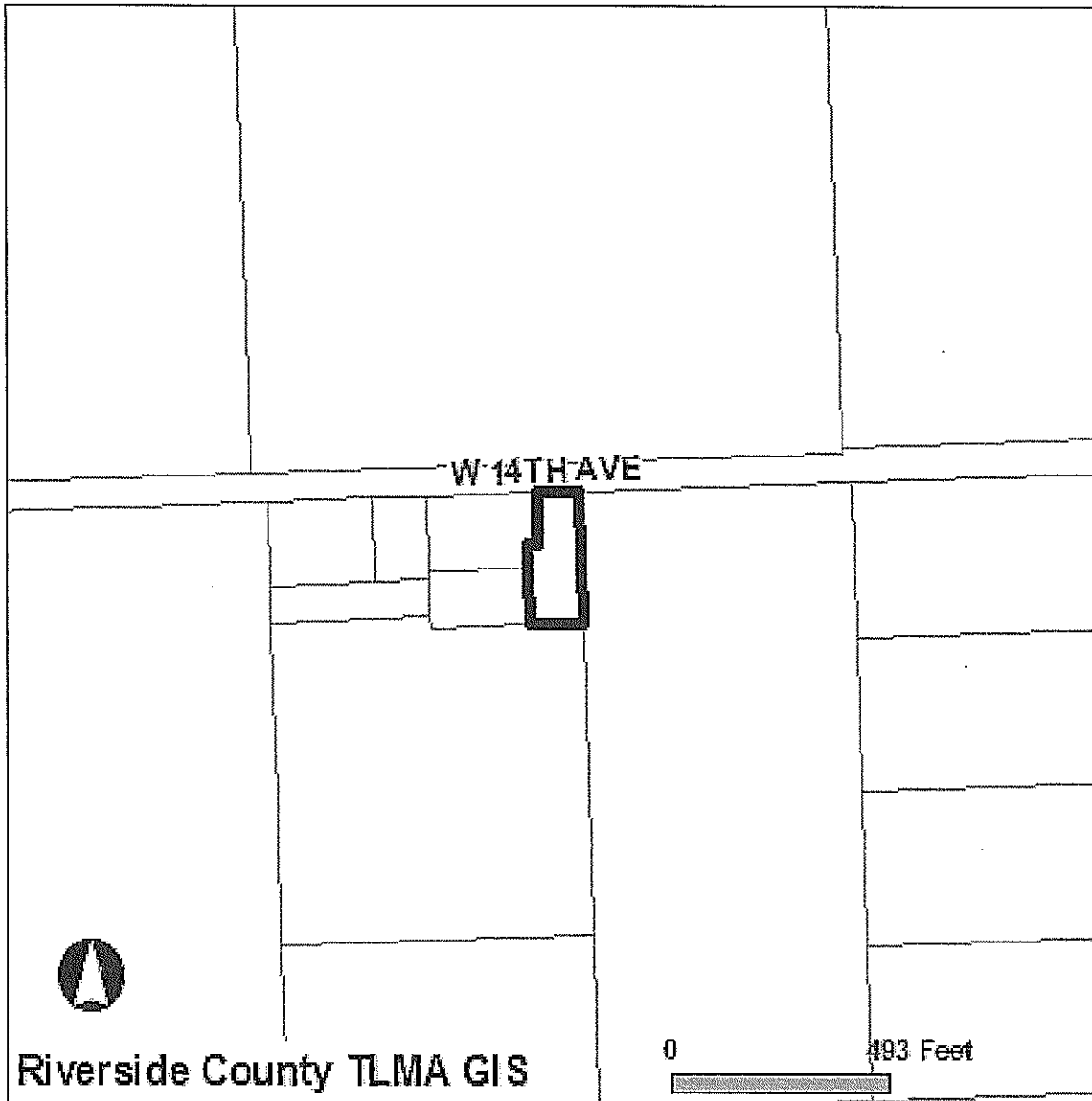
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RIVERSIDE COUNTY GIS



Selected parcel(s):
869-020-013

IMPORTANT

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STANDARD WITH PERMITS REPORT

APNs

869-020-013-3

OWNER NAME / ADDRESS

JAMES PHELPS
JULIA PHELPS
11431 14TH AVE
BLYTHE, CA. 92225

MAILING ADDRESS

(SEE OWNER)
(SEE SITUS)

LEGAL DESCRIPTION

LEGAL DESCRIPTION IS NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 0.72 ACRES

PROPERTY CHARACTERISTICS

CONCRETE BLOCK THROUGHOUT, 1798 SQFT., 2 BDRM/ 1.75 BATH, 1 STORY, CONST'D 1950 COMPOSITION, ROOF

THOMAS BROS. MAPS PAGE/GRID

PAGE: 5551 GRID: D1

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY

CITY SPHERE: BLYTHE

ANNEXATION DATE: NOT APPLICABLE

LAFCO CASE #: NOT APPLICABLE

PROPOSALS: NOT APPLICABLE

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT 2011 (ORD. 813)

JOHN BENOIT, DISTRICT 4

SUPERVISORIAL DISTRICT (2001 BOUNDARIES)

ROY WILSON, DISTRICT 4

TOWNSHIP/RANGE

T7SR23E SEC 6

ELEVATION RANGE

268/268 FEET

PREVIOUS APN

NO DATA AVAILABLE

PLANNING

LAND USE DESIGNATIONS

AG

RC-VLDR

SANTA ROSA ESCARPMENT BOUNDARY

NOT IN THE SANTA ROSA ESCARPMENT BOUNDARY

AREA PLAN (RCIP)

PALO VERDE VALLEY

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

A-1-1 (CZ 5987)

ZONING DISTRICTS AND ZONING AREAS

BLYTHE DISTRICT

ZONING OVERLAYS

NOT IN A ZONING OVERLAY

HISTORIC PRESERVATION DISTRICTS

NOT IN AN HISTORIC PRESERVATION DISTRICT

SPECIFIC PLANS

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE

NOT IN AN AGRICULTURAL PRESERVE

NOT IN A REDEVELOPMENT AREA

AIRPORT INFLUENCE AREAS

NOT IN AN AIRPORT INFLUENCE AREA

AIRPORT COMPATIBILITY ZONES

NOT IN AN AIRPORT COMPATIBILITY ZONE

ENVIRONMENTAL

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA

NOT IN A CONSERVATION AREA

CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS

NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP

NOT IN A CELL GROUP

WRMSHCP CELL NUMBER

NOT IN A CELL

HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEWPROCESS)

NONE

VEGETATION (2005)

NO DATA AVAILABLE

FIRE

HIGH FIRE AREA (ORD. 787)

NOT IN A HIGH FIRE AREA

FIRE RESPONSIBILITY AREA

NOT IN A FIRE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP FEE AREA (ORD. 875)

NOT WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

WRMSHCP FEE AREA (ORD. 810)

NOT WITHIN THE WESTERN RIVERSIDE COUNTY MSHCP FEE AREA

ROAD & BRIDGE DISTRICT

NOT IN A DISTRICT

EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)

NOT WITHIN THE EASTERN TUMF FEE AREA

WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)

NOT WITHIN THE WESTERN TUMF FEE AREA

DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)

PALO VERDE VALLEY

SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)

NOT WITHIN AN SKR FEE AREA

DEVELOPMENT AGREEMENTS

NOT IN A DEVELOPMENT AGREEMENT AREA

TRANSPORTATION

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY

IN OR PARTIALLY WITHIN A CIRCULATION ELEMENT RIGHT-OF-WAY. SEE MAP FOR MORE INFORMATION. CONTACT MAJEED FARSHED AT (760)863-8267 FOR INFORMATION REGARDING THIS PARCEL IF IT IS IN AN UNINCORPORATED AREA.

ROAD BOOK PAGE

266

TRANSPORTATION AGREEMENTS
NOT IN A TRANSPORTATION AGREEMENT**CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS**
NOT IN A CETAP CORRIDOR.

HYDROLOGY

FLOOD PLAIN REVIEW
NOT REQUIRED**WATER DISTRICT**
PVID**FLOOD CONTROL DISTRICT**
NOT IN A FLOOD DISTRICT**WATERSHED**
COLORADO

GEOLOGIC

FAULT ZONE
NOT IN A FAULT ZONE**FAULTS**
NOT WITHIN A 1/2 MILE OF A FAULT**LIQUEFACTION POTENTIAL**
VERY HIGH**SUBSIDENCE**
SUSCEPTIBLE**PALEONTOLOGICAL SENSITIVITY**
LOW POTENTIAL.
FOLLOWING A LITERATURE SEARCH, RECORDS CHECK AND A FIELD SURVEY, AREAS MAY BE DETERMINED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST AS HAVING LOW POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES SUBJECT TO ADVERSE IMPACTS.

MISCELLANEOUS

SCHOOL DISTRICT
PALO VERDE VALLEY UNIFIED**COMMUNITIES**
RIVER VALLEY**COUNTY SERVICE AREA**
NOT IN A COUNTY SERVICE AREA.**LIGHTING (ORD. 655)**
NOT APPLICABLE, 131.19 MILES FROM MT. PALOMAR OBSERVATORY**2000 CENSUS TRACT**
046200**FARMLAND**
PRIME FARMLAND
STATEWIDE IMPORTANCE**TAX RATE AREAS**
085000
•COUNTY STRUCTURE FIRE PROTECTION
•COUNTY WASTE RESOURCE MGMT DIST
•CSA 152
•GENERAL
•GENERAL PURPOSE
•PALO VERDE CEMETERY
•PALO VERDE COMMUNITY COLLEGE

- PALO VERDE UNIFIED SCHOOL
- PALO VERDE VALLEY HOSPITAL
- PALO VERDE VALLEY LIBRARY
- RIV. CO. OFFICE OF EDUCATION
- SUPERVISORIAL ROAD DISTRICT 4

SPECIAL NOTES

PLEASE REFER TO ORDINANCE 457.96 FOR COACHELLA VALLEY AGRICULTURAL GRADING EXEMPTIONS.

CODE COMPLAINTS

Case #	Description	Start Date
NO CODE COMPLAINTS	NOT APPLICABLE	NOT APPLICABLE

BUILDING PERMITS

Case #	Description	Status
BZ156550	ADD TO DWLG	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ97857	CHANGE METER SERVICE	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017

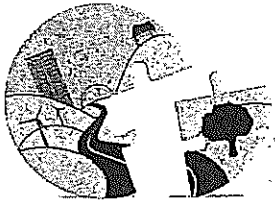
ENVIRONMENTAL HEALTH PERMITS

Case #	Description	Status
NO ENVIRONMENTAL PERMITS	NOT APPLICABLE	NOT APPLICABLE

PLANNING PERMITS

Case #	Description	Status
NO PLANNING PERMITS	NOT APPLICABLE	NOT APPLICABLE

REPORT PRINTED ON...Wed Aug 15 09:27:22 2012
Version 120712



Carolyn Syms Luna
Director

RIVERSIDE COUNTY
PLANNING DEPARTMENT **RECEIVED**

AUG 15 2012

Riverside County
Planning Department
Desert Office

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP25186

DATE SUBMITTED: 8/15/2012

APPLICATION INFORMATION

Applicant's Name: JAMES PHELPS

E-Mail: JANDJPHELPS76@FRONTIER.COM

Mailing Address: 11431 W 14TH AVE

BLYTHE ^{Street} CA 92225
City State ZIP

Daytime Phone No: (760) 449-0775

Fax No: ()

Engineer/Representative's Name: MIKE MENDOZA

E-Mail: mm23177@aol.com

Mailing Address: P.O. Box 692

Desert Hot Springs, ^{Street} CA 92240
City State ZIP

Daytime Phone No: (760) 275-1816

Fax No: (760) 288-4008

Property Owner's Name: James Phelps

E-Mail: _____

Mailing Address: 11431 West 14th Avenue.

Blythe ^{Street} CA 92225
City State ZIP

Daytime Phone No: (760) 449-0775

Fax No: ()

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR MINOR PLOT PLAN

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

JAMES PHELPS James Phelps
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. (Authorized agent must submit a letter from the owner(s) indicating authority to sign in the owner's behalf.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

SIGNATURE OF PROPERTY OWNER(S):

JAMES PHELPS James Phelps
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)
Julia S. Phelps Julia S. Phelps
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROJECT INFORMATION

Proposal (describe the project and reference the applicable Ord. No. 348 section): _____

ACCESSORY BUILDING - CARPORT of 36'x40' WITH a
Solar System 'PV' on Roof. and (4) four count Wind Turbines.

Related cases or underlying case: _____

PROPERTY INFORMATION

Assessor's Parcel Number(s): 869-020-013

APPLICATION FOR MINOR PLOT PLAN

Section: 6 Township: 7 S. Range: 23 E.

Approximate Gross Acreage: 0.72 Acres

General location (nearby or cross streets): North of Redlands Fwy - 10, South of 18th M. Avenue, East of South Lovekin Blv. West of South DeFruin Blvd.

Thomas Brothers Map, edition year, page no., and coordinates: 5551, Grid D1

**MINOR PLOT PLAN SUBMITTAL REQUIREMENTS FOR THE FOLLOWING APPLICATION TYPES:
(Note: All exhibits shall be folded to a maximum 8½" x 14" size)**

COMMERCIAL/INDUSTRIAL

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Current processing deposit-based fee.

ACCESSORY BUILDING

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.
5. Color photographs of roofing material samples (or literature showing color/material samples). Actual roofing tiles will not be accepted.
6. A minimum of three (3) ground-level panoramic photographs (color prints) clearly showing the whole project site. Include a locational map identifying the position from which the photo was taken and the approximate area of coverage of each photograph.
7. Current processing deposit-based fee.

GUEST HOUSE

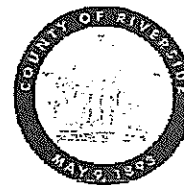
1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.



RECEIVED

AUG 15 2012

**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**



*George A. Johnson
Agency Director*

Riverside County
Planning Department
Desert Office

<i>Katherine Gifford</i> Director, Administrative Services Department	<i>Ron Goldman</i> Director, Planning Department	<i>Juan C. Perez</i> Director, Transportation Department	<i>Mike Lara</i> Director, Building & Safety Department	<i>John Boyd</i> Director, Code Enforcement Department	<i>Carolyn Syms</i> Luna Director, Environmental Programs Department
---	---	---	--	--	--

LAND USE and PERMIT APPLICATION PROCESSING AGREEMENT
Agreement for Payment of Costs of Application Processing

TO BE COMPLETED BY APPLICANT:

This agreement is by and between the County of Riverside, hereafter "County of Riverside",
and JAMES PHELPS hereafter "Applicant" and JAMES PHELPS "Property Owner".

Description of application/permit use:

ACCESSORY BUILDING

If your application is subject to Deposit-based Fee, the following applies

Section 1. Deposit-based Fees

Purpose: The Riverside County Board of Supervisors has adopted ordinances to collect "Deposit-based Fees" for the costs of reviewing certain applications for land use review and permits. The Applicant is required to deposit funds to initiate staff review of an application. The initial deposit may be supplemented by additional fees, based upon actual and projected labor costs for the permit. County departments draw against these deposited funds at the staff hourly rates adopted by the Board of Supervisors. The Applicant and Property Owner are responsible for any supplemental fees necessary to cover any costs which were not covered by the initial deposit.

Section 2. Applicant and Property Owner Responsibilities for Deposit-based Fee Applications

- A. Applicant agrees to make an initial deposit in the amount as indicated by County ordinance, at the time this Agreement is signed and submitted with a complete application to the County of Riverside. Applicant acknowledges that this is an initial deposit and additional funds may be needed to complete their case. The County of Riverside will not pay interest on deposits. Applicant understands that any delays in making a subsequent deposit from the date of written notice requesting such additional deposit by County of Riverside, may result in the stoppage of work.
- B. Within 15 days of the service by mail of the County of Riverside's written notice that the application permit deposit has been reduced to a balance of less than 20% of the initial deposit or that the deposit is otherwise insufficient to cover the expected costs to completion, the Applicant agrees to make an additional payment of an amount as determined by the County of Riverside to replenish the deposit. Please note that the processing of the application or permit may stop if the amount on deposit has been expended. The Applicant agrees to continue making such payments until the County of Riverside is reimbursed for all costs related to this application or permit. The County of Riverside is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts that would have been drawn on the deposit were it not depleted.
- C. The Property Owner acknowledges that the Applicant is authorized to submit this agreement and related application(s) for land use review or permit on this property. The Property Owner also acknowledges that should the Applicant not reimburse the County of Riverside for all costs related to this application or permit, the Property Owner shall become immediately liable for these costs which shall be paid within 15 days of the service by mail of notice to said property Owner by the County.

- D. This Agreement shall only be executed by an authorized representative of the Applicant and the Property Owner. The person(s) executing this Agreement represents that he/she has the express authority to enter into this agreement on behalf of the Applicant and/or Property Owner.
- E. This Agreement is not assignable without written consent by the County of Riverside. The County of Riverside will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.
- F. Deposit statements, requests for deposits or refunds shall be directed to Applicant at the address identified in Section 4.

Section 3. To ensure quality service, Applicant is responsible to provide one-week written notice to the County of Riverside Transportation and Land Management Agency (TLMA) Permit Assistance Centers if any of the information below changes.

Section 4. Applicant and Owner Information

1. PROPERTY INFORMATION:

Assessors Parcel Number(s): 869-020-013

Property Location or Address: 11431 West 14th Avenue - Blythe, CA. 92225

2. PROPERTY OWNER INFORMATION:

Property Owner Name: JAMES PHELPS

Phone No.: ⁴⁴⁹760-~~775~~-0775
 Email: JANDJPHELPS76@FRONTER.CO

Firm Name: _____

Address: 1143 W 14TH AVE
BLYTHE, CA. 92225

3. APPLICANT INFORMATION:

Applicant Name: JAMES PHELPS

Phone No.: 760-449-6715
 Email: JAVDJPHELPS76@FRONTER.COM

Firm Name: _____

Address (if different from property owner)
1143 W 14TH AVE
BLYTHE, CA. 92225

4. SIGNATURES:

Signature of Applicant: [Signature] Date: 6-29-11
 Print Name and Title: JAMES PHELPS

Signature of Property Owner: [Signature] Date: 6-29-11
 Print Name and Title: JAMES PHELPS

Signature of the County of Riverside, by [Signature] Date: 8-15-12
 Print Name and Title: Carlos Munoz Land Use Tech I

FOR COUNTY OF RIVERSIDE USE ONLY	
Application or Permit (s) #: <u>PR25186</u>	
Set #: <u>0</u>	Application Date: <u>8/15/12</u>

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 3/5/2013

The attached property owners list was prepared by Riverside County GIS

APN (s) or case numbers PP 25186 For

Company or Individual's Name Planning Department

Distance buffered 1600'

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

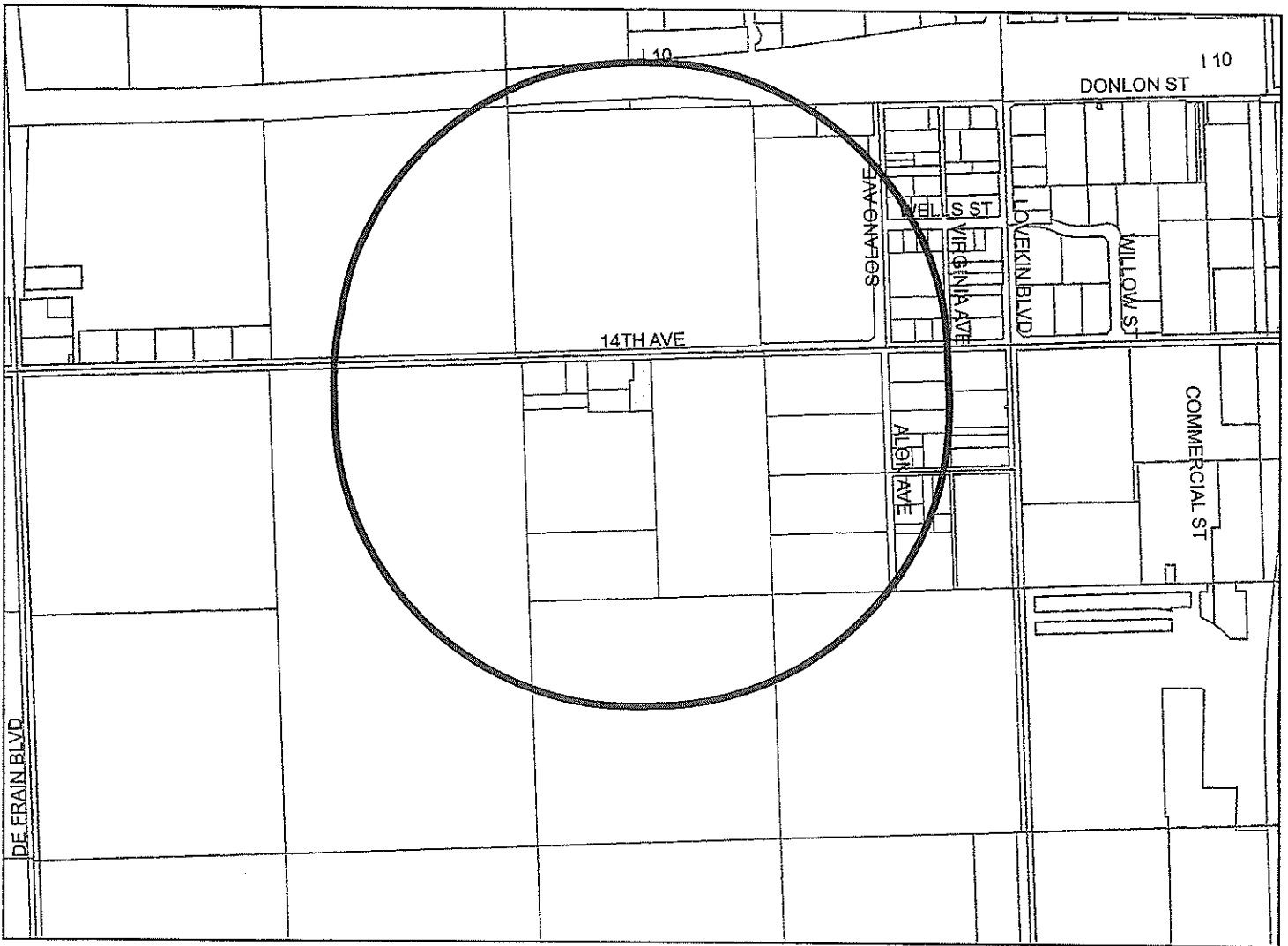
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

PP25186 (1600 feet buffer)



Selected Parcels

836-143-015	836-144-002	836-121-010	869-042-003	836-143-012	869-042-001	869-042-004	836-144-004	836-144-007	869-032-007
869-020-008	836-144-009	836-144-003	836-143-009	836-144-006	869-032-017	869-020-021	869-020-006	869-020-011	869-020-016
869-020-020	869-020-009	869-020-013	836-144-008	869-042-008	836-143-011	869-032-006	836-130-005	836-121-012	836-130-001
869-020-003	836-144-005	836-110-011	869-042-005	869-032-003	869-020-007	869-031-001	869-031-002	869-041-001	869-041-002
869-032-016	869-032-018	869-020-018	869-020-019	869-042-002	869-042-006	869-032-008	869-032-009	836-130-002	869-032-001
869-032-002	836-130-003								



830 415 0 830 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 836110011, APN: 836110011
GINA WELLS, ETAL
C/O JOAN WELLS
520 FAIRWAY DR
NOVATO CA 94949

ASMT: 836143015, APN: 836143015
ALEXANDER GUILIN, ETAL
1340 W HOBSON WAY
BLYTHE CA 92225

ASMT: 836121010, APN: 836121010
ARCELIA CONTRERAS, ETAL
1604 LA PRAIX ST
HIGHLAND CA 92346

ASMT: 836144002, APN: 836144002
ANITA MELGAREJO
916 W WELLS ST
BLYTHE, CA. 92225

ASMT: 836130003, APN: 836130003
VISTA PROP DEV INC
598 CORTE CALA
VACAVILLE CA 95688

ASMT: 836144003, APN: 836144003
LUZ ROMERO SILVA, ETAL
384 COLLEEN CT
BLYTHE CA 92225

ASMT: 836130005, APN: 836130005
JACQUE DECONINCK, ETAL
10851 COCONINO DR
BLYTHE CA 92225

ASMT: 836144004, APN: 836144004
BERTHA RODRIGUEZ, ETAL
252 N MAIN
BLYTHE CA 92225

ASMT: 836143009, APN: 836143009
LAVONNE HALBY, ETAL
C/O JOHN & DEBRA MALTBY
7780 E 8TH AVE
BLYTHE CA 92225

ASMT: 836144005, APN: 836144005
MARTINA ADAMS, ETAL
PMB 404
31855 DATE PALM DR STE 3
CATHEDRAL CITY CA 92234

ASMT: 836143011, APN: 836143011
MARIA MACIEL, ETAL
925 W WELLS ST
BLYTHE, CA. 92225

ASMT: 836144006, APN: 836144006
KRISTY REXROAT, ETAL
478 S SOLANO AVE
BLYTHE, CA. 92225

ASMT: 836143012, APN: 836143012
CODY MARTIN
949 W WELLS ST
BLYTHE, CA. 92225

ASMT: 836144007, APN: 836144007
VICTORIA MARTINEZ RODRIGUEZ, ETAL
P O BOX 95
BLYTHE CA 92226

ASMT: 836144008, APN: 836144008
CATALINA MCLAIN, ETAL
913 W 14TH AVE
BLYTHE, CA. 92225

ASMT: 869020019, APN: 869020019
PATRICIA FARRELL
11433 14TH AVE
BLYTHE, CA. 92225

ASMT: 836144009, APN: 836144009
FRANCISCO OLIVA
P O BOX 630
MIRA LOMA CA 91752

ASMT: 869020021, APN: 869020021
HOWARD MCKINNEY
P O BOX 404
BLYTHE CA 92226

ASMT: 869020003, APN: 869020003
LHS RIVERSIDE FARMS
1600 WELLS FARGO CAPITOL CTR C/O ANNA M
150 FAYETTEVILLE ST
RALEIGH NC 27601

ASMT: 869032001, APN: 869032001
SEAN WOLFSWINKEL, ETAL
910 W 14TH AVE
BLYTHE, CA. 92225

ASMT: 869020008, APN: 869020008
FRANCES SHUTIOK
P O BOX 1030
BLYTHE CA 92226

ASMT: 869032003, APN: 869032003
MARGARET DRAKE, ETAL
576 S SOLANO AVE
BLYTHE, CA. 92225

ASMT: 869020009, APN: 869020009
HULL FARMS
29501 NEIGHBORS BLV
BLYTHE CA 92225

ASMT: 869032006, APN: 869032006
JOSE DURAN
596 S SOLANO AVE
BLYTHE, CA. 92225

ASMT: 869020013, APN: 869020013
JULIA PHELPS, ETAL
11431 14TH AVE
BLYTHE, CA. 92225

ASMT: 869032007, APN: 869032007
ANTHONY VASQUEZ, ETAL
961 W SOUTHERN AVE
BLYTHE CA 92225

ASMT: 869020018, APN: 869020018
PATRICIA FARRELL
11443 14TH AVE
BLYTHE, CA. 92225

ASMT: 869032009, APN: 869032009
ROSANA RAMIREZ
941 W SOUTHERN AVE
BLYTHE CA 92225

ASMT: 869032017, APN: 869032017
GLORIA VASQUEZ
612 VISTA SUNRISE LN
BLYTHE CA 92225

ASMT: 869042005, APN: 869042005
MELITON SANCHEZ
976 W SOUTHERN AVE
BLYTHE CA 92225

ASMT: 869032018, APN: 869032018
LINDA NOROIAN, ETAL
P O BOX 730
BLYTHE CA 92226

ASMT: 869042006, APN: 869042006
ANITA DUENES, ETAL
906 W SOUTHERN AVE
BLYTHE, CA. 92225

ASMT: 869041002, APN: 869041002
ALICIA DREDGE, ETAL
C/O ALICIA DREDGE
P O BOX 245
RUPERT ID 83350

ASMT: 869042008, APN: 869042008
VIRGINIA ROBERTSON, ETAL
P O BOX 1407
BLYTHE CA 92226

ASMT: 869042001, APN: 869042001
JACQUALINE HANSEN, ETAL
8108 TWAIN CIR
MAGNA UT 84044

ASMT: 869042002, APN: 869042002
RAMON SANCHEZ
6367 RADIO DR
SAN DIEGO CA 92114

ASMT: 869042003, APN: 869042003
CAROL HOFFMAN
P O BOX 1483
BLACK CANYON CITY AZ 85324

ASMT: 869042004, APN: 869042004
KAYLYNN MORIN, ETAL
P O BOX 496
BLYTHE CA 92226

Agenda Item No.: 2.2
Supervisory District: Fifth/First
Project Planner: Bahelila Boothe
Director's Hearing: June 17, 2013

PLOT PLAN NO: 25282
Applicant: Donald Waits
CEQA Exempt

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is a proposal to construct a 1,500 square foot detached metal garage on 19.71 acres.

ISSUES OF RELEVANCE:

The project is located in State Fire Responsibility Area. The project has been reviewed by Riverside Fire Department.

FURTHER PLANNING CONSIDERATIONS:

May 20, 2013

Project was continued for the May 20, 2013 Director's Hearing for applicant to submit letter to Riverside County Fire Department to amend conditions of approval (10 Fire 2, and 10 Fire 3,) regarding fire hydrant and fire flow.

RECOMMENDATIONS:

APPROVAL of **PLOT PLAN NO. 25282**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed projects are in conformance with the Riverside County General Plan.
2. The proposed projects are consistent with Section 18.18 of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed projects are compatible with the present and future logical development of the area.
5. The proposed projects will not have a significant effect on the environment.
6. These detached accessory buildings have been determined to be exempt under Section 15303(e) (New Construction or Conversion of Small Structures) of the California Environmental Quality Act.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project has a primary dwelling on the parcel where the detached accessory buildings are proposed.

2. The project site is designated Rural: Rural Mountainous (10 Acres Minimum) and Rural Residential (5 Acres Minimum) on the Mead Valley Area Plan.
3. The proposed detached accessory uses are a permitted use in the general plan designation.
4. The proposed detached accessory buildings are a permitted use, subject to approval of a plot plan in the Rural Residential (R-R zone).
5. The proposed detached accessory buildings uses are consistent with the development standards set forth in the R-R zone.
6. The proposed 1,500 square foot detached metal garage is considered detached accessory buildings under Section 18.18 of Ordinance No. 348.
7. The detached accessory 1,500 square foot metal garage is compatible with the character of the surrounding community.
8. The detached accessory 1,500 square foot metal garage is located over 105 feet from the main building and consistent with the character of the surrounding community.
9. The project conforms to Section 15303, (New Construction or Conversion of Small Structures), of the CEQA guidelines and is exempt from CEQA if the project meets the following conditions: Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to: "... (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences".

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a proposal to construct a 1,500 square foot detached metal garage on 19.71 acres.

10. EVERY. 2 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 PPA - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25282 shall be henceforth defined as follows:

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - DEFINITIONS (cont.) RECOMMND

APPROVED EXHIBIT A = Plot Plan No. 25282, Exhibit A,
Amended #2, dated April 10, 2013. (Site Plan)

APPROVED EXHIBIT B/C = Plot Plan No. 25282, Exhibit B/C,
Amendd #1, dated April 1, 2013. (Floor Plans/Elevations)

BS GRADE DEPARTMENT

10.BS GRADE. 1 PPA - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and
recompaction, and base or paving which require a grading
permit are subject to the included Building and Safety
Department Grading Division conditions of approval.

10.BS GRADE. 3 PPA - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code,
Ordinance 457, and all other relevant laws, rules, and
regulations governing grading in Riverside County and prior
to commencing any grading which includes 50 or more cubic
yards, the applicant shall obtain a grading permit from the
Building and Safety Department.

10.BS GRADE. 4 PPA - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing,
grubbing, or any top soil disturbances related to
construction grading.

10.BS GRADE. 5 PPA - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling,
grading or excavation of land which disturbs less than 1
acre and requires a grading permit or construction Building
permit shall provide for effective control of erosion,
sediment and all other pollutants year-round. The permit
holder shall be responsible for the installation and
monitoring of effective erosion and sediment controls. Such
controls will be evaluated by the Department of Building
and Safety periodically and prior to permit Final to verify
compliance with industry recognized erosion control
measures.

Construction activities including but not limited to

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

10. GENERAL CONDITIONS

10.BS GRADE. 5

PPA - NPDES INSPECTIONS (cont.)

RECOMMND

clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

FIRE DEPARTMENT

10.FIRE. 1

USE-#50-BLUE DOT REFLECTOR

RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

10. GENERAL CONDITIONS

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR (cont.) RECOMMND

location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1000 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site.

10.FIRE. 3 USE-#76-STANDARD FIRE HYDRANT RECOMMND

Approved standard fire hydrant (6"x4"x2 1/2") shall be located WITHIN 250 FEET OF ANY PORTION OF THE LOT FRONTAGE.

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - LANDUSE APPROVAL ONLY RECOMMND

The applicant or the applicant's successor in interest is notified through this condition that the approval granted on Plot Plan No. 25282 is for land use approval only, and has only met the requirements of Ordinance 348. Any requirements deemed necessary by another department or agency of Riverside County on a subsequent building permit are valid and may cause this approval by the Riverside County Planning Department as it stands to be rendered null and void or require significant revision. It is incumbent upon the applicant to research the acceptability of this proposal to all responsible departments and agencies prior to the acceptance of this approval. Responsible agencies include, but are not limited to the Fire Department, Environmental Health Department, the local Flood Control District, Building and Safety Department, Transportation Department, the Environmental Programs Department, the County Geologist, or the Transportation Land Management Agency.

10.PLANNING. 2 PPA - NO HOME OCCUPATIONS RECOMMND

No home occupations are permitted in an accessory structure or guest home.

From section 21.36 of Ordinance 348: Home Occupations:

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

10. GENERAL CONDITIONS

10.PLANNING. 2

PPA - NO HOME OCCUPATIONS (cont.)

RECOMMND

Home occupations means those uses that are customarily conducted in a residence, provided such uses must be incidental and secondary to the principal use of a dwelling as a residence. The following criteria shall apply to any home occupation:

a. Except for large family day care homes which may require two assistants and small family day care homes which may require one assistant to be present in addition to the licensee or provider, no person other than a resident of the dwelling shall be employed on the premises in the conduct of a home occupation.

b. A home occupation shall be conducted entirely within the dwelling and shall be incidental and secondary to the use of the dwelling as a residence.

c. A home occupation shall not be conducted in an accessory structure and there shall be no storage of equipment or supplies in an accessory structure or outside building.

d. The residential character of the exterior and interior of the dwelling shall not be changed.

e. No vehicles or trailers except those normally incidental to residential use shall be kept on the site.

f. No signs other than one unlighted identification sign, not more than two square feet in area, shall be erected on the premises.

10.PLANNING. 3

PPA - SETBACKS IN HIGH FIRE

RECOMMND

Please be advised that the setbacks for structures within a County designated high fire areas have increased. It is advisable prior to the purchase of structure or prior to planning of a structure (such as hiring an architect or engineer to create plans) that the applicant should contact the Fire Department to make sure that the structure question meets those requirements.

Fire Department Planning
2300 Market Street, Suite 150
Riverside, CA 92501
951-955-4777

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

10. GENERAL CONDITIONS

10.PLANNING. 4 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions
of this permit,
b) is found to have been obtained by fraud or perjured
testimony, or
c) is found to be detrimental to the public health, safety
or general welfare, or is a public nuisance, this permit
shall be subject to the revocation procedures.

10.PLANNING. 5 PPA - ACSRY BLD NO HBTBL AREA

RECOMMND

No habitable area has been approved with this approval.
The addition of habitable area will require additional
permits.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE-PP

RECOMMND

This approval shall be used within two (2) years of
approval date; otherwise, it shall become null and void and
of no effect whatsoever. By use is meant the beginning of
substantial construction contemplated by this approval
within a two (2) year period which is thereafter diligently
pursued to completion or to the actual occupancy of
existing buildings or land under the terms of the
authorized use. Prior to the expiration of the two year
period, the permittee may request a one (1) year extension
of time request in which to use this plot plan. A maximum
of three one-year extension of time requests shall be
permitted. Should the time period established by any of
the extension of time requests lapse, or should all three
one-year extensions be obtained and no substantial
construction or use of this plot plan be initiated within
five (5) years of the effective date of the issuance of
this plot plan, this plot plan shall become null and void.

60. PRIOR TO GRADING PRMT ISSUANCE

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 PPA - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 PPA - SITE EVALUATION

RECOMMND

The information provided does not indicate whether any grading has taken place or will take place on this lot.

Therefore, prior to the issuance of any building permits, the applicant shall provide the Building & Safety Department with documentation that the cell tower and equipment site is not graded - a site is considered not graded if it has less than 50 cubic yards of cut or fill (whichever is greater) material on it. If the grading status of the site cannot be determined from the information supplied by the applicant, documentation of site status will be required. Documentation can be in the form of a signed and stamped letter from a registered civil engineer - stating less than 50 cubic yards of cut or fill material has been graded - or by a special inspection permit from the Building & Safety Department. This permit pays for a site review to determine the need for further information or a permit on the

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 1 PPA - SITE EVALUATION (cont.) RECOMMND

existing grading - if any.

Site evaluation need not take place if the applicant obtains a grading permit.

80.BS GRADE. 2 BMP - CONSTR. NPDES PERMIT INEFFECT

Prior to the issuance of a building permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

BS PLNCK DEPARTMENT

80.BS PLNCK. 1 USE* BUILD & SAFETY PLNCK RECOMMND

The applicant shall obtain the required building permit(s) from the Building Department for any proposed building, structure, equipment or utility prior to construction or installation on the property

All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

FIRE DEPARTMENT

80.FIRE. 1 USE* -#51-WATER CERTIFICATION RECOMMND

The applicant or developer shall be responsible to submit written certification from the water company noting the location of the existing fire hydrant and that the existing water system is capable of delivering 1000 GPM fire flow for a 2 hour duration at 20 PSI residual operating pressure. If a water system currently does not exist, the applicant or developer shall be responsible to provide

04/16/13
14:04

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 9

PLOT PLAN:ADMINISTRATIVE Case #: PP25282

Parcel: 345-240-016

80. PRIOR TO BLDG PRMT ISSUANCE

80.FIRE. 1 USE* -#51-WATER CERTIFICATION (cont.) RECOMMND

written certification that financial arrangements have been made to provide them.

PLANNING DEPARTMENT

80.PLANNING. 1 PPA - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 2 PPA - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

Boothe, Bahelila

From: Boothe, Bahelila
Sent: Monday, April 01, 2013 3:43 PM
To: Boothe, Bahelila
Subject: FW: PP25282

From: Jones, David
Sent: Thursday, February 07, 2013 3:57 PM
To: Boothe, Bahelila
Subject: PP25282

The site is not located in any of the County's geologic hazard potential zone. The site is located in an area of undetermined potential for paleo resources and it appears the site has been disturbed by previous grading activity. Thus, in accordance with the General Plan policies, GEO, PDP, and PDA reports are not required for this case.

The owner/developer should be aware of these issues and design/construct accordingly.


David L. Jones
Chief Engineering Geologist
TLMA- Planning

RIVERSIDE COUNTY GIS



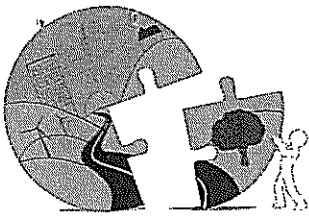
Selected parcel(s):
345-240-016

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jan 17 13:46:25 2013

Version 121101



RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP25282 DATE SUBMITTED: 1/15/13

APPLICATION INFORMATION

Applicant's Name: Donald A. Waits, Jr. E-Mail: Waits@aol.com

Mailing Address: 22876 Margarth St.
Perris CA 92570
City State ZIP

Daytime Phone No: (510) 334-8305 Fax No: ()

Engineer/Representative's Name: Donald A. Waits, Jr. E-Mail: Waits@aol.com

Mailing Address: 22876 Margarth Street
Perris CA 92570
City State ZIP

Daytime Phone No: (510) 334-8305 Fax No: ()

Property Owner's Name: Donald A. Waits, Jr. E-Mail: Waits@aol.com

Mailing Address: 22876 Margarth St.
Perris CA 92570
City State ZIP

Daytime Phone No: (510) 334-8305 Fax No: ()

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR MINOR PLOT PLAN

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

Donald A. Waits Jr
PRINTED NAME OF APPLICANT Donald A Waits Jr
SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. (Authorized agent must submit a letter from the owner(s) indicating authority to sign in the owner's behalf.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

SIGNATURE OF PROPERTY OWNER(S):

Donald A Waits Jr
PRINTED NAME OF PROPERTY OWNER(S) Donald A Waits Jr
SIGNATURE OF PROPERTY OWNER(S)
Wendy M. Waits
PRINTED NAME OF PROPERTY OWNER(S) Wendy M. Waits
SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROJECT INFORMATION

Proposal (describe the project and reference the applicable Ord. No. 348 section): Construction of 30' x 50' metal accessory building on a concrete pad to be used for a garage/storage building. This building will have 3 roll-up doors and 1 walk-in door.

Related cases or underlying case: _____

PROPERTY INFORMATION

Assessor's Parcel Number(s): 345-240-016

APPLICATION FOR MINOR PLOT PLAN

Section: 11 Township: 5 South Range: 4 West

Approximate Gross Acreage: 19.71

General location (nearby or cross streets): North of Poppy Hill Dr., South of Betty Marie St., East of Marie St., West of Phillips.

Thomas Brothers Map, edition year, page no., and coordinates: 807-D7 + 837-D1 2001

**MINOR PLOT PLAN SUBMITTAL REQUIREMENTS FOR THE FOLLOWING APPLICATION TYPES:
(Note: All exhibits shall be folded to a maximum 8½" x 14" size)**

COMMERCIAL/INDUSTRIAL

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Current processing deposit-based fee.

ACCESSORY BUILDING

1. Completed Application form.
2. ~ Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. ~ Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. ~ Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.
5. ~ Color photographs of roofing material samples (or literature showing color/material samples). Actual roofing tiles will not be accepted.
6. ~ A minimum of three (3) ground-level panoramic photographs (color prints) clearly showing the whole project site. Include a locational map identifying the position from which the photo was taken and the approximate area of coverage of each photograph.
7. Current processing deposit-based fee.

GUEST HOUSE

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.



COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY



George A. Johnson
Agency Director

Katherine Gifford Director, Administrative Services Department	Ron Goldman Director, Planning Department	Juan C. Perez Director, Transportation Department	Mike Lara Director, Building & Safety Department	John Boyd Director, Code Enforcement Department	Carolyn Syms Luña Director, Environmental Programs Department
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LAND USE and PERMIT APPLICATION PROCESSING AGREEMENT
Agreement for Payment of Costs of Application Processing

TO BE COMPLETED BY APPLICANT:

This agreement is by and between the County of Riverside, hereafter "County of Riverside",

and Donald A. Waits, Jr., hereafter "Applicant" and Donald A. Waits, Jr. Property Owner".

Description of application/permit use:

Application for Minor Plot Plan
for Accessory Building to be used as garage/storage.

If your application is subject to Deposit-based Fee, the following applies

Section 1. Deposit-based Fees

Purpose: The Riverside County Board of Supervisors has adopted ordinances to collect "Deposit-based Fees" for the costs of reviewing certain applications for land use review and permits. The Applicant is required to deposit funds to initiate staff review of an application. The initial deposit may be supplemented by additional fees, based upon actual and projected labor costs for the permit. County departments draw against these deposited funds at the staff hourly rates adopted by the Board of Supervisors. The Applicant and Property Owner are responsible for any supplemental fees necessary to cover any costs which were not covered by the initial deposit.

Section 2. Applicant and Property Owner Responsibilities for Deposit-based Fee Applications

- A. Applicant agrees to make an initial deposit in the amount as indicated by County ordinance, at the time this Agreement is signed and submitted with a complete application to the County of Riverside. Applicant acknowledges that this is an initial deposit and additional funds may be needed to complete their case. The County of Riverside will not pay interest on deposits. Applicant understands that any delays in making a subsequent deposit from the date of written notice requesting such additional deposit by County of Riverside, may result in the stoppage of work.
- B. Within 15 days of the service by mail of the County of Riverside's written notice that the application permit deposit has been reduced to a balance of less than 20% of the initial deposit or that the deposit is otherwise insufficient to cover the expected costs to completion, the Applicant agrees to make an additional payment of an amount as determined by the County of Riverside to replenish the deposit. Please note that the processing of the application or permit may stop if the amount on deposit has been expended. The Applicant agrees to continue making such payments until the County of Riverside is reimbursed for all costs related to this application or permit. The County of Riverside is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts that would have been drawn on the deposit were it not depleted.
- C. The Property Owner acknowledges that the Applicant is authorized to submit this agreement and related application(s) for land use review or permit on this property. The Property Owner also acknowledges that should the Applicant not reimburse the County of Riverside for all costs related to this application or permit, the Property Owner shall become immediately liable for these costs which shall be paid within 15 days of the service by mail of notice to said property Owner by the County.

- D. This Agreement shall only be executed by an authorized representative of the Applicant and the Property Owner. The person(s) executing this Agreement represents that he/she has the express authority to enter into this agreement on behalf of the Applicant and/or Property Owner.
- E. This Agreement is not assignable without written consent by the County of Riverside. The County of Riverside will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.
- F. Deposit statements, requests for deposits or refunds shall be directed to Applicant at the address identified in Section 4.

Section 3. To ensure quality service, Applicant is responsible to provide one-week written notice to the County of Riverside Transportation and Land Management Agency (TLMA) Permit Assistance Centers if any of the information below changes.

Section 4. Applicant and Owner Information

1. PROPERTY INFORMATION:

Assessors Parcel Number(s): 345-240-016

Property Location or Address:

22876 Margarth St., Perris CA 92570

2. PROPERTY OWNER INFORMATION:

Property Owner Name: Donald A. Waits, Jr. Phone No.: 510-334-8305

Firm Name: _____ Email: Waits@aol.com

Address: 22876 Margarth St.
Perris CA 92570

3. APPLICANT INFORMATION:

Applicant Name: Donald A. Waits, Jr. Phone No.: 510-334-8305

Firm Name: _____ Email: Waits@aol.com

Address (if different from property owner)

4. SIGNATURES:

Signature of Applicant: Donald A Waits Jr Date: 1/14/13

Print Name and Title: Owner Donald A WAITS JR

Signature of Property Owner: Donald A Waits Jr Date: 1/14/13

Print Name and Title: Donald A WAITS JR Owner

Signature of the County of Riverside, by _____ Date: _____

Print Name and Title: _____

FOR COUNTY OF RIVERSIDE USE ONLY	
Application or Permit (s)#: _____	
Set #: _____	Application Date: _____

RIVERSIDE COUNTY GIS



Selected parcel(s):
345-240-016

IMPORTANT

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STANDARD WITH PERMITS REPORT

APNs

345-240-016-7

OWNER NAME / ADDRESS

DONALD A WAITS
WENDY M WAITS
22876 MARGARTH ST
PERRIS, CA. 92570

MAILING ADDRESS

(SEE OWNER)
(SEE SITUS)

LEGAL DESCRIPTION

LEGAL DESCRIPTION IS NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 19.71 ACRES

PROPERTY CHARACTERISTICS

WOOD FRAME, 1960 SQFT., 3 BDRM/ 2 BATH, 1 STORY, ATTACHED GARAGE(625 SQ. FT), CONST'D 2003COMPOSITION, ROOF, CENTRAL HEATING, CENTRAL COOLING

THOMAS BROS. MAPS PAGE/GRID

PAGE: 807 GRID: D7

PAGE: 837 GRID: D1

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY

CITY SPHERE: PERRIS

ANNEXATION DATE: NOT APPLICABLE

LAFCO CASE #: NOT APPLICABLE

PROPOSALS: NOT APPLICABLE

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT 2011 (ORD. 813)

KEVIN JEFFRIES, DISTRICT 1

SUPERVISORIAL DISTRICT (2001 BOUNDARIES)

MARION ASHLEY, DISTRICT 5

TOWNSHIP/RANGE

T5SR4W SEC 11

ELEVATION RANGE

1516/1604 FEET

PREVIOUS APN

345-240-007

PLANNING**LAND USE DESIGNATIONS**

RM

RR

SANTA ROSA ESCARPMENT BOUNDARY

NOT IN THE SANTA ROSA ESCARPMENT BOUNDARY

AREA PLAN (RCIP)

MEAD VALLEY

COMMUNITY ADVISORY COUNCILS

PERRIS VALLEY (MAC)

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

R-R

ZONING DISTRICTS AND ZONING AREAS

GOOD HOPE AREA

ZONING OVERLAYS

NOT IN A ZONING OVERLAY

HISTORIC PRESERVATION DISTRICTS

NOT IN AN HISTORIC PRESERVATION DISTRICT

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY

IN OR PARTIALLY WITHIN A CIRCULATION ELEMENT RIGHT-OF-WAY. SEE MAP FOR MORE INFORMATION. CONTACT THE TRANSPORTATION DEPT. PERMITS SECTION AT (951) 955-6790 FOR INFORMATION REGARDING THIS PARCEL IF IT IS IN AN UNINCORPORATED AREA.

ROAD BOOK PAGE

63

TRANSPORTATION AGREEMENTS

NOT IN A TRANSPORTATION AGREEMENT

CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS

NOT IN A CETAP CORRIDOR.

HYDROLOGY

FLOOD PLAIN REVIEW

NOT REQUIRED

WATER DISTRICT

EMWD

FLOOD CONTROL DISTRICT

RIVERSIDE COUNTY FLOOD CONTROL DISTRICT

WATERSHED

SAN JACINTO VALLEY

GEOLOGIC

FAULT ZONE

NOT IN A FAULT ZONE

FAULTS

NOT WITHIN A 1/2 MILE OF A FAULT

LIQUEFACTION POTENTIAL

NO POTENTIAL FOR LIQUEFACTION EXISTS

SUBSIDENCE

NOT IN A SUBSIDENCE AREA

PALEONTOLOGICAL SENSITIVITY

UNDETERMINED POTENTIAL.

AREAS UNDERLAIN BY SEDIMENTARY ROCKS FOR WHICH LITERATURE AND UNPUBLISHED STUDIES ARE NOT AVAILABLE HAVE UNDETERMINED POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES. THESE AREAS MUST BE INSPECTED BY A FIELD SURVEY CONDUCTED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST.

MISCELLANEOUS

SCHOOL DISTRICT

PERRIS & PERRIS UNION HIGH

COMMUNITIES

GOOD HOPE

COUNTY SERVICE AREA

NOT IN A COUNTY SERVICE AREA.

LIGHTING (ORD. 655)

ZONE B, 35.39 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT

042902

FARMLAND

OTHER LANDS

TAX RATE AREAS

087014

*COUNTY FREE LIBRARY

- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE RESOURCE MGMT DIST
- CSA 152
- EASTERN MUN WATER IMP DIST 8
- EASTERN MUNICIPAL WATER
- FLOOD CONTROL ADMINISTRATION
- FLOOD CONTROL ZONE 4
- GENERAL
- GENERAL PURPOSE
- METRO WATER EAST 1301999
- MT SAN JACINTO JUNIOR COLLEGE
- PERRIS AREA ELEM SCHOOL FUND
- PERRIS JR HIGH AREA FUND
- PERRIS SCHOOL
- PERRIS UNION HIGH SCHOOL
- PERRIS VALLEY CEMETERY
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- SAN JACINTO BASIN RESOURCE CONS

SPECIAL NOTES

NO SPECIAL NOTES

CODE COMPLAINTS

Case #	Description	Start Date
NO CODE COMPLAINTS	NOT APPLICABLE	NOT APPLICABLE

BUILDING PERMITS

Case #	Description	Status
BGR030041	GRADING 1 RES LOT	EXPIRED
BMR030163	MOBILE HOME SITE PREP	FINAL
BMR030164	MOBILE HOME INSTALLATION (PF)	FINAL
BMR030165	PERMANENT FOUNDATION TO MOBILE HOME	FINAL
BXX035291	620SF GARAGE TO MOBILEHOME	EXPIRED

ENVIRONMENTAL HEALTH PERMITS

Case #	Description	Status
EHS030194	SEPTIC VERIFICATION	APPLIED
EHW030113	NEW INDIVIDUAL WELL	APPLIED

PLANNING PERMITS

Case #	Description	Status
MT033226	CPM01274	PAID
MT034951	CPM01274	PAID
MT034952	CPM01274	PAID
MT034953	CPM01274	PAID

REPORT PRINTED ON...Tue Jan 15 12:30:06 2013
Version 121101

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 4/2/2013,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 25282 For

Company or Individual's Name Planning Department,

Distance buffered 1000'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

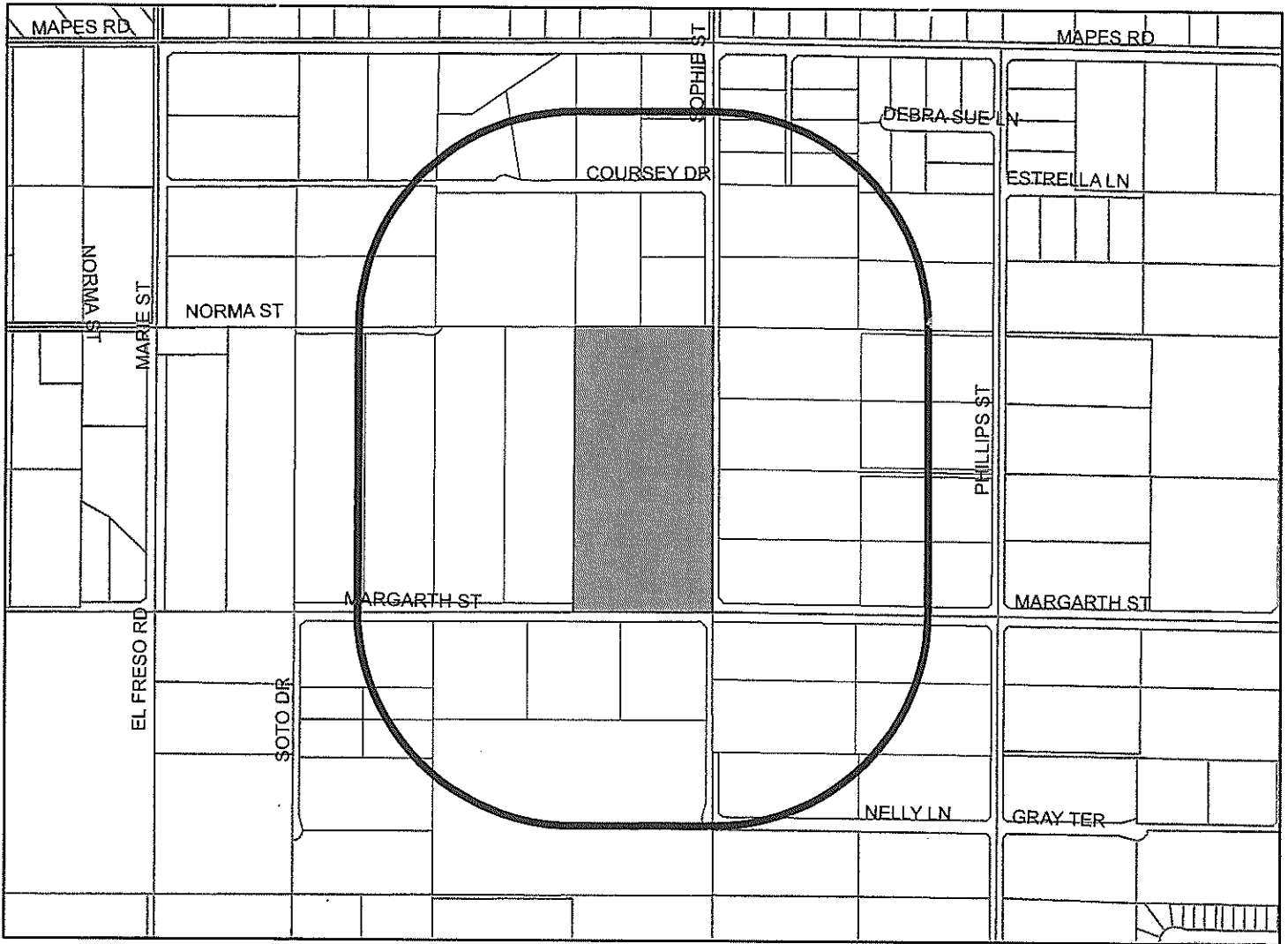
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

PP25282 (1000 feet buffer)



Selected Parcels

345-230-012	342-280-049	345-230-019	345-230-027	342-290-014	345-230-026	342-290-015	342-280-028	342-280-054	342-280-055
345-230-023	345-230-020	345-240-016	342-280-044	345-230-021	345-250-018	342-290-026	345-250-015	345-240-011	345-250-006
345-230-024	345-240-013	345-250-007	342-280-047	345-250-020	342-280-043	342-280-042	342-290-025	345-240-014	345-240-012
345-230-031	345-230-025	342-280-050	345-230-011	342-280-040	342-280-037	342-280-038	345-250-023	342-280-046	342-280-045
342-280-041	342-280-048	342-280-039	342-290-012	345-250-022	345-250-021	345-230-022	342-290-021	342-280-036	



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ASMT: 342280028, APN: 342280028
ALEJANDRO LOPEZ, ETAL
C/O ALEJANDRO LOPEZ
10252 56TH ST
MIRA LOMA CA 91752

ASMT: 342280042, APN: 342280042
GUILLERMINA CEJA, ETAL
6181 SHAWNEE RD
WESTMINSTER CA 92683

ASMT: 342280036, APN: 342280036
WILLIAM PETERSON
25125 PHILLIPS ST
PERRIS, CA. 92570

ASMT: 342280043, APN: 342280043
RACHEL BRECKENRIDGE, ETAL
P O BOX 625
PERRIS CA 92572

ASMT: 342280037, APN: 342280037
DELFINA PEREZ, ETAL
25245 PHILLIPS ST
PERRIS, CA. 92570

ASMT: 342280044, APN: 342280044
JAMES MARTIN, ETAL
1146 WHITMAN AVE
CLAREMONT CA 91711

ASMT: 342280038, APN: 342280038
NHAC LUU TRAN
25275 PHILLIPS ST
PERRIS, CA. 92570

ASMT: 342280045, APN: 342280045
LUZ GONZALEZ, ETAL
10016 JACKSON AVE
SOUTH GATE CA 90280

ASMT: 342280039, APN: 342280039
APRIL AHMED, ETAL
25343 PHILLIPS ST
PERRIS, CA. 92570

ASMT: 342280046, APN: 342280046
ROBERTA REYES, ETAL
26206 SOPHIE ST
PERRIS CA 92570

ASMT: 342280040, APN: 342280040
MARTHA BENSON
17034 HAZELWOOD DR
RIVERSIDE CA 92503

ASMT: 342280047, APN: 342280047
ADELA NIEVES, ETAL
25140 SOPHIE ST
PERRIS, CA. 92570

ASMT: 342280041, APN: 342280041
HERIBERTO RUIZ, ETAL
3525 18TH AVE
ROCK ISLAND IL 61201

ASMT: 342280048, APN: 342280048
SAL GONZALEZ
41847 CAMINO DE LA TORRE
TEMECULA CA 92592

ASMT: 342280049, APN: 342280049
BANK OF AMERICA
C/O FHA #048217128
400 COUNTRYWIDE WAY SV35
SIMI VALLEY CA 93065

ASMT: 342290025, APN: 342290025
JAMES HENKE
23130 NELLY LN
PERRIS, CA. 92570

ASMT: 342280050, APN: 342280050
CARMELA MARIN, ETAL
25040 SOPHIE ST
PERRIS, CA. 92570

ASMT: 342290026, APN: 342290026
MARY MURO, ETAL
13124 CROSSDALE AVE
NORWALK CA 90650

ASMT: 342280054, APN: 342280054
MARIA ZEPEDA, ETAL
728 FUCHSIA LN
PERRIS CA 92571

ASMT: 345230011, APN: 345230011
MARIA RUVALCABA
1882 HEIDLEMAN RD
LOS ANGELES CA 90032

ASMT: 342280055, APN: 342280055
MARIA ZEPEDA, ETAL
25070 CALEXICO ST
PERRIS CA 92570

ASMT: 345230012, APN: 345230012
LILIA LOPEZ, ETAL
22690 NORMA ST
PERRIS CA 92570

ASMT: 342290012, APN: 342290012
SYLVIA GILREATH
25588 SOPHIE ST
PERRIS, CA. 92570

ASMT: 345230019, APN: 345230019
MARIA ANDALON, ETAL
10613 E 67TH ST APT 42
TULSA OK 74133

ASMT: 342290015, APN: 342290015
CAO DAI TEMPLE OVERSEAS
6402 VANGUARD AVE
GARDEN GROVE CA 92845

ASMT: 345230020, APN: 345230020
CONRADO CISNEROS
1517 HALF NORTH ROSS ST
SANTANA CA 92706

ASMT: 342290021, APN: 342290021
ERLINDA MILLER, ETAL
9530 ALONDRA BLV SPC 9
BELLFLOWER CA 90706

ASMT: 345230021, APN: 345230021
EVA ARROYO
30332 NUEVO RD
NUEVO CA 92567



ASMT: 345230022, APN: 345230022
IRENE VALDEZ, ETAL
25045 SOPHIE RD
PERRIS, CA. 92570

ASMT: 345240011, APN: 345240011
NATIVIDAD HERNANDEZ, ETAL
32953 BRYANT ST
WILDOMAR CA 92595

ASMT: 345230023, APN: 345230023
JACKALYN SMITH, ETAL
7730 W CARIBBEAN LN
PEORIA AZ 85381

ASMT: 345240012, APN: 345240012
JULIA GILREATH
955 CORONA AVE
CORONA CA 92879

ASMT: 345230024, APN: 345230024
YVONNE COCKRELL, ETAL
654 MAINSAIL LN
PERRIS CA 92571

ASMT: 345240013, APN: 345240013
GABRIEL MILANE
25249 SILVERWOOD LN
MENIFEE CA 92584

ASMT: 345230025, APN: 345230025
JEANNETTE DOMINGO, ETAL
10168 SPRING MANOR CT
SAN DIEGO CA 92126

ASMT: 345240014, APN: 345240014
MARIA ZARATE, ETAL
18285 COLLIER AVE NO K232
LAKE ELSINORE CA 92530

ASMT: 345230026, APN: 345230026
MARIA MOJICA, ETAL
11412 EARLHAM ST
ORANGE CA 92869

ASMT: 345240016, APN: 345240016
WENDY WAITS, ETAL
22876 MARGARTH ST
PERRIS, CA. 92570

ASMT: 345230027, APN: 345230027
MARIA ANDALON, ETAL
22755 MAPES RD
PERRIS, CA. 92570

ASMT: 345250006, APN: 345250006
VERONICA MEDINA, ETAL
4570 W 173RD ST
LAWNDALE CA 90260

ASMT: 345230031, APN: 345230031
PATRICIA SMITH, ETAL
P O BOX 807
PERRIS CA 92572

ASMT: 345250007, APN: 345250007
GONZALO MUNOZ
25610 SOTO DR
PERRIS CA 92570





ASMT: 345250015, APN: 345250015
LEONOR ZEPEDA, ETAL
22695 MARGARTH ST
PERRIS, CA. 92570

ASMT: 345250018, APN: 345250018
FEDERAL HOME LOAN MORTGAGE CORP
C/O JPMORGAN CHASE BANK
7301 BAYMEADOWS WAY
JACKSONVILLE FL 32256

ASMT: 345250020, APN: 345250020
EVANGELINA LEZAMA, ETAL
22709 MARGARTH ST
PERRIS, CA. 92570

ASMT: 345250021, APN: 345250021
VALORY ASHBAUGH
P O BOX 6174
ORANGE CA 92863

ASMT: 345250022, APN: 345250022
MANUELA SANTIAGO, ETAL
23375 DAVID JONES RD
PERRIS CA 92570

ASMT: 345250023, APN: 345250023
ENRIQUE DENIZ, ETAL
25625 SOPHIE ST
PERRIS CA 92570

Agenda Item No.: 2.03
Supervisory District: Third/Third
Project Planner: Bahelila Boothe
Director's Hearing: June 17, 2013

PLOT PLAN NO: 25345
Applicant: Marilyn Gilbert
CEQA Exempt

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is a proposal to permit existing unpermitted 1,350 square foot detached horse barn and a 960 square foot detached steel storage building on 8.66 acres.

ISSUES OF RELEVANCE:

The property is located in a State Fire Responsibility and Flood Sensitivity Area. Project has been conditioned by Riverside County Flood Control and Riverside County Fire Department.

RECOMMENDATIONS:

APPROVAL of PLOT PLAN NO. 25345, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project has a primary dwelling on the parcel where the detached accessory buildings are proposed.
2. The project site is designated Rural: Rural Residential (5 Acres Minimum) on the REMAP Area Plan.
3. The proposed detached accessory use is a permitted use in the general plan designation.
4. The proposed detached accessory building is a permitted use, subject to approval of a plot plan in the Rural Residential (R-R-5) zone.
5. The proposed detached accessory buildings uses are consistent with the development standards set forth in the R-R-5 zone.
6. The proposed existing unpermitted 1,350 square foot detached horse barn and 960 square foot detached steel storage building are considered detached accessory building under Section 18.18 of Ordinance No. 348.
7. The detached existing unpermitted 1,350 square foot horse barn and 960 square foot detached steel storage building area compatible with the character of the surrounding community.
8. The detached accessory 1,350 square foot horse barn and detached 960 square foot steel storage building are located 70 feet or more from the main building and consistent with the characteristics of the surrounding community.

fw

9. The project conforms to Section 15303, (New Construction or Conversion of Small Structures), of the CEQA guidelines and is exempt from CEQA if the project meets the following conditions: Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to: "... (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences".

CONCLUSIONS:

1. The proposed projects are in conformance with the Riverside County General Plan.
2. The proposed projects are consistent with Section 18.18 of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed projects are compatible with the present and future logical development of the area.
5. The proposed projects will not have a significant effect on the environment.
6. These detached accessory buildings have been determined to be exempt under Section 15303(e) (New Construction or Conversion of Small Structures) of the California Environmental Quality Act.

PLOT PLAN:ADMINISTRATIVE Case #: PP25345

Parcel: 579-120-036

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a proposal to permit an existing unpermitted detached 1,350 square foot horse barn an a 960 square foot detached steel storage building on 8.66 acres.

10. EVERY. 2 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

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Riverside County LMS
CONDITIONS OF APPROVAL

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PLOT PLAN:ADMINISTRATIVE Case #: PP25345

Parcel: 579-120-036

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25345, shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 25345, Exhibit A, Amd #1 dated 5/15/13. (Site Plan)

APPROVED EXHIBIT B/C = Plot Plan No. 25345, Exhibit B/C, dated 5/15/13. (Floor Plans/Elevations - Horse Barn)

APPROVED EXHIBIT B/C = Plot Plan No. 25345, Exhibit B/C, dated 5/15/13. (Floor Plans/Elevations - Steel Storage Building)

APPROVED EXHIBIT M = Plot Plan No. 25345, Exhibit M, dated 5/15/13. (Colors)

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK

RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In residential applications, each separate structure will require a separate building permit.

PLOT PLAN:ADMINISTRATIVE Case #: PP25345

Parcel: 579-120-036

10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.)

RECOMMND

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

E HEALTH DEPARTMENT

10.E HEALTH. 1 PP25345 - COMMENTS

RECOMMND

Plot Plan 25345 is proposing to permit the following buildings (without any plumbing) that were constructed without permits:

- a) 1,350 square foot horse barn
- b) 960 square foot steel building

Per Department of Environmental Health (DEH) stamped plot plan for BSP130098 dated 4/9/13 c/o M.Haraksin, the locations of these two existing buildings do not appear to encroach upon the location of the existing septic system.

Please note that further requirements shall apply at the discretion of DEH if plumbing is proposed within either of these two aforementioned existing buildings.

For any questions, please contact DEH Land Use at (951) 955-8980.

FIRE DEPARTMENT

10.FIRE. 1 USE-#21-HAZARDOUS FIRE AREA

RECOMMND

This project is located in the "Hazardous Fire Area" of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed within this project shall comply with the special construction provisions contained in Riverside County

PLOT PLAN:ADMINISTRATIVE Case #: PP25345

Parcel: 579-120-036

10. GENERAL CONDITIONS

10.FIRE. 1 USE-#21-HAZARDOUS FIRE AREA (cont.) RECOMMND
Ordinance 787.1.

10.FIRE. 2 USE-#005-ROOFING MATERIAL RECOMMND
All buildings shall be constructed with class B roofing material as per the California Building Code.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT RECOMMND
PP 25345 is a proposal to legalize a horse barn 1350 sq. ft. and steel building 960 sq. ft. on 8.66 acres. The site is located in Desert California, located northeasterly of Dillon Road and Palm Drive.

A broad natural watercourse with a tributary drainage area of approximately 318-acres enters from south and exit at the eastern boundary of the site. The existing barn and the steel building may be flooded during a major storm event. All new buildings and structures shall be elevated 24" above the existing adjacent ground, measured at the upstream edge of the structure. Any fencing shall be of a "rail" type. Chainlink fencing shall not be allowed. Mobile homes shall be placed on a permanent foundation systems.
Since this permit is to legalize the horse barn and the steel building that consists of less than 5000 sq. ft. of impervious area no mitigation for water quality is required. If this project creates or adds 5000 square feet or more of impervious area, a preliminary site specific Water Quality Management Plan (WQMP) shall be submitted for review and approval.

10.FLOOD RI. 2 USE ELEVATE NEW STRUCTURE 24" RECOMMND
All new buildings and structures shall be elevated 24" above the existing adjacent ground, measured at the upstream edge of the structure. Any fencing shall be of a "rail" type. Chainlink fencing shall not be allowed. Mobile homes shall be placed on a permanent foundation systems.

PLOT PLAN:ADMINISTRATIVE Case #: PP25345

Parcel: 579-120-036

10. GENERAL CONDITIONS

PLANNING DEPARTMENT

10.PLANNING. 1

PPA - LANDUSE APPROVAL ONLY

RECOMMND

The applicant or the applicant's successor in interest is notified through this condition that the approval granted on Plot Plan No. 25345 is for land use approval only, and has only met the requirements of Ordinance 348. Any requirements deemed necessary by another department or agency of Riverside County on a subsequent building permit are valid and may cause this approval by the Riverside County Planning Department as it stands to be rendered null and void or require significant revision. It is incumbent upon the applicant to research the acceptability of this proposal to all responsible departments and agencies prior to the acceptance of this approval. Responsible agencies include, but are not limited to the Fire Department, Environmental Health Department, the local Flood Control District, Building and Safety Department, Transportation Department, the Environmental Programs Department, the County Geologist, or the Transportation Land Management Agency.

10.PLANNING. 2

PPA - NO HOME OCCUPATIONS

RECOMMND

No home occupations are permitted in an accessory structure or guest home.

From section 21.36 of Ordinance 348: Home Occupations:

Home occupations means those uses that are customarily conducted in a residence, provided such uses must be incidental and secondary to the principal use of a dwelling as a residence. The following criteria shall apply to any home occupation:

a. Except for large family day care homes which may require two assistants and small family day care homes which may require one assistant to be present in addition to the licensee or provider, no person other than a resident of the dwelling shall be employed on the premises in the conduct of a home occupation.

b. A home occupation shall be conducted entirely within the dwelling and shall be incidental and secondary to the use of the dwelling as a residence.

c. A home occupation shall not be conducted in an accessory

PLOT PLAN:ADMINISTRATIVE Case #: PP25345

Parcel: 579-120-036

10. GENERAL CONDITIONS

10.PLANNING. 2 PPA - NO HOME OCCUPATIONS (cont.) RECOMMND

structure and there shall be no storage of equipment or supplies in an accessory structure or outside building.

d. The residential character of the exterior and interior of the dwelling shall not be changed.

e. No vehicles or trailers except those normally incidental to residential use shall be kept on the site.

f. No signs other than one unlighted identification sign, not more than two square feet in area, shall be erected on the premises.

10.PLANNING. 3 PPA - SETBACKS IN HIGH FIRE RECOMMND

Please be advised that the setbacks for structures within a County designated high fire areas have increased. It is advisable prior to the purchase of structure or prior to planning of a structure (such as hiring an architect or engineer to create plans) that the applicant should contact the Fire Department to make sure that the structure question meets those requirements.

Fire Department Planning
2300 Market Street, Suite 150
Riverside, CA 92501
951-955-4777

10.PLANNING. 4 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 5 PPA - ACSRY BLD NO HBTBL AREA RECOMMND

No habitable area has been approved with this approval. The addition of habitable area will require additional permits.

PLOT PLAN:ADMINISTRATIVE Case #: PP25345

Parcel: 579-120-036

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1

PPA - EXPIRATION DATE-PP

RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

20.PLANNING. 2

PPA - EXISTING STRUCTURE (1)

RECOMMND

WITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permittee or the permittee's successors-in-interest shall apply to the Building and Safety Department for all necessary permits, including the submission of all required documents and fees for any plan check review as determined by the Director of the Department of Building and Safety, to ensure that all existing buildings, structures and uses are in compliance with Ordinance No. 348 and Ordinance No. 457 and the conditions of approval of this permit.

20.PLANNING. 4

PPA - UNPERMITTED STRUCTURE

RECOMMND

WITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permittee or the permittee's successors-in-interest shall apply to the Building and Safety Department for all necessary permits related to the unpermitted 1,350 square foot detached horse barn and 960 square foot detached steel storage building, including the submission of all required documents and fees for any plan check review as determined by the Director of the Department of Building and Safety.

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CONDITIONS OF APPROVAL

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PLOT PLAN:ADMINISTRATIVE Case #: PP25345

Parcel: 579-120-036

80. PRIOR TO BLDG PRMT ISSUANCE

FIRE DEPARTMENT

80.FIRE. 1 COC-#8A-WELL/STORAGE TANK

RECOMMND

Prior to the issuance of a building permit, the applicant or developer shall provide a water system for fire protection consisting of a private well and water storage tank of sufficient size, approved by the Riverside County Fire Department. Plans in detail shall be submitted to the fire department for review and approval prior to installation of the tank. Guideline handout is available at the fire department.

PLANNING DEPARTMENT

80.PLANNING. 1 PPA - CONFORM TO ELEVATIONS

RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 2 PPA - CONFORM TO FLOOR PLANS

RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1 FINAL INSPECTION

RECOMMND

Prior to occupancy a Fire Department inspection is required to verify all conditions stated at plan check are met.

Riverside office (951)955-4777

2007 AERIAL



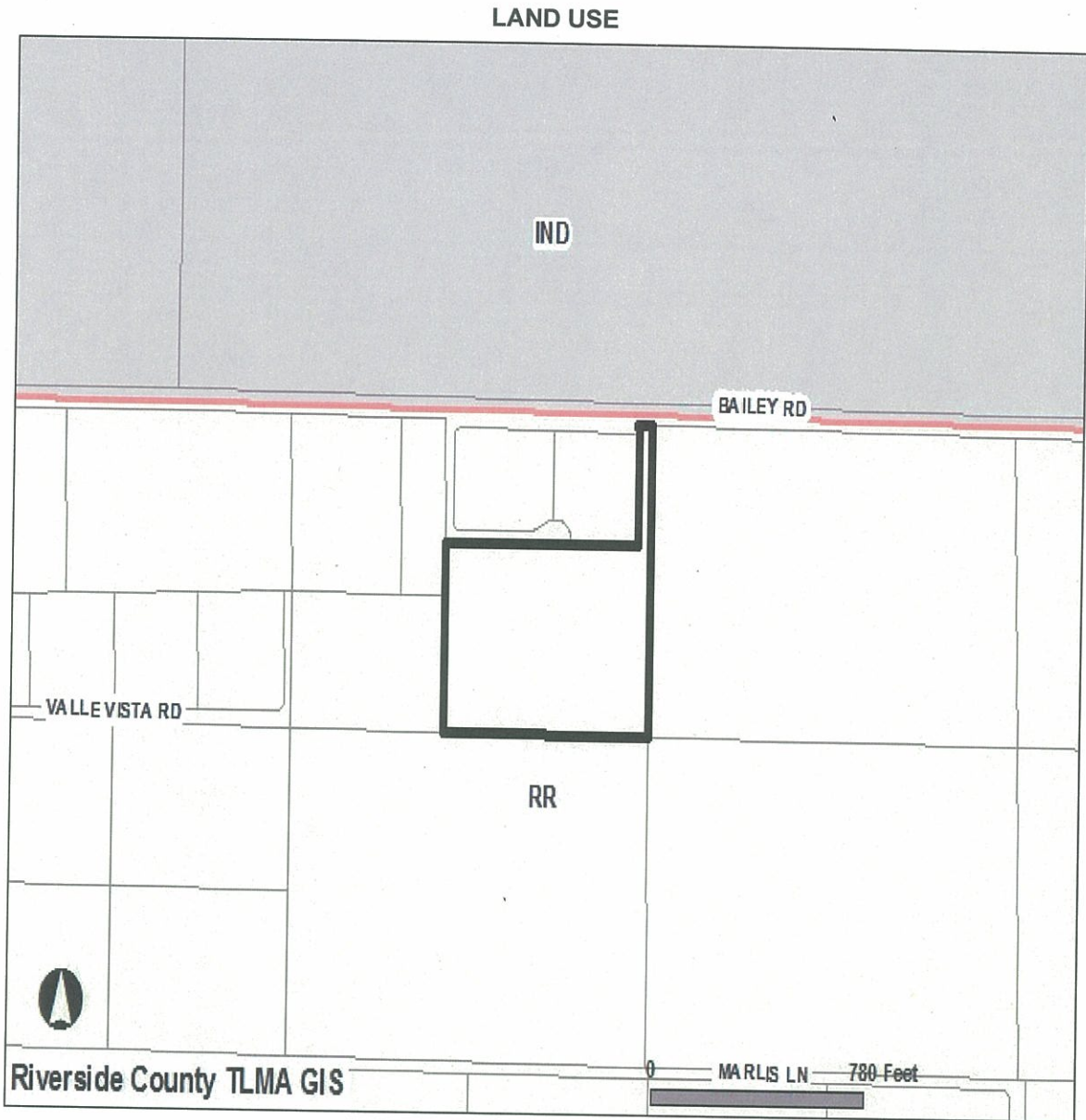
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579-120-036

IMPORTANT

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Selected parcel(s):
579-120-036

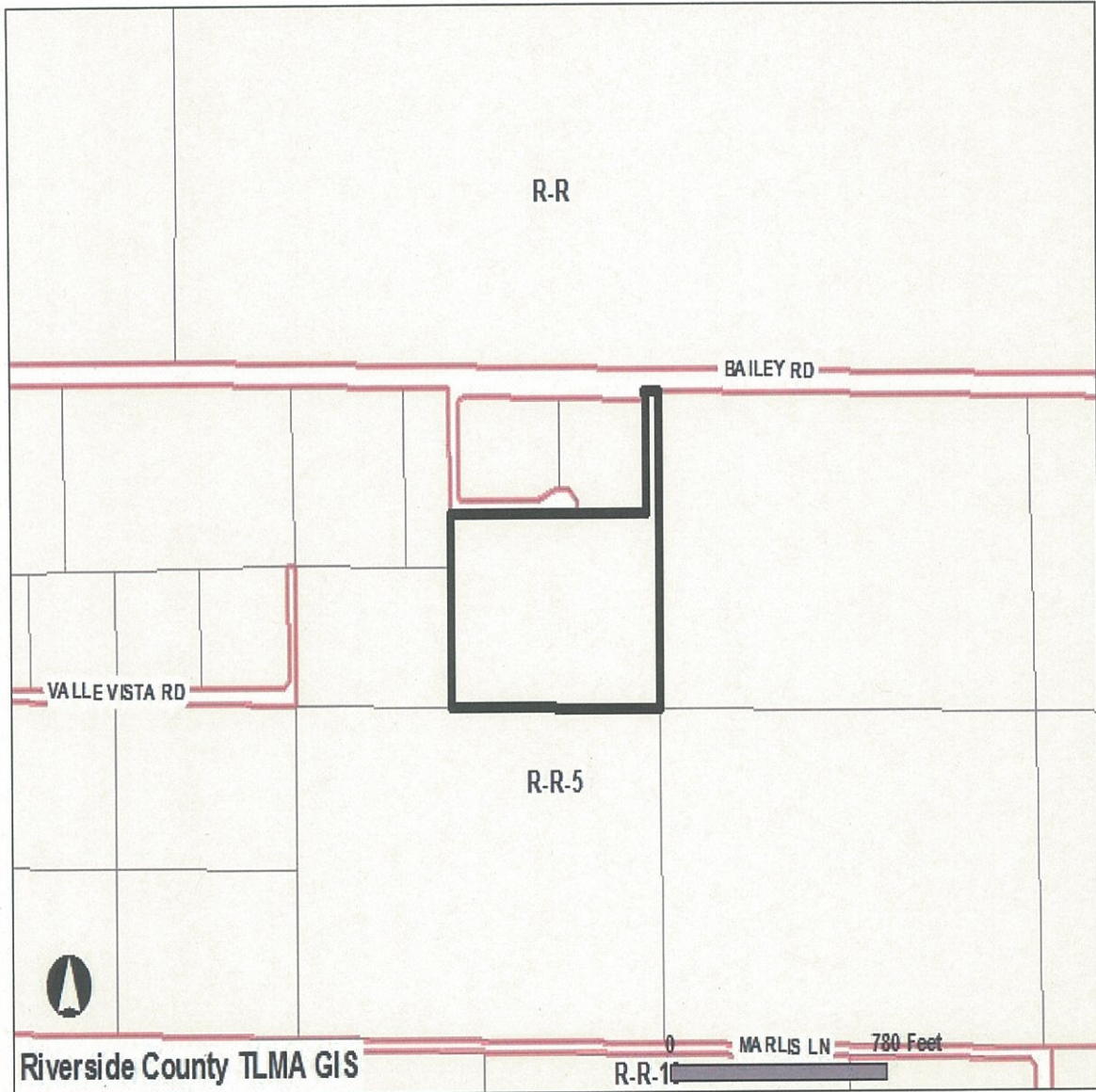
LAND USE

- SELECTED PARCEL
- IND - TRIBAL LANDS
- INTERSTATES
- HIGHWAYS
- PARCELS
- RR - RURAL RESIDENTIAL

IMPORTANT
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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ZONING





Riverside County TLMA GIS



R-R-10 780 Feet

Selected parcel(s):
579-120-036

ZONING

-  SELECTED PARCEL
-  ZONING BOUNDARY

-  INTERSTATES
-  R-A-5

-  HIGHWAYS
-  R-R, R-R-10, R-R-5

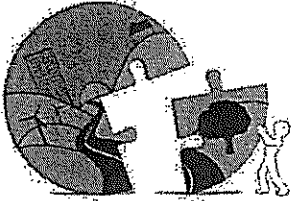
 PARCELS

IMPORTANT

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RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP25345 DATE SUBMITTED: 1/10/13

APPLICATION INFORMATION

Applicant's Name: Marilyn Gilbert E-Mail: _____

Mailing Address: 58489 Bailey Rd.
Anza City CA State 92539 ZIP

Daytime Phone No: (760) 413-7837 Fax No: () _____

Engineer/Representative's Name: Kim Quon E-Mail: _____

Mailing Address: 32466 Spruce St.
Lake Elsinore City CA State 92530 ZIP

Daytime Phone No: (760) 413-7837 Fax No: () _____

Property Owner's Name: Marilyn Gilbert E-Mail: _____

Mailing Address: P.O. Box 391490
Anza City CA State 92539 ZIP

Daytime Phone No: (760) 413-7837 Fax No: () _____

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR MINOR PLOT PLAN

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

x Marilyn Gilbert Marilyn Gilbert
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. (Authorized agent must submit a letter from the owner(s) indicating authority to sign in the owner's behalf.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

SIGNATURE OF PROPERTY OWNER(S):

x Marilyn Gilbert Marilyn Gilbert
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROJECT INFORMATION

Proposal (describe the project and reference the applicable Ord. No. 348 section): _____

Horse barn
Steel building

Related cases or underlying case: _____

PROPERTY INFORMATION

Assessor's Parcel Number(s): 579-120-036

APPLICATION FOR MINOR PLOT PLAN

Section: _____ Township: T85R3E Range: Sec 11

Approximate Gross Acreage: 0.66

General location (nearby or cross streets): North of Marlis Ln, South of Bailey, East of Terwilliger, West of Chapman

Thomas Brothers Map, edition year, page no., and coordinates: Pg. 865 Grid D5

MINOR PLOT PLAN SUBMITTAL REQUIREMENTS FOR THE FOLLOWING APPLICATION TYPES:

(Note: All exhibits shall be folded to a maximum 8½" x 14" size, and digital images of all exhibits (site plan, building elevations, floor plans, & any other graphics in a format acceptable to the Planning Department (e.g. TIFF, GIF, JPEG, PDF) shall be included with the application package)

COMMERCIAL/INDUSTRIAL

1. ~~Completed Application form.~~
2. ~~Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.~~
3. ~~Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.~~
4. ~~Current processing deposit-based fee.~~

ACCESSORY BUILDING

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.
5. Color photographs of roofing material samples (or literature showing color/material samples). Actual roofing tiles will not be accepted.
6. A minimum of three (3) ground-level panoramic photographs (color prints) clearly showing the whole project site. Include a locational map identifying the position from which the photo was taken and the approximate area of coverage of each photograph.
7. Current processing deposit-based fee.

GUEST HOUSE

1. ~~Completed Application form.~~
2. ~~Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.~~
3. ~~Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.~~



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**



George A. Johnson
Agency Director

Katherine Gifford
Director,
Administrative
Services
Department

Ron Goldman
Director,
Planning
Department

Juan C. Perez
Director,
Transportation
Department

Mike Lara
Director,
Building & Safety
Department

John Boyd
Director,
Code
Enforcement
Department

Carolyn Syms
Luna
Director,
Environmental
Programs Department

LAND USE and PERMIT APPLICATION PROCESSING AGREEMENT
Agreement for Payment of Costs of Application Processing

TO BE COMPLETED BY APPLICANT:

This agreement is by and between the County of Riverside, hereafter "County of Riverside",
and Marilyn Gilbert hereafter "Applicant" and Marilyn Gilbert Property Owner".

Description of application/permit use:

Horse Barn (Accessory Building)
Steel Building (Accessory Building)

If your application is subject to Deposit-Based Fee, the following applies

Section 1. Deposit-based Fees

Purpose: The Riverside County Board of Supervisors has adopted ordinances to collect "Deposit-based Fees" for the costs of reviewing certain applications for land use review and permits. The Applicant is required to deposit funds to initiate staff review of an application. The initial deposit may be supplemented by additional fees, based upon actual and projected labor costs for the permit. County departments draw against these deposited funds at the staff hourly rates adopted by the Board of Supervisors. The Applicant and Property Owner are responsible for any supplemental fees necessary to cover any costs which were not covered by the initial deposit.

Section 2. Applicant and Property Owner Responsibilities for Deposit-based Fee Applications

- A. Applicant agrees to make an initial deposit in the amount as indicated by County ordinance, at the time this Agreement is signed and submitted with a complete application to the County of Riverside. Applicant acknowledges that this is an initial deposit and additional funds may be needed to complete their case. The County of Riverside will not pay interest on deposits. Applicant understands that any delays in making a subsequent deposit from the date of written notice requesting such additional deposit by County of Riverside, may result in the stoppage of work.
- B. Within 15 days of the service by mail of the County of Riverside's written notice that the application permit deposit has been reduced to a balance of less than 20% of the initial deposit or that the deposit is otherwise insufficient to cover the expected costs to completion, the Applicant agrees to make an additional payment of an amount as determined by the County of Riverside to replenish the deposit. Please note that the processing of the application or permit may stop if the amount on deposit has been expended. The Applicant agrees to continue making such payments until the County of Riverside is reimbursed for all costs related to this application or permit. The County of Riverside is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts that would have been drawn on the deposit were it not depleted.
- C. The Property Owner acknowledges that the Applicant is authorized to submit this agreement and related application(s) for land use review or permit on this property. The Property Owner also acknowledges that should the Applicant not reimburse the County of Riverside for all costs related to this application or permit, the Property Owner shall become immediately liable for these costs which shall be paid within 15 days of the service by mail of notice to said property Owner by the County.

- D. This Agreement shall only be executed by an authorized representative of the Applicant and the Property Owner. The person(s) executing this Agreement represents that he/she has the express authority to enter into this agreement on behalf of the Applicant and/or Property Owner.
- E. This Agreement is not assignable without written consent by the County of Riverside. The County of Riverside will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.
- F. Deposit statements, requests for deposits or refunds shall be directed to Applicant at the address identified in Section 4.

Section 3. To ensure quality service, Applicant is responsible to provide one-week written notice to the County of Riverside Transportation and Land Management Agency (TLMA) Permit Assistance Centers if any of the information below changes.

Section 4. Applicant and Owner Information

1. PROPERTY INFORMATION:

Assessors Parcel Number(s): 579-120-036

Property Location or Address:
58489 Bailey Rd, Anza, CA 92539

2. PROPERTY OWNER INFORMATION:

Property Owner Name: Marilyn Gilbert Phone No.: 760-413-7837

Firm Name: _____ Email: _____

Address: 58489 Bailey Rd.
Anza, CA 92539

3. APPLICANT INFORMATION:

Applicant Name: _____ Phone No.: _____

Firm Name: _____ Email: _____

Address (if different from property owner)

4. SIGNATURES:

X Signature of Applicant: Marilyn Gilbert Date: 3-31-13
Print Name and Title: Marilyn Gilbert owner

X Signature of Property Owner: Marilyn Gilbert Date: 3-31-13
Print Name and Title: Marilyn Gilbert owner

Signature of the County of Riverside, by [Signature] Date: 4/10/13
Print Name and Title: Franklin Stewart, Land Use Technician II

FOR COUNTY OF RIVERSIDE USE ONLY	
Application or Permit (s)#:	<u>PP 25345</u>
Set #:	Application Date: <u>4/10/13</u>

RIVERSIDE COUNTY GIS



Selected parcel(s):
579-120-036

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

STANDARD WITH PERMITS REPORT

APNs

579-120-036-3

OWNER NAME / ADDRESS

MARILYN E GILBERT
58489 BAILEY RD
ANZA, CA. 92539

MAILING ADDRESS

(SEE OWNER)
P O BOX 391490
ANZA CA. 92539

LEGAL DESCRIPTION

LEGAL DESCRIPTION IS NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 8.66 ACRES

PROPERTY CHARACTERISTICS

WOOD FRAME, 2960 SQFT., 2 BDRM/ 2.5 BATH, 1 STORY, CONST'D 2007 COMPOSITION, ROOF, CENTRAL HEATING, CENTRAL COOLING

THOMAS BROS. MAPS PAGE/GRID

PAGE: 965 GRID: D5

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY
NOT WITHIN A CITY SPHERE
ANNEXATION DATE: NOT APPLICABLE
NO LAFCO CASE # AVAILABLE
NO PROPOSALS

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT 2011 (ORD. 813)

JEFF STONE, DISTRICT 3

SUPERVISORIAL DISTRICT (2001 BOUNDARIES)

JEFF STONE, DISTRICT 3

TOWNSHIP/RANGE

T8SR3E SEC 11

ELEVATION RANGE

3900/3908 FEET

PREVIOUS APN

579-120-022

PLANNING

LAND USE DESIGNATIONS

RR

SANTA ROSA ESCARPMENT BOUNDARY

NOT IN THE SANTA ROSA ESCARPMENT BOUNDARY

AREA PLAN (RCIP)

REMAP

COMMUNITY ADVISORY COUNCILS

ANZA VALLEY (MAC)

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

R-R-5 (CZ 4717)

ZONING DISTRICTS AND ZONING AREAS

TULE PEAK AREA

ZONING OVERLAYS

NOT IN A ZONING OVERLAY

HISTORIC PRESERVATION DISTRICTS

NOT IN AN HISTORIC PRESERVATION DISTRICT

SPECIFIC PLANS

NOT WITHIN A SPECIFIC PLAN

IN OR PARTIALLY WITHIN A CIRCULATION ELEMENT RIGHT-OF-WAY. SEE MAP FOR MORE INFORMATION. CONTACT THE TRANSPORTATION DEPT. PERMITS SECTION AT (951) 955-6790 FOR INFORMATION REGARDING THIS PARCEL IF IT IS IN AN UNINCORPORATED AREA.

ROAD BOOK PAGE

164B

TRANSPORTATION AGREEMENTS

NOT IN A TRANSPORTATION AGREEMENT

CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS

NOT IN A CETAP CORRIDOR.

HYDROLOGY**FLOOD PLAIN REVIEW**

WITHIN AREAS OF FLOODING SENSITIVITY. CONTACT THE FLOOD PLAIN MANAGEMENT SECTION AT (951) 955-1200 FOR INFORMATION

WATER DISTRICT

DATA NOT AVAILABLE

FLOOD CONTROL DISTRICT

RIVERSIDE COUNTY FLOOD CONTROL DISTRICT

WATERSHED

ANZA BORREGO

GEOLOGIC**FAULT ZONE**

NOT IN A FAULT ZONE

FAULTS

NOT WITHIN A 1/2 MILE OF A FAULT

LIQUEFACTION POTENTIALHIGH
MODERATE**SUBSIDENCE**

SUSCEPTIBLE

PALEONTOLOGICAL SENSITIVITY

LOW POTENTIAL.
FOLLOWING A LITERATURE SEARCH, RECORDS CHECK AND A FIELD SURVEY, AREAS MAY BE DETERMINED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST AS HAVING LOW POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES SUBJECT TO ADVERSE IMPACTS.

MISCELLANEOUS**SCHOOL DISTRICT**

HEMET UNIFIED

COMMUNITIES

ANZA

COUNTY SERVICE AREA

NOT IN A COUNTY SERVICE AREA.

LIGHTING (ORD. 655)

ZONE B, 15.87 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT

044403

FARMLANDLOCAL IMPORTANCE
OTHER LANDS**TAX RATE AREAS**

071064

•COUNTY FREE LIBRARY

- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE RESOURCE MGMT DIST
- CSA 152
- CSA 153
- ELS MURRIETA ANZA RESOURCE CONS
- FLOOD CONTROL ADMINISTRATION
- FLOOD CONTROL ZONE 7
- GENERAL
- GENERAL PURPOSE
- HEMET UNIFIED SCHOOL
- MT SAN JACINTO JUNIOR COLLEGE
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- VALLEY HEALTH SYSTEM HOSP DIST

SPECIAL NOTES

NO SPECIAL NOTES

CODE COMPLAINTS

Case #	Description	Start Date
NO CODE COMPLAINTS	NOT APPLICABLE	NOT APPLICABLE

BUILDING PERMITS

Case #	Description	Status
BELO51001	UPGRADE PEDISTAL FOR ELECTRICAL TO WELL	FINAL
BHR060043	HR RESIDENTIAL GRADING INSPECTION OPTION #4	FINAL
BRS061361	SFD NO GARAGE 2975 SQ FT	FINAL
BSP130098	POOL ONLY	ISSUED

ENVIRONMENTAL HEALTH PERMITS

Case #	Description	Status
EHS054453	PLAN REVIEW	APPLIED
EHS060881	PLAN REVIEW	APPLIED
EHS062821	PLAN REVIEW	APPLIED
EHW050782	NEW INDIVIDUAL WELL	APPLIED

PLANNING PERMITS

Case #	Description	Status
COC06184	NOT AVAILABLE	VOID
COC06187	COC TO CERTIFY 579-120-022 AS LEGAL LOT	APPROVED
LLA05146	MOVE 404.87ft OF REAR PROPERTY LINE OF APN#579-120	APPROVED
MT070166	COC06187	PAID
MT070167	COC06187	PAID

REPORT PRINTED ON...Wed Apr 10 14:06:23 2013
Version 130225

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 5/16/2013,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP25345 For

Company or Individual's Name Planning Department,

Distance buffered 2400'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

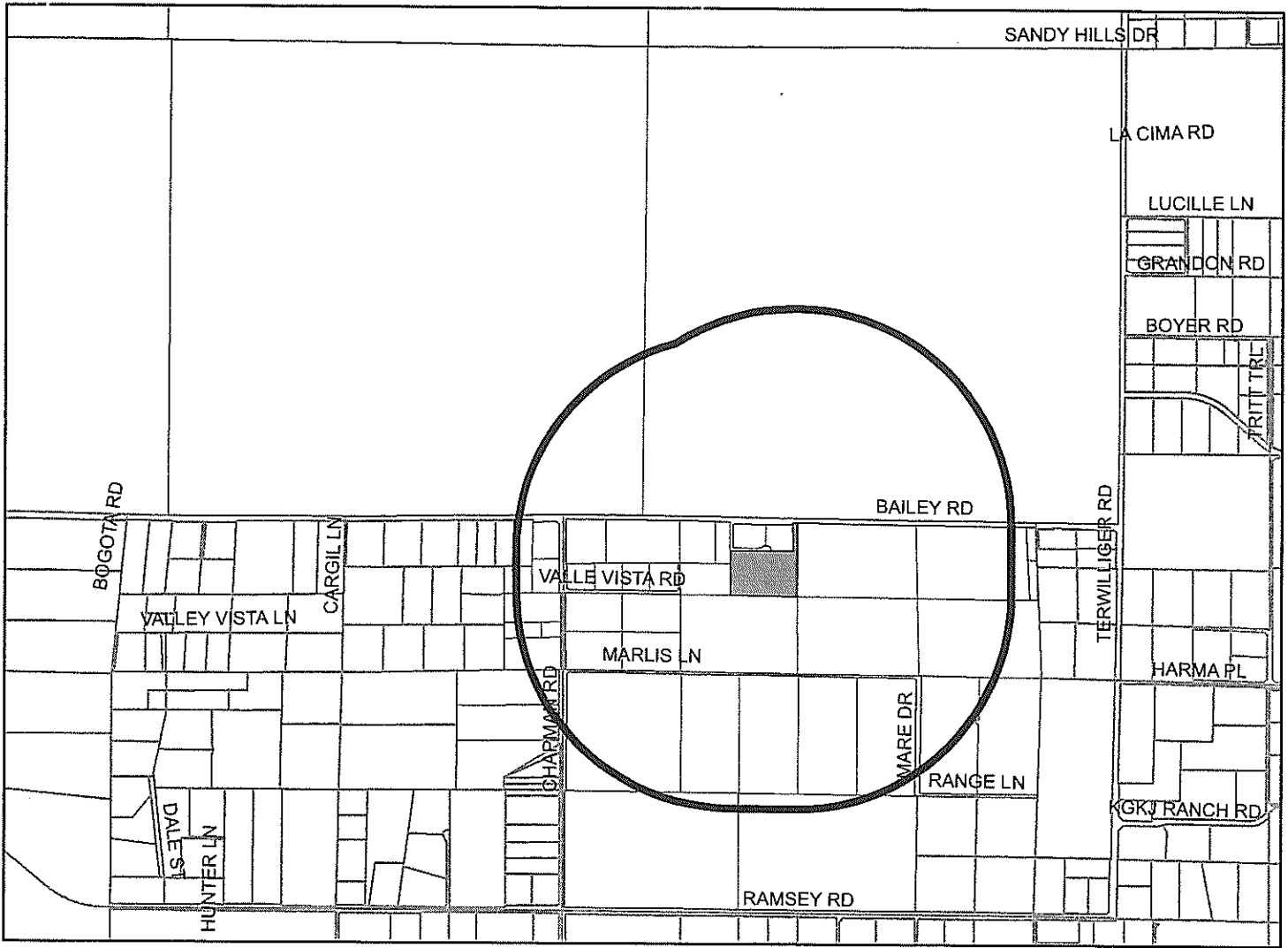
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

PP25345 (2400 feet buffer)



Selected Parcels

- | | | | | | | | | | |
|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| 579-130-017 | 579-070-032 | 579-120-011 | 579-120-013 | 579-070-009 | 579-120-033 | 579-120-034 | 579-130-014 | 579-120-012 | 579-120-017 |
| 579-070-018 | 579-130-003 | 579-130-009 | 579-130-002 | 579-120-032 | 579-120-003 | 579-120-004 | 579-120-008 | 579-120-005 | 579-130-019 |
| 579-070-033 | 579-120-014 | 579-130-018 | 579-120-036 | 579-120-016 | 579-120-035 | 579-120-020 | 579-100-015 | 579-130-016 | 579-120-024 |
| 579-130-015 | 579-070-038 | 579-120-023 | 579-120-037 | 579-100-016 | 579-070-019 | 579-030-001 | 579-030-002 | 579-070-034 | 579-070-039 |
| 579-120-030 | 579-120-031 | | | | | | | | |



1,900 950 0 1,900 Feet

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ASMT: 579030002, APN: 579030002
USA 579
UNKNOWN

ASMT: 579070038, APN: 579070038
ELENA MAFLA, ETAL
43205 CHAPMAN RD
ANZA CA 92539

ASMT: 579070009, APN: 579070009
BRUCE MAWER
7724 GEWESTA AVE
VAN NUYS CA 91406

ASMT: 579070039, APN: 579070039
VIOLETA CASTRO
57999 BAILEY RD
ANZA, CA. 92539

ASMT: 579070018, APN: 579070018
SANDRA WILLIAMSON, ETAL
43231 CHAPMAN RD
ANZA, CA. 92539

ASMT: 579100015, APN: 579100015
VIVIAN ANDERSON, ETAL
43515 CHAPMAN RD
ANZA, CA. 92539

ASMT: 579070019, APN: 579070019
SO CALIF DIST COUNCIL ASSEMBLIES OF GOI
C/O VALLEY GOSPEL CHAPEL
P O BOX 391258
ANZA CA 92539

ASMT: 579100016, APN: 579100016
SHIRLEY HARBECK
43615 CHAPMAN RD
ANZA, CA. 92539

ASMT: 579070032, APN: 579070032
ARCHIE SCHOFIELD
57890 VALLE VISTA LN
ANZA, CA. 92539

ASMT: 579120005, APN: 579120005
KATHY AMOS
PO BOX 1003
PALM DESERT CA 92261

ASMT: 579070033, APN: 579070033
ASSOC, ETAL
C/O TRENT THOMPSON
152 S HARVARD ST
HEMET CA 92543

ASMT: 579120008, APN: 579120008
ANUREE DESILVA, ETAL
945 CHAPEA RD
PASADENA CA 91107

ASMT: 579070034, APN: 579070034
VALLEY GOSPEL CHAPEL
C/O ROBERT GODWIN
73275 CHAPMAN RD
ANZA CA 92539

ASMT: 579120011, APN: 579120011
BERNARDINO VARGAS
P O BOX 390755
ANZA CA 92539

ASMT: 579120012, APN: 579120012
SUSAN CABLE, ETAL
43450 CHAPMAN RD
ANZA, CA. 92539

ASMT: 579120024, APN: 579120024
RICARDO JURADO
18160 MESCAL
ROWLAND HEIGHTS CA 91748

ASMT: 579120013, APN: 579120013
MARILYN RICHTMYER, ETAL
SPC 443
1930 W SAN MARCOS BLV
SAN MARCOS CA 92078

ASMT: 579120030, APN: 579120030
LINDA BARNES, ETAL
59331 BAILEY RD
ANZA, CA. 92539

ASMT: 579120014, APN: 579120014
PAMELA HERZOG, ETAL
9642 SASKATCHEWAN AVE
SAN DIEGO CA 92129

ASMT: 579120032, APN: 579120032
DORA GARCIA, ETAL
43240 CHAPMAN RD
ANZA, CA. 92539

ASMT: 579120016, APN: 579120016
MARTIN COHEN
7645 NORCANYON WAY
SAN DIEGO CA 92126

ASMT: 579120034, APN: 579120034
CLARICE SANCHEZ, ETAL
P O BOX 390803
ANZA CA 92539

ASMT: 579120017, APN: 579120017
RAY ROBERTS, ETAL
58051 BAILEY RD
ANZA, CA. 92539

ASMT: 579120035, APN: 579120035
MICHAEL ERIKSON
58190 VALLEY VISTA LN
ANZA, CA. 92539

ASMT: 579120020, APN: 579120020
MICHAEL HITCHCOCK
P O BOX 391997
ANZA CA 92539

ASMT: 579120036, APN: 579120036
MARILYN GILBERT
P O BOX 391490
ANZA CA 92539

ASMT: 579120023, APN: 579120023
SCOTT LANE
58331 BAILEY RD
ANZA, CA. 92539

ASMT: 579130002, APN: 579130002
JANET LEWIS
57270 RAMSAY RD
ANZA CA 92539

ASMT: 579130003, APN: 579130003
EQUITY MANAGEMENT
19510 VAN BUREN NO 134
RIVERSIDE CA 92506

ASMT: 579130019, APN: 579130019
MINA ASSADZADEH, ETAL
17742 BISHOP CIR
VILLA PARK CA 92861

ASMT: 579130009, APN: 579130009
JACY CORP
31320 CONGRESSIONAL DR
TEMECULA CA 92591

ASMT: 579130014, APN: 579130014
BARBARA FREDY, ETAL
47300 BUCKHOUN RD
AGUANGA CA 92536

ASMT: 579130015, APN: 579130015
SUSAN STOKES, ETAL
1315 WARMLANDS AVE
VISTA CA 92084

ASMT: 579130016, APN: 579130016
MARIA ALVAREZ, ETAL
3378 MARIGOLD AVE
COSTA MESA CA 92626

ASMT: 579130017, APN: 579130017
ALBERTO MALDONADO
2423 B ST NO 2
SELMA CA 93662

ASMT: 579130018, APN: 579130018
LISA TRINH
13781 PRUDY ST
GARDEN GROVE CA 92844

Agenda Item No.: 2 • 4
Supervisory District: Fifth/Fifth
Project Planner: Bahelila Boothe
Director's Hearing: June 17, 2013

PLOT PLAN NO: 25314
Applicant: Jody Rodriguez
CEQA Exempt

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is a proposal to permit a 2,400 square foot detached residential Agricultural Building on 3.43 Acres.

ISSUES OF RELEVANCE:

The property is located in a State Fire Responsibility Area. Project has been reviewed and conditioned by Riverside County Fire Department.

RECOMMENDATIONS:

APPROVAL of PLOT PLAN NO. 25314, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project has a primary dwelling on the parcel where the detached accessory buildings are proposed.
2. The project site is designated Rural Community: Estate Density Residential (2 Acres Minimum) on the Lakeview/Nuevo Area Plan.
3. The proposed detached accessory use is a permitted use in the general plan designation.
4. The proposed detached accessory building is a permitted use, subject to approval of a plot plan in the Residential Agricultural (R-A-2 ½) zone.
5. The proposed detached accessory buildings uses are consistent with the development standards set forth in the R-A-2 ½ zone.
6. The proposed 2,400 square foot detached residential Agricultural Building is considered detached accessory building under Section 18.18 of Ordinance No. 348.
7. The detached 2,400 square residential agricultural building is compatible with the character of the surrounding community.
8. The detached accessory 2,400 square foot residential agricultural building is located 127 feet from the main building and consistent with the characteristics of the surrounding community.
9. The project conforms to Section 15303, (New Construction or Conversion of Small Structures), of the CEQA guidelines and is exempt from CEQA if the project meets the following conditions: Class 3 consists of construction and location of limited numbers of new, small facilities or

JW
6/17/13

structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to: "... (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences".

CONCLUSIONS:

1. The proposed projects are in conformance with the Riverside County General Plan.
2. The proposed projects are consistent with Section 18.18 of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed projects are compatible with the present and future logical development of the area.
5. The proposed projects will not have a significant effect on the environment.
6. These detached accessory buildings have been determined to be exempt under Section 15303(e) (New Construction or Conversion of Small Structures) of the California Environmental Quality Act.

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a proposal to construct a 2,400 square foot detached agricultural building on 3.43 acres.

10. EVERY. 2 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 PPA - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25314 shall be henceforth defined as follows:

05/20/13
16:02

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - DEFINITIONS (cont.) RECOMMND

APPROVED EXHIBIT A = Plot Plan No. 25314, Exhibit A,
Amd.#1, dated May 16, 2013.

APPROVED EXHIBIT B = Plot Plan No. 25314, Exhibit B/C,
dated May 16, 2013. (Floor Plans/Elevations)

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC):
Where any owner or authorized agent intends to construct,
enlarge, alter, repair, move, demolish or change the
occupancy of a building or structure, or to erect, install,
enlarge, alter, repair, remove, convert, or replace any
electrical, gas, mechanical, or plumbing system, the
regulation of which is governed by this code, or to cause
any such work to be done, shall first make application to
the building official and obtain the required permit.
The applicant shall obtain the required building permit(s)
from the building department prior to any construction or
placement of any building, structure or equipment on the
property.

The applicant shall obtain an approved final building
inspection and certificate of occupancy from the building
department prior to any use or occupancy of the building,
or structure.

At no time shall the approval of the planning case exhibit
allow for the construction or use of any building or
structure.

In residential applications, each separate structure will
require a separate building permit.

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s)
from the building department prior to any construction on
the property. All building plans and supporting
documentation shall comply with current adopted California
Building Codes, Riverside County Ordinances, and California
Title 25 regulations in effect at the time of building plan
submittal and fee payment to the Building Department. All
Building Department plan submittal and fee requirements
shall apply.

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

FIRE DEPARTMENT

10.FIRE. 1 USE-#21-HAZARDOUS FIRE AREA RECOMMND

This project is located in the "Hazardous Fire Area" of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed within this project shall comply with the special construction provisions contained in Riverside County Ordinance 787.1.

10.FIRE. 2 USE-#005-ROOFING MATERIAL RECOMMND

All buildings shall be constructed with class B roofing material as per the California Building Code.

10.FIRE. 3 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 4 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1000 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site.

10.FIRE. 5 USE-#76-STANDARD FIRE HYDRANT RECOMMND

Approved standard fire hydrant (6"x4"x2 1/2") shall be located within 250 feet of any portion of the lot frontage.

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - LANDUSE APPROVAL ONLY RECOMMND

The applicant or the applicant's successor in interest is notified through this condition that the approval granted on Plot Plan No. 25314 is for land use approval only, and has only met the requirements of Ordinance 348. Any requirements deemed necessary by another department or

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

10.PLANNING. 1 PPA - LANDUSE APPROVAL ONLY (cont.) RECOMMND

agency of Riverside County on a subsequent building permit are valid and may cause this approval by the Riverside County Planning Department as it stands to be rendered null and void or require significant revision. It is incumbent upon the applicant to research the acceptability of this proposal to all responsible departments and agencies prior to the acceptance of this approval. Responsible agencies include, but are not limited to the Fire Department, Environmental Health Department, the local Flood Control District, Building and Safety Department, Transportation Department, the Environmental Programs Department, the County Geologist, or the Transportation Land Management Agency.

10.PLANNING. 2 PPA - NO HOME OCCUPATIONS RECOMMND

No home occupations are permitted in an accessory structure or guest home.

From section 21.36 of Ordinance 348: Home Occupations:

Home occupations means those uses that are customarily conducted in a residence, provided such uses must be incidental and secondary to the principal use of a dwelling as a residence. The following criteria shall apply to any home occupation:

a. Except for large family day care homes which may require two assistants and small family day care homes which may require one assistant to be present in addition to the licensee or provider, no person other than a resident of the dwelling shall be employed on the premises in the conduct of a home occupation.

b. A home occupation shall be conducted entirely within the dwelling and shall be incidental and secondary to the use of the dwelling as a residence.

c. A home occupation shall not be conducted in an accessory structure and there shall be no storage of equipment or supplies in an accessory structure or outside building.

d. The residential character of the exterior and interior of the dwelling shall not be changed.

e. No vehicles or trailers except those normally incidental

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

10.PLANNING. 2 PPA - NO HOME OCCUPATIONS (cont.) RECOMMND

to residential use shall be kept on the site.

f. No signs other than one unlighted identification sign, not more than two square feet in area, shall be erected on the premises.

10.PLANNING. 3 PPA - SETBACKS IN HIGH FIRE RECOMMND

Please be advised that the setbacks for structures within a County designated high fire areas have increased. It is advisable prior to the purchase of structure or prior to planning of a structure (such as hiring an architect or engineer to create plans) that the applicant should contact the Fire Department to make sure that the structure question meets those requirements.

Fire Department Planning
2300 Market Street, Suite 150
Riverside, CA 92501
951-955-4777

10.PLANNING. 4 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 5 PPA - ACSRY BLD NO HBTBL AREA RECOMMND

No habitable area has been approved with this approval. The addition of habitable area will require additional permits.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1 PPA - EXPIRATION DATE-PP (cont.) RECOMMND

of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

80. PRIOR TO BLDG PRMT ISSUANCE

FIRE DEPARTMENT

80.FIRE. 1 USE*-#51-WATER CERTIFICATION RECOMMND

The applicant or developer shall be responsible to submit written certification from the water company noting the location of the existing fire hydrant and that the existing water system is capable of delivering 1000 GPM fire flow for a 2 hour duration at 20 PSI residual operating pressure. If a water system currently does not exist, the applicant or developer shall be responsible to provide written certification that financial arrangements have been made to provide them.

PLANNING DEPARTMENT

80.PLANNING. 1 PPA - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 2 PPA - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

05/20/13
16:02

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 7

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1

USE-#27-EXTINGUISHERS

RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

2011 AERIAL



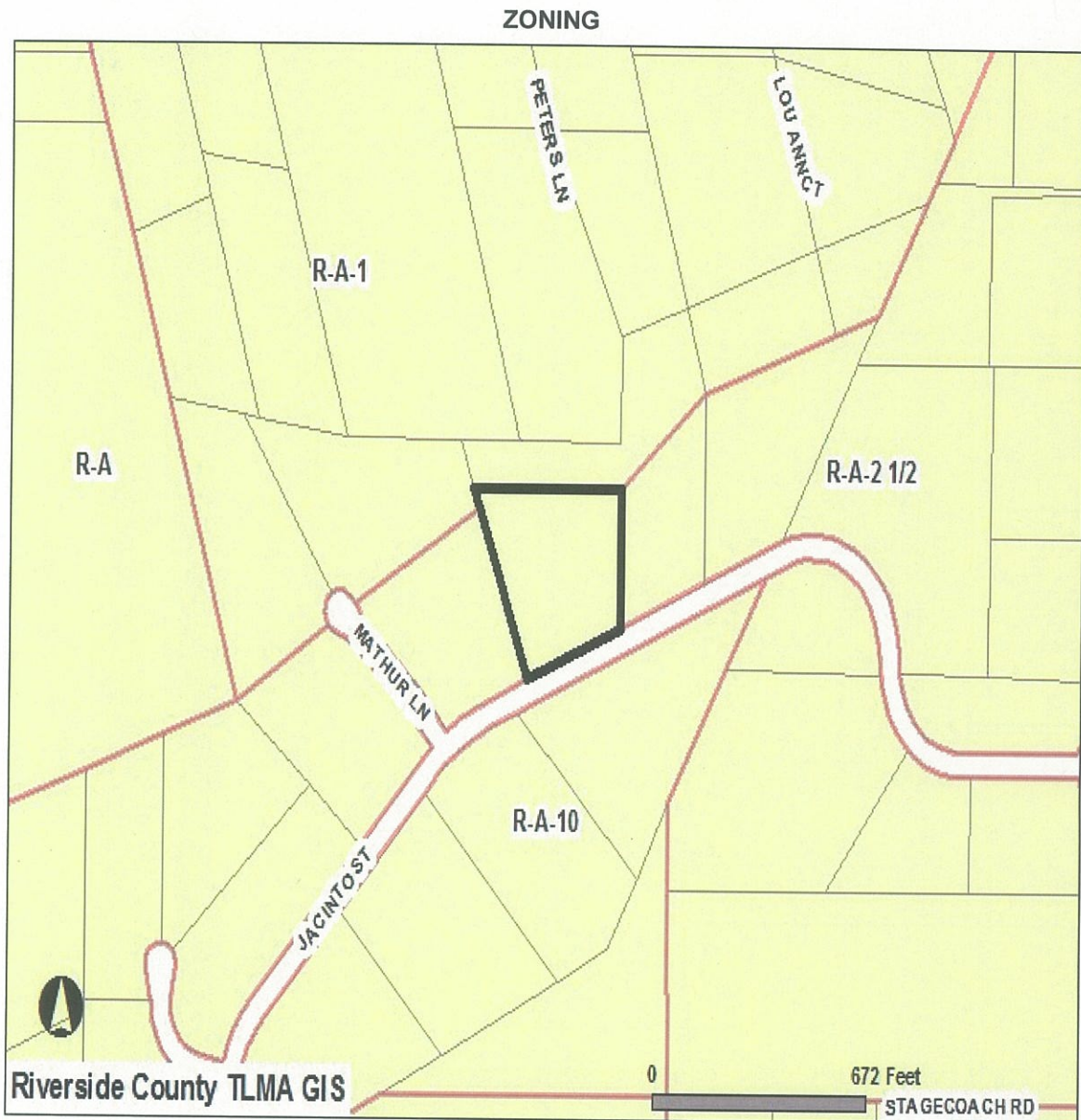
Selected parcel(s):
427-380-016

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON... Mon May 20 11:12:27 2013

Version 130225



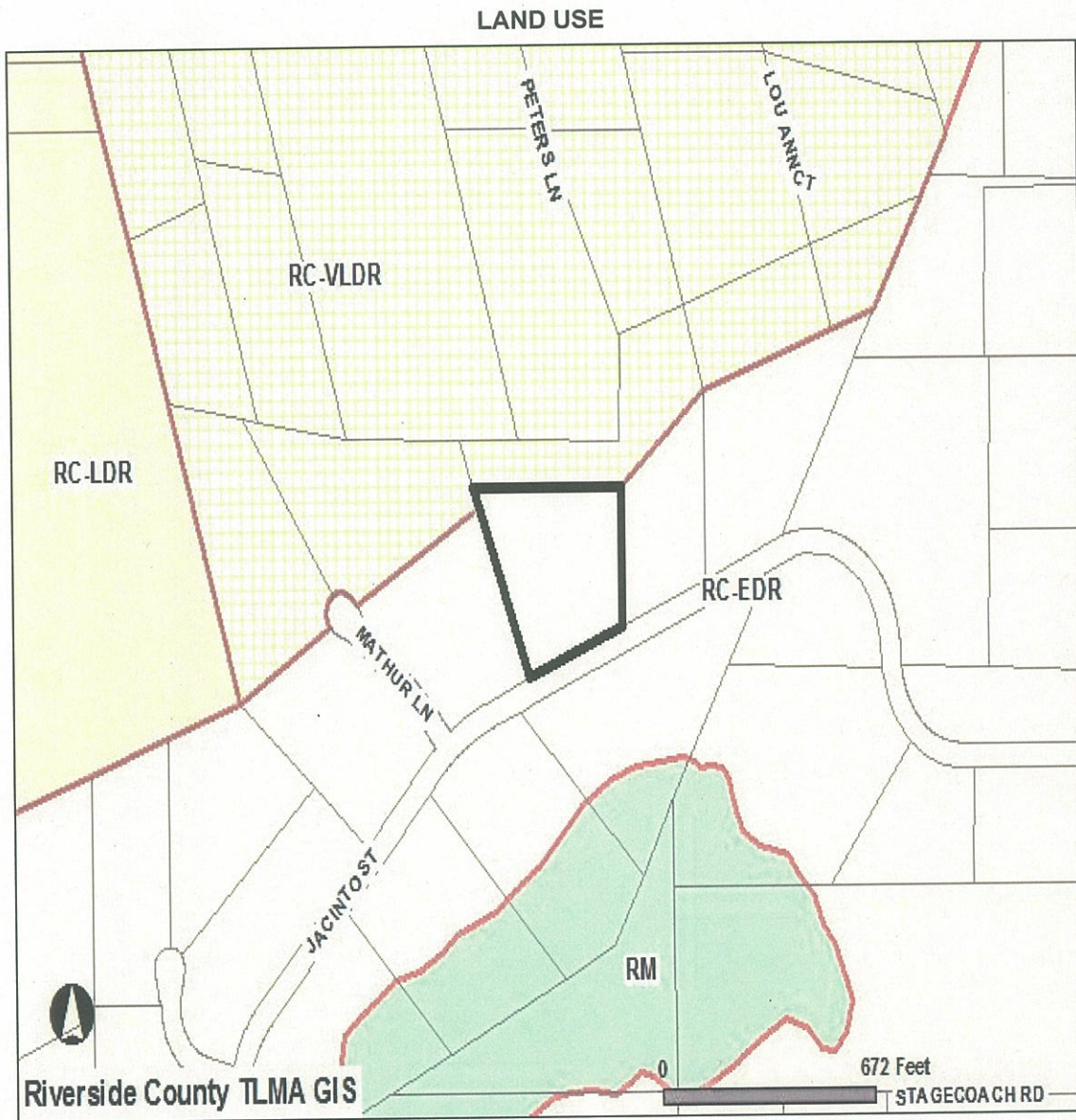
Selected parcel(s):
427-380-016

ZONING

- SELECTED PARCEL
- ZONING BOUNDARY
- INTERSTATES
- R-A, R-A-1, R-A-10, R-A-2 1/2
- HIGHWAYS
- PARCELS

IMPORTANT
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Mon May 20 11:15:40 2013
Version 130225



LAND USE

SELECTED PARCEL	INTERSTATES	HIGHWAYS	PARCELS
EDR-RC - RURAL COMMUNITY - ESTATE DENSITY RESIDENTIAL	LDR-RC - RURAL COMMUNITY - LOW DENSITY RESIDENTIAL	RC-VLDR - RURAL COMMUNITY - VERY LOW DENSITY RESIDENTIAL	RM - RURAL MOUNTAINOUS

IMPORTANT
 Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Mon May 20 11:16:38 2013
 Version 130225

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION DRAFT

The use hereby permitted is a proposal to construct a 2,400 square foot detached agricultural building on 3.43 acres.

10. EVERY. 2 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 PPA - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25314 shall be henceforth defined as follows:

05/20/13
11:09

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 2

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - DEFINITIONS (cont.) RECOMMND

APPROVED EXHIBIT A = Plot Plan No. 25314, Exhibit A,
Amd.#1, dated May 16, 2013.

APPROVED EXHIBIT B = Plot Plan No. 25314, Exhibit B/C,
dated May 16, 2013. (Floor Plans/Elevations)

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC):
Where any owner or authorized agent intends to construct,
enlarge, alter, repair, move, demolish or change the
occupancy of a building or structure, or to erect, install,
enlarge, alter, repair, remove, convert, or replace any
electrical, gas, mechanical, or plumbing system, the
regulation of which is governed by this code, or to cause
any such work to be done, shall first make application to
the building official and obtain the required permit.
The applicant shall obtain the required building permit(s)
from the building department prior to any construction or
placement of any building, structure or equipment on the
property.

The applicant shall obtain an approved final building
inspection and certificate of occupancy from the building
department prior to any use or occupancy of the building,
or structure.

At no time shall the approval of the planning case exhibit
allow for the construction or use of any building or
structure.

In residential applications, each separate structure will
require a separate building permit.

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s)
from the building department prior to any construction on
the property. All building plans and supporting
documentation shall comply with current adopted California
Building Codes, Riverside County Ordinances, and California
Title 25 regulations in effect at the time of building plan
submittal and fee payment to the Building Department. All
Building Department plan submittal and fee requirements
shall apply.

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

FIRE DEPARTMENT

10.FIRE. 1 USE-#21-HAZARDOUS FIRE AREA RECOMMND

This project is located in the "Hazardous Fire Area" of Riverside County as shown on a map on file with the Clerk of the Board of Supervisors. Any building constructed within this project shall comply with the special construction provisions contained in Riverside County Ordinance 787.1.

10.FIRE. 2 USE-#005-ROOFING MATERIAL RECOMMND

All buildings shall be constructed with class B roofing material as per the California Building Code.

10.FIRE. 3 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 4 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1000 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site.

10.FIRE. 5 USE-#76-STANDARD FIRE HYDRANT RECOMMND

Approved standard fire hydrant (6"x4"x2 1/2") shall be located within 250 feet of any portion of the lot frontage.

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - LANDUSE APPROVAL ONLY RECOMMND

The applicant or the applicant's successor in interest is notified through this condition that the approval granted on Plot Plan No. 25314 is for land use approval only, and has only met the requirements of Ordinance 348. Any requirements deemed necessary by another department or

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

10.PLANNING. 1 PPA - LANDUSE APPROVAL ONLY (cont.) RECOMMND

agency of Riverside County on a subsequent building permit are valid and may cause this approval by the Riverside County Planning Department as it stands to be rendered null and void or require significant revision. It is incumbent upon the applicant to research the acceptability of this proposal to all responsible departments and agencies prior to the acceptance of this approval. Responsible agencies include, but are not limited to the Fire Department, Environmental Health Department, the local Flood Control District, Building and Safety Department, Transportation Department, the Environmental Programs Department, the County Geologist, or the Transportation Land Management Agency.

10.PLANNING. 2 PPA - NO HOME OCCUPATIONS RECOMMND

No home occupations are permitted in an accessory structure or guest home.

From section 21.36 of Ordinance 348: Home Occupations:

Home occupations means those uses that are customarily conducted in a residence, provided such uses must be incidental and secondary to the principal use of a dwelling as a residence. The following criteria shall apply to any home occupation:

a. Except for large family day care homes which may require two assistants and small family day care homes which may require one assistant to be present in addition to the licensee or provider, no person other than a resident of the dwelling shall be employed on the premises in the conduct of a home occupation.

b. A home occupation shall be conducted entirely within the dwelling and shall be incidental and secondary to the use of the dwelling as a residence.

c. A home occupation shall not be conducted in an accessory structure and there shall be no storage of equipment or supplies in an accessory structure or outside building.

d. The residential character of the exterior and interior of the dwelling shall not be changed.

e. No vehicles or trailers except those normally incidental

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

10. GENERAL CONDITIONS

10.PLANNING. 2 PPA - NO HOME OCCUPATIONS (cont.) RECOMMND

to residential use shall be kept on the site.

f. No signs other than one unlighted identification sign, not more than two square feet in area, shall be erected on the premises.

10.PLANNING. 3 PPA - SETBACKS IN HIGH FIRE RECOMMND

Please be advised that the setbacks for structures within a County designated high fire areas have increased. It is advisable prior to the purchase of structure or prior to planning of a structure (such as hiring an architect or engineer to create plans) that the applicant should contact the Fire Department to make sure that the structure question meets those requirements.

Fire Department Planning
2300 Market Street, Suite 150
Riverside, CA 92501
951-955-4777

10.PLANNING. 4 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 5 PPA - ACSRY BLD NO HBTBL AREA RECOMMND

No habitable area has been approved with this approval. The addition of habitable area will require additional permits.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1 PPA - EXPIRATION DATE-PP (cont.) RECOMMND

of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

80. PRIOR TO BLDG PRMT ISSUANCE

FIRE DEPARTMENT

80.FIRE. 1 USE* -#51-WATER CERTIFICATION RECOMMND

The applicant or developer shall be responsible to submit written certification from the water company noting the location of the existing fire hydrant and that the existing water system is capable of delivering 1000 GPM fire flow for a 2 hour duration at 20 PSI residual operating pressure. If a water system currently does not exist, the applicant or developer shall be responsible to provide written certification that financial arrangements have been made to provide them.

PLANNING DEPARTMENT

80.PLANNING. 1 PPA - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 2 PPA - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

05/20/13
11:09

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 7

PLOT PLAN:ADMINISTRATIVE Case #: PP25314

Parcel: 427-380-016

90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1

USE-#27-EXTINGUISHERS

RECOMMND


Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

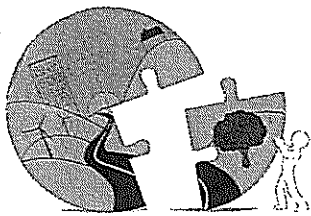
Boothe, Bahelila

From: Jones, David
Sent: Monday, March 18, 2013 5:53 PM
To: Boothe, Bahelila
Subject: PP25314

The site is located in a low liquefaction potential zone and the County's subsidence potential zone. The site is located in an area of high potential for paleo resources at shallow depths below the ground surface. Also, the ground surface of the site appears to have been disturbed in the past through site grading and other site uses. Thus, in accordance with the General Plan policies and the AP Act, GEO, PDP, and PDA reports are not required for this case.

The owner/developer should be aware of these issues and design/construct accordingly.


David L. Jones
Chief Engineering Geologist
TLMA- Planning



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP25314 DATE SUBMITTED: 3/4/13

APPLICATION INFORMATION

Applicant's Name: Jody Rodriguez E-Mail: LEO.Jody@DSLExtreme.com

Mailing Address: P.O. Box 288 Nuevo CA 9
Nuevo ^{Street} CA ^{State} 92567 ^{ZIP}

Daytime Phone No: (951) 712-9771 FAX No: (951) 371-7883

Engineer/Representative's Name: _____ E-Mail: _____

Mailing Address: _____
^{Street}

^{City} ^{State} ^{ZIP}

Daytime Phone No: () _____ Fax No: () _____

Property Owner's Name: LEO + Jody Rodriguez E-Mail: _____

Mailing Address: Same AS Above
^{Street}

^{City} ^{State} ^{ZIP}

Daytime Phone No: () _____ Fax No: () _____

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR MINOR PLOT PLAN

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

Leo Rodriguez Jody Rodriguez [Signature] Jody Rodriguez
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. (Authorized agent must submit a letter from the owner(s) indicating authority to sign in the owner's behalf.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

SIGNATURE OF PROPERTY OWNER(s):

PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROJECT INFORMATION

Proposal (describe the project and reference the applicable Ord. No. 348 section): _____
40 x 60 metal building

Related cases or underlying case: _____

PROPERTY INFORMATION

Assessor's Parcel Number(s): 427-380-014

APPLICATION FOR MINOR PLOT PLAN

Section: 29 Township: T4S Range: R2W

Approximate Gross Acreage: 3.37

General location (nearby or cross streets): North of ~~Contour~~ Jacinto, South of Contour, East of ~~fatty~~ Hansen West of ~~Hansa~~ Valley

Thomas Brothers Map, edition year, page no., and coordinates: #779-C-7 2008-ed

MINOR PLOT PLAN SUBMITTAL REQUIREMENTS FOR THE FOLLOWING APPLICATION TYPES:
(Note: All exhibits shall be folded to a maximum 8½" x 14" size)

COMMERCIAL/INDUSTRIAL

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Current processing deposit-based fee.

ACCESSORY BUILDING

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.
5. Color photographs of roofing material samples (or literature showing color/material samples).
Actual roofing tiles will not be accepted.
6. A minimum of three (3) ground-level panoramic photographs (color prints) clearly showing the whole project site. Include a locational map identifying the position from which the photo was taken and the approximate area of coverage of each photograph.
7. Current processing deposit-based fee.

GUEST HOUSE

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**



George A. Johnson
Agency Director

<i>Katherine Gifford</i> Director, Administrative Services Department	<i>Ron Goldman</i> Director, Planning Department	<i>Juan C. Perez</i> Director, Transportation Department	<i>Mike Lara</i> Director, Building & Safety Department	<i>John Boyd</i> Director, Code Enforcement Department	<i>Carolyn Syms</i> Luña Director, Environmental Programs Department
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LAND USE and PERMIT APPLICATION PROCESSING AGREEMENT
Agreement for Payment of Costs of Application Processing

TO BE COMPLETED BY APPLICANT:

This agreement is by and between the County of Riverside, hereafter "County of Riverside",
and Jody Rodriguez hereafter "Applicant" and LEO + Jody Rodriguez Property Owner".

Description of application/permit use:
40 x 60 Metal Building

If your application is subject to Deposit-based Fee, the following applies

Section 1. Deposit-based Fees

Purpose: The Riverside County Board of Supervisors has adopted ordinances to collect "Deposit-based Fees" for the costs of reviewing certain applications for land use review and permits. The Applicant is required to deposit funds to initiate staff review of an application. The initial deposit may be supplemented by additional fees, based upon actual and projected labor costs for the permit. County departments draw against these deposited funds at the staff hourly rates adopted by the Board of Supervisors. The Applicant and Property Owner are responsible for any supplemental fees necessary to cover any costs which were not covered by the initial deposit.

Section 2. Applicant and Property Owner Responsibilities for Deposit-based Fee Applications

- A. Applicant agrees to make an initial deposit in the amount as indicated by County ordinance, at the time this Agreement is signed and submitted with a complete application to the County of Riverside. Applicant acknowledges that this is an initial deposit and additional funds may be needed to complete their case. The County of Riverside will not pay interest on deposits. Applicant understands that any delays in making a subsequent deposit from the date of written notice requesting such additional deposit by County of Riverside, may result in the stoppage of work.
- B. Within 15 days of the service by mail of the County of Riverside's written notice that the application permit deposit has been reduced to a balance of less than 20% of the initial deposit or that the deposit is otherwise insufficient to cover the expected costs to completion, the Applicant agrees to make an additional payment of an amount as determined by the County of Riverside to replenish the deposit. Please note that the processing of the application or permit may stop if the amount on deposit has been expended. The Applicant agrees to continue making such payments until the County of Riverside is reimbursed for all costs related to this application or permit. The County of Riverside is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts that would have been drawn on the deposit were it not depleted.
- C. The Property Owner acknowledges that the Applicant is authorized to submit this agreement and related application(s) for land use review or permit on this property. The Property Owner also acknowledges that should the Applicant not reimburse the County of Riverside for all costs related to this application or permit, the Property Owner shall become immediately liable for these costs which shall be paid within 15 days of the service by mail of notice to said property Owner by the County.

- D. This Agreement shall only be executed by an authorized representative of the Applicant and the Property Owner. The person(s) executing this Agreement represents that he/she has the express authority to enter into this agreement on behalf of the Applicant and/or Property Owner.
- E. This Agreement is not assignable without written consent by the County of Riverside. The County of Riverside will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.
- F. Deposit statements, requests for deposits or refunds shall be directed to Applicant at the address identified in Section 4.

Section 3. To ensure quality service, Applicant is responsible to provide one-week written notice to the County of Riverside Transportation and Land Management Agency (TLMA) Permit Assistance Centers if any of the information below changes.

Section 4. Applicant and Owner Information

1. PROPERTY INFORMATION:

Assessors Parcel Number(s): 427-380-016

Property Location or Address: 31990 Jacinto St. Nuevo CA 92567

2. PROPERTY OWNER INFORMATION:

Property Owner Name: LED + Jody Rodriguez Phone No.: (951) 712-9771 / 951 453-7391
 Firm Name: _____ Email: LEDJody@DSLEXTreme.com
 Address: P.O. Box 288
Nuevo CA 92567

3. APPLICANT INFORMATION:

Applicant Name: Jody Rodriguez Phone No.: (951) 712-9771
 Firm Name: _____ Email: Same
 Address (if different from property owner) Same

4. SIGNATURES:

Signature of Applicant: Jody Rodriguez Date: _____
 Print Name and Title: Jody Rodriguez (owner)

Signature of Property Owner: LED Rodriguez Date: _____
 Print Name and Title: LED Rodriguez (property owner)

Signature of the County of Riverside, by _____ Date: _____
 Print Name and Title: _____

FOR COUNTY OF RIVERSIDE USE ONLY	
Application or Permit (s)#: _____	
Set #: _____	Application Date: _____

APPLICATION FOR MINOR PLOT PLAN

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

Leo Rodriguez Jody Rodriguez [Signature] Jody Rodriguez
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. (Authorized agent must submit a letter from the owner(s) indicating authority to sign in the owner's behalf.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

SIGNATURE OF PROPERTY OWNER(S):

Jody Rodriguez Jody Rodriguez
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)
Leo Rodriguez [Signature]
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROJECT INFORMATION

Proposal (describe the project and reference the applicable Ord. No. 348 section): _____

40 x 60 metal building

Related cases or underlying case: _____

PROPERTY INFORMATION

Assessor's Parcel Number(s): 427-380-014

RIVERSIDE COUNTY GIS



Selected parcel(s):
427-380-016

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

STANDARD WITH PERMITS REPORT

APNs

427-380-016-9

OWNER NAME / ADDRESS

LEO RODRIGUEZ
JODY RODRIGUEZ
31990 JACINTO ST
NUEVO, CA. 92567

MAILING ADDRESS

(SEE OWNER)
P O BOX 288
NUEVO CA. 92567

LEGAL DESCRIPTION

RECORDED BOOK/PAGE: PM 84/13
 SUBDIVISION NAME: PM 15628
 LOT/PARCEL: 1, BLOCK: NOT AVAILABLE
 TRACT NUMBER: NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 3.43 ACRES

PROPERTY CHARACTERISTICS

WOOD FRAME, 1736 SQFT., 3 BDRM/ 2 BATH, 1 STORY, CONST'D 2007 COMPOSITION, ROOF, CENTRAL HEATING, CENTRAL COOLING

THOMAS BROS. MAPS PAGE/GRID

PAGE: 779 GRID: C6, C7

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY
 NOT WITHIN A CITY SPHERE
 ANNEXATION DATE: NOT APPLICABLE
 NO LAFCO CASE # AVAILABLE
 NO PROPOSALS

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT 2011 (ORD. 813)

MARION ASHLEY, DISTRICT 5

SUPERVISORIAL DISTRICT (2001 BOUNDARIES)

MARION ASHLEY, DISTRICT 5

TOWNSHIP/RANGE

T4SR2W SEC 20

ELEVATION RANGE

1716/1776 FEET

PREVIOUS APN

NO DATA AVAILABLE

PLANNING**LAND USE DESIGNATIONS**

RC-EDR

SANTA ROSA ESCARPMENT BOUNDARY

NOT IN THE SANTA ROSA ESCARPMENT BOUNDARY

AREA PLAN (RCIP)

LAKEVIEW / NUEVO

COMMUNITY ADVISORY COUNCILS

NUEVO - LAKEVIEW (MAC)

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

R-A-2 1/2 (CZ 5696)

ZONING DISTRICTS AND ZONING AREAS

NUEVO AREA

ZONING OVERLAYS

NOT IN A ZONING OVERLAY

HISTORIC PRESERVATION DISTRICTS

NOT IN AN HISTORIC PRESERVATION DISTRICT

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE
NOT IN AN AGRICULTURAL PRESERVE

REDEVELOPMENT AREAS
NOT IN A REDEVELOPMENT AREA

AIRPORT INFLUENCE AREAS
NOT IN AN AIRPORT INFLUENCE AREA

AIRPORT COMPATIBILITY ZONES
NOT IN AN AIRPORT COMPATIBILITY ZONE

ENVIRONMENTAL

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA
NOT IN A CONSERVATION AREA

CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS
NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP
NOT IN A CELL GROUP

WRMSHCP CELL NUMBER
2753

HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEW PROCESS)
01731

VEGETATION (2005)
AGRICULTURAL LAND
DEVELOPED/DISTURBED LAND

FIRE

HIGH FIRE AREA (ORD. 787)
IN HIGH FIRE AREA - Grading And Building Permit Applications Require Fire Dept Clearance Prior To Permit Issuance.

FIRE RESPONSIBILITY AREA
STATE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP FEE AREA (ORD. 875)
NOT WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

WRMSHCP FEE AREA (ORD. 810)
IN OR PARTIALLY WITHIN THE WESTERN RIVERSIDE MSHCP FEE AREA. SEE MAP FOR MORE INFORMATION.

ROAD & BRIDGE DISTRICT
NOT IN A DISTRICT

EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)
NOT WITHIN THE EASTERN TUMF FEE AREA

WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)
IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION. CENTRAL

DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)
LAKEVIEW/NUEVO

SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)
IN OR PARTIALLY WITHIN AN SKR FEE AREA. SEE MAP FOR MORE INFORMATION.

DEVELOPMENT AGREEMENTS
NOT IN A DEVELOPMENT AGREEMENT AREA

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY
NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY

ROAD BOOK PAGE
99B

TRANSPORTATION AGREEMENTS
NOT IN A TRANSPORTATION AGREEMENT

CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS
NOT IN A CETAP CORRIDOR.

HYDROLOGY

FLOOD PLAIN REVIEW
NOT REQUIRED

WATER DISTRICT
EMWD

FLOOD CONTROL DISTRICT
RIVERSIDE COUNTY FLOOD CONTROL DISTRICT

WATERSHED
SAN JACINTO VALLEY

GEOLOGIC

FAULT ZONE
NOT IN A FAULT ZONE

FAULTS
NOT WITHIN A 1/2 MILE OF A FAULT.

LIQUEFACTION POTENTIAL
LOW

SUBSIDENCE
SUSCEPTIBLE

PALEONTOLOGICAL SENSITIVITY
HIGH SENSITIVITY (HIGH B).
SENSITIVITY EQUIVALENT TO HIGH A, BUT IS BASED ON THE OCCURRENCE OF FOSSILS AT A SPECIFIED DEPTH BELOW THE SURFACE.
THE CATEGORY HIGH B INDICATES THAT FOSSILS ARE LIKELY TO BE ENCOUNTERED AT OR BELOW FOUR FEET OF DEPTH, AND MAY BE IMPACTED DURING EXCAVATION BY CONSTRUCTION ACTIVITIES.

MISCELLANEOUS

SCHOOL DISTRICT
NUVIEW UNION & PERRIS UNION HIGH

COMMUNITIES
NUEVO

COUNTY SERVICE AREA
IN OR PARTIALLY WITHIN
LAKEVIEW/NUEVO/ROMOLAND/HOMELAND #146 -
STREET LIGHTING
LIBRARY

LIGHTING (ORD. 655)
ZONE B, 33.80 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT
042720
042721

FARMLAND
LOCAL IMPORTANCE
OTHER LANDS

083014

- COUNTY FREE LIBRARY
- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE RESOURCE MGMT DIST
- CSA 146
- CSA 152
- EASTERN MUNICIPAL WATER
- FLOOD CONTROL ADMINISTRATION
- FLOOD CONTROL ZONE 4
- GENERAL
- GENERAL PURPOSE
- METRO WATER EAST 1301999
- MT SAN JACINTO JUNIOR COLLEGE
- NUVIEW SCHOOL
- PERRIS AREA ELEM SCHOOL FUND
- PERRIS JR HIGH AREA FUND
- PERRIS UNION HIGH SCHOOL
- PERRIS VALLEY CEMETERY
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- SAN JACINTO BASIN RESOURCE CONS
- VALLEY HEALTH SYSTEM HOSP DIST

SPECIAL NOTES

NO SPECIAL NOTES

CODE COMPLAINTS

Case #	Description	Start Date
NO CODE COMPLAINTS	NOT APPLICABLE	NOT APPLICABLE

BUILDING PERMITS

Case #	Description	Status
BGR070330	GRADE FOR SINGLE FAMILY RESIDENTIAL	FINAL
BMR072007	SITE PREP FOR FACTORY BUILT HOME	FINAL
BMR072008	INSTALL FACTORY BUILT UBC HOME 1736 SF	FINAL
BMR072257	PERMANENT FOUNDATION TO MANUFACTURED HOME	VOID

ENVIRONMENTAL HEALTH PERMITS

Case #	Description	Status
EHS031944	CONSULTATION - HOURLY	APPLIED
EHS071250	SEPTIC VERIFICATION	ISSUED
EHW060880	WELL RECONSTRUCTION	APPLIED

PLANNING PERMITS

Case #	Description	Status
HANS01731	SFR	APPROVED
MT072440	PM 15628 LOT 1	PAID
MT080192	PM15628 LOT 1	PAID
MT080193	PM15628 LOT 1	PAID
MT080194	PM15628 LOT 1	PAID
SUP01359	2900 SQFT MODULE 4 BEDROOM, 2 1/2 BATH/FLIP FLOP	APPROVED

REPORT PRINTED ON...Mon Mar 04 16:30:23 2013
Version 121101

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 5/21/2013,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 25314 For

Company or Individual's Name Planning Department,

Distance buffered 1000'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

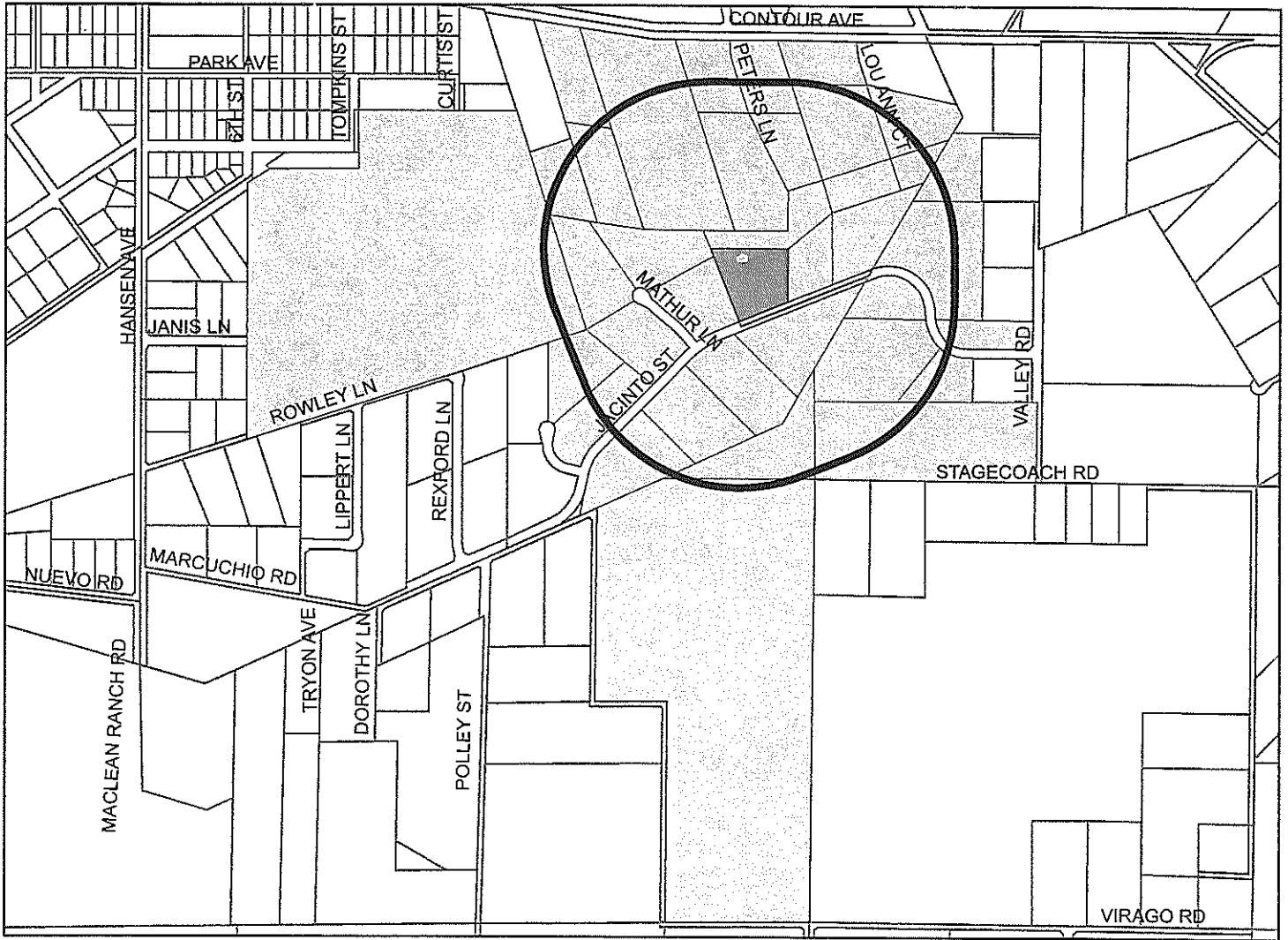
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

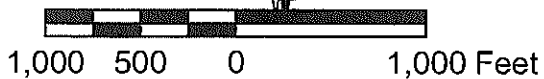
TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

PP25314 (1000 feet buffer)



Selected Parcels

427-400-012	427-400-015	427-380-007	427-170-067	427-380-002	427-400-004	427-380-009	427-380-015	427-170-055	427-400-007
427-400-009	427-400-013	429-030-009	427-380-006	427-170-046	427-380-012	427-380-024	427-400-011	427-380-013	427-380-025
427-400-006	427-380-008	427-380-018	427-380-016	427-380-003	427-170-049	427-400-014	427-170-038	427-370-010	427-170-057
427-400-008	427-380-010	427-380-019	427-380-017	427-380-005	427-400-005	427-170-058			



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ASMT: 427170038, APN: 427170038
OMAR MUNOZ
21915 VALLEY RD
NUEVO, CA. 92567

ASMT: 427370010, APN: 427370010
RICHARD FERRARI, ETAL
1265 MONTECITO AVE NO 200
MOUNTAIN VIEW CA 94043

ASMT: 427170046, APN: 427170046
LEON MOTTE, ETAL
445 SOUTH D
PERRIS CA 92570

ASMT: 427380002, APN: 427380002
DANA BEAURY
31685 CONTOUR RD
NUEVO, CA. 92567

ASMT: 427170049, APN: 427170049
JENNIFER LEWIS, ETAL
32005 JACINTO ST
NUEVO, CA. 92567

ASMT: 427380003, APN: 427380003
RONALD TUCKER, ETAL
P O BOX 473
NUEVO CA 92567

ASMT: 427170055, APN: 427170055
DONNA MCKEEHAN, ETAL
32200 JACINTO ST
NUEVO, CA. 92567

ASMT: 427380005, APN: 427380005
STEVEN MELILLO
2508 HOLLY LN
NEWPORT BEACH CA 92663

ASMT: 427170057, APN: 427170057
DIANE MCKEEHAN, ETAL
32105 JACINTO ST
NUEVO, CA. 92567

ASMT: 427380006, APN: 427380006
JAMIE BRADBURY, ETAL
P O BOX 577
NUEVO CA 92567

ASMT: 427170058, APN: 427170058
LEON MOTTE, ETAL
C/O MOTTE ENTERPRISES
445 SOUTH D ST 2ND FL
PERRIS CA 92570

ASMT: 427380007, APN: 427380007
ROBERT VALENTINE, ETAL
21512 PETERS LN
NUEVO, CA. 92567

ASMT: 427170067, APN: 427170067
KATHY CUNNINGHAM, ETAL
21645 VALLEY RD
NUEVO, CA. 92567

ASMT: 427380008, APN: 427380008
JULIANNE BERRYHILL
21625 PETERS LN
NUEVO, CA. 92567

ASMT: 427380009, APN: 427380009
DENNIS ANDERSON
21604 PETERS LN
NUEVO, CA. 92567

ASMT: 427380018, APN: 427380018
JOSE MEJIA, ETAL
C/O LAURA ELAINE & JOSE LUIS MEJIA
P O BOX 217
NUEVO CA 92567

ASMT: 427380010, APN: 427380010
LEIGH VENHAUS, ETAL
21515 LOU ANN CT
NUEVO, CA. 92567

ASMT: 427380019, APN: 427380019
DORENA ESPARZA, ETAL
23654 PARKLAND AVE
MORENO VALLEY CA 92557

ASMT: 427380012, APN: 427380012
LOU TRAVERS, ETAL
21575 LOU ANN CT
NUEVO, CA. 92567

ASMT: 427380024, APN: 427380024
LOU TRAVERS, ETAL
21575 LOUANN CT
NUEVO CA 92567

ASMT: 427380013, APN: 427380013
CATHERINE HENDRICK, ETAL
32015 CONTOUR AVE
NUEVO, CA. 92567

ASMT: 427400004, APN: 427400004
ADARSH SAIGAL, ETAL
6412 VIA CORRAL
ANAHEIM CA 92807

ASMT: 427380015, APN: 427380015
DENNIS ANDERSON
32045 PETERS LN
NUEVO CA 92567

ASMT: 427400005, APN: 427400005
JANICA RYE, ETAL
P O BOX 1386
NUEVO CA 92567

ASMT: 427380016, APN: 427380016
JODY RODRIGUEZ, ETAL
P O BOX 288
NUEVO CA 92567

ASMT: 427400006, APN: 427400006
SYLVIA TORRES, ETAL
17117 S VERMONT AVE NO 133
GARDENA CA 90248

ASMT: 427380017, APN: 427380017
SALLY HANSON
32052 JACINTO ST
NUEVO, CA. 92567

ASMT: 427400007, APN: 427400007
GLORIA MONTANEZ, ETAL
31215 SUNSET AVE
NUEVO CA 92567

ASMT: 427400008, APN: 427400008
RITA TUCKER, ETAL
P O BOX 954
NUEVO CA 92567

ASMT: 429030009, APN: 429030009
DOROTHY POLLEY, ETAL
84920 TERRITORIAL HWY
EUGENE OR 97402

ASMT: 427400009, APN: 427400009
EPIFANIO LOZANO
15303 KORNBLUM AVE
EL CAMINO VILLAGE CA 90260

ASMT: 427400011, APN: 427400011
IRMA WAGONER, ETAL
C/O JAMES WORSHAM
1468 OAKHORNE DR
HARBOR CITY CA 90710

ASMT: 427400012, APN: 427400012
ESTHER LUNA, ETAL
31525 JACINTO ST
NUEVO, CA. 92567

ASMT: 427400013, APN: 427400013
KAY BARTH, ETAL
31655 JACINTO ST
NUEVO CA 92567

ASMT: 427400014, APN: 427400014
MICHELLE MCCURRY, ETAL
31705 JACINTO ST
NUEVO, CA. 92567

ASMT: 427400015, APN: 427400015
BERLENE HERNANDEZ, ETAL
23704 SONATA DR
MURRIETA CA 92562

Agenda Item No.: 2 • 5
Supervisorial District: Fifth/Fifth
Project Planner: Bahelila Boothe
Director's Hearing: June 17, 2013

PLOT PLAN NO: 25052
Applicant: Antonio Garcia
CEQA Exempt

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is a proposal to permit an existing unpermitted garage conversion of 498 square foot guest dwelling with attached 666 square foot garage and 50 square foot porch on .76 acres.

ISSUES OF RELEVANCE:

The property current has a code violation (CV0805003) for construction without permits. Project has been reviewed by Riverside County Flood Control and conditions elevate finished floor 12" above the existing floor on the proposed conversion. Project will also be conditioned for a follow up site inspection 1 year after approval of plot plan.

RECOMMENDATIONS:

APPROVAL of PLOT PLAN NO. 25052, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project has a primary dwelling on the parcel where the detached accessory buildings are proposed.
2. The project site is designated Rural Community: Low Density Residential (1/2 Acres Minimum) on the LakeView/Nuevo Área Plan.
3. The proposed detached accessory use is a permitted use in the general plan designation.
4. The proposed detached accessory building is a permitted use, subject to approval of a plot plan in the Specific Plan (SP) zone.
5. The proposed detached accessory buildings uses are consistent with the development standards set forth in the R-A zone.
6. The proposed existing unpermitted garage conversion 498 square foot guest dwelling with attached 666 square foot garage and 50 square foot porch is considered detached accessory building under Section 18.18 of Ordinance No. 348.
7. The detached accessory 498 square foot guest dwelling with attached 666 square foot garage is compatible with the character of the surrounding community.
8. The detached accessory 498 square foot guest dwelling with attached 666 square foot garage is located 121 feet from the main building and consistent with the characteristics of the surrounding community.



9. The project conforms to Section 15303, (New Construction or Conversion of Small Structures), of the CEQA guidelines and is exempt from CEQA if the project meets the following conditions: Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to: "... (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences".

CONCLUSIONS:

1. The proposed projects are in conformance with the Riverside County General Plan.
2. The proposed projects are consistent with Section 18.18 of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed projects are compatible with the present and future logical development of the area.
5. The proposed projects will not have a significant effect on the environment.
6. These detached accessory buildings have been determined to be exempt under Section 15303(e) (New Construction or Conversion of Small Structures) of the California Environmental Quality Act.

PLOT PLAN:ADMINISTRATIVE Case #: PP25052

Parcel: 427-260-024

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a proposal to permit an unpermitted garage conversion to a 498 square foot guest dwelling with attached 666 square foot storage and 50 square foot porch on .76 acres.

At no time whatsoever shall any additions be permitted for the guest dwelling.

10. EVERY. 2 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

PLOT PLAN:ADMINISTRATIVE Case #: PP25052

Parcel: 427-260-024

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25052 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 25052, Exhibit A, dated May 13, 2013 (Site Plan)

APPROVED EXHIBIT B = Plot Plan No. 25052, Exhibit B, dated May 13, 2013. (Elevations)

APPROVED EXHIBIT C = Plot Plan No. 25052, Exhibit C, dated May 13, 2013, (Floor Plans)

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

The proposal is to bring the converted garage into a guest dwelling without building permits into compliance.

A finalized building permit is required PRIOR to any OCCUPANCY of the building.

The flood department has required that any habitable space must have a finished floor elevation of 18" above grade.

The applicant shall submit building plans, structural calculations and any other applicable information to comply with the flood department requirements and compliance with all current adopted California Building Codes and Riverside County Ordinances to the building department for review, approval, and permit issuance. All building department plan check submittal and fee requirements shall apply.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT RECOMMND

Plot Plan 25052 is a proposal to convert an existing detached garage to a dwelling unit and storage structure on 0.76 acres in the Lakeview/Nuevo area. The site is located on the southeast of Lakeview Avenue, west of North Drive, and north of 12th Street.

PLOT PLAN:ADMINISTRATIVE Case #: PP25052

Parcel: 427-260-024

10. GENERAL CONDITIONS

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT (cont.) RECOMMND

A 120 sq. ft. porch will be attached to the garage. All of the proposed work is within the existing structure except the proposed porch.

Our review indicates the topography of the site is an alluvial plain that drains to the northwest direction. A sheet flow type storm runoff from an area of approximately 900 acres impacts the site from southeast. In the absence of the infrastructure the existing house, the guest house and the garage are subject to flooding. The District recommends elevating the finished floor 12" above the existing floor of the proposed conversion. If elevating the finished floor is impossible the District recommends denial of the proposal.

This site is located within the bounds of the Lakeview/Nuevo Area Drainage Plan (ADP) for which drainage fees have been established by the Board of Supervisors. Since no new impervious area is proposed no ADP fees is applicable for this proposal at this time.

Based on the exhibit received by the District, it appears that no new impervious area is proposed, and therefore no preliminary site specific Water Quality Management Plan (WQMP) is required. If in future the project creates or adds 5000 square feet or more of impervious area, then shall be required a WQMP.

PLANNING DEPARTMENT

10.PLANNING. 2 PPA - LANDUSE APPROVAL ONLY RECOMMND

The applicant or the applicant's successor in interest is notified through this condition that the approval granted on Plot Plan No. 25052 is for land use approval only, and has only met the requirements of Ordinance 348. Any requirements deemed necessary by another department or agency of Riverside County on a subsequent building permit are valid and may cause this approval by the Riverside County Planning Department as it stands to be rendered null and void or require significant revision. It is incumbent upon the applicant to research the acceptability of this proposal to all responsible departments and agencies prior to the acceptance of this approval. Responsible agencies include, but are not limited to the Fire Department, Environmental Health Department, the local Flood Control

PLOT PLAN:ADMINISTRATIVE Case #: PP25052

Parcel: 427-260-024

10. GENERAL CONDITIONS

10.PLANNING. 2 PPA - LANDUSE APPROVAL ONLY (cont.) RECOMMND

District, Building and Safety Department, Transportation Department, the Environmental Programs Department, the County Geologist, or the Transportation Land Management Agency.

10.PLANNING. 3 PPA - NO HOME OCCUPATIONS RECOMMND

No home occupations are permitted in an accessory structure or guest home.

From section 21.36 of Ordinance 348: Home Occupations:

Home occupations means those uses that are customarily conducted in a residence, provided such uses must be incidental and secondary to the principal use of a dwelling as a residence. The following criteria shall apply to any home occupation:

a. Except for large family day care homes which may require two assistants and small family day care homes which may require one assistant to be present in addition to the licensee or provider, no person other than a resident of the dwelling shall be employed on the premises in the conduct of a home occupation.

b. A home occupation shall be conducted entirely within the dwelling and shall be incidental and secondary to the use of the dwelling as a residence.

c. A home occupation shall not be conducted in an accessory structure and there shall be no storage of equipment or supplies in an accessory structure or outside building.

d. The residential character of the exterior and interior of the dwelling shall not be changed.

e. No vehicles or trailers except those normally incidental to residential use shall be kept on the site.

f. No signs other than one unlighted identification sign, not more than two square feet in area, shall be erected on the premises.

PLOT PLAN:ADMINISTRATIVE Case #: PP25052

Parcel: 427-260-024

10. GENERAL CONDITIONS

10.PLANNING. 4 PPA - SETBACKS IN HIGH FIRE RECOMMND

Please be advised that the setbacks for structures within a County designated high fire areas have increased. It is advisable prior to the purchase of structure or prior to planning of a structure (such as hiring an architect or engineer to create plans) that the applicant should contact the Fire Department to make sure that the structure question meets those requirements.

Fire Department Planning
2300 Market Street, Suite 150
Riverside, CA 92501
951-955-4777

10.PLANNING. 5 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of

PLOT PLAN:ADMINISTRATIVE Case #: PP25052

Parcel: 427-260-024

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1 PPA - EXPIRATION DATE-PP (cont.) RECOMMND

this plot plan, this plot plan shall become null and void.

20.PLANNING. 2 PPA - EXISTING STRUCTURE (1) RECOMMND

WITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permittee or the permittee's successors-in-interest shall apply to the Building and Safety Department for all necessary permits, including the submission of all required documents and fees for any plan check review as determined by the Director of the Department of Building and Safety, to ensure that all existing buildings, structures and uses are in compliance with Ordinance No. 348 and Ordinance No. 457 and the conditions of approval of this permit.

(Remove sheep corral)

20.PLANNING. 4 PPA - UNPERMITTED STRUCTURE RECOMMND

WITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permittee or the permittee's successors-in-interest shall apply to the Building and Safety Department for all necessary permits related to the unpermitted garage conversion (498 square foot guest dwelling with 666 square foot garage, and 50 square foot porch) including the submission of all required documents and fees for any plan check review as determined by the Director of the Department of Building and Safety.

80. PRIOR TO BLDG PRMT ISSUANCE

FLOOD RI DEPARTMENT

80.FLOOD RI. 1 USE ELEVATE FINISHED FLOOR RECOMMND

The District recommends elevating the finished floor 12" above the existing floor of the proposed conversion. If elevating the finished floor is impossible the District recommends denial of the proposal.

PLANNING DEPARTMENT

80.PLANNING. 1 PPA - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial

05/20/13
16:09

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 7

PLOT PLAN:ADMINISTRATIVE Case #: PP25052

Parcel: 427-260-024

80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 1 PPA - CONFORM TO ELEVATIONS (cont.) RECOMMND

conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 2 PPA - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

80.PLANNING. 3 PPA - EXISTING STRUCTURE RECOMMND

PRIOR TO BUILDING PERMIT ISSUANCE, the permittee or the permittee's successors-in-interest shall apply to the Building and Safety Department for all necessary permits, including the submission of all required documents and fees for any plan check review as determined by the Director of the Department of Building and Safety, to ensure that all existing buildings, structures and uses are in compliance with Ordinance No. 348 and Ordinance No. 457 and the conditions of approval of this permit.

90. PRIOR TO BLDG FINAL INSPECTION

PLANNING DEPARTMENT

90.PLANNING. 1 PPA- 1 YEAR SITE INSPECTION RECOMMND

One year after final approval of the plot plan, Planning staff will perform site inspection to verify no additional conversions have been done.

Boothe, Bahelila

From: Jones, David
Sent: Tuesday, November 29, 2011 4:13 PM
To: Boothe, Bahelila
Subject: PP25052

The site is located in the County's subsidence potential zone and the low liquefaction potential zone. It is located in an area of high potential for paleo resources at shallow depths below the ground surface. In accordance with the new General Plan policies, GEO and PDP reports are not required for this case. The owner/developer should be aware of these issues and design/construct accordingly.

[REDACTED]

David L. Jones
Chief Engineering Geologist
TLMA- Planning

2011 AERIALS



Selected parcel(s):
427-260-024

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Mon Nov 21 15:35:17 2011

Version 111114

RIVERSIDE COUNTY GIS



Selected parcel(s):
427-260-024

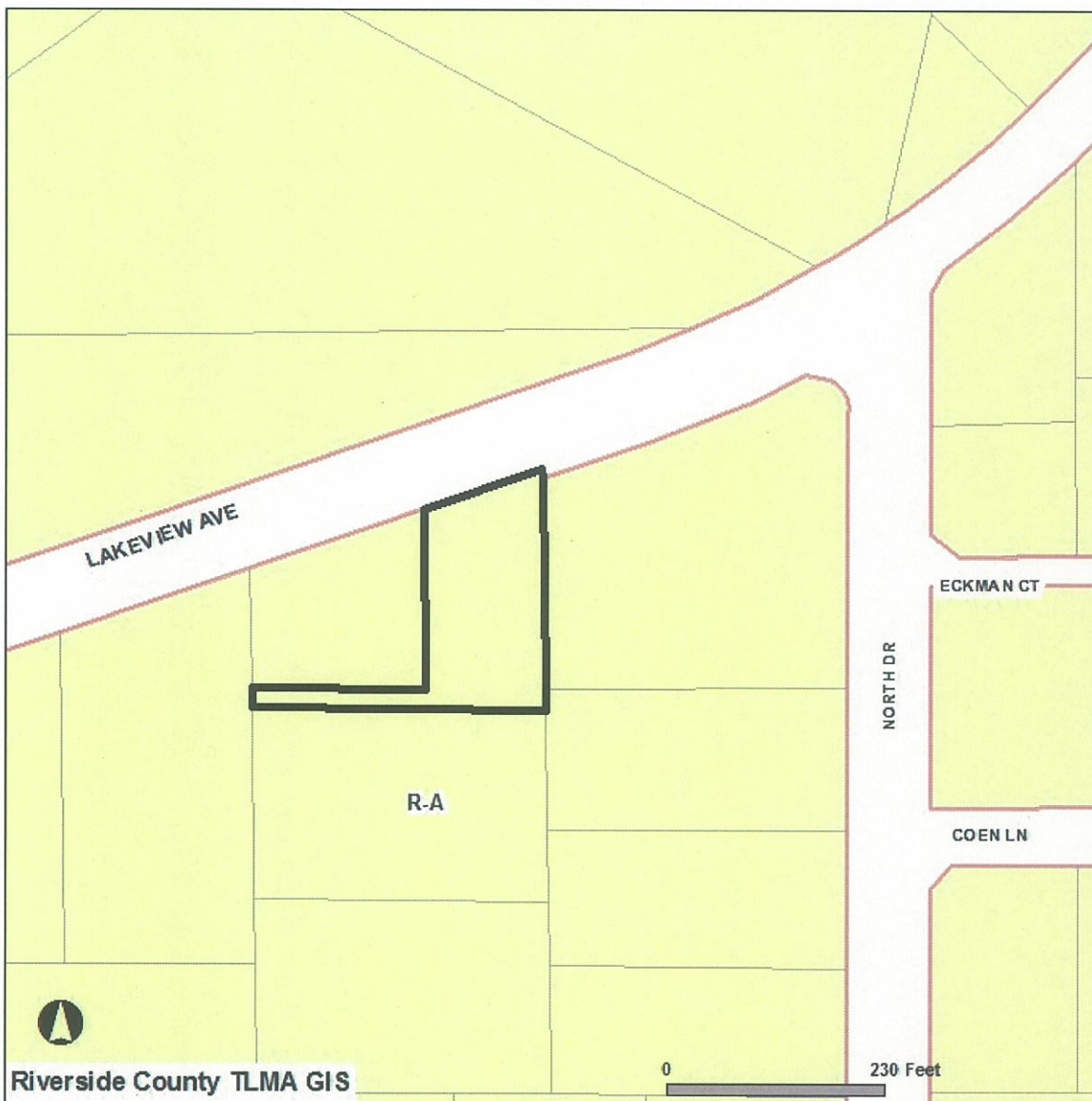
IMPORTANT

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REPORT PRINTED ON...Mon Nov 21 15:37:16 2011

Version 111114

ZONING



Selected parcel(s):
427-260-024

ZONING

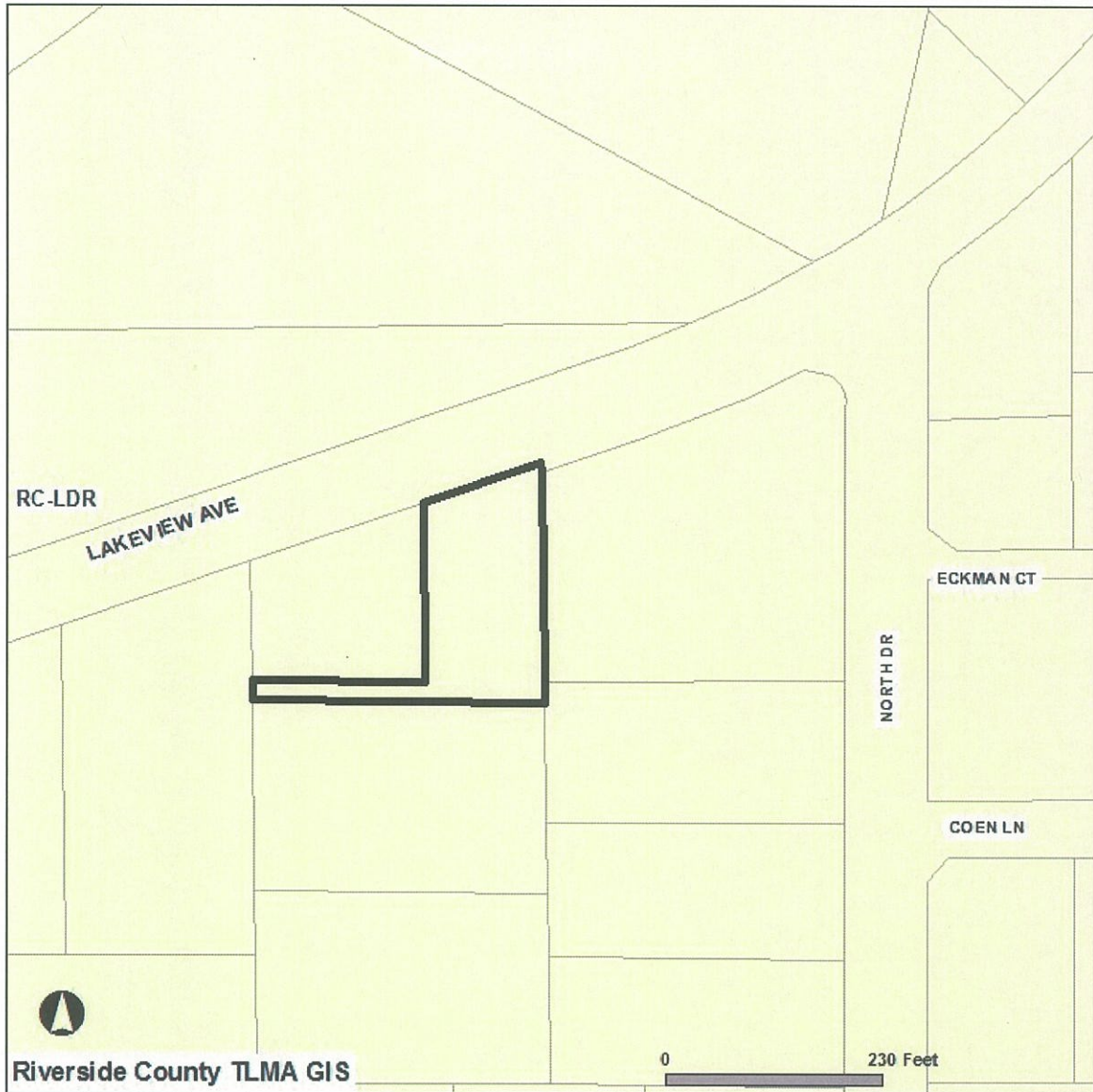
- SELECTED PARCEL
- PARCELS
- INTERSTATES
- ZONING BOUNDARY
- HIGHWAYS
- R-A
- CITY

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Mon Nov 21 15:45:10 2011
Version 111114

LAND USE



Selected parcel(s):
427-260-024

LAND USE

- SELECTED PARCEL
- PARCELS
- INTERSTATES
- HIGHWAYS
- LDR-RC - RURAL COMMUNITY - LOW DENSITY RESIDENTIAL
- CITY

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 111114

LAND USE



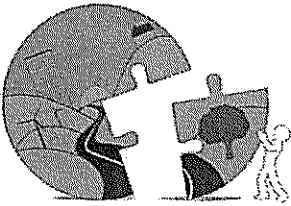
Selected parcel(s):
427-260-024

LAND USE

- SELECTED PARCEL
- PARCELS
- INTERSTATES
- HIGHWAYS
- CITY
- LDR-RC - RURAL COMMUNITY - LOW DENSITY RESIDENTIAL

IMPORTANT
 Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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 Version 111114



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP 25052

DATE SUBMITTED: 11/16/11

APPLICATION INFORMATION

Applicant's Name: Antonio Garcia

E-Mail: yeseniamacias⁸³@msn.com

Mailing Address: 21060 Loren Lane
Nuevo Street 92567
City CA ZIP

Daytime Phone No: (951) 287-8459 Fax No: ()

Engineer/Representative's Name: A. A. & Associates, Inc. E-Mail: aguirre2222@sbcglobal.net

Mailing Address: 2222 Kansas Avenue, Suite D
Riverside Street 92507
City CA ZIP

Daytime Phone No: (951) 684-4222 Fax No: (951) 684-4333

Property Owner's Name: Antonio Garcia E-Mail: yeseniamacias⁸³@msn.com

Mailing Address: 21060 Loren Lane
Nuevo Street 92567
City CA ZIP

Daytime Phone No: (951) 287-8459 Fax No: ()

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR MINOR PLOT PLAN

application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

Antonio Garcia

PRINTED NAME OF APPLICANT

[Signature]

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. (Authorized agent must submit a letter from the owner(s) indicating authority to sign in the owner's behalf.

All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).

SIGNATURE OF PROPERTY OWNER(S):

[Signature] Jesenia Macias

PRINTED NAME OF PROPERTY OWNER(S)

[Signature]

SIGNATURE OF PROPERTY OWNER(S)

Antonio Garcia / Jesus Macias [Signature] [Signature]

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

PROJECT INFORMATION

Proposal (describe the project and reference the applicable Ord. No. 348 section): Convert

CWP - Barn into a ^{498 sq ft} guest house. The house that
we are proposing to convert already existed in
the barn. ⁶⁶⁰ storage, 50 ft porch

Related cases or underlying case: 1,164 title CV 08-05063

PROPERTY INFORMATION

Assessor's Parcel Number(s): 427-260-024

Section: 19 Township: 4S Range: 2W

Approximate Gross Acreage: 3/4 of an acre .76Ac

General location (nearby or cross streets): North of Lakewood, South of

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Ron Goldman · Planning Director

\$510⁰⁰
\$2040⁰⁰

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: 08-05003 DATE SUBMITTED: 10-12-10

APPLICATION INFORMATION

Applicant's Name: Antonio Garcia E-Mail: yeseni.macias83@msn.com

Mailing Address: 21060 Loren Lane
Nuevo CA 92567
City State ZIP

Daytime Phone No: (562) 305-7209 Fax No: ()

Engineer/Representative's Name: N/AAS Assoc. E-Mail: A.gairre2222@sbcglobe.com

Mailing Address: 2222 Kansas St Riverside
Riverside CA 92507
City State ZIP

Daytime Phone No: (951) 287-8459 Fax No: ()

Property Owner's Name: Antonio Garcia E-Mail: yeseni.macias83@msn.com
Jesenia Macias
Jesus Macias

Mailing Address: 21060 Loren Lane
Nuevo CA 92567
City State ZIP

Daytime Phone No: (951) 287-8459 Fax No: ()

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the

Riverside Office · 4080 Lemon Street, 9th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-3157

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

APPLICATION FOR MINOR PLOT PLAN

Section: 19 Township: 4S Range: 2W

Approximate Gross Acreage: .76 Acres

General location (nearby or cross streets): North of Lake View Avenue, South of Steen Drive, East of North Drive, West of Walker Drive.

Thomas Brothers Map, edition year, page no., and coordinates: 2009, 778-J5

**MINOR PLOT PLAN SUBMITTAL REQUIREMENTS FOR THE FOLLOWING APPLICATION TYPES:
(Note: All exhibits shall be folded to a maximum 8½" x 14" size)**

COMMERCIAL/INDUSTRIAL

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Current processing deposit-based fee.

ACCESSORY BUILDING

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.
5. Color photographs of roofing material samples (or literature showing color/material samples). Actual roofing tiles will not be accepted.
6. A minimum of three (3) ground-level panoramic photographs (color prints) clearly showing the whole project site. Include a locational map identifying the position from which the photo was taken and the approximate area of coverage of each photograph.
7. Current processing deposit-based fee.

GUEST HOUSE

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.



COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY



George A. Johnson
Agency Director

Katherine Gifford
Director,
Administrative
Services
Department

Ron Goldman
Director,
Planning
Department

Juan C. Perez
Director,
Transportation
Department

Mike Lara
Director,
Building & Safety
Department

John Boyd
Director,
Code
Enforcement
Department

Carolyn Syms
Luna
Director,
Environmental
Programs Department

LAND USE and PERMIT APPLICATION PROCESSING AGREEMENT
Agreement for Payment of Costs of Application Processing

TO BE COMPLETED BY APPLICANT:

This agreement is by and between the County of Riverside, hereafter "County of Riverside",
and Antonio Garcia hereafter "Applicant" and Antonio Garcia Property Owner".

Description of application/permit use:

Barn conversion into a guest House.

If your application is subject to Deposit-based Fee, the following applies

Section 1. Deposit-based Fees

Purpose: The Riverside County Board of Supervisors has adopted ordinances to collect "Deposit-based Fees" for the costs of reviewing certain applications for land use review and permits. The Applicant is required to deposit funds to initiate staff review of an application. The initial deposit may be supplemented by additional fees, based upon actual and projected labor costs for the permit. County departments draw against these deposited funds at the staff hourly rates adopted by the Board of Supervisors. The Applicant and Property Owner are responsible for any supplemental fees necessary to cover any costs which were not covered by the initial deposit.

Section 2. Applicant and Property Owner Responsibilities for Deposit-based Fee Applications

- A. Applicant agrees to make an initial deposit in the amount as indicated by County ordinance, at the time this Agreement is signed and submitted with a complete application to the County of Riverside. Applicant acknowledges that this is an initial deposit and additional funds may be needed to complete their case. The County of Riverside will not pay interest on deposits. Applicant understands that any delays in making a subsequent deposit from the date of written notice requesting such additional deposit by County of Riverside, may result in the stoppage of work.
- B. Within 15 days of the service by mail of the County of Riverside's written notice that the application permit deposit has been reduced to a balance of less than 20% of the initial deposit or that the deposit is otherwise insufficient to cover the expected costs to completion, the Applicant agrees to make an additional payment of an amount as determined by the County of Riverside to replenish the deposit. Please note that the processing of the application or permit may stop if the amount on deposit has been expended. The Applicant agrees to continue making such payments until the County of Riverside is reimbursed for all costs related to this application or permit. The County of Riverside is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts that would have been drawn on the deposit were it not depleted.
- C. The Property Owner acknowledges that the Applicant is authorized to submit this agreement and related application(s) for land use review or permit on this property. The Property Owner also acknowledges that should the Applicant not reimburse the County of Riverside for all costs related to this application or permit, the Property Owner shall become immediately liable for these costs which shall be paid within 15 days of the service by mail of notice to said property Owner by the County.

- D. This Agreement shall only be executed by an authorized representative of the Applicant and the Property Owner. The person(s) executing this Agreement represents that he/she has the express authority to enter into this agreement on behalf of the Applicant and/or Property Owner.
- E. This Agreement is not assignable without written consent by the County of Riverside. The County of Riverside will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.
- F. Deposit statements, requests for deposits or refunds shall be directed to Applicant at the address identified in Section 4.

Section 3. To ensure quality service, Applicant is responsible to provide one-week written notice to the County of Riverside Transportation and Land Management Agency (TLMA) Permit Assistance Centers if any of the information below changes.

Section 4. Applicant and Owner Information

1. PROPERTY INFORMATION:

Assessors Parcel Number(s): 427-260-024

Property Location or Address: 21060 Loren Ln Nuevo CA 92567

2. PROPERTY OWNER INFORMATION:

Property Owner Name: Antonio Garcia Phone No.: (951) 287-8459

Firm Name: _____ Email: _____

Address: 21060 Loren Lane

NUOVO CA 92567

3. APPLICANT INFORMATION:

Applicant Name: Antonio Garcia Phone No.: (951) 287-8459

Firm Name: _____ Email: yesenia.macias@msn.com

Address (if different from property owner)

_____ Jesus Maccus / owner

_____ / owner

4. SIGNATURES:

Signature of Applicant: [Signature] Date: 11/16/11

Print Name and Title: Antonio Garcia

Signature of Property Owner: [Signature] Date: 11/16/11

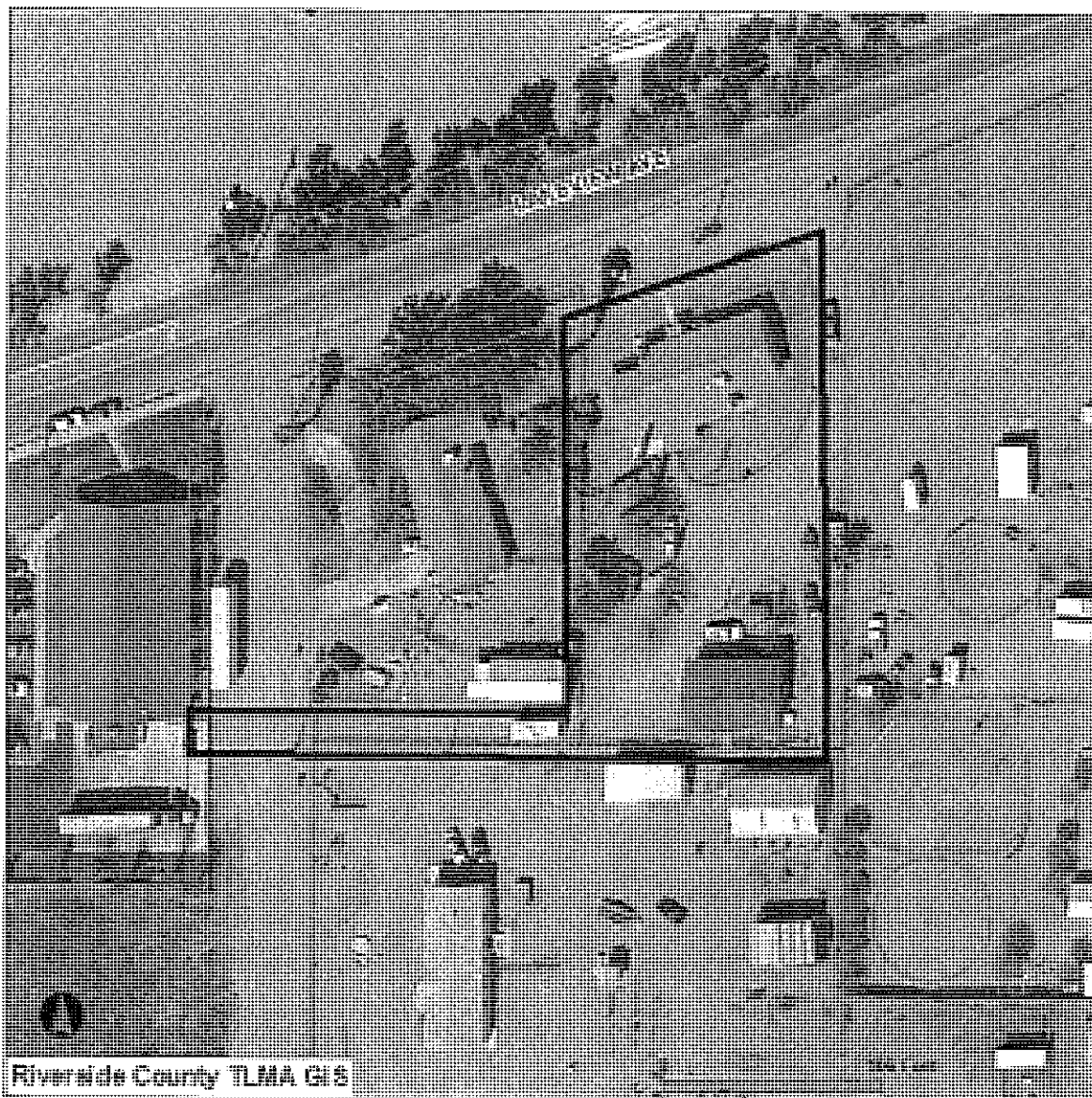
Print Name and Title: Antonio Garcia

Signature of the County of Riverside, by [Signature] Date: 11/16/11

Print Name and Title: Franklin Stust, Land Use Technician II

FOR COUNTY OF RIVERSIDE USE ONLY	
Application or Permit (s)#:	<u>PP 25052</u>
Set #:	Application Date: <u>11/16/11</u>

RIVERSIDE COUNTY GIS



Selected parcel(s):
427-260-024

IMPORTANT

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STANDARD WITH PERMITS REPORT

APNs

427-260-024-5

OWNER NAME / ADDRESS

ANTONIO GARCIA
JESENIA MACIAS
JESUS MACIAS
21060 LOREN LN
NUEVO, CA. 92567

MAILING ADDRESS

C/O JESUS MACIAS
21060 LOREN LN

NUEVO CA. 92587

LEGAL DESCRIPTION

RECORDED BOOK/PAGE: PM 48/70
SUBDIVISION NAME: PM 8770
LOT/PARCEL: 2, BLOCK: NOT AVAILABLE
TRACT NUMBER: NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 0.76 ACRES

PROPERTY CHARACTERISTICS

WOOD FRAME, 1556 SQFT., 3 BDRM/ 1.75 BATH, 1 STORY, ATTACHED GARAGE(441 SO. FT), CONST'D 1979SHAKE, ROOF, CENTRAL HEATING, CENTRAL COOLING

THOMAS BROS. MAPS PAGE/GRID

PAGE: 778 GRID: J5

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY
NOT WITHIN A CITY SPHERE
ANNEXATION DATE: NOT APPLICABLE
NO LAFCO CASE # AVAILABLE
NO PROPOSALS

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT 2011 (ORD. 813)

MARION ASHLEY, DISTRICT 5

SUPERVISORIAL DISTRICT (2001 BOUNDARIES)

MARION ASHLEY, DISTRICT 5

TOWNSHIP/RANGE

T4SR2W SEC 19

ELEVATION RANGE

1460/1464 FEET

PREVIOUS APN

427-260-016

PLANNING

LAND USE DESIGNATIONS

Zoning not consistent with the General Plan.
RC-LDR

SANTA ROSA ESCARPMENT BOUNDARY

NOT IN THE SANTA ROSA ESCARPMENT BOUNDARY

AREA PLAN (RCIP)

LAKEVIEW / NUEVO

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

R-A (CZ 5696)

ZONING DISTRICTS AND ZONING AREAS

NUEVO AREA

ZONING OVERLAYS

NOT IN A ZONING OVERLAY

HISTORIC PRESERVATION DISTRICTS

NOT IN AN HISTORIC PRESERVATION DISTRICT

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE
NOT IN AN AGRICULTURAL PRESERVE

REDEVELOPMENT AREAS
PROJECT AREA NAME: I-215 CORRIDOR
SUBAREA NAME: LAKEVIEW/NUEVO
AMENDMENT NUMBER: 1
ADOPTION DATE: APR. 25, 2006
ACREAGE: 2498 ACRES

AIRPORT INFLUENCE AREAS
NOT IN AN AIRPORT INFLUENCE AREA

AIRPORT COMPATIBILITY ZONES
NOT IN AN AIRPORT COMPATIBILITY ZONE

ENVIRONMENTAL

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA
NOT IN A CONSERVATION AREA

CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS
NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP
NOT IN A CELL GROUP

WRMSHCP CELL NUMBER
NOT IN A CELL

HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEW PROCESS)
NONE

VEGETATION (2005)
AGRICULTURAL LAND
DEVELOPED/DISTURBED LAND

FIRE

HIGH FIRE AREA (ORD. 787)
NOT IN A HIGH FIRE AREA

FIRE RESPONSIBILITY AREA
NOT IN A FIRE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP FEE AREA (ORD. 875)
NOT WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

WRMSHCP FEE AREA (ORD. 810)
IN OR PARTIALLY WITHIN THE WESTERN RIVERSIDE MSHCP FEE AREA. SEE MAP FOR MORE INFORMATION.

ROAD & BRIDGE DISTRICT
NOT IN A DISTRICT

EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)
NOT WITHIN THE EASTERN TUMF FEE AREA

WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)
IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION. CENTRAL

DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)
LAKEVIEW/NUEVO

SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)
IN OR PARTIALLY WITHIN AN SKR FEE AREA. SEE MAP FOR MORE INFORMATION.

DEVELOPMENT AGREEMENTS

TRANSPORTATION

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY
NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY

ROAD BOOK PAGE
99B

TRANSPORTATION AGREEMENTS
NOT IN A TRANSPORTATION AGREEMENT

CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS
NOT IN A CETAP CORRIDOR.

HYDROLOGY

FLOOD PLAIN REVIEW
NOT REQUIRED

WATER DISTRICT
EMWD

FLOOD CONTROL DISTRICT
RIVERSIDE COUNTY FLOOD CONTROL DISTRICT

WATERSHED
SAN JACINTO VALLEY

GEOLOGIC

FAULT ZONE
NOT IN A FAULT ZONE

FAULTS
NOT WITHIN A 1/2 MILE OF A FAULT

LIQUEFACTION POTENTIAL
LOW

SUBSIDENCE
SUSCEPTIBLE

PALEONTOLOGICAL SENSITIVITY
HIGH SENSITIVITY (HIGH B).
SENSITIVITY EQUIVALENT TO HIGH A, BUT IS BASED ON THE OCCURRENCE OF FOSSILS AT A SPECIFIED DEPTH BELOW THE SURFACE.
THE CATEGORY HIGH B INDICATES THAT FOSSILS ARE LIKELY TO BE ENCOUNTERED AT OR BELOW FOUR FEET OF DEPTH, AND MAY BE IMPACTED DURING EXCAVATION BY CONSTRUCTION ACTIVITIES.

MISCELLANEOUS

SCHOOL DISTRICT
NUVIEW UNION & PERRIS UNION HIGH

COMMUNITIES
NUEVO

COUNTY SERVICE AREA
IN OR PARTIALLY WITHIN
LAKEVIEW/NUEVO/ROMOLAND/HOMELAND #146 -
STREET LIGHTING
LIBRARY

LIGHTING (ORD. 655)
ZONE B, 35.24 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT
042719

OTHER LANDS

TAX RATE AREAS

083038

- COUNTY FREE LIBRARY
- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE RESOURCE MGMT DIST
- CSA 146
- CSA 152
- EASTERN MUNICIPAL WATER
- FLOOD CONTROL ADMINISTRATION
- FLOOD CONTROL ZONE 4
- GENERAL
- GENERAL PURPOSE
- Lakeview/Nuevo I-215 AMDIA
- METRO WATER EAST 1301999
- MT SAN JACINTO JUNIOR COLLEGE
- NUVIEW SCHOOL
- PERRIS AREA ELEM SCHOOL FUND
- PERRIS JR HIGH AREA FUND
- PERRIS UNION HIGH SCHOOL
- PERRIS VALLEY CEMETERY
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- SAN JACINTO BASIN RESOURCE CONS
- VALLEY HEALTH SYSTEM HOSP DIST

SPECIAL NOTES

NO SPECIAL NOTES

CODE COMPLAINTS

Case #	Description	Start Date
CV0805003	NEIGHBORHOOD ENFORCEMENT	Jun. 5, 2008

BUILDING PERMITS

Case #	Description	Status
BHR110244	REQUEST FOR RECORDS	PAID
BZ336807	PLAN CHECK DWELLING AND ATTACHED GARAGE	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ342007	DWELLING AND ATTACH GARAGE	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ373972	SUN SHADE TO EXISTING DWELLING	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ391074	BARN REGISTRATION	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017

ENVIRONMENTAL HEALTH PERMITS

Case #	Description	Status
NO ENVIRONMENTAL PERMITS	NOT APPLICABLE	NOT APPLICABLE

PLANNING PERMITS

Case #	Description	Status
NO PLANNING PERMITS	NOT APPLICABLE	NOT APPLICABLE

REPORT PRINTED ON...Wed Nov 16 10:41:22 2011
Version 111114

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 5/21/2013,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 25052 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

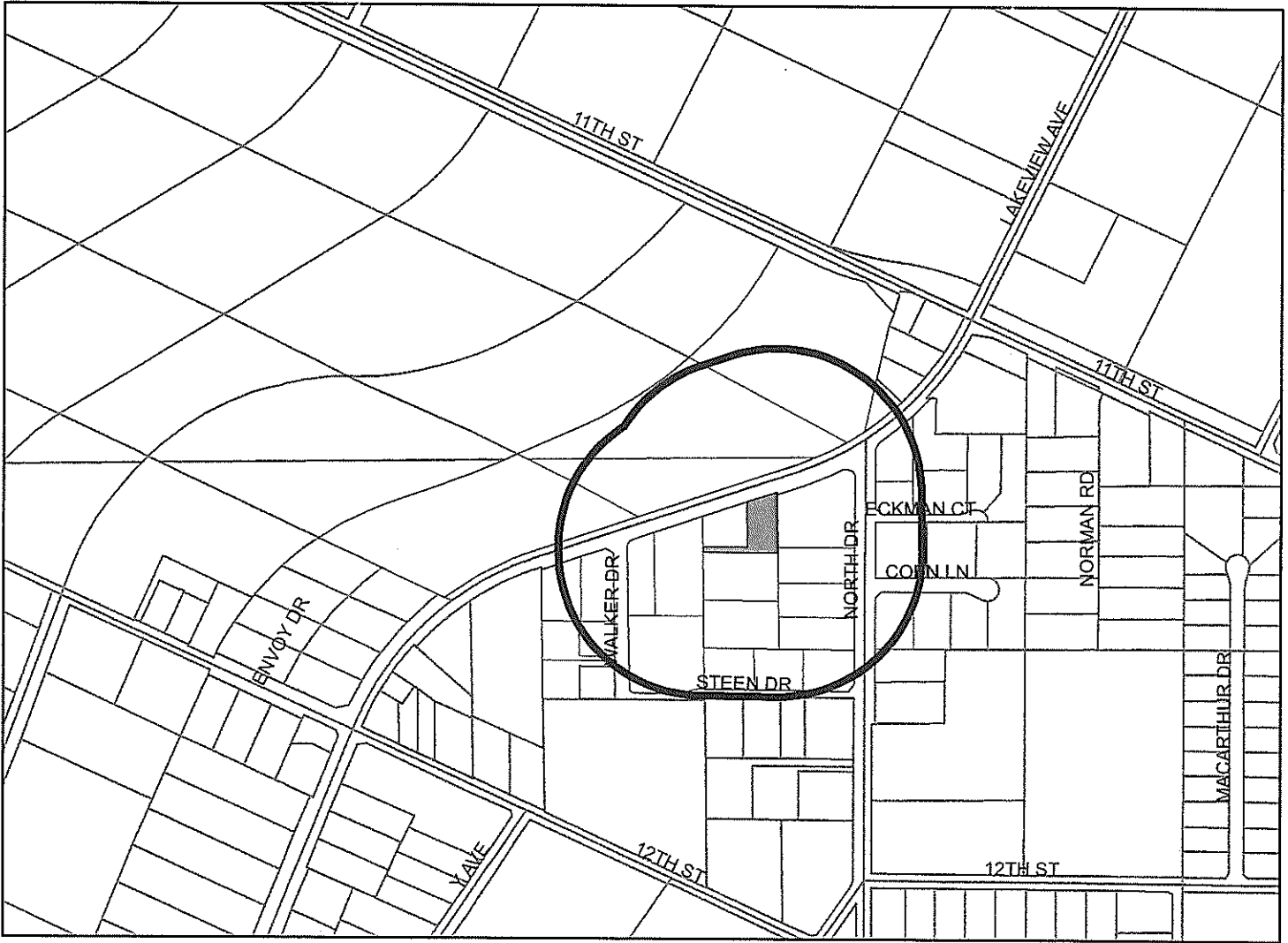
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

PP25052 (600 feet buffer)



Selected Parcels

427-270-055 427-270-056 427-260-014 427-260-024 427-260-042 427-260-043 307-130-035 307-130-036 307-130-037 307-130-038
 307-130-063 427-270-047 427-260-055 427-260-040 427-260-057 427-260-025 427-260-059 427-260-045 427-260-058 427-260-044
 427-270-042 427-260-038 427-270-048 427-260-041 427-260-023 427-270-044 427-260-026 427-260-039 427-260-056 427-270-041
 427-260-054 427-270-031



525 262.5 0 525 Feet

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ASMT: 307130035, APN: 307130035
BONNIE SAHLIN
P O BOX 203
NUEVO CA 92567

ASMT: 427260038, APN: 427260038
JOSE HERNANDEZ, ETAL
C/O JOSE R HERNANDEZ
21133 WALKER DR
NUEVO, CA. 92567

ASMT: 307130063, APN: 307130063
RICHARD DEVUYST, ETAL
3304 S BRIDGE ST
VISALIA CA 93277

ASMT: 427260039, APN: 427260039
SUSAN BLAKLEY, ETAL
P O BOX 601
NUEVO CA 92567

ASMT: 427260014, APN: 427260014
LINDA RAZZANI, ETAL
29191 LAKEVIEW AVE
NUEVO, CA. 92567

ASMT: 427260040, APN: 427260040
RETHA VALLETTE, ETAL
29093 COBBLESTONE
NUEVO CA 92567

ASMT: 427260023, APN: 427260023
ROCIO BRITO, ETAL
21050 LOREN LN
NUEVO, CA. 92567

ASMT: 427260041, APN: 427260041
DEBRA BRACO, ETAL
29205 LAKE VIEW AVE
NUEVO, CA. 92567

ASMT: 427260024, APN: 427260024
JESENIA MACIAS, ETAL
21060 LOREN LN
NUEVO, CA. 92567

ASMT: 427260042, APN: 427260042
BARBARA SHIELDS
21015 NORTH DR
NUEVO, CA. 92567

ASMT: 427260025, APN: 427260025
CYNTHIA MEDINA, ETAL
21090 LOREN LN
NUEVO, CA. 92567

ASMT: 427260043, APN: 427260043
BERNADETTE MITCHELL
21025 NORTH DR
NUEVO, CA. 92567

ASMT: 427260026, APN: 427260026
OSCAR VELASQUEZ
21040 LOREN LN
NUEVO, CA. 92567

ASMT: 427260044, APN: 427260044
JOSE REYES
21035 NORTH DR
NUEVO, CA. 92567

ASMT: 427260045, APN: 427260045
BERTA COVARRUBIAS, ETAL
21045 NORTH DR
NUEVO, CA. 92567

ASMT: 427270031, APN: 427270031
TONY RONDAN
21010 NORTH DR
NUEVO, CA. 92567

ASMT: 427260054, APN: 427260054
CHERYL MCRITCHIE, ETAL
30282 STEEN DR
NUEVO, CA. 92567

ASMT: 427270041, APN: 427270041
ALMA RUBIO, ETAL
19985 6TH ST
NUEVO CA 92567

ASMT: 427260055, APN: 427260055
ELAINE SCHULTZ
30290 STEEN DR
NUEVO CA 92567

ASMT: 427270042, APN: 427270042
MARTHA HALLINAN
21020 NORTH DR
NUEVO, CA. 92567

ASMT: 427260056, APN: 427260056
LORI IRVIN, ETAL
29247 BLANIK AVE
NUEVO CA 92567

ASMT: 427270044, APN: 427270044
JULIO ZUNZUNEGUI, ETAL
C/O JULIO ZUNZUNEGUI
P O BOX 574
NUEVO CA 92567

ASMT: 427260057, APN: 427260057
GENERAL TELEPHONE CO OF CALIF
C/O GTE ATTN GARY WILLIAMS HQCO2G08
P O BOX 152206
IRVING TX 75015

ASMT: 427270047, APN: 427270047
ALMA ORTIZ, ETAL
21100 NORTH DR
NUEVO, CA. 92567

ASMT: 427260058, APN: 427260058
FRANCISCO GUTIERREZ, ETAL
C/O FRANCISCO GUTIERREZ
4927 BRIGGS AVE
LA CRESCENTA CA 91214

ASMT: 427270048, APN: 427270048
MAURICIO RAYMUNDO
30389 COEN LN
NUEVO, CA. 92567

ASMT: 427260059, APN: 427260059
JOHN HARRINGTON
4236 BETTINA AVE
SAN MATEO CA 94403

ASMT: 427270056, APN: 427270056
CATALINA MENDOZA, ETAL
P O BOX 745
NUEVO CA 92567

Agenda Item No.: 2.16
Supervisory District: Fourth/Fourth
Project Planner: Bahelila Boothe
Director's Hearing: June 17, 2013

PLOT PLAN NO: 24942
Applicant: David Abel
CEQA Exempt

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is a proposal to permit seven (7) existing unpermitted detached structures. This application includes an 81 square foot wood pump shed, two (2) 325 square foot separate detached wood tack/storage room totaling 650 square foot, a 175 square foot covered storage; a 1,882 square foot horse arena with metal structure and corral, a 968 square foot RV shade structure on 2.35 acres,.

ISSUES OF RELEVANCE:

The property currently has code violation (CV1101973) for unpermitted structures. The property has been reviewed and conditioned by Riverside County Flood Control and Environmental Health Department.

RECOMMENDATIONS:

APPROVAL of PLOT PLAN NO, 24942, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project has a primary dwelling on the parcel where the detached accessory building is proposed.
2. The project site is designated Community Development: Estate Density Residential (2 Acres Minimum) on the Western Coachella Valley Area Plan.
3. The proposed detached accessory uses are a permitted use in the general plan designation.
4. The proposed detached accessory buildings are a permitted use, subject to approval of a plot plan in the One Family Dwelling (R-1-12,000) zone.
5. The proposed detached accessory building uses are consistent with the development standards set forth in the R-1-12,000 zone.
6. The proposed 81 square foot wood framed pump shed, two (2) 325 square foot separate detached wood tack/storage room total 650 square foot, a 175 square foot covered storage, a 1,882 square foot horse arena with metal shade structures and corral, a 968 square foot RV shade structure are considered a detached accessory building under Section 18.18 of Ordinance No. 348.
7. The accessory buildings are located at least 50 feet from the main building or secondary living structures.

8. The accessory buildings are consistent with the character of the surrounding neighborhood.
9. The project conforms to Section 15303, (New Construction or Conversion of Small Structures), of the CEQA guidelines and is exempt from CEQA if the project meets the following conditions: Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to: "... (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences".

CONCLUSIONS:

1. The proposed project is in conformance with the Riverside County General Plan.
2. The proposed project is consistent with Section 18.18 of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. This detached accessory building has been determined to be exempt under Section 15303(e) (New Construction or Conversion of Small Structures) of the California Environmental Quality Act.

PLOT PLAN:ADMINISTRATIVE Case #: PP24942

Parcel: 607-040-071

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is to permit seven (7) existing detached structures previous constructed onsite without permits. This permit application includes: a 81 sq. ft. wood pump shed, two (2) 325 sq. ft. separate detached wood tack/storage rooms totaling 650 sq. ft., a 150 sq. ft. attached covered porch, a 175 sq. ft. covered storage, a 1,882 sq. ft. horse arena with metal shade structure and corral, a 968 sq. ft. RV shade structure on 2.35 acres,

10. EVERY. 2 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN NO. 24942; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

PLOT PLAN:ADMINISTRATIVE Case #: PP24942

Parcel: 607-040-071

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 24942 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 24942, Exhibit A (Sheets 1-4), Amended No. 1, dated March 7, 2012.

BS PLNCK. DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

The current proposal is to bring seven existing detached structures built without permits into compliance. All seven structures require finalized building permits prior to any further use or occupancy of the buildings/structures.

The applicant shall submit building plans with structural calculations and all other applicable information to the building department for review, approval, and permit issuance. All building department plan check submittal and fee requirements shall apply.

All building plans shall comply with current adopted California Building Codes and Riverside County Ordinances.

E HEALTH DEPARTMENT

10.E HEALTH. 1 PP#24942 - COMMENTS RECOMMND

Plot Plan#24942 is proposing to permit seven (7) existing detached structures previously constructed without permits. All seven (7) structures do not contain any plumbing. Per discussions with John Stanford (Architect), only one onsite wastewater treatment system (OWTS) exists at the property and is currently providing service to an existing primary residence built in 1978. The location of the existing OWTS was identified by Mr. Stanford on the plot plan exhibit for this planning case and does not appear to be encroached upon by the seven (7) existing structures. Based on the information provided to the Department of Environmental Health (DEH), no further information was required at time of planning case review. However, DEH reserves the right to regulate in accordance with County Ordinances, Uniform Plumbing Code, and DEH Technical Guidance Manual should further information indicate the requirements.

PLOT PLAN:ADMINISTRATIVE Case #: PP24942

Parcel: 607-040-071

10. GENERAL CONDITIONS

10.E HEALTH. 2 NO PLUMBING PROPOSED RECOMMND

Plot Plan#24942 is proposing to permit seven (7) existing structures currently without plumbing. No plumbing is proposed for this project.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD RPT 12/21/11 RECOMMND

Plot Plan No. 24942 is a proposal to permit seven (7) existing detached structures previously constructed onsite without permits. This permit application includes: a 81 square foot (sf.) pump shed, two (2) 325 sf. "tack"/storage rooms, a 150 sf. covered porch, a 175 sf. covered storage, a 1,882 sf. horse arena with metal shade structure and corral, and a 968 sf. RV shade structure. The site is located in the West Coachella Valley area, north of 41st Avenue, south of Emerald Creast Drive, and east of Yucca Lane. This case is associated with SBA05964, BXX057264, BXX062152 and CV1101973.

It should be noted that the District's review is limited to the water quality aspects contained in the WQMP only and that drainage aspects/impacts will be reviewed by other departments/agencies.

The development does not fall into any of the Priority Development Project categories as identified under the Colorado River Regional Water Quality Control Board Orders.

Therefore, a Water Quality Management Plan is not required. The District has no objections with the plot plan as shown on the exhibit.

PLANNING DEPARTMENT

10.PLANNING. 2 PPA - LANDUSE APPROVAL ONLY RECOMMND

The applicant or the applicant's successor in interest is notified through this condition that the approval granted on Plot Plan No. 24942 is for land use approval only, and has only met the requirements of Ordinance 348. Any requirements deemed necessary by another department or agency of Riverside County on a subsequent building permit are valid and may cause this approval by the Riverside County Planning Department as it stands to be rendered null and void or require significant revision. It is incumbent upon the applicant to research the acceptability of this

PLOT PLAN:ADMINISTRATIVE Case #: PP24942

Parcel: 607-040-071

10. GENERAL CONDITIONS

10.PLANNING. 2 PPA - LANDUSE APPROVAL ONLY (cont.) RECOMMND

proposal to all responsible departments and agencies prior to the acceptance of this approval. Responsible agencies include, but are not limited to the Fire Department, Environmental Health Department, the local Flood Control District, Building and Safety Department, Transportation Department, the Environmental Programs Department, the County Geologist, or the Transportation Land Management Agency.

10.PLANNING. 3 PPA - NO HOME OCCUPATIONS RECOMMND

No home occupations are permitted in an accessory structure or guest home.

From section 21.36 of Ordinance 348: Home Occupations:

Home occupations means those uses that are customarily conducted in a residence, provided such uses must be incidental and secondary to the principal use of a dwelling as a residence. The following criteria shall apply to any home occupation:

a. Except for large family day care homes which may require two assistants and small family day care homes which may require one assistant to be present in addition to the licensee or provider, no person other than a resident of the dwelling shall be employed on the premises in the conduct of a home occupation.

b. A home occupation shall be conducted entirely within the dwelling and shall be incidental and secondary to the use of the dwelling as a residence.

c. A home occupation shall not be conducted in an accessory structure and there shall be no storage of equipment or supplies in an accessory structure or outside building.

d. The residential character of the exterior and interior of the dwelling shall not be changed.

e. No vehicles or trailers except those normally incidental to residential use shall be kept on the site.

f. No signs other than one unlighted identification sign, not more than two square feet in area, shall be erected on the premises.

PLOT PLAN:ADMINISTRATIVE Case #: PP24942

Parcel: 607-040-071

10. GENERAL CONDITIONS

10.PLANNING. 4 PPA - ACSRY STRC NO HBTBL AREA RECOMMND

No habitable area has been approved with this approval. The addition of habitable area will require additional approvals.

10.PLANNING. 5 PPA - SETBACKS IN HIGH FIRE RECOMMND

Please be advised that the setbacks for structures within a County designated high fire areas have increased. It is advisable prior to the purchase of structure or prior to planning of a structure (such as hiring an architect or engineer to create plans) that the applicant should contact the Fire Department to make sure that the structure question meets those requirements.

Fire Department Planning
2300 Market Street, Suite 150
Riverside, CA 92501
951-955-4777

10.PLANNING. 6 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum

PLOT PLAN:ADMINISTRATIVE Case #: PP24942

Parcel: 607-040-071

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1 PPA - EXPIRATION DATE-PP (cont.) RECOMMND

of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

80. PRIOR TO BLDG PRMT ISSUANCE

PLANNING DEPARTMENT

80.PLANNING. 1 PPA - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 2 PPA - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

80.PLANNING. 3 PPA - EXISTING STRUCTURE RECOMMND

PRIOR TO BUILDING PERMIT ISSUANCE, the permittee or the permittee's successors-in-interest shall apply to the Building and Safety Department for all necessary permits, including the submission of all required documents and fees for any plan check review as determined by the Director of the Department of Building and Safety, to ensure that all existing buildings, structures and uses are in compliance with Ordinance No. 348 and Ordinance No. 457 and the conditions of approval of this permit.

2011 AERIAL



Selected parcel(s):
607-040-071

IMPORTANT

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Version 121101



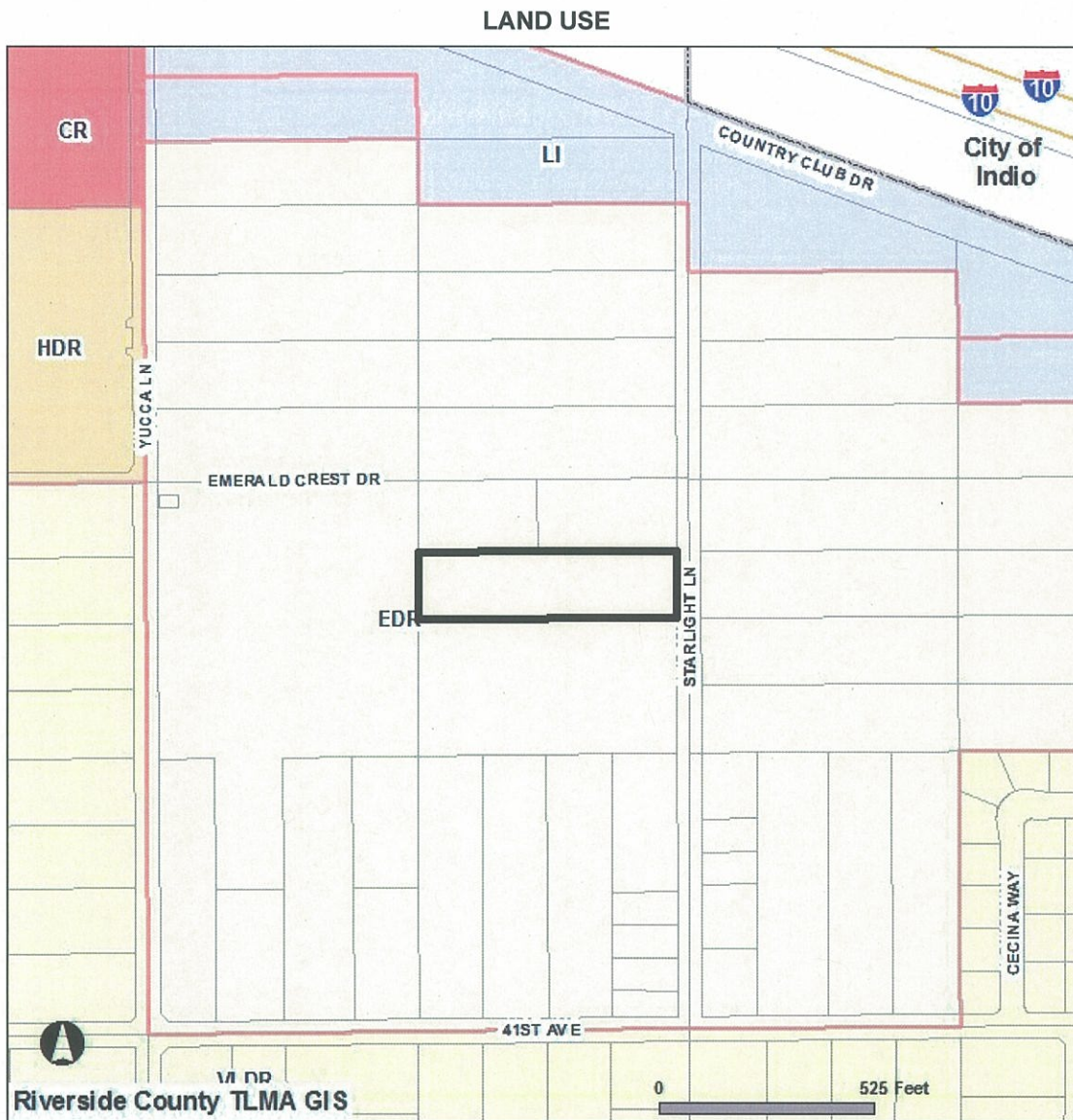
Selected parcel(s):
607-040-071

ZONING

- | | | | |
|-----------------|-----------------|----------|------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | CITY |
| PARCELS | ZONING BOUNDARY | C-P-S | I-P |
| R-1-12000 | R-2-3000 | W-2 | |

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Version 121101



Selected parcel(s):
607-040-071

LAND USE

- | | | | |
|-----------------------|-------------------------------------|----------------------------------|--------------------------------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | CITY |
| PARCELS | CR - COMMERCIAL RETAIL | EDR - ESTATE DENSITY RESIDENTIAL | HDR - HIGH DENSITY RESIDENTIAL |
| LI - LIGHT INDUSTRIAL | VLDL - VERY LOW DENSITY RESIDENTIAL | | |

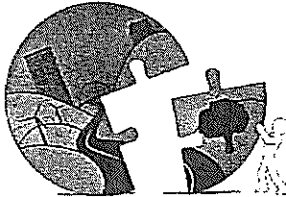
IMPORTANT

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Version 121101

210.00
WAC 2500



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP24942 DATE SUBMITTED: 5.12.2011

APPLICATION INFORMATION

Applicant's Name: DAVID ABEL E-Mail: DAVID@AKWCPA.COM

Mailing Address: 73.350 EL PASO # 201
PALM DESERT CA 92260
City State ZIP

Daytime Phone No: (760) 346-7413 Fax No: (760) 568-6839

Engineer/Representative's Name: JOHN STANFORD E-Mail: SLAARCH@AOL.COM

Mailing Address: 73.350 EL PASO # 207
PALM DESERT CA 92260
City State ZIP

Daytime Phone No: (760) 776-8478 Fax No: (760) 776-8477

Property Owner's Name: DAVID ABEL E-Mail: DAVID@AKWCPA.COM

Mailing Address: 73.350 EL PASO # 201
PALM DESERT CA 92260
City State ZIP

Daytime Phone No: (760) 346-7413 Fax No: (760) 568-6839

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR MINOR PLOT PLAN

Section: 7 Township: 55 Range: 7E

Approximate Gross Acreage: 2.35

General location (nearby or cross streets): North of 41st AVE, South of EMERALD CREST DRIVE East of YUCCA LANE, West of STARLIGHT LANE.

Thomas Brothers Map, edition year, page no., and coordinates: _____

**MINOR PLOT PLAN SUBMITTAL REQUIREMENTS FOR THE FOLLOWING APPLICATION TYPES:
(Note: All exhibits shall be folded to a maximum 8½" x 14" size)**

COMMERCIAL/INDUSTRIAL

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Current processing deposit-based fee.

ACCESSORY BUILDING

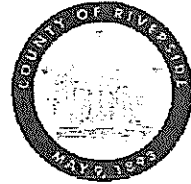
1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.
5. Color photographs of roofing material samples (or literature showing color/material samples). Actual roofing tiles will not be accepted.
6. A minimum of three (3) ground-level panoramic photographs (color prints) clearly showing the whole project site. Include a locational map identifying the position from which the photo was taken and the approximate area of coverage of each photograph.
7. Current processing deposit-based fee.

GUEST HOUSE

1. Completed Application form.
2. Six (6) scaled copies of a site plan showing all of the listed items (within the applicable case type column) as identified on the Minor Plot Plan Exhibit Requirements matrix.
3. Six (6) scaled copies of floor plan and elevations. See floor plan and elevation details described on page 12 for more information.
4. Color photographs of paint samples (or literature showing color samples) for the exterior of the structure.



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**



George A. Johnson
Agency Director

PP24942
SBA05904

Katherine Gifford Director, Administrative Services Department	Ron Goldman Director, Planning Department	Juan C. Perez Director, Transportation Department	Mike Lara Director, Building & Safety Department	John Boyd Director, Code Enforcement Department	Carolyn Syms Luna Director, Environmental Programs Department
--	--	--	---	---	---

LAND USE and PERMIT APPLICATION PROCESSING AGREEMENT
Agreement for Payment of Costs of Application Processing

TO BE COMPLETED BY APPLICANT:

This agreement is by and between the County of Riverside, hereafter "County of Riverside",
and DAVID ABEL hereafter "Applicant" and DAVID ABEL "Property Owner".

Description of application/permit use:

SETBACK ADJUSTMENT + MINOR PLOT PLAN FOR EXISTING RV
COVER STRUCTURE.

If your application is subject to Deposit-based Fee, the following applies

Section 1. Deposit-based Fees

Purpose: The Riverside County Board of Supervisors has adopted ordinances to collect "Deposit-based Fees" for the costs of reviewing certain applications for land use review and permits. The Applicant is required to deposit funds to initiate staff review of an application. The initial deposit may be supplemented by additional fees, based upon actual and projected labor costs for the permit. County departments draw against these deposited funds at the staff hourly rates adopted by the Board of Supervisors. The Applicant and Property Owner are responsible for any supplemental fees necessary to cover any costs which were not covered by the initial deposit.

Section 2. Applicant and Property Owner Responsibilities for Deposit-based Fee Applications

- A. Applicant agrees to make an initial deposit in the amount as indicated by County ordinance, at the time this Agreement is signed and submitted with a complete application to the County of Riverside. Applicant acknowledges that this is an initial deposit and additional funds may be needed to complete their case. The County of Riverside will not pay interest on deposits. Applicant understands that any delays in making a subsequent deposit from the date of written notice requesting such additional deposit by County of Riverside, may result in the stoppage of work.
- B. Within 15 days of the service by mail of the County of Riverside's written notice that the application permit deposit has been reduced to a balance of less than 20% of the initial deposit or that the deposit is otherwise insufficient to cover the expected costs to completion, the Applicant agrees to make an additional payment of an amount as determined by the County of Riverside to replenish the deposit. Please note that the processing of the application or permit may stop if the amount on deposit has been expended. The Applicant agrees to continue making such payments until the County of Riverside is reimbursed for all costs related to this application or permit. The County of Riverside is entitled to recover its costs, including attorney's fees, in collecting unpaid accounts that would have been drawn on the deposit were it not depleted.
- C. The Property Owner acknowledges that the Applicant is authorized to submit this agreement and related application(s) for land use review or permit on this property. The Property Owner also acknowledges that should the Applicant not reimburse the County of Riverside for all costs related to this application or permit, the Property Owner shall become immediately liable for these costs which shall be paid within 15 days of the service by mail of notice to said property Owner by the County.

- D. This Agreement shall only be executed by an authorized representative of the Applicant and the Property Owner. The person(s) executing this Agreement represents that he/she has the express authority to enter into this agreement on behalf of the Applicant and/or Property Owner.
- E. This Agreement is not assignable without written consent by the County of Riverside. The County of Riverside will not consent to assignment of this Agreement until all outstanding costs have been paid by Applicant.
- F. Deposit statements, requests for deposits or refunds shall be directed to Applicant at the address identified in Section 4.

Section 3. To ensure quality service, Applicant is responsible to provide one-week written notice to the County of Riverside Transportation and Land Management Agency (TLMA) Permit Assistance Centers if any of the information below changes.

Section 4. Applicant and Owner Information

1. PROPERTY INFORMATION:

Assessors Parcel Number(s): 607.040.071

Property Location or Address:
40-601 STARLIGHT LANE, BERMDA DUNES

2. PROPERTY OWNER INFORMATION:

Property Owner Name: DAVID ABEL Phone No.: 760.346.7413

Firm Name: _____ Email: DAVID@AKWCPA.COM

Address: 73.35 EL PASEO DRIVE #201
PALM DESERT, CA 92260

3. APPLICANT INFORMATION:

Applicant Name: SAME Phone No.: _____

Firm Name: _____ Email: _____

Address (if different from property owner)

4. SIGNATURES:

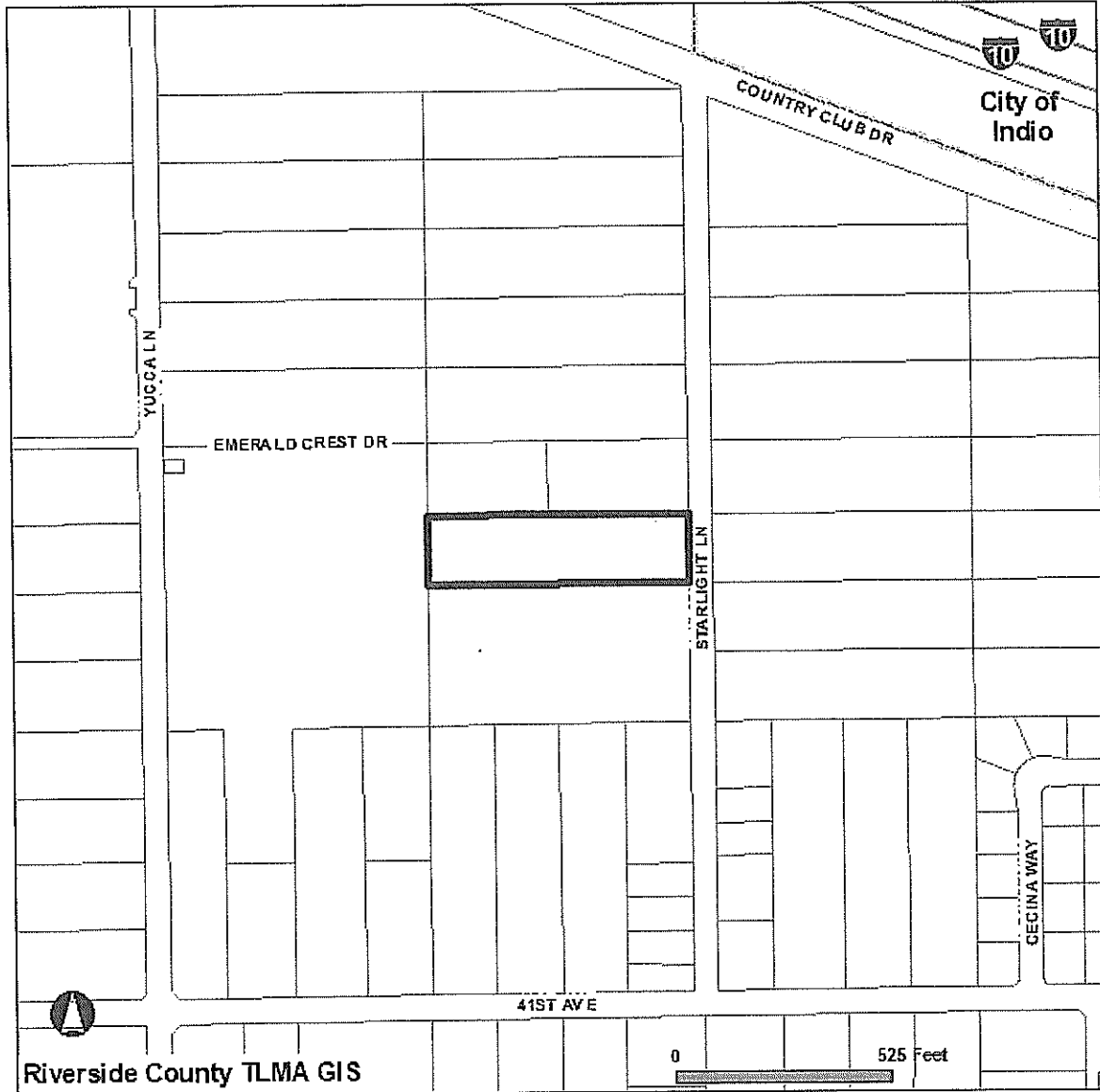
Signature of Applicant: David Abel Date: 5/12/11
Print Name and Title: DAVID L. ABEL

Signature of Property Owner: David Abel Date: 5/12/11
Print Name and Title: DAVID LABEL

Signature of the County of Riverside, by _____ Date: _____
Print Name and Title: _____

FOR COUNTY OF RIVERSIDE USE ONLY	
Application or Permit (s)#: _____	
Set #: _____	Application Date: _____

RIVERSIDE COUNTY GIS



Selected parcel(s):
607-040-071

IMPORTANT

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STANDARD WITH PERMITS REPORT

APNs

607-040-071-3

OWNER NAME / ADDRESS

DAVID LABEL
VALERIE ABEL
40801 STARLIGHT LN
INDIO, CA. 92203

MAILING ADDRESS

(SEE OWNER)
73350 EL PASEO DR STE 201
PALM DESERT CA. 92260

LEGAL DESCRIPTION

LEGAL DESCRIPTION IS NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 2.35 ACRES

PROPERTY CHARACTERISTICS

WOOD FRAME, 2749 SQFT., 3 BDRM/ 3.5 BATH, 1 STORY, DETACHED GARAGE(625 SQ. FT), CONST'D 1978COMPOSITION, ROOF, CENTRAL HEATING, CENTRAL COOLING

THOMAS BROS. MAPS PAGE/GRID

PAGE: 819 GRID: F3, G3

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY
CITY SPHERE: PALM DESERT
ANNEXATION DATE: NOT APPLICABLE
LAFCO CASE #: NOT APPLICABLE
PROPOSALS: NOT APPLICABLE

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT (ORD. 813)

JOHN BENOIT, DISTRICT 4

TOWNSHIP/RANGE

T5SR7E SEC 7

ELEVATION RANGE

100/100 FEET

PREVIOUS APN

607-040-019

PLANNING

LAND USE DESIGNATIONS

Zoning not consistent with the General Plan.
EDR

AREA PLAN (RCIP)

WESTERN COACHELLA VALLEY

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

R-1-12000

ZONING DISTRICTS AND ZONING AREAS

BERMUDA DUNES DISTRICT

ZONING OVERLAYS

IN OR PARTIALLY WITHIN THE BERMUDA DUNES NEIGHBORHOOD PRESERVATION OVERLAY

SPECIFIC PLANS

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE

NOT IN AN AGRICULTURAL PRESERVE

REDEVELOPMENT AREAS

NOT IN A REDEVELOPMENT AREA

AIRPORT INFLUENCE AREAS

BERMUDA DUNES

AIRPORT COMPATIBILITY ZONES

BERMUDA DUNES ZONE B1
BERMUDA DUNES ZONE C

ENVIRONMENTAL

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA
NOT IN A CONSERVATION AREA

CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS
NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP
NOT IN A CELL GROUP

WRMSHCP CELL NUMBER
NOT IN A CELL

HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEW PROCESS)
NONE

VEGETATION (2005)
NO DATA AVAILABLE

FIRE

HIGH FIRE AREA (ORD. 787)
NOT IN A HIGH FIRE AREA

FIRE RESPONSIBILITY AREA
NOT IN A FIRE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP FEE AREA (ORD. 875)
WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

WRMSHCP FEE AREA (ORD. 810)
NOT WITHIN THE WESTERN RIVERSIDE COUNTY MSHCP FEE AREA

ROAD & BRIDGE DISTRICT
NOT IN A DISTRICT

EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)
IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION.
In EAST

WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)
NOT WITHIN THE WESTERN TUMF FEE AREA

DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)
WESTERN COACHELLA VALLEY

SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)
NOT WITHIN AN SKR FEE AREA.

DEVELOPMENT AGREEMENTS
NOT IN A DEVELOPMENT AGREEMENT AREA

TRANSPORTATION

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY
NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY

ROAD BOOK PAGE
207A

TRANSPORTATION AGREEMENTS
NOT IN A TRANSPORTATION AGREEMENT

NOT IN A CETAP CORRIDOR.

HYDROLOGY

FLOOD PLAIN REVIEW
NOT REQUIRED.

WATER DISTRICT
CVWD

FLOOD CONTROL DISTRICT
COACHELLA VALLEY WATER DISTRICT

WATERSHED
WHITEWATER

GEOLOGIC

FAULT ZONE
NOT IN A FAULT ZONE

FAULTS
NOT WITHIN A 1/2 MILE OF A FAULT

LIQUEFACTION POTENTIAL
MODERATE

SUBSIDENCE
SUSCEPTIBLE

PALEONTOLOGICAL SENSITIVITY
LOW POTENTIAL.
FOLLOWING A LITERATURE SEARCH, RECORDS CHECK AND A FIELD SURVEY, AREAS MAY BE DETERMINED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST AS HAVING LOW POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES SUBJECT TO ADVERSE IMPACTS.

MISCELLANEOUS

SCHOOL DISTRICT
DESERT SANDS UNIFIED

COMMUNITIES
BERMUDA DUNES

COUNTY SERVICE AREA
NOT IN A COUNTY SERVICE AREA.

LIGHTING (ORD. 655)
ZONE B, 42.70 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT
045206

FARMLAND
URBAN-BUILT UP LAND

TAX RATE AREAS
075004
•CITRUS PEST CONTROL 2
•COACH VAL CO WTR STORM WTR UNIT
•COACHELLA VAL JT BLO HIGH
•COACHELLA VALLEY COUNTY WATER
•COACHELLA VALLEY PUBLIC CEMETERY
•COACHELLA VALLEY REC AND PARK
•COACHELLA VALLEY RESOURCE CONSER
•COUNTY FREE LIBRARY
•COUNTY STRUCTURE FIRE PROTECTION
•COUNTY WASTE RESOURCE MGMT DIST
•CSA 152
•CV MOSQ & VECTOR CONTROL
•CVC WTR IMP DST 1 DEBT SV
•DESERT COMMUNITY COLLEGE

- DESERT SANDS UNIFIED SCHOOL
- GENERAL
- GENERAL PURPOSE
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- SUPERVISORIAL ROAD DISTRICT 4

SPECIAL NOTES

PLEASE REFER TO ORDINANCE 457.96 FOR COACHELLA VALLEY AGRICULTURAL GRADING EXEMPTIONS.

CODE COMPLAINTS

Case #	Description	Start Date
CV1101973	NEIGHBORHOOD ENFORCEMENT	Mar. 21, 2011

BUILDING PERMITS

Case #	Description	Status
339638	REMDLE & RM ADDITION 781SF	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
349342	PILATERS - 9	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ313085	P/C DWLG & ATT GARAGE	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ316981	DWLG & ATT GAR	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017
BZ317367	CONST TR	CONTACT THE BUILDING AND SAFETY RECORDS DEPARTMENT AT 951-955-2017

ENVIRONMENTAL HEALTH PERMITS

Case #	Description	Status
NO ENVIRONMENTAL PERMITS	NOT APPLICABLE	NOT APPLICABLE

PLANNING PERMITS

Case #	Description	Status
CZ07697	ORD AMD 348.4636 TO EST PROPERTY MAINT STANDARDS	APPROVED
PP24942	PROPOSED STRUCTURE OF 22' X 44' OPEN 3 SIDES OPEN	APPLIED
SBA05964	REQUESTING A SETBACK ADJUSTMENT AT SIDE YARD FROM	APPLIED

REPORT PRINTED ON...Tue Jul 12 09:04:17 2011
Version 110502

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 12/18/2012,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP 24942 For

Company or Individual's Name Planning Department,

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

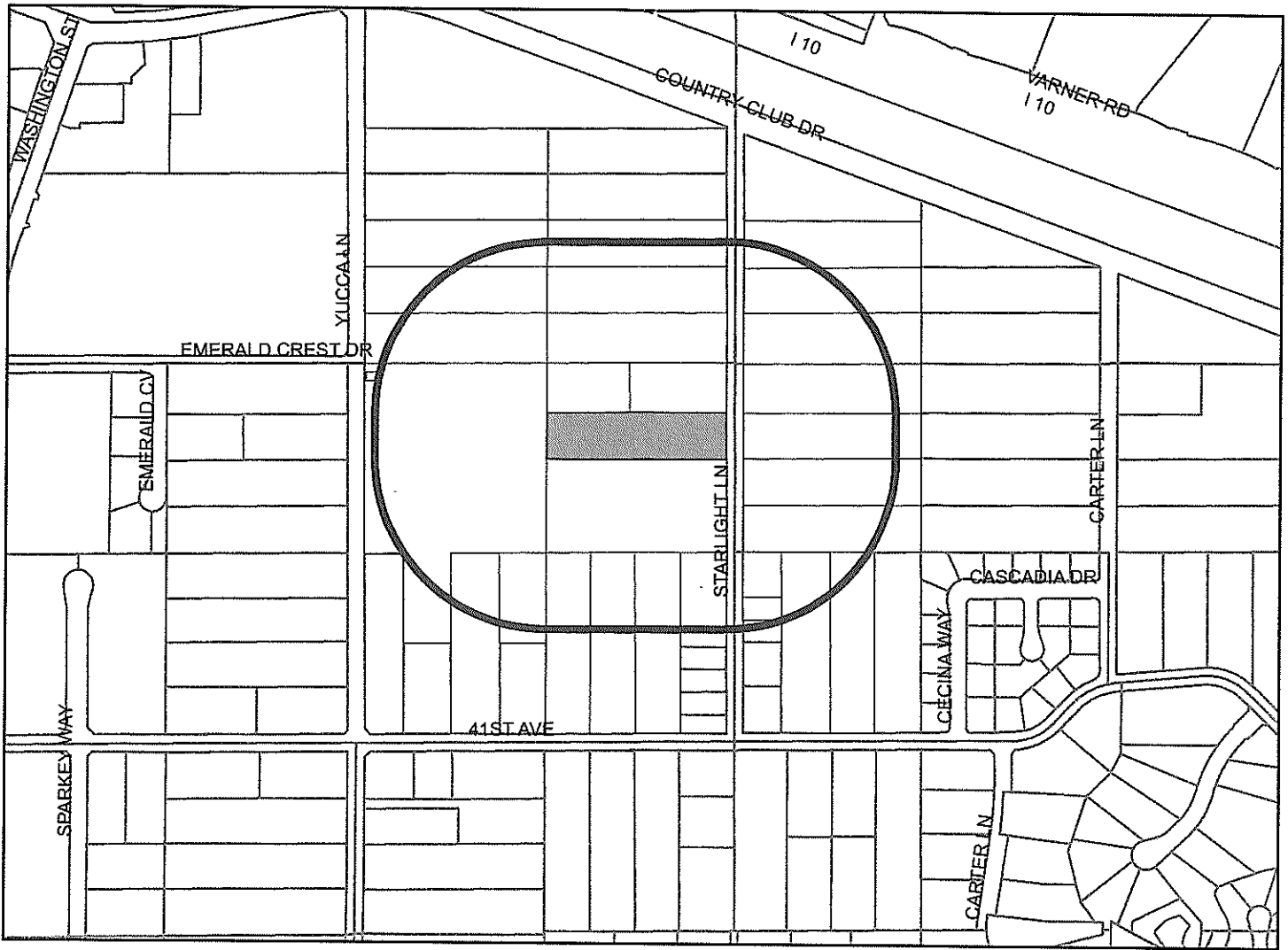
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

PP24942 (600 feet buffer)



Selected Parcels

607-020-031	607-040-072	607-050-029	607-040-069	607-040-021	607-040-071	607-050-027	607-040-023	607-020-033	607-020-037
607-061-006	607-061-022	607-040-048	607-061-021	607-032-013	607-050-028	607-040-073	607-020-032	607-040-022	607-040-031
607-061-020	607-050-030	607-040-043	607-040-070	607-040-064	607-032-011	607-020-038	607-032-012	607-061-007	607-020-036



525 262.5 0 525 Feet

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ASMT: 607020031, APN: 607020031
BUTTERCUP VENTURES LTD
C/O GLENN E PATCH
P O BOX 2688
TITUSVILLE FL 32781

ASMT: 607032012, APN: 607032012
VICKI ROBERTSON, ETAL
40400 STARLIGHT LN
INDIO, CA. 92201

ASMT: 607020032, APN: 607020032
MAX ROSS
40450 YUCCA LN
BERMUDA DUNES CA 92203

ASMT: 607032013, APN: 607032013
CIDRA RAYES, ETAL
76852 NEW YORK AVE
PALM DESERT CA 92211

ASMT: 607020033, APN: 607020033
FLORA ABARCA
50735 CALLE QUITO
LA QUINTA CA 92253

ASMT: 607040021, APN: 607040021
HAYLEY FRENCH, ETAL
53355 AVENIDA JUAREZ
LA QUINTA CA 92253

ASMT: 607020036, APN: 607020036
DESDA MONAGHAN, ETAL
43170 WARNER TR
PALM DESERT CA 92211

ASMT: 607040022, APN: 607040022
JEANNE KAUFER, ETAL
411 HOMEWOOD RD
LOS ANGELES CA 90049

ASMT: 607020037, APN: 607020037
GERALD HIGHTOWER
40405 STARLIGHT LN
INDIO, CA. 92201

ASMT: 607040023, APN: 607040023
YVONNE WALL, ETAL
78450 41ST AVE
BERMUDA DUNES CA 92203

ASMT: 607020038, APN: 607020038
TOMMY ARCHULETA
40485 STARLIGHT LN
INDIO, CA. 92201

ASMT: 607040031, APN: 607040031
MYOMA DUNES WATER CO
79050 AVENUE 42
BERMUDA DUNES CA 92201

ASMT: 607032011, APN: 607032011
ROBERT ROSZTOCZY, ETAL
C/O ARIZONA MACHINERY
11111 W MCDOWELL RD
AVONDALE AZ 85323

ASMT: 607040043, APN: 607040043
THERESA ROISUM, ETAL
C/O THERESA R ROISUM
78330 AVENUE 41
BERMUDA DUNES CA 92203



ASMT: 607040048, APN: 607040048
KELLY BRUNER, ETAL
78451 EMERALD CREST DR
INDIO, CA. 92203

ASMT: 607050027, APN: 607050027
DEL GULDICE INV INC
42104 WASHINGTON ST
BERMUDA DUNES CA 92203

ASMT: 607040064, APN: 607040064
MELINDA DOUGHERTY, ETAL
78350 AVENUE 41
BERMUDA DUNES CA 92203

ASMT: 607050028, APN: 607050028
ANGIE DURAN, ETAL
49245 BALADA CT
LA QUINTA CA 92253

ASMT: 607040069, APN: 607040069
COUNTY OF RIVERSIDE
C/O REAL ESTATE DIVISION
P O BOX 1180
RIVERSIDE CA 92502

ASMT: 607050029, APN: 607050029
CLARISSA SIVA
40600 STARLIGHT LN
BERMUDA DUNES CA 92264

ASMT: 607040070, APN: 607040070
BONNIE AUSTIN, ETAL
40555 STARLIGHT LN
BERMUDA DUNES CA 92203

ASMT: 607050030, APN: 607050030
ENID FERRAUD, ETAL
40700 STARLIGHT LN
BERMUDA DUNES CA 92203

ASMT: 607040071, APN: 607040071
VALERIE ABEL, ETAL
73350 EL PASEO DR STE 201
PALM DESERT CA 92260

ASMT: 607061006, APN: 607061006
JULI VENHAUS, ETAL
78550 AVENUE 41
BERMUDA DUNES CA 92203

ASMT: 607040072, APN: 607040072
CHRISTIAN SCHOOL OF THE DESERT
40700 YUCCA LN
BERMUDA DUNES CA 92201

ASMT: 607061007, APN: 607061007
VITTORIO BIONDI
78580 AVENUE 41
BERMUDA DUNES CA 92203

ASMT: 607040073, APN: 607040073
OLGA GILBERT, ETAL
80773 BROWN AVE
INDIO CA 92201

ASMT: 607061020, APN: 607061020
OMAR GARZA
40754 STARLIGHT LN
BERMUDA DUNES CA 92203



ASMT: 607061021, APN: 607061021
JESSIE LEMBECK, ETAL
40780 STARLIGHT LN
BERMUDA DUNES CA 92203

ASMT: 607061022, APN: 607061022
HERMELINDA CARDONA
P O BOX 1011
PALM DESERT CA 92261



Agenda Item No.: 2.7
Area Plan: Temescal Canyon
Zoning District: East Corona
Supervisory District: Second/Second
Project Planner: Damaris Abraham
Director's Hearing: June 17, 2013

PLOT PLAN NO. 24306
Environmental Assessment No. 42233
Applicant: Khalod Shkoukani
Engineer/Representative: RamCam
Engineering Group, Inc.

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The plot plan proposes a vehicle storage and impoundment facility. The project includes a 320 square foot office trailer with two (2) parking spaces. A maximum of 55 small and 8 large impounded vehicles are proposed to be stored at the site. No damaged or inoperable vehicles are to be stored at the facility.

The project is located on the northerly side of Magnolia Avenue and westerly of Lincoln Street.

ISSUES OF POTENTIAL CONCERN:

The project site has a current Code Violation (CV0801557 and CV0801559) this application for the vehicle impound facility should take care of that violation, if approved.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use: Community Development: Light Industrial (CD:LI) (0.25 to 0.60 Floor Area Ratio)
2. Surrounding General Plan Land Use: City of Corona to the north
Community Development: Commercial Retail (CD: CR) (0.20 to 0.35 Floor Area Ratio) and
Community Development: High Density Residential (CD: HDR) (2-5 Dwelling Units per Acre) to the south
Community Development: Light Industrial (CD:LI) (0.25 to 0.60 Floor Area Ratio) to the east and west
3. Existing Zoning: Manufacturing-Service Commercial (M-SC)
4. Surrounding Zoning: City of Corona to the north
General Commercial (C-1/C-P) and General Residential (R-3) to the south
Manufacturing-Service Commercial (M-SC) to the east and west
5. Existing Land Use: Unpermitted towing business
6. Surrounding Land Use: Vacant to the north
Apartments and commercial uses to the south
Storage facilities and industrial uses to the east and west
7. Project Data: Total Acreage: 1
Total Building Area: 320 sq. ft.
8. Environmental Concerns: See attached environmental assessment

D.M.

RECOMMENDATIONS:

ADOPTION of a **NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42233**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **PLOT PLAN NO. 24306**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Light Industrial (CD:LI) (0.25 to 0.60 Floor Area Ratio) on the Temescal Canyon Area Plan.
2. The Light Industrial land use designation allows for a wide variety of light industrial uses and related uses, including, but not limited to, assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers and supporting retail uses.
3. The project site is surrounded by properties which are located in the City of Corona to the north and designated Community Development: Light Industrial (CD:LI) (0.25 to 0.60 Floor Area Ratio) to the east and west and Community Development: Commercial Retail (CD: CR) (0.20 to 0.35 Floor Area Ratio) and Community Development: High Density Residential (CD: HDR) (2-5 Dwelling Units per Acre) to the south.
4. The zoning for the subject site is Manufacturing-Service Commercial (M-SC).
5. The proposed use, vehicle storage and impoundment facility, is a permitted use, subject to approval of a plot plan in the M-SC zone, in accordance with Section 11.2.b. (1) (k) 7 of Ordinance No. 348.
6. The proposed use, vehicle storage and impoundment facility, is consistent with the development standards (for lot size, setbacks, height requirements, walls, landscaping, parking areas, outside storage areas, and lighting) set forth in the M-SC zone.
7. The project site is surrounded by properties which are located in the City of Corona to the north and zoned General Commercial (C-1/C-P) and General Residential (R-3) to the south and Manufacturing-Service Commercial (M-SC) to the east and west.
8. Similar uses have been constructed and are operating in the project vicinity.
9. This project is not located within Criteria Area of the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSCHP).
10. This project is within the City Sphere of Influence of Corona. In accordance with the Memorandum of Understanding (MOU) between the County and the cities of Riverside, Corona, and Moreno Valley, dated March 12, 2002; a copy of the proposal was transmitted to the city of Corona on December 29, 2009 with a request for comments. No comments have been received from the City staff regarding this project. Therefore, the County has complied with the requirements of the MOU.

11. Environmental Assessment No. 42233 concluded that there are no potentially significant impacts from the project proposal.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Light Industrial (CD:LI) (0.25 to 0.60 Floor Area Ratio) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Manufacturing-Service Commercial (M-SC) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP).

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A fault zone;
 - b. A high fire area;
 - c. An area drainage plan; or,
 - d. The Stephens Kangaroo Rat Fee Area.
3. The project site is located within:
 - a. Areas of Flooding Sensitivity;
 - b. The City of Corona sphere of influence;
 - c. The boundaries of the Alvord Unified School District;
 - d. An area susceptible to subsidence;
 - e. An area with High Paleontological sensitivity; and,
 - f. An area with high liquefaction potential.
4. The subject site is currently designated as Assessor's Parcel Numbers 172-110-007 and 172-110-008.

PP24306



Selected parcel(s):
 172-110-007 172-110-008

LEGEND

- SELECTED PARCEL
- N INTERSTATES
- N HIGHWAYS
- PARCELS
- CITY

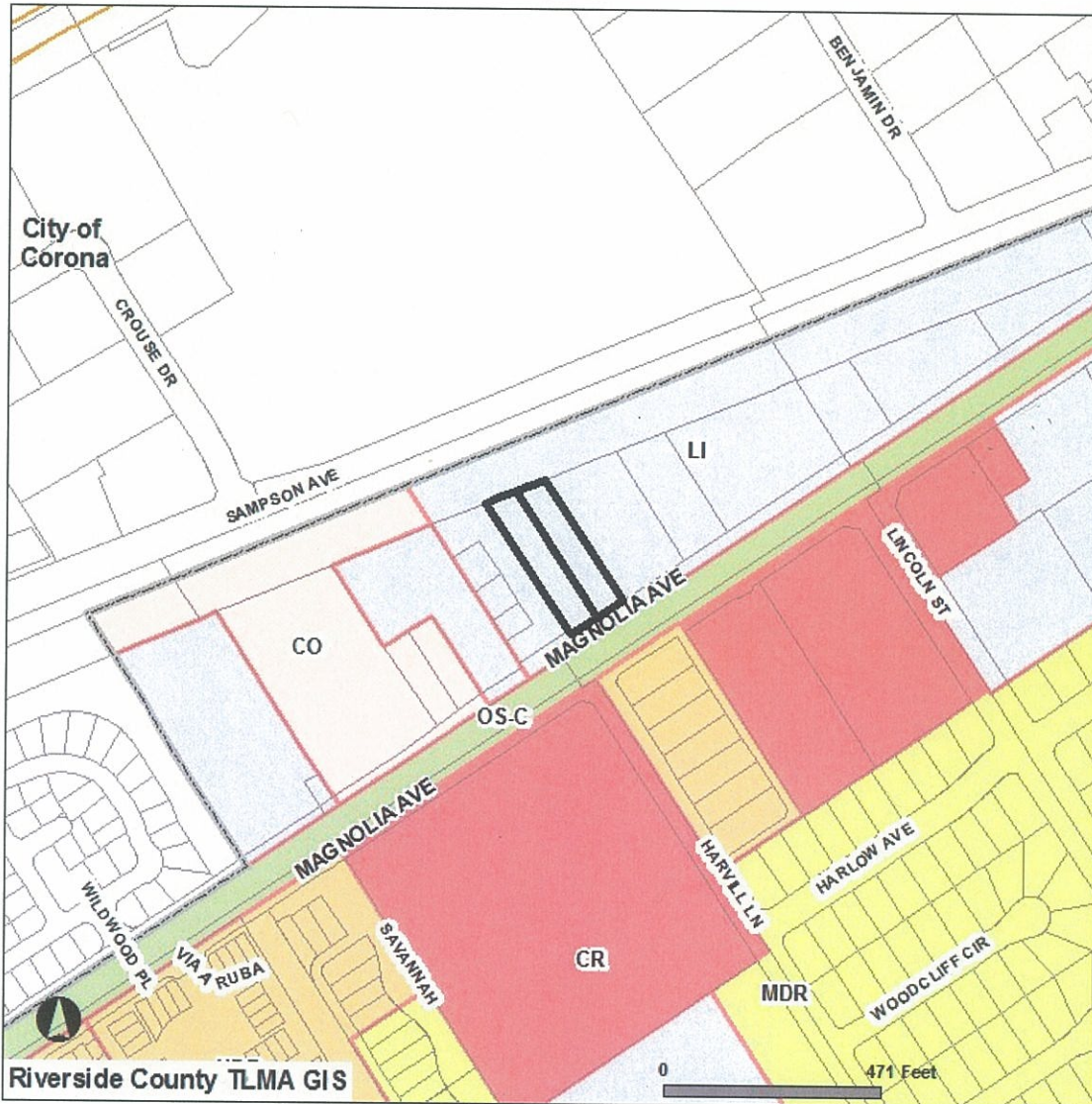
IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Mon Feb 04 10:06:41 2013

Version 121101

PP24306



Selected parcel(s):
172-110-007 172-110-008

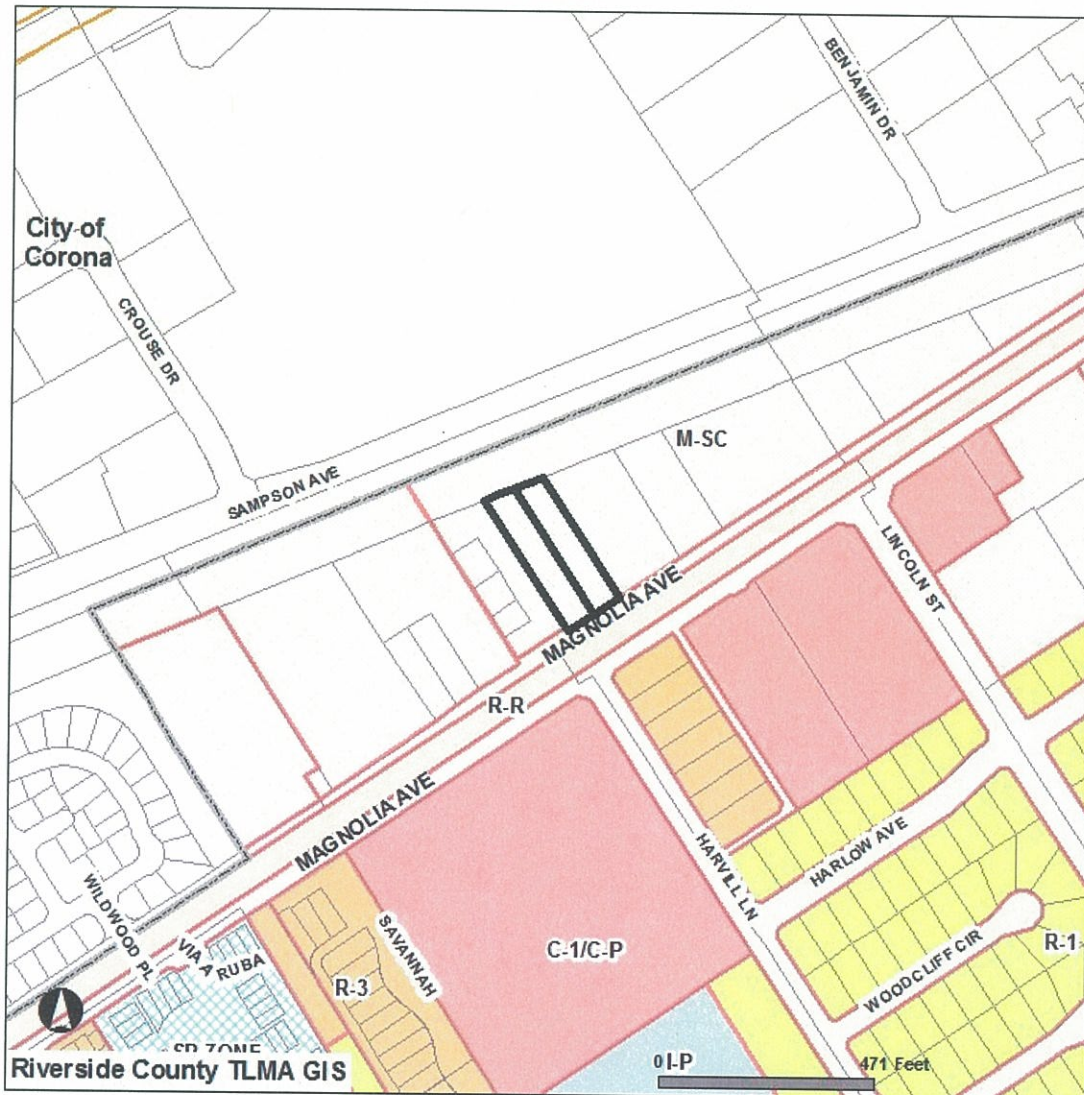
LAND USE

- | | | | |
|-----------------------|----------------------------------|------------------------|--------------------------------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | CITY |
| PARCELS | CO - COMMERCIAL OFFICE | CR - COMMERCIAL RETAIL | HDR - HIGH DENSITY RESIDENTIAL |
| LI - LIGHT INDUSTRIAL | MDR - MEDIUM DENSITY RESIDENTIAL | OS-C - CONSERVATION | |

IMPORTANT
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REPORT PRINTED ON...Mon Feb 04 10:10:18 2013
Version 121101

PP24306



Selected parcel(s):
172-110-007 172-110-008

ZONING

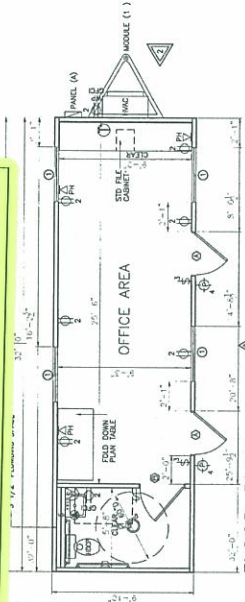
- | | | | |
|-----------------|-----------------|----------|------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | CITY |
| PARCELS | ZONING BOUNDARY | C-1/C-P | I-P |
| M-SC | R-1 | R-3 | R-R |
| SP ZONE | | | |

IMPORTANT
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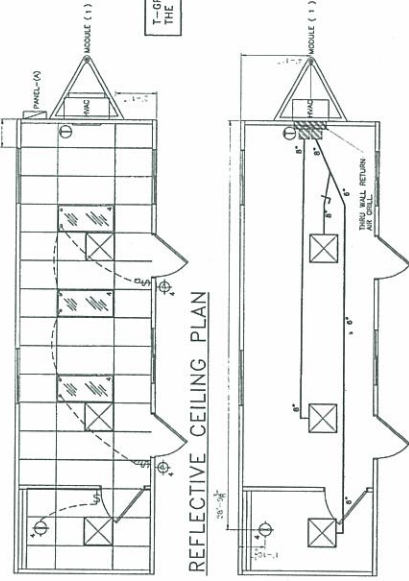
REPORT PRINTED ON...Mon Feb 04 10:10:47 2013
Version 121101

CASE: PP24306, AMD.#2
EXHIBIT: B & C
DATE: 12/13/12
PLANNER: D. ABRAHAM

PROVIDE MBI SEALS ON UNIT



FLOOR PLAN
 SCALE: 1/4" = 1'-0"



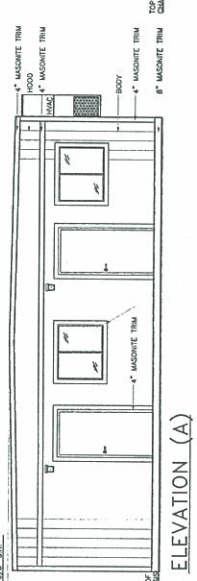
REFLECTIVE CEILING PLAN

T-GRID CEILING TO BE OVER THE WALL



MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"

PROVIDE DEALER LOGOS ON UNIT

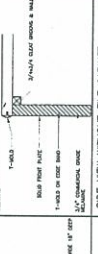


ELEVATION (A)



ELEVATION (C)

DESKTOP DETAILS



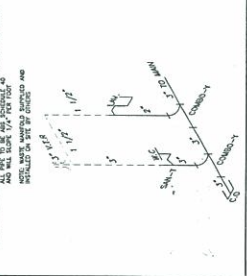
FRONT VIEW DESKTOP DETAIL

SIDE VIEW WITHOUT FILE CABINET CONNECTION DETAIL

COLD & HOT SCHEMATIC
 WATER PRESSURE: 60 PSI TO THE SUPPLY; COPPER (TYPE M)



WASTE & VENT SCHEMATIC
 1/2" DIA. VENT PIPE, 1/2" DIA. VENT PIPE



PLAN TABLE ELEVATION
 (EXTERIOR BUILDING) PAINT SCHEDULE (C1) PAINTS

BODY/HOOD:	E-38 W/HPGT ONLY
VERTICAL CORNER TRIM:	E2360 ROOFING
VERTICAL MOLDLINE TRIM:	N/A
Z-BAR TRIM:	TO MATCH BODY/HOOD COLOR
EXTERIOR WINDOW/DOOR TRIM:	E2360 ROOFING
TOP/BOTTOM HORIZ. TRIM:	E2360 ROOFING
CALLOUTS:	FACTORY STANDARD

ELECTRICAL SCHEDULE				FINISH SCHEDULE			
SYMBOL	DESCRIPTION	QUANTITY	REMARKS	SYMBOL	DESCRIPTION	QUANTITY	REMARKS
1	120V 15A BRK. CIRCUIT	1	FOR LIGHTING	1	1/2" DIA. VENT PIPE	1	1/2" DIA. VENT PIPE
2	120V 20A BRK. CIRCUIT	1	FOR LIGHTING	2	1/2" DIA. VENT PIPE	2	1/2" DIA. VENT PIPE
3	120V 30A BRK. CIRCUIT	1	FOR LIGHTING	3	1/2" DIA. VENT PIPE	3	1/2" DIA. VENT PIPE

PLUMBING SCHEDULE		CONSTRUCTION NOTES	
SYMBOL	DESCRIPTION	FLOOR	REMARKS
1	3" DIA. VENT PIPE	1	1/2" DIA. VENT PIPE
2	2" DIA. VENT PIPE	2	1/2" DIA. VENT PIPE

GENERAL NOTES - CALIFORNIA

1. SEE OCCUPANT AND TYPE, WITH CONSTRUCTION.
2. REMAIN UNCHANGED UNLESS SPECIFIED OTHERWISE.
3. FROM FACTORY OR AS SHOWN IN PROJECT LITERATURE.
4. EXISTING AS NOTED IN THE FIELD.
5. SEE THE ARCHITECT'S NOTES FOR ANY SPECIFIC NOTES ON THIS UNIT.
6. THIS UNIT SHALL BE INSTALLED IN ACCORDANCE WITH THE 1991 CALIFORNIA MECHANICAL CODE WITH THE 2007 CALIFORNIA ELECTRICAL CODE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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13. SEPARATE TABLE TOPS TO BE PROVIDED FOR EACH SEAT IN THE UNIT.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
17. LOCATION OF UNIT: STOCK UNIT

GENERAL NOTES - NEW YORK

1. SEE OCCUPANT AND TYPE, WITH CONSTRUCTION.
2. REMAIN UNCHANGED UNLESS SPECIFIED OTHERWISE.
3. FROM FACTORY OR AS SHOWN IN PROJECT LITERATURE.
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16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
17. LOCATION OF UNIT: STOCK UNIT

STATE REQUIRED INFORMATION ON USE AND LOCATION OF FACTORY-BUILT BUILDING

1. OCCUPANT AND TYPE: 1991 UIC, 1991 UIC, 1991 UIC.
2. REMAIN UNCHANGED UNLESS SPECIFIED OTHERWISE.
3. FROM FACTORY OR AS SHOWN IN PROJECT LITERATURE.
4. EXISTING AS NOTED IN THE FIELD.
5. SEE THE ARCHITECT'S NOTES FOR ANY SPECIFIC NOTES ON THIS UNIT.
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17. LOCATION OF UNIT: STOCK UNIT

CASE: PP24306, AMD. #2
 EXHIBIT: G
 DATE: 4/24/13
 PLANNER: D. ABRAHAM

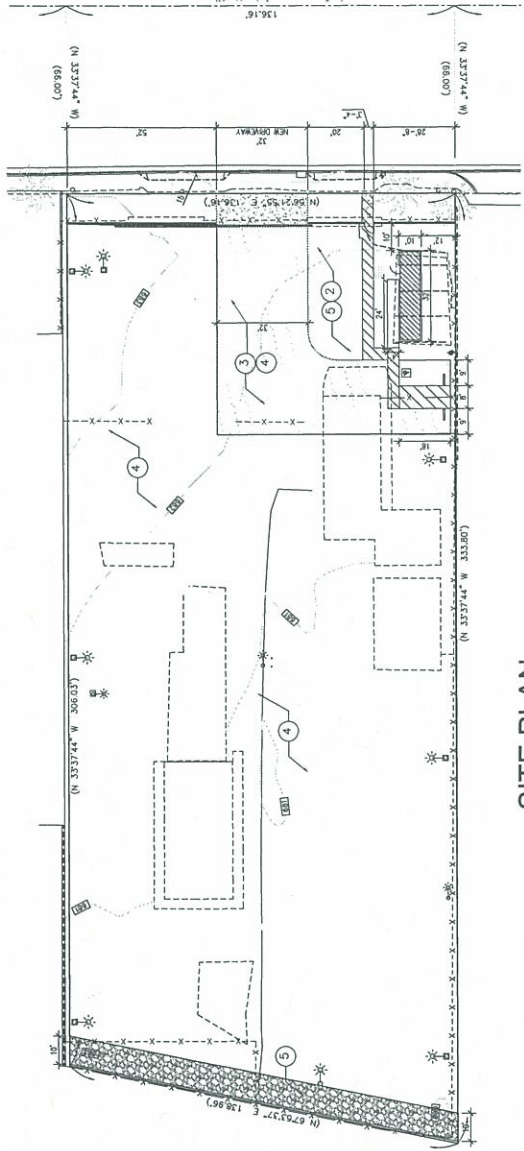


TREATMENT CONTROL BMPs

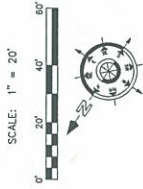
- VOLUME BASED
- ⑤ INFILTRATION TRENCH AT 1,300 SFT
- SOURCE DESIGN BMPs
- ① SD-10: SITE DESIGN & LANDSCAPE PLANNING
- ② SD-12: EFFICIENT IRRIGATION
- ③ STREET SWEEPING
- ④ COMMON AREA LITTER CONTROL

PROJECT DATA:
 LOT AREA: 43,659 S.F. (1-AC.)
 PROPOSED TRAILER BUILDING: (8'x32') 246 S.F.
 PARKING PROVIDED: 1 VAN ACCESSIBLE STALL
 1 STANDARD STALL

ZONING: M-SC
APN: 172-110-007-3 & 172-110-008-4

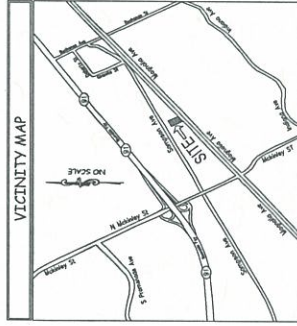


SITE PLAN



INFILTRATION TRENCH

1. COARSE AGGREGATE SHALL MEET ONE OF THE FOLLOWING: MSHTO #67 OR #5
2. COARSE AGGREGATE SHALL MEET THE FOLLOWING:
 - a. WEIGHT OF GEOTEXTILE (0.2/50/0) MIN.
 - b. TENSILE STRENGTH (LB) ASTM D4632
 - c. PUNCTURE (LB) ASTM D 4832
 - d. PUNCTURE (LB) ASTM D 4833
 - e. ULTRAVIOLET LIGHT (2% RESIDUAL TENSILE STRENGTH) ASTM D 4791
3. APPARENT OPENING SIZE (AOS) ASTM D 4751
4. SIEVE PERCENTAGE SEC.-1 ASTM D 4491
5. GEOTEXTILE SPICES SHALL OVERLAP 18 INCH MINIMUM.



WQMP

FORM NO. 1
 SHEET NUMBER

1 OF 1

AUTO-1 TEMPORARY IMPOUND FACILITY
 MAGNOLIA AVENUE, RIVERSIDE, CA

PP CASE # 24306

CLIENT:

PROJECT: RC-11331

REVISIONS:

NO.	DATE	DESCRIPTION
1	01.24.2012	PRELIMINARY
2		PLAN CHECK
3		BACK CHECK
4		BID
5		CONSTRUCTION
6		RECORD
7		SHEET TITLE

DATES: 01.24.2012

PRELIMINARY

PLAN CHECK

BACK CHECK

BID

CONSTRUCTION

RECORD

SHEET TITLE

CASE: PP24306, AMD.#2
 EXHIBIT: L (Sheets 1-6)
 DATE: 12/13/12
 PLANNER: D. ABRAHAM

Landscape Architecture Plans

for

AUTO-1 IMPOUND FACILITY

MAGNOLIA AVENUE, RIVERSIDE, CA
 COUNTY OF RIVERSIDE, CA

LEGAL DESCRIPTION:
 THE PROJECT SITE IS LOCATED IN THE COMPANYY OF HORSE GARDENS OF THE TERESCAL CANYON AREA PLAN IN WESTERN RIVERSIDE COUNTY, MORE SPECIFICALLY, NORTHERLY OF HARLOW AVENUE, EASTERLY OF HICKINLEY STREET, WESTERLY OF LINCOLN STREET, AND SOUTHERLY OF SAFFORD AVENUE.

APNs: 172-110-007; 172-110-008
 PLOT PLAN #: 24306

LANDSCAPE MAINTENANCE ENTITY:
 CONTINUED LANDSCAPE MAINTENANCE PROVIDED BY THE OWNER.

GENERAL MAINTENANCE:

1. AN INSPECTION OF VALVES, QUICK COUPLERS, AND OTHER PRESSURIZED ABOVE GROUND CONNECTIONS SHALL BE PERFORMED ON A MONTHLY BASIS. THIS REPORT SHALL BE SUBMITTED TO THE OWNER.
2. INSPECTION OF IRRIGATION SPRAY HEADS AND ROTOR HEAD NOZZLES, AND CLEAN SCREENS AND REPAIR DAMAGED HEADS SHALL BE PERFORMED TWICE EACH YEAR (6 MONTH INTERVALS). DOCUMENT IN A MONTHLY REPORT TO THE OWNER.
3. CONTRACTOR SHALL CLEAN IRRIGATION CONTROLLER AT LEAST ONCE PER YEAR AND SHALL BE RESPONSIBLE TO KEEP CONTROLLER AND ENCLASURE FEET AND MILDREU FREE. CONTROLLER SHALL BE SERVICED AND CHECKED BY QUALIFIED TECHNICIAN ON A BI-ANNUAL BASIS. DOCUMENT SERVICE IN MONTHLY REPORT.
4. BE USED PROGRAMMATICALLY CONTROLLER FOR SEASONAL WATER SCHEDULING. CONTRACTOR SHALL OBTAIN INSTRUCTIONS OF THE MANUFACTURER OF THE CONTROLLER AND A KEY TO THE CONTROLLER AND INSTRUCTIONS ON HOW TO TURN SYSTEM OFF IN AN EMERGENCY. A CONTROLLER SHALL BE PROVIDED FOR THE OWNER. A COPY SHALL BE PROVIDED FOR THE CONTRACTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE IRRIGATION SYSTEM IS NOT ACTIVATED DURING A RAINSTORM. THE CONTRACTOR SHALL CHECK RAIN CHECK DEVICE FOR PROPER WORKING ORDER.
6. CONTRACTOR SHALL, ON A WEEKLY BASIS, VISUALLY INSPECT IRRIGATION SYSTEM FOR DAMAGES. A SUMMARY SHALL BE DOCUMENTED IN A MONTHLY REPORT.
7. SERVICE BACKFLOW PREVENTION UNIT BI-ANNUALLY. SERVICE SHALL BE PERFORMED BY QUALIFIED SERVICE PERSONNEL.
8. CONTRACTOR SHALL INSPECT ALL VALVE BOXES ON A BI-ANNUAL BASIS TO CLEAR OF INSECTS, RODENTS ETC.
9. CONTRACTOR SHALL OPERATE ALL GATE AND BALL VALVES ONCE PER YEAR TO KEEP IN PROPER WORKING ORDER.
10. CONTRACTOR SHALL MAINTAIN AND CARE FOR THE LAWN AND TREES. CARES OF LAWN INCLUDING GRASS, FERTILIZING, CONTROL OF WEEDS AND DISEASES, AND MAINTAINING WALKS FREE OF DEBRIS AND DIRT. UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL CONDUCT AN INSPECTION OF COMPLETED AREA ALONG WITH THE OWNER'S MAINTENANCE REPRESENTATIVE. AT THIS TIME, A LIST OF CORRECTIONS IF ANY, SHALL BE MADE WHICH ARE THE RESPONSIBILITY OF THE OWNER.
11. DAMAGE TO ANY PLANTED AREA SHALL BE REPAIRED IMMEDIATELY. DEPRESSIONS CAUSED BY VEHICLES OR FOOT TRAFFIC SHALL BE FILLED WITH TOPSOIL, LEVELLED AND REPLANTED. EXTERMINATE GOPHERS, MOLES AND REPAIR DAMAGE.

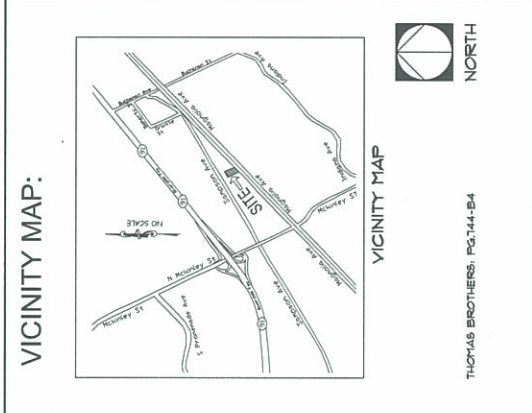
PROJECT DIRECTORY:

OWNER:
 KHALED SHOKUKANI
 SAHAR SHOKUKANI
 AHMED SHOKUKANI
 17145 MAGNOLIA AVENUE,
 RIVERSIDE, CA 92504
 PHONE: (951) 719-8595

LANDSCAPE ARCHITECT:
 R. DALE HADFIELD
 21621 FORBES ROAD, SUITE 50
 COSTA MESA, CA 92626
 PHONE: (949) 367-3079
 FAX: (949) 367-3321
 CONTACT: R. DALE HADFIELD

CIVIL ENGINEER:
 SHAMAM ENGINEERS GROUP
 6710 EAST PARKSIDE AVENUE, SUITE 101
 COSTA MESA, CA 92626
 PHONE: (951) 734-6330
 CONTACT: ALEX A. IRSHAD

UTILITY PURVEYORS:
 WATERS:
 RIVERSIDE PUBLIC UTILITIES
 ELECTRIC:
 SOUTHERN CALIFORNIA Edison



SHEET INDEX:

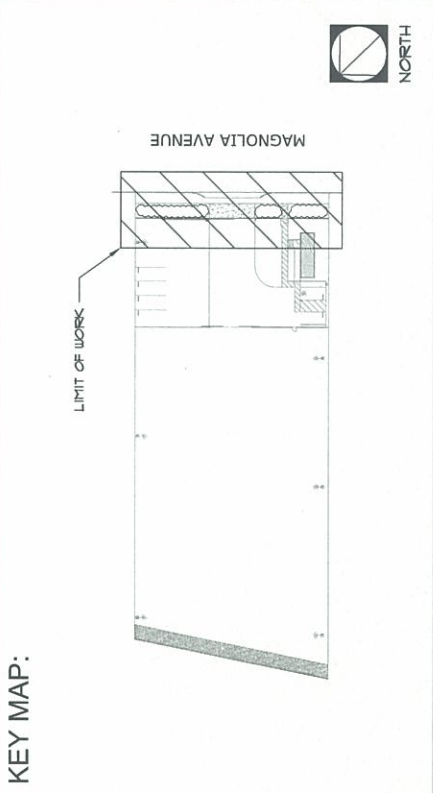
L-1 COVER SHEET
 L-2 IRRIGATION PLAN
 L-3 IRRIGATION DETAILS
 L-4 IRRIGATION DETAILS
 L-5 PLANTING PLAN
 L-6 PLANTING DETAILS

SUBMITTAL DATES:

SEPT. 13, 2012
 First Submittal Date
 DEC. 03, 2012
 Second Submittal Date
 Third Submittal Date

REVISIONS BLOCK:

Revision Submittal Date
 Revision Submittal Date



PP CASE # 24306
 CLIENT: RAMCAM ENGINEERING GROUP
 PROJECT: RS-11301

DATE: 12.03.2012

PRELIMINARY
 PLAN CHECK
 MARK CHECK
 BIO
 CONSTRUCTION
 RECORD

SHEET TITLE
 COVER SHEET

SCALE: 1/8" = 1'-0"
 SHEET NUMBER: L-1

1. I AGREE TO COMPLY WITH THE CRITERIA OF THE CALIFORNIA WATER EFFICIENCY ACT AND THE CRITERIA FOR EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

R. DALE HADFIELD, LANDSCAPE ARCHITECT

RamCam
 17145 MAGNOLIA AVENUE, RIVERSIDE, CA 92504
 (951) 719-8595

R. DALE HADFIELD
 LANDSCAPE ARCHITECT
 21621 FORBES ROAD, SUITE 50
 COSTA MESA, CALIFORNIA 92626
 (949) 367-3079

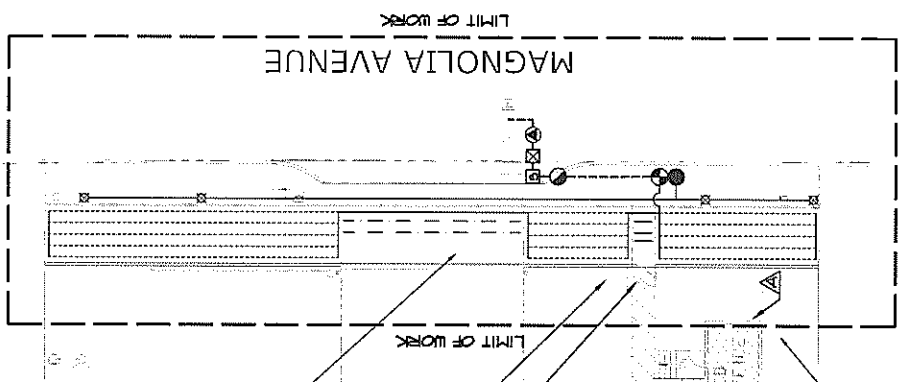
AUTO-1 IMPOUND FACILITY, CA
 MAGNOLIA AVENUE, RIVERSIDE, CA

PROPOSED IRRIGATION LEGEND

SYMBOL	TITLE	DESCRIPTION	PSI	DEPTH	RWD	PATTERN
1	HANDY	ROOT ZONE WATERSAVING SWITCH (RZWS) WITH 1/2" OR 3/4" G1/2" FITTING	30	6" & 9"		FLOOD
2	HANDY	TRICK IRRIGATION PER DETAIL (CONTRACTOR TO PROVIDE IRRIGATION TO EXISTING PAVS)				
3	HANDY	PWS SERIES INVERT CONTROL VALVE - SIZE AS NOTED				
4	HANDY	PGL-101-101 DRIP ZONE CONTROL KIT (DRIP VALVE ASSEMBLY WITH 1/2" PWS VALVE BALL VALVE REGULATOR AND T-STRAIGHT)				
5	HANDY	HQ-3-182 QUICK CLOSING VALVE WITH KEY AND HOSE BARREL IN VALVE BOX, 1" PVC CONNECTION TO MAN.				
6	HANDY	1-1/2" 180 LINE SIZED BALL VALVE				
7	HANDY	8151A REDUCED PRESSURE BACKFLOW PREVENTER, 1" SIZE				
8	HANDY	7230 PRESSURE REGULATING MASTER VALVE (NORMALLY CLOSED) - 1/4" O, SET AT 40 PSI				
9	HANDY	BLANKET STRAINER LINE SIZED (OR EQUAL)				
10	HANDY	EXISTING 3/4" DOMESTIC WATER PETER. CONTRACTOR SHALL VERIFY LOCATION IN FIELD.				
11	HANDY	IC-3000 & STATION IRRIGATION CONTROLLER WITH SOLAR SYNC (HARDWARE CONTROLLER UPGRADE) IN A STEEL, VANDAL RESISTANT ENCLOSURE. FINAL LOCATION TO BE APPROVED BY THE LANDSCAPE ARCHITECT.				
12	HANDY	FUSH VALVE. INSTALL 10" BALL VALVE AT THE END OF EACH SCHED. PVC RUN				
13	HANDY	ANNUNCIATOR RELIEF VALVE. INSTALL AT HIGH POINT OF SYSTEM				
14	HANDY	TWO-4-1/4" - 1/2" TENSILE CY LATERAL TIE-IN - 3'-0" DEPTH FROM FINISH GRADE				
15	HANDY	SUPPLY EXHAUST HEADER - 3'-0" DEPTH FROM FINISH GRADE				
16	HANDY	PRESSURE MAINLINE PVC 6CH 46, 1" SOLVENT WELD, BURST PNL 1/2" BELOW GRADE				
17	HANDY	NON-PRESSURE LATERAL 6CH 46, BURST PNL 1/2" SIZE AS INDICATED ON PLANS				
18	HANDY	1" SCHED. PVC SCH. 40 EXTENDED PNL 1/2" BEFORE EDGE OF PAVING (12 X DIAMETER OF PIPE - TYPICAL)				
19	HANDY	3" SCHED. PVC SCH. 40 EXTENDED PNL 1/2" BEFORE EDGE OF PAVING. BURST MINIMUM 1/2" BELOW GRADE				

IRRIGATION NOTES

- IRRIGATION LINES AND CONTROL LINES SHALL BE INSTALLED TO A MINIMUM OF 18" BELOW FINISH GRADE. ALL VALVES SHALL BE A MINIMUM OF 18" BELOW FINISH GRADE. ALL PIPING SHALL BE A MINIMUM OF 18" BELOW FINISH GRADE.
- ALL LATERAL LINES BEING LAID IN PAVING SHALL BE PVC 6CH 46 PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- PIPE SIZE SHALL CONFORM TO MORE SCHEDULE THAN THE SMALLER SIZE, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGES AND REJECTED PIPE SHALL BE REPAIRED FROM THE SITE AT THE TIME OF SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- DO NOT ELECTRICAL POWER SOURCE AT CONTROLLER SHALL BE PROVIDED BY THE OWNER. THE CONTRACTOR SHALL MAKE THE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
- THIS DESIGN IS DIAGNOSTIC. ALL PIPING VALVES, ETC. SHALL BE INSTALLED PRIOR TO PAVING. ALL PIPING SHALL BE INSTALLED PRIOR TO PAVING. ALL PIPING SHALL BE INSTALLED PRIOR TO PAVING.
- IF IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, UNDERMINING, ETC. UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK. HE SHALL BE RESPONSIBLE FOR THE PROTECTION AND PROTECTION OF THE LOCATION AND INSTALLATION OF PIPING, LATERALS, PAVING, ETC.
- DO NOT INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THESE PLANS UNLESS ALL CONDITIONS OF THE SPECIFICATIONS AND CONDITIONS EXIST THAT HAVE BEEN CONSIDERED IN THIS DESIGN. ANY CONDITIONS THAT HAVE NOT BEEN CONSIDERED IN THIS DESIGN SHALL BE THE RESPONSIBILITY OF THE DESIGNER. ANY REVISIONS IN THE EVENT THIS NOTIFICATION IS NOT RECEIVED BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY REVISIONS NECESSARY.
- LOCATE ALL VALVES IN BUREAU AREA, SHOWN FOR CLARITY ONLY.
- ALL IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE THE STANDARD MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- REFER TO CIVIL PLANS FOR APPROXIMATE DRAINAGE CONDITIONS AND SPECIFICATIONS FOR IRRIGATION EQUIPMENT WITH CIVIL ENGINEER INFORMATION.
- CONTRACTOR SHALL SCHEDULE AND MAINTAIN IRRIGATION CONTROLLER TO OPERATE BETWEEN THE HOURS OF 6 AM AND 6 PM.
- REFER TO SPECIFICATIONS FOR STANDARDS OF MATERIALS AND WORKMANSHIP.
- THE IRRIGATION CONTRACTOR SHALL FURNISH AND ADJUST ALL ENTRIES AND VALVES FOR DRIPHEAD COVERAGE.
- ALL LATERAL LINES NOT OTHERWISE SIZED SHALL BE 3/4".



POINT OF CONNECTION:

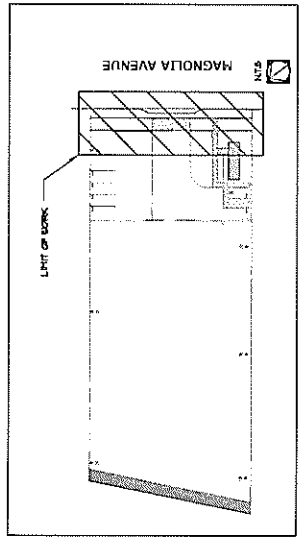
CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND PIPING. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND PIPING. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND PIPING. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND PIPING.

PSI LOSS CALCULATIONS

BEST CASE	VALUE (W)	4 GPM
1/2" WATER METER	1000	
BLANKET STRAINER	1000	
LATERALS (46 INCH)	1000	
FITTINGS	1000	
REGULATORS	1000	
ELEVATION LOSS MAIN	4000	
REMOTE CONTROL VALVE	3000	
TOSSELLS	1000	
TOTAL PRESSURE LOSS STATIC	6200	
RESERVOIR HEAD	12000	
RESERVOIR HEAD	21200	

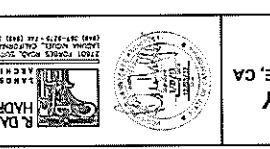
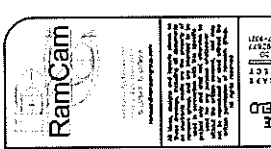
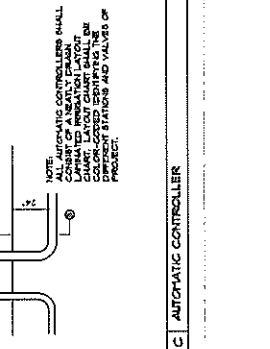
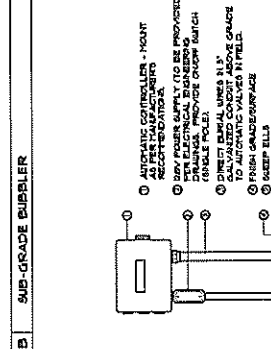
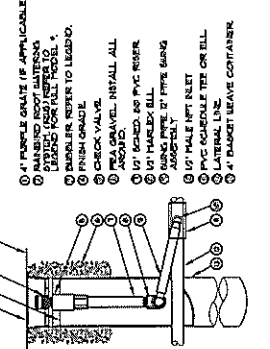
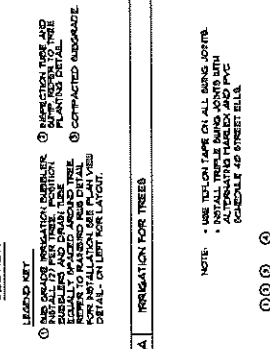
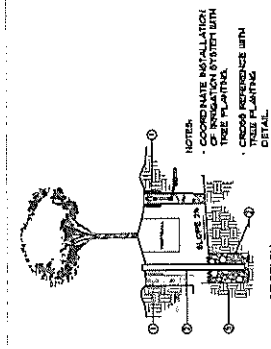
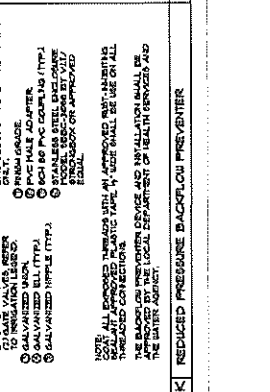
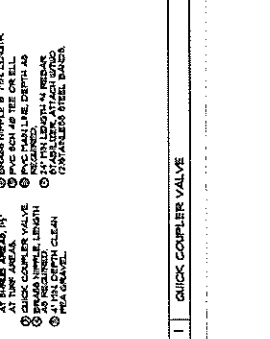
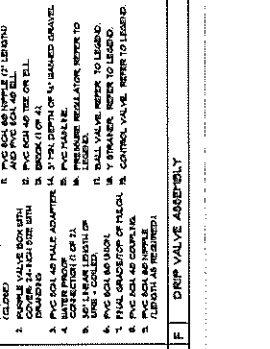
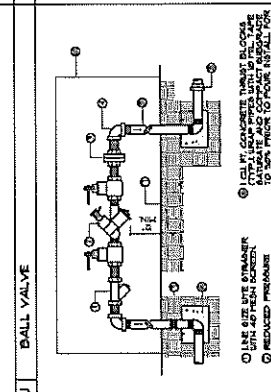
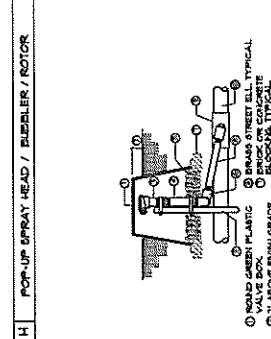
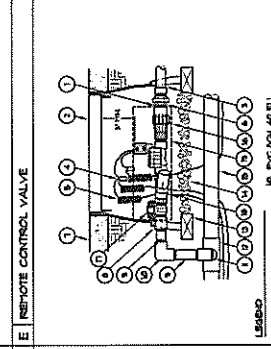
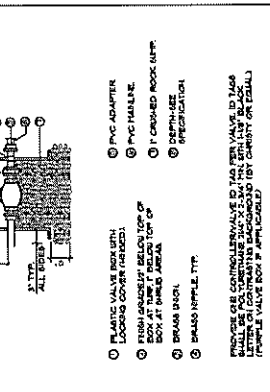
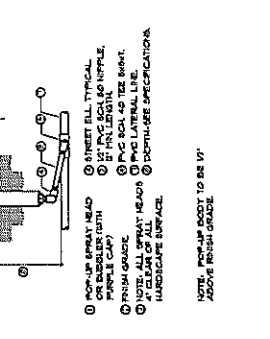
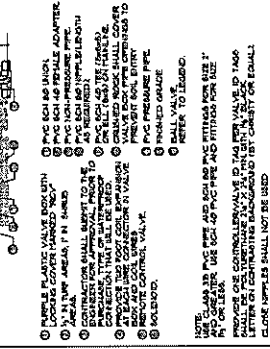
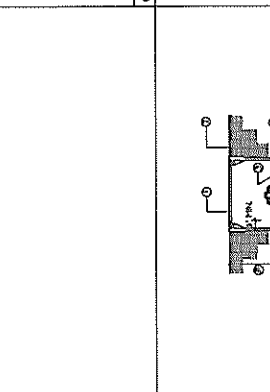
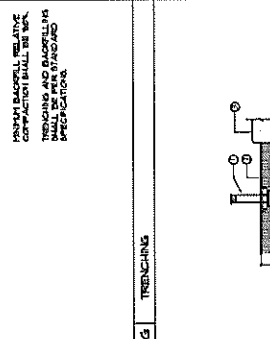
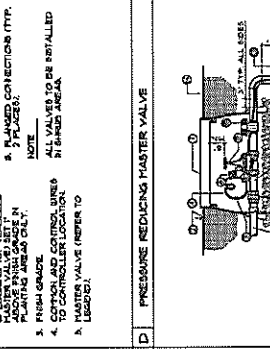
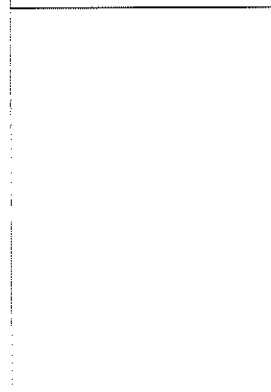
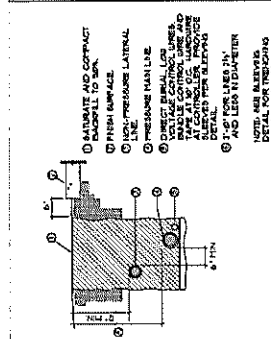
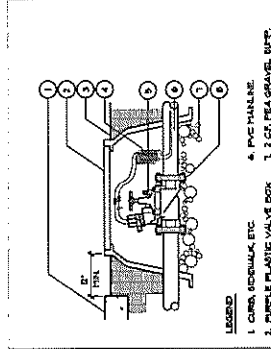
AB1881 CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE
 TOTAL PERM (800) X (1/2) X (1/2) X (1/2) = 625
 PERM (800) X (1/2) X (1/2) X (1/2) = 625
 PERM (800) X (1/2) X (1/2) X (1/2) = 625
 PERM (800) X (1/2) X (1/2) X (1/2) = 625
 PERM (800) X (1/2) X (1/2) X (1/2) = 625



IRRIGATION SPECIFICATIONS

- All drawings and materials shall conform to local, national, state and international codes and standards.
- Work to be performed shall be done by the site and contractor in accordance with the drawings and specifications.
- The contractor shall provide all materials, labor, equipment and other items necessary for the installation of the irrigation system in accordance with the drawings and specifications.
- The contractor shall be responsible for all utility lines (water, gas, electric, sewer, etc.) in the area of the installation.
- The contractor shall provide a detailed site plan showing the location of all lines, valves, and other components of the system.
- The contractor shall provide a detailed schedule of work, showing the start and completion dates for each phase of the installation.
- The contractor shall provide a detailed estimate of the total cost of the installation, including all materials, labor, and other expenses.
- The contractor shall provide a detailed list of all subcontractors and their qualifications.
- The contractor shall provide a detailed list of all permits and other regulatory requirements that must be satisfied for the installation.
- The contractor shall provide a detailed list of all safety and health hazards associated with the installation and the methods for mitigating these hazards.
- The contractor shall provide a detailed list of all environmental impacts associated with the installation and the methods for mitigating these impacts.
- The contractor shall provide a detailed list of all social impacts associated with the installation and the methods for mitigating these impacts.
- The contractor shall provide a detailed list of all other relevant information that must be provided for the installation.



**AUTO-1
IMPOUND FACILITY**
MAGNOLIA AVENUE, RIVERSIDE, CA
PP CASE # 24306
DATE: 11/13/14

ENGINEER	RAMCAM
PROJECT	IRRIGATION
DATE	11/13/14
PREPARED BY	
CHECKED BY	
APPROVED BY	
DATE	



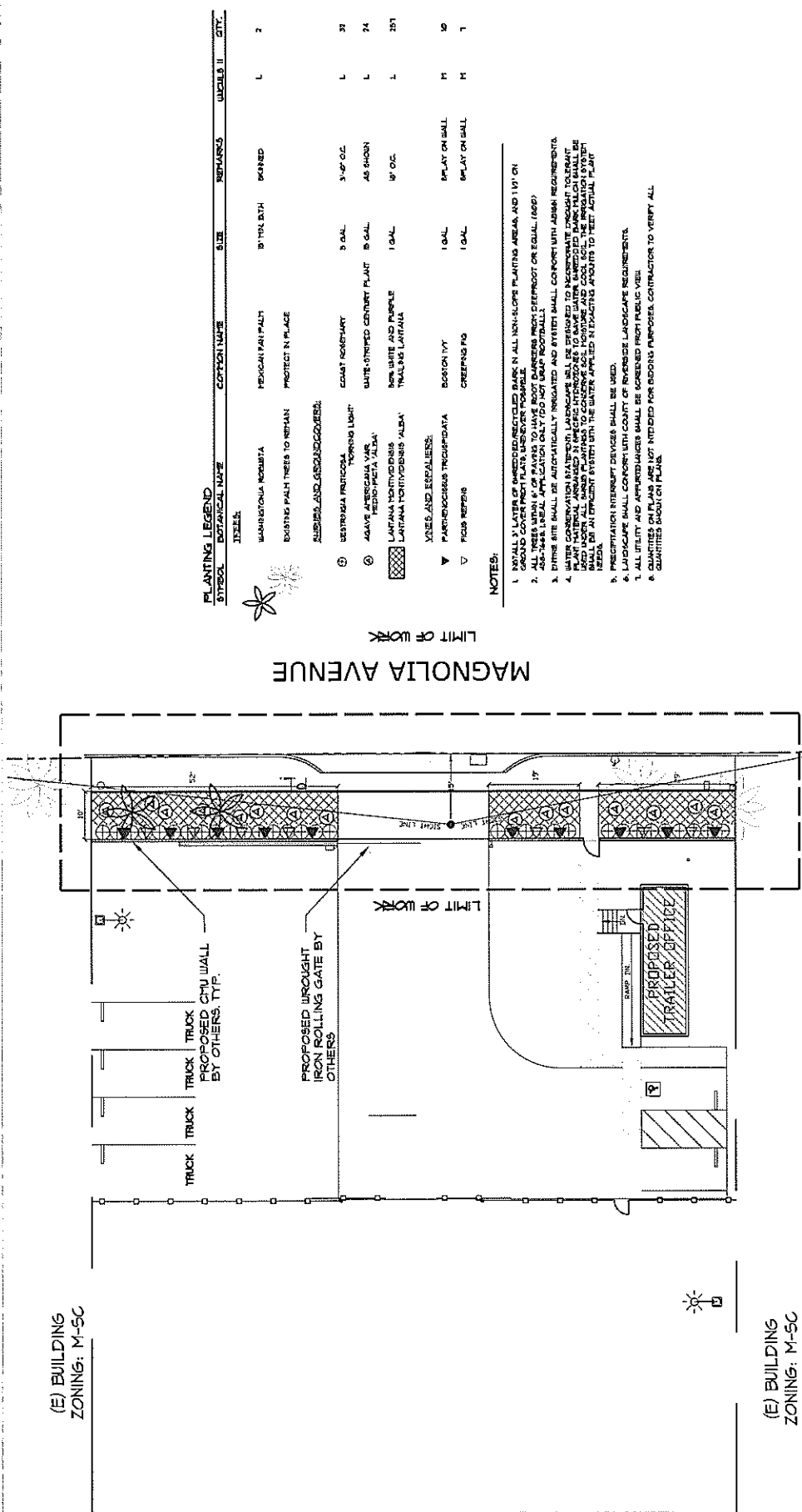
PP CASE # 24306
 MAGNOLIA AVENUE, RIVERSIDE, CA
 AUTO-1
 IMPOUND FACILITY



ENGINEER: RAMCAM
 ENGINEERING GROUP
 PROJECT: RC-1130
 REVISIONS:

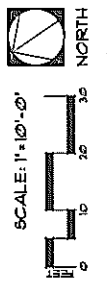
DATE	DESCRIPTION
11.03.2012	PRELIMINARY
	PLAN CHECK
	BACK CHECK
	REV
	CONSTRUCTION
	RECORD
	SHEET TITLE

PLANTING PLAN
 SHEET NO.
 SHEET NUMBER
L-5



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	QUANTITY	UNIT
(S)	SECTRUSIA FRUTICOSA	TOURING LIGHT	3" O.C.		32	L
(A)	ADAVIA ATERSCANA VAR. 'HEIDI-PICIA' ALBA	WHITE-STRIPED CENTURY PLANT	18" GAL.	AS SHOWN	74	L
(X)	LANTANA TONYUDONIS	NON-BLATE AND PURPLE TRAILING LANTANA	18" O.C.		201	L
(V)	POUS REFERS				10	M
(V)	POUS REFERS				1	M

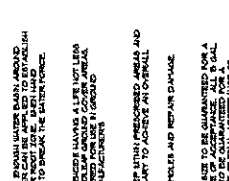
- NOTES:**
1. INSTALL 1" LAYER OF WASTED/RECYCLED BARK IN ALL NON-SLOPE PLANTING AREAS AND 1 1/2" ON GROUND COVER FRONT PLANT, UNLESS OTHERWISE SPECIFIED.
 2. ALL TREES MUST BE PLANTED WITH PROTECTIVE COLLARS AND MUST BE PLANTED AT THE SAME DEPTH AS SPECIFIED ON EQUAL (EOPD).
 3. EXPOSE SITE SHALL BE AUTOMATICALLY IRRIGATED AND SYSTEM SHALL CONFORM WITH ADEHS REQUIREMENTS.
 4. WATER CONSERVATION STRATEGIES: LANDSCAPE SHALL BE DESIGNED TO INCORPORATE DROUGHT TOLERANT PLANT MATERIAL ARRANGED IN SPECIFIC PATTERNS TO SAVE WATER. UNMULCHED BARK MULCH SHALL BE APPLIED TO ALL PLANTING AREAS. MULCH SHALL BE APPLIED IN EXTRACTING PATTERNS TO TEST ACTUAL PLANT NEEDS.
 5. PRECIPITATION INTERCEPT DEVICES SHALL BE USED.
 6. LANDSCAPE SHALL CONFORM WITH COUNTY OF RIVERSIDE LANDSCAPE REQUIREMENTS.
 7. ALL UTILITY AND APPROVED LINES SHALL BE EXPOSED PRIOR TO PUBLIC VIEW.
 8. QUANTITIES SHOWN ON PLAN.



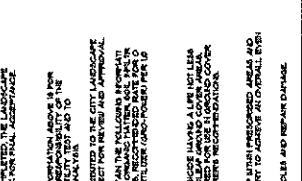
1. THE FOLLOWING ARE TREESH RETAINERS AND SHALL GOVERN EXCEPT AS NOTED THEREON:

- A. TREESH AND BARRIER CARE.
- B. TREESH AND BARRIER CARE.
- C. TREESH AND BARRIER CARE.
- D. TREESH AND BARRIER CARE.
- E. TREESH AND BARRIER CARE.
- F. TREESH AND BARRIER CARE.
- G. TREESH AND BARRIER CARE.
- H. TREESH AND BARRIER CARE.
- I. TREESH AND BARRIER CARE.
- J. TREESH AND BARRIER CARE.
- K. TREESH AND BARRIER CARE.
- L. TREESH AND BARRIER CARE.
- M. TREESH AND BARRIER CARE.
- N. TREESH AND BARRIER CARE.
- O. TREESH AND BARRIER CARE.
- P. TREESH AND BARRIER CARE.
- Q. TREESH AND BARRIER CARE.
- R. TREESH AND BARRIER CARE.
- S. TREESH AND BARRIER CARE.
- T. TREESH AND BARRIER CARE.
- U. TREESH AND BARRIER CARE.
- V. TREESH AND BARRIER CARE.
- W. TREESH AND BARRIER CARE.
- X. TREESH AND BARRIER CARE.
- Y. TREESH AND BARRIER CARE.
- Z. TREESH AND BARRIER CARE.

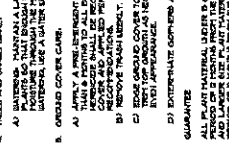
D. SHRUB PLANTING DETAIL



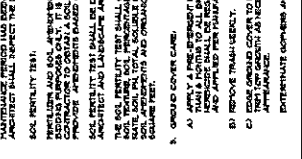
E. VINE PLANTING DETAIL



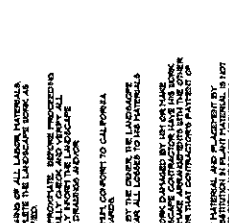
A. GROUND COVER/SHRUB DETAIL



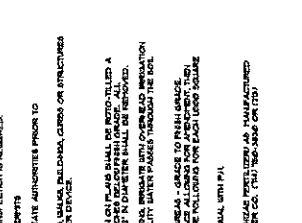
B. DOUBLE STAKING DETAIL



F. TYPICAL PALM PLANTING DETAIL



C. TREE ROOT BARRIER



RAMCAM

RAMCAM
 ENGINEERING GROUP
 PROJECT: EC-11381

PLANTING DETAILS

PP CASE # 24006
 AUTO-1
 IMPOUND FACILITY
 MAGNOLIA AVENUE, RIVERSIDE, CA

RAMCAM
 ENGINEERING GROUP
 PROJECT: EC-11381

PP CASE # 24006
 AUTO-1
 IMPOUND FACILITY
 MAGNOLIA AVENUE, RIVERSIDE, CA

SHEET TITLE
 PLANTING DETAILS
 SHEET NO.
 DATE

REVISIONS
 NO. DESCRIPTION

DATES
 NO. DESCRIPTION

PREPARED BY

CHECKED BY

DATE

SHEET TITLE
 PLANTING DETAILS
 SHEET NO.
 DATE

REVISIONS
 NO. DESCRIPTION

DATES
 NO. DESCRIPTION

PREPARED BY

CHECKED BY

DATE

RAMCAM
 ENGINEERING GROUP
 PROJECT: EC-11381

PP CASE # 24006
 AUTO-1
 IMPOUND FACILITY
 MAGNOLIA AVENUE, RIVERSIDE, CA

SHEET TITLE
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 SHEET NO.
 DATE

REVISIONS
 NO. DESCRIPTION

DATES
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REVISIONS
 NO. DESCRIPTION

DATES
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RAMCAM
 ENGINEERING GROUP
 PROJECT: EC-11381

PP CASE # 24006
 AUTO-1
 IMPOUND FACILITY
 MAGNOLIA AVENUE, RIVERSIDE, CA

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PREPARED BY

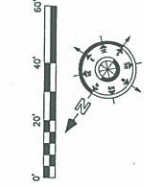
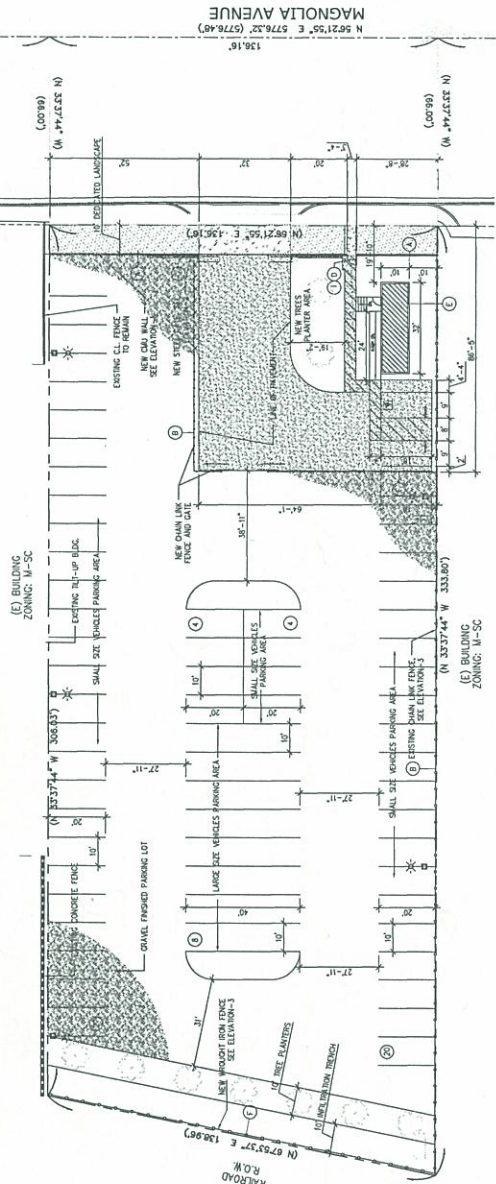
CHECKED BY

DATE

OPERATION WORK PLAN:

1. FACILITY IS BEING PROPOSED FOR TEMPORARY VEHICLE IMPOUND STORAGE
2. NO DAMAGED OR INOPERABLE VEHICLES TO STORED AT FACILITY
3. HOURS OF OPERATION IS 24 HOURS/DAY TO BRING IN VEHICLES
4. HOURS OF OPERATION FOR CUSTOMERS TO PICK UP THEIR VEHICLES IS FROM 8:00AM TO 8:00PM
5. ONE EMPLOYEE WILL BE PRESENT
6. METAL DRIP PAN WILL BE PLACED UNDER VEHICLE WITH SUSPECTED OIL LEAKS
7. MAIN GATE CLOSER TO MAGNOLIA AVENUE TO REMAIN OPEN DURING BUSINESS HOURS
8. INTERIOR GATE TO IMPOUND YARD WILL BE CLOSED AT ALL TIMES AND WILL BE OPENED BY FACILITY EMPLOYEE AS NEEDED TO GET VEHICLES IN AND OUT OF YARD.
9. MAXIMUM IMPOUNDED NUMBER OF SMALL VEHICLES IS 55 AND 8 LARGE VEHICLES.

CASE: PP24306, AMD #2
 EXHIBIT: W
 DATE: 4/24/13
 PLANNER: D. ABRAHAM

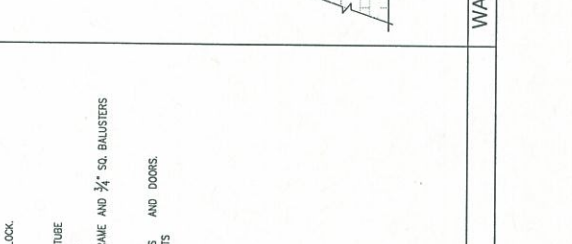


SITE WALL AND FENCE PLAN

COLOR & MATERIAL SCHEDULE:

- A. CMU WALL FENCE: 6" SPLIT ONE SIDE BLOCK. COLOR: WEAT.
- B. WROUGHT IRON FENCE: 6' H. COLOR: LIGHT BEIGE SLATS.
- C. WROUGHT IRON ROLLING GATE: 3/4" STEEL TUBE AND 3/4" SQ. VERT. BARS PAINTED. COLOR: DUSTY BLACK PAINT.
- D. STEEL ROD IRON DOOR: 1 1/2" SQ. TUBE FRAME AND 3/4" SQ. BAUSTERS COLOR: DUSTY BLACK PAINT.
- E. MODULAR OFFICE UNIT. COLOR: LIGHT BEIGE (PALE GOLDEN ROD) AND DOORS. COLOR: LIGHT BEIGE SLATS.
- F. CHAIN LINK FENCE WITH PRINCIPY SLATS

WALL AND FENCE ELEVATIONS

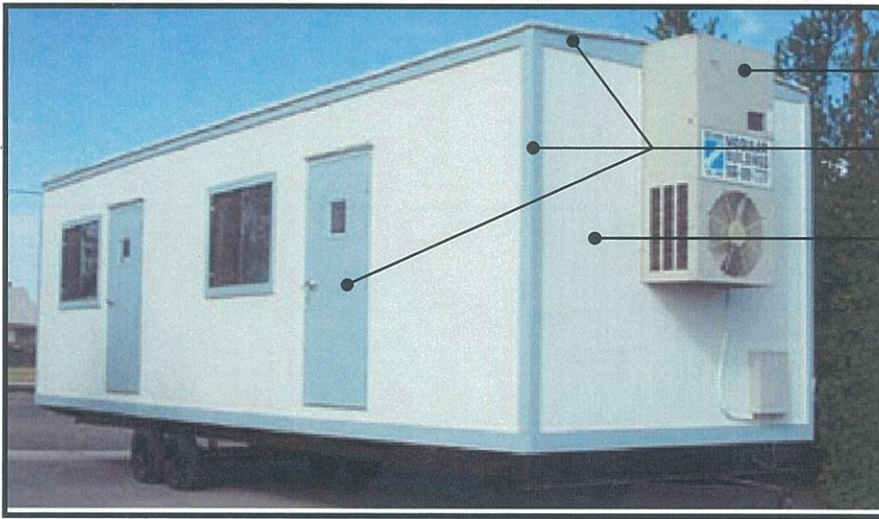


WALL AND FENCE ELEVATIONS

AUTO-1 IMPOUND FACILITY
 MAGNOLIA AVENUE, RIVERSIDE, CA

PP CASE # 24306
 CLIENT:
 PROJECT: RC-11381
 REVISIONS:
 DATE: 12-04-2012
 COMMENTS:
 PRELIMINARY
 PLAN CHECK
 BACK CHECK
 BRD
 CONSTRUCTION
 RECORDS
 SHEET TITLE
 SITE WALL AND FENCE PLAN
 SHEET NUMBER
A-2
 SCALE: 1/4" = 1'-0"





A/C UNIT
 COLOR: PALE GOLDEN ROD


DOORS & TRIMS
 COLOR: LIGHT STEEL BLUE

WOOD SIDING
 COLOR: PALE GOLDEN ROD

OFFICE TRAILER PICTURE & COLOR SAMPLE



SLATS COLOR SAMPLES

COLOR	WHEAT SPLIT ONE SIDE	FINISH
White		Combed Face
Gray		Precision W/S
Cool Gray		Bullnose
Black 100		301 S1S
Black 250		Burnished
Tan		Split One Side
Buff		Shot Blast
Spec Burst		Lido Cap
Orange		505 Vertical
Red		
Valley Red		
Red Brown		
Chocolate		
Wheat		
Ladera Blend		
Nufad		
Orco 500		
Green		

CMU FENCE SAMPLE BLOCK
 ORCO BLOCK OR EQ.



CHAIN LINK GATE-FENCE SAMPLE
 PROVIDE PRIVACY SLATS PER CHART ABOVE



ROD IRON ROLLING GATE SAMPLE

1" SQ. STL. FRAME
 COLOR: DUSTY BLACK

3/4" SQ. STL. BALLUSTERS
 COLOR: DUSTY BLACK

2" SQ. STL. TUBES FRAME
 OR AS REQUIRED
 COLOR: DUSTY BLACK



ROD IRON MAN GATE SAMPLE



670 E. Parkridge Avenue, #101
 Corona, California 92879
 Tel 951-734-6330 Fax 951-734-5848
 ramcam@ramcamgroup.com

**AUTO-1
 IMPOUND FACILITY**
 MAGNOLIA AVENUE, RIVERSIDE, CA

PP CASE # 24306

DATE: 07.17.2012

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42233
Project Case Type (s) and Number(s): Plot Plan No. 24306
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Damaris Abraham
Telephone Number: (951) 955-5719
Applicant's Name: Khalod Shkoukani
Applicant's Address: 670 E. Parkridge Ave, #101, Corona, CA 92879
Engineer's Name: RamCam Engineering Group, Inc.
Engineer's Address: 670 E. Parkridge Ave, #101, Corona, CA 92879

I. PROJECT INFORMATION

A. Project Description: The plot plan proposes a vehicle storage and impoundment facility. The project includes a 320 square foot office trailer with two (2) parking spaces. A maximum of 55 small and 8 large impounded vehicles are proposed to be stored at the site. No damaged or inoperable vehicles are to be stored at the facility.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 1 gross acre

Residential Acres:	Lots:	Units:	Projected No. of Residents:
Commercial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Industrial Acres: 1	Lots: 2	Sq. Ft. of Bldg. Area: 320	Est. No. of Employees:
Other:			

D. Assessor's Parcel No(s): 172-110-007 and 172-110-008.

E. Street References: Northerly of Magnolia Avenue and southerly of Sampson Avenue.

F. Section, Township & Range Description or reference/attach a Legal Description:
Township 3 South, Range 6 West, Section 28

G. Brief description of the existing environmental setting of the project site and its surroundings: The project site is currently contains an unpermitted towing business and is surrounded by vacant land to the north, apartments and commercial uses to the south, and storage facilities and industrial uses to the east and west.

I. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

- 1. Land Use:** The proposed project meets the requirements of the Community Development: Light Industrial (CD:LI) (0.25-0.60 Floor Area Ratio) general plan land use designation. The proposal meets all other applicable land use policies.

2. **Circulation:** The project has adequate circulation to the site and is therefore consistent with the Circulation Element of the General Plan. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project is within an area with a very high susceptibility to liquefaction and has soil subsidence potential. The proposed project is not located within a fault zone or a high fire hazard area. The proposed project has allowed for sufficient provision of emergency response services to the future users of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety Element policies.
5. **Noise:** Sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
6. **Housing:** The project proposes a vehicle impound facility with a 320 square foot office trailer. There are no impacts to housing as a direct result of this project at this time.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality element policies.

B. General Plan Area Plan(s): Temescal Canyon

C. Foundation Component(s): Community Development (CD)

D. Land Use Designation(s): Light Industrial (LI) (0.20 to 0.60 Floor Area Ratio)

E. Overlay(s), if any: Not Applicable

F. Policy Area(s), if any: Not Applicable

G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any: The project site is surrounded by properties which are located in the City of Corona to the north and designated Community Development: Light Industrial (CD:LI) (0.20 to 0.60 Floor Area Ratio) to the east and west and Community Development: Commercial Retail (CD: CR) (0.20 to 0.35 Floor Area Ratio) and Community Development: High Density Residential (CD: HDR) (2-5 Dwelling Units per Acre) to the south.

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** Not Applicable

2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable

I. Existing Zoning: Manufacturing-Service Commercial (M-SC)

J. **Proposed Zoning, if any:** Not Applicable

K. **Adjacent and Surrounding Zoning:** The project site is surrounded by properties which are located in the City of Corona to the north and zoned General Commercial (C-1/C-P) and General Residential (R-3) to the south and Manufacturing-Service Commercial (M-SC) to the east and west.

II. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

III. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. **A MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and

will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.


Signature

May 13, 2013
Date

Damaris Abraham
Printed Name

For Carolyn Syms Luna, Director

IV. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a) The General Plan indicates that the project is not located within or visible from a designated scenic corridor; therefore the project will have no significant impact.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; or obstruct any prominent scenic vista, as these features do not exist on the project site. The impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

2. Mt. Palomar Observatory				
a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) According to GIS database, the project site is located 52 miles away from Mt. Palomar Observatory. The project is located outside the 45-mile radius defined by Ordinance No. 655 and is

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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not subject to any special lighting policies that protect the Mt. Palomar Observatory. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Description

Findings of Fact:

a-b) The proposed project may result in a new source of light which would accompany any new limited commercial development; however the new source of light is not anticipated to be of significant levels due to the size of the project. The proposed project would not create a significant new source of light or glare in the area and will not expose residential property to unacceptable light levels. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?

c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?

d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?

Source: GIS database, and Project Application Materials.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) The project is located on land designated as "Urban-Built up Land" under the Farmlands layer of the County GIS database. Therefore, the proposed project will not convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance to non-agricultural use.
- b) According to GIS database, the project is not located within an Agricultural Preserve or under a Williamson Act contract; therefore, no impact will occur as a result of the proposed project.
- c) The project site is not surrounded by agriculturally zoned land (A-1, A-2, A-P, A-D, and C/V). Therefore, the project will not cause development of a non-agricultural use within 300 feet of agriculturally zoned property.
- d) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

- a) The project is not located within the boundaries of a forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)). Therefore, the proposed project will not impact land designated as forest land, timberland, or timberland zoned Timberland Production.
- b) The project is not located within forest land and will not result in the loss of forest land or conversion of forest land to non-forest use; therefore, no impact will occur as a result of the proposed project.
- c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook

Findings of Fact: CEQA Guidelines indicate that a project will significantly impact air quality if the project violates any ambient air quality standard, contributes substantially to an existing air quality violation, or exposes sensitive receptors to substantial pollutant concentrations.

a) The project site is located in the South Coast Air Basin (SCAB). The South Coast Air Quality Management District (SCAQMD) Governing Board has adopted the 2003 Air Quality Management Plan (AQMP). The AQMP is a plan for the regional improvement of air quality. As part of adoption of the County's General Plan in 2003, the General Plan's EIR (No. 441, SCH No. 2002051143) analyzed the General Plan growth projections for consistency with the AQMP and concluded that the General Plan is consistent with the SCAQMD's AQMP. The project is consistent with the County General Plan and would therefore be consistent with the SCAQMD's AQMP.

b-c) The South Coast Air Basin (SCAB) is in a non-attainment status for federal ozone standards, federal carbon monoxide standards, and state and federal particulate matter standards. Any development in the SCAB, including the proposed Project, would cumulatively contribute to these pollutant violations.

The project is consistent with the General Plan and the Temescal Canyon Area Plan land use designations. The General Plan (2003) is a policy document that reflects the County's vision for the future of Riverside County. The General Plan is organized into eight separate elements, including an Air Quality Element. The purpose of the Air Quality Element is to protect County residents from the

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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harmful effects of poor air quality. The Air Quality Element identifies goals, policies, and programs that are meant to balance actions regarding land use, circulation, and other issues with their potential effects on air quality. The Air Quality Element, in conjunction with local and regional air quality planning efforts, addresses ambient air quality standards set forth by the Federal Environmental Protection Agency (EPA) and the California Air Resources Board (CARB). Potential air quality impacts resulting from the proposed Project would not exceed emissions projected by the Air Quality Element. The County is charged with implementing the policies in the General Plan Air Quality Element, which are focused on reducing concentrations of criteria pollutants, reducing negative impacts to sensitive receptors, reducing mobile and stationary pollutant sources, increasing energy conservation and efficiency, improving the jobs to housing balance, and facilitating multi-jurisdictional coordination for the improvement of air quality.

Implementation of the project would not impact air quality beyond the levels documented in EIR No. 441 prepared for the General Plan. The project would impact air quality in the short-term during construction and in the long-term through operation. In accordance with standard county requirements, dust control measures and maintenance of construction equipment shall be utilized on the property to limit the amount of particulate matter generated. These are standard requirements and are not considered mitigation pursuant to CEQA.

The proposed project would primarily impact air quality through increased automotive emissions. Projects of this type do not generate enough traffic and associated air pollutants to violate clean air standards or contribute enough air pollutants to be considered a cumulatively considerable significant impact. Therefore, the impacts to air quality are considered less than significant.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include residences and a school, which are considered sensitive receptors; however, the project is not expected to generate substantial point source emissions. The long-term project impacts in the daily allowable emissions for the project's operational phase are considered to be not significant.

e) The project will not create sensitive receptors located within one mile of an existing substantial point source emitter.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan,

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
or other approved local, regional, or state conservation plan?				
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, WRCMSHCP, Environmental Programs Division (EPD) review

Findings of Fact:

a) The project site does not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. The project site is not located within a Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP) Criteria Area or cell. Therefore, the impact is considered less than significant.

b) The project site is not located within a WRCMSHCP Criteria Area or cell. The project will not have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12). Therefore, the impact is considered less than significant.

c) The project site is not located within a WRCMSHCP Criteria Area or cell. The project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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or by the California Department of Fish and Game or U. S. Wildlife Service. Therefore, the impact is considered less than significant.

d) The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites. Therefore, the impact is considered less than significant.

e-f) The project site does not contain riverine/riparian areas or vernal pools. Therefore, the impact is considered less than significant.

g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

a-b) The site is fully disturbed with the towing business existing on site. And the project does not propose the disturbance of a historic site or the demolishing of historic structures. The project will not cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

9. Archaeological Resources

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a-b) Site disturbance has already occurred from grading for the use of the towing business existing on site and it is not anticipated that the proposed project will alter or destroy an archaeological site. If, however, during ground disturbing activities, unique cultural resources are discovered, all ground disturbances shall halt until a meeting is held between the developer, archaeologist, and Native American representative to discuss the significance of the find. (COA 10.PLANNING.2) Therefore, the project will not alter or destroy an archaeological site or cause a substantive adverse change in the significance of an archaeological resource.

c) There may be a possibility that ground disturbing activities will expose human remains. The project is subject to State Health and Safety Code Section 7050.5 if human remains are discovered during ground disturbing activities. (COA 10.PLANNING.1) This is a standard condition and not considered mitigation for CEQA purposes. Therefore, the impact is considered less than significant.

d) There are no known sacred or religious uses or sacred uses within the potential impact area. Therefore, there is no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

10. Paleontological Resources

a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?

Source: Riverside County General Plan Figure OS-8 "Paleontological Sensitivity", County Geologist Review

Findings of Fact:

a) The site is mapped in the County's General Plan as having a high potential for paleontological resources (fossils). The project does not propose grading; however, if grading is required, a Paleontological Resources Impact Mitigation Program (PRIMP) shall be submitted and approved by the County Geologist. (COA 60.PLANNING.1) A copy of the Paleontological Monitoring Report prepared for site grading operations at this site shall be submitted to the County Geologist prior to building final inspection. (COA 90.PLANNING.1) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation. Therefore, the project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?				
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, County Geologist review

Findings of Fact:

a) The project site is not located within an Alquist-Priolo Earthquake Fault Zone. The proposed project will not expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death. California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all commercial development they are not considered mitigation for CEQA implementation purposes. Therefore, the impact is considered less than significant.

b) The project site is not located within an Alquist-Priolo Earthquake Fault Zone and no known fault lines are present on or adjacent to the project site. Therefore, there is a low potential for rupture of a known fault. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", GIS Database, County Geologist review

Findings of Fact:

a) According to GIS database, the project site is located within an area with high liquefaction potential. However, the County Geologist did not require a geologic study for this project due to the size of the proposed office trailer. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.

13. Ground-shaking Zone

Be subject to strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), County Geologist review

Findings of Fact:

There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in Southern California. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope", County Geologist review

Findings of Fact:

a) The project site is relatively flat and according to Figure S-5, the project site is located in an area with slopes less than 15%; therefore, there is no potential for landslides. The project site and surrounding area does not consist of rocky terrain therefore the project is not subject to rock fall hazards. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

Source: GIS database, Riverside County General Plan Figure S-7 "Documented Subsidence Areas", County Geologist review

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The project site is located in an area susceptible to subsidence, but not located near any documented areas of subsidence. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

Source: Project Application Materials, County Geologist review

a) The project site is not located near any large bodies of water or in a known volcanic area; therefore, the project site is not subject to geologic hazards, such as seiche, mudflow, or a volcanic hazard. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

a) Change topography or ground surface relief features?

b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

c) Result in grading that affects or negates subsurface sewage disposal systems?

Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

a) The project site is generally flat, there is no change in topography or ground surface relief features. The project will have no significant impact.

b) The project site is flat and proposes no grading that would create slopes greater than 2:1.

c) The project does not result in grading that affects or negates subsurface sewage disposal systems.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
18. Soils				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: General Plan figure S-6 "Engineering Geologic Materials Map", Project Application Materials, Building and Safety Grading review

a) The development of the site could result in the loss of topsoil from grading activities, but not in a manner that would result in significant amounts of soil erosion. Implementation of Best Management Practices (BMPs) would reduce the impact to below a level of significance. Impacts would be less than significant.

b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

c) The project proposes to utilize an Onsite Wastewater Treatment System. Prior to issuance of a building permit, the applicant shall provide an original copy of C42 Certification (DEH-SAN-184) along with a detailed contoured plot plan wet signed by the C42 Licensed Contractor showing the location of all required information as specified in the Department of Environmental Health (DEH) Technical Guidance Manual. (COA 80.E HEALTH. 1) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation. Therefore, the project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion				
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Flood Control District review, Project Application Materials

Findings of Fact:

a) Implementation of the proposed project will involve grading and various construction activities. Standard construction procedures, and federal, state and local regulations implemented in conjunction with the site's storm water pollution prevention plan (SWPPP) and its Best Management Practices (BMPs) required under the National Pollution Discharge System (NPDES) general construction

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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permit, will minimize potential for erosion during construction. These practices will keep substantial amounts of soil material from eroding from the project site and prevent deposition within receiving waters located downstream.

b) The potential for on-site erosion will increase due to grading and excavating activities during the construction phase. However, BMPs will be implemented for maintaining water quality and reducing erosion.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) The site is located in an area of Moderate Wind Erodibility rating. The General Plan, Safety Element Policy for Wind Erosion requires buildings and structures to be designed to resist wind loads which are covered by the California Building Code (CBC). With such compliance, the project will not result in an increase in wind erosion and blowsand, either on or off site. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Project application materials

Findings of Fact:

a) The project is for vehicle storage and impoundment facility with a 320 square foot sales trailer. The installation of the sales trailer will involve small-scale construction activities that will not involve an extensive amount of heavy duty equipment or labor. Therefore, greenhouse gas emissions generated during construction phase are minimal. Possible greenhouse gas producing elements of the proposed

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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use will include onsite vehicle idling and the delivery and pickup of vehicles to the site. Both of these elements will produce less than significant amounts of additional greenhouse gasses. Therefore, project is not anticipated to generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.

b) The project will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, Department of Environmental Health Review and Fire Department Review

Findings of Fact:

a-b) The project is proposing to operate a vehicle storage and impoundment facility and no hazardous materials shall be used and/or stored on site. No damaged or inoperable vehicles are to be stored on site and metal drip pan will be placed under a vehicle with suspected oil leaks. The project is not anticipated to create a significant hazard to the public or the environment transport, use, or disposal of hazardous materials or create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. Therefore, the impact is considered less than significant.

c) The project has been reviewed by the Riverside County Fire Department for emergency access, and will not impair the implementation or physically interfere with an adopted emergency response plan or an emergency evacuation plan.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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d) The project is located within one-quarter mile of an existing school. However, the project will not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste. The project will have less than significant impact.

e) The project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

a) The project site is not located within the vicinity of any public or private airport; therefore, the project will not result in an inconsistency with an Airport Master Plan.

b) The project site is not located within the vicinity of any public or private airport; therefore will not require review by the Airport Land Use Commission.

c) The project is not located within an airport land use plan and would not result in a safety hazard for people residing or working in the project area.

d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) The project site is not located in a high fire area. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

- a) According to the Flood Hazard Report, the site is protected from storm runoff by existing street improvements along Magnolia Avenue and the surrounding developments, except for nuisance nature local runoff that may traverse portions of the property; the project is free from ordinary storm flood hazard. (COA 10.FLOOD RI. 1) Therefore, the project shall not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site. The impact is considered less than significant.
- b) Due to the amount of impervious surfaces within the project site, the project is not anticipated to violate any water quality standards or waste discharge requirements.
- c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted. Therefore, the impact is considered less than significant.
- d) Due to the amount of impervious surfaces within the project site, this proposal will not increase flow rates on downstream property owners. Therefore, no new flood control facilities or water quality mitigation will be required. The impact is considered less than significant.
- e-f) The project site is not located within a 100-year flood hazard area. Therefore, the proposed project shall not place housing or structures within a 100-year flood hazard area. Therefore, there is no impact.
- g) The proposed project is not anticipated to otherwise substantially degrade water quality. The project has been conditioned to provide to the Building and Safety Department evidence of compliance with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement and to obtain a construction permit from State Water Resource Control Board (SWRCB) prior to issuance of any grading or construction permit (COA 10.BS GRADE. 6). This is a standard condition of approval and is not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.
- h) The project will not include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors and odors). Therefore, there is no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable

U - Generally Unsuitable

R - Restricted

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site.
- b) The project will not substantially change absorption rates or the rate and amount of surface runoff.
- c) The project will not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- d) The project will not cause changes in the amount of surface water in any water body.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

- a) The project proposes a vehicle storage and impoundment facility. The project site is currently designated Community Development: Light Industrial (CD:LI) (0.20 to 0.60 Floor Area Ratio) on the Temescal Canyon Area Plan. A wide variety of light industrial uses and related uses, including, but

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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not limited to, assembly and light manufacturing, repair and other service facilities, warehousing, distribution centers and supporting retail uses are allowed within the Community Development: Light Industrial (CD:LI) (0.20 to 0.60 Floor Area Ratio) Land Use designation. The proposed project is in conformance with the land use designation; therefore shall not result in the substantial alteration of the present or planned land use of an area. Therefore, there is no significant impact.

b) The project is located within the City of Corona sphere of influence. The project has been transmitted to the City of Corona. No information provided suggested that the proposed project would affect land uses within Corona or adjacent city or county boundaries. Therefore, impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

28. Planning

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The proposed project is consistent with the site's existing zoning of Manufacturing - Service Commercial (M-SC). The proposed use, vehicle storage and impoundment, is a permitted use, subject to approval of a plot plan in the Manufacturing-Service Commercial (M-SC).

b) The surrounding zoning is General Commercial (C-1/C-P) and General Residential (R-3) to the south and Manufacturing-Service Commercial (M-SC) to the east and west. The project will be compatible with the surrounding zoning classifications.

c) The project site is designated Community Development: Light Industrial (CD: LI) (0.25 - 0.60 Floor Area Ratio) and surrounding properties are designated Community Development: Light Industrial (CD:LI) (0.20 to 0.60 Floor Area Ratio) to the east and west and Community Development: Commercial Retail (CD: CR) (0.20 to 0.35 Floor Area Ratio) and Community Development: High Density Residential (CD: HDR) (2-5 Dwelling Units per Acre) to the south. There are existing storage facilities and industrial uses to the east and west and apartments and commercial uses to the south of the project site. The project is proposing a block wall and landscaping along Magnolia Avenue which

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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will serve as a buffer between the proposed project and the existing residence to the south. The project is compatible with existing and planned surrounding land uses.

d-e) The project is consistent with the land use designations and policies of the General Plan. In addition, the project will not disrupt or divide the physical arrangement of an established community. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

a) The project site is within MRZ-3, which is defined as areas where the available geologic information indicates that mineral deposits are likely to exist; however, the significance of the deposit is undetermined. The General Plan identifies policies that encourage protection for existing mining operations and for appropriate management of mineral extraction. A significant impact that would constitute a loss of availability of a known mineral resource would include unmanaged extraction or encroach on existing extraction. No existing or abandoned quarries or mines exist in the area surrounding the project site. The project does not propose any mineral extraction on the project site. Any mineral resources on the project site will be unavailable for the life of the project; however, the project will not result in the permanent loss of significant mineral resources.

b) The project will not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. The project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan.

c) The project will not be an incompatible land use located adjacent to a State classified or designated area or existing surface mine.

d) The project will not expose people or property to hazards from proposed, existing or abandoned quarries or mines.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a) The project site is not located within an airport land use plan or within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

b) The project is not located within the vicinity of a private airstrip that would expose people residing on the project site to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: The project site is located adjacent a railroad line. However, the project is for vehicle impoundment facility that does not create a noise sensitive use. The existing railroad noise will not have a significant impact on the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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32. Highway Noise

NA <input checked="" type="checkbox"/>	A <input type="checkbox"/>	B <input type="checkbox"/>	C <input type="checkbox"/>	D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: On-site Inspection, Project Application Materials

Findings of Fact: The project site is located adjacent to Magnolia Avenue and Sampson Avenue. However, the project is for a vehicle impoundment facility that does not create a noise sensitive use. The existing highway noise will not have a significant impact on the project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise

NA <input checked="" type="checkbox"/>	A <input type="checkbox"/>	B <input type="checkbox"/>	C <input type="checkbox"/>	D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials, GIS database

Findings of Fact: No additional noise sources have been identified near the project site that would contribute a significant amount of noise to the project. There will be no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) Although the project will increase the ambient noise level in the immediate vicinity during construction, and the general ambient noise level will increase slightly after project completion, the impacts are not considered significant.

b) The project might create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project. However, all noise generated during project construction and the operation of the site must comply with the County's noise standards, which restricts construction (short-term) and operational (long-term) noise levels. Therefore, any potential noise impact is considered less than significant.

c) The project will not cause exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies.

d) Persons might be exposed to ground-borne vibration or ground-borne noise levels during construction and operation of the project; however, to minimize ambient noise levels during construction and operation of the proposed project, construction and operation shall be restricted substantially to daylight hours.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

POPULATION AND HOUSING Would the project

35. Housing

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- a) The proposed project will not displace any housing, necessitating the construction of replacement housing elsewhere. The project will have no significant impact.
- b) The project will not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income. The project will have no significant impact.
- c) The project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. The project will have no significant impact.
- d) The project is not located within a County Redevelopment Project Area. Therefore, the project will have no significant impact.
- e) The project will not cumulatively exceed official regional or local population projections. The project will have no significant impact.
- f) Development of the project site will have a less than significant impact on inducing substantial population growth in an area either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services

Source: Riverside County General Plan Safety Element

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services. (COA 90.PLANNING.29) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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37. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project would not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to sheriff services. (COA 90.PLANNING.29) This is a standard Condition of Approval and pursuant to CEQA, is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Alvord Unified School District correspondence, GIS database

Findings of Fact: The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the Alvord Unified School District. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. (COA 80.PLANNING.17) This is a standard Condition of Approval and pursuant to CEQA, is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

39. Libraries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The proposed project will not create a significant incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. This project shall comply with County Ordinance No. 659 to mitigate the potential effects to library services. (COA 90.PLANNING.29) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

40. Health Services

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact:

The use of the proposed project would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The project will have no impact. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a) The project would not include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment. The project will have no significant impact.

b) The project would not include the use of existing neighborhood or regional parks or other recreation facilities such that substantial physical deterioration of the facility would occur or be accelerated. The project will have no significant impact.

c) The project is not located within a County Service Area and commercial projects are not required to pay Quimby fees. The project will have no significant impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

42. Recreational Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: The project does not create a need or impact a recreational trail in the vicinity of the project. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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of such facilities?

Source: Riverside County General Plan

Findings of Fact:

a) The project will generate minimal traffic to the area and regional transportation system. The project will not conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system. The Transportation Department has determined that the project is exempt from traffic study requirements (COA 10.TRANS.1). The impact is less than significant.

b) The project will not conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways. The project will have no significant impact.

c-d) The project does not propose any design issues that would cause a change in air traffic patterns, alter waterborne, or rail and air traffic. The project will have no significant impact.

e-f) The project will not substantially increase hazards due to a design feature or cause an effect upon a need for new or altered maintenance of roads. The project will have no significant impact.

g) The project could cause an effect upon circulation during the project's construction; this impact will be temporary in nature. The impact is considered less than significant.

h) The project will not cause inadequate emergency access or access to nearby uses. The project will have no significant impact.

i) The project site will not conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan

Findings of Fact: The project does not create a need or impact a bike trail in the vicinity of the project. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: Department of Environmental Health Review

Findings of Fact:

a) The City of Riverside, Public Utilities currently services the project with water and sewer. The Riverside County Department of Environmental Health has reviewed this project. The project does not require or will not result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects. Therefore, the impact is considered less than significant.

b) The project will have sufficient water supplies available to serve the project by City of Riverside, Public Utilities pursuant to the arrangement of financial agreements. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

Source: Department of Environmental Health (DEH) Review

Findings of Fact:

a-b) The project proposes to utilize an Onsite Wastewater Treatment System. Prior to issuance of a building permit, the applicant shall provide an original copy of C42 Certification (DEH-SAN-184) along with a detailed contoured plot plan wet signed by the C42 Licensed Contractor showing the location of all required information as specified in the Department of Environmental Health (DEH) Technical

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Guidance Manual. (COA 80.E HEALTH. 1) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation. Therefore, the project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a) The project will not substantially alter existing or future solid waste generation patterns and disposal services. The landfill that will serve the project has sufficient capacity to accommodate the project's anticipated solid waste disposal needs.

b) The development will comply with federal, state, and local statutes and regulations related to solid wastes (including the CIWMP- County Integrated Waste Management Plan).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a-c) The project will require utility services in the form of Electricity, Natural gas, and Communications systems. Utility service infrastructure is available to the project site and the project site and the project is not anticipated to create a need for new facilities.

d) Storm water drainage will be handled on-site.

e-f) Street lighting exists for access to the project site. The project will have an incremental impact on the maintenance of public facilities, including roads.

g) The project will not require additional governmental services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

Source:

a) The proposed project will not project conflict with any adopted energy conservation plans. The project will have no significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any: Not Applicable

Location Where Earlier Analyses, if used, are available for review: Not Applicable

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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File: EA.PP24306

PLOT PLAN:TRANSMITTED Case #: PP24306

Parcel: 172-110-008

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for a vehicle storage and impoundment facility. The project includes a 320 square foot office trailer with two (2) parking spaces. A maximum of 55 small and 8 large impounded vehicles are proposed to be stored at the site. No damaged or inoperable vehicles are to be stored at the facility.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

PLOT PLAN:TRANSMITTED Case #: PP24306

Parcel: 172-110-008

10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 24306 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 24306, Exhibit A, Amended No. 2, dated April 24, 2013.

APPROVED EXHIBIT B&C = Plot Plan No. 24306, Exhibit B&C, Amended No. 2, dated December 13, 2012.

APPROVED EXHIBIT G = Plot Plan No. 24306, Exhibit G, Amended No. 2, dated April 24, 2013.

APPROVED EXHIBIT L = Plot Plan No. 24306, Exhibit L (Sheets 1-6), Amended No. 2, dated December 13, 2012.

APPROVED EXHIBIT W = Plot Plan No. 24306, Exhibit W, Amended No. 2, dated April 24, 2013.

10. EVERY. 4 USE - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION

RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS

RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

PLOT PLAN:TRANSMITTED Case #: PP24306

Parcel: 172-110-008

10. GENERAL CONDITIONS

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or

PLOT PLAN:TRANSMITTED Case #: PP24306

Parcel: 172-110-008

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

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10.BS GRADE. 20 USE - RETAINING WALLS RECOMMND

Lots which propose retaining walls will require separate permits. They shall be obtained prior to the issuance of any other building permits - unless otherwise approved by the Building and Safety Director. The walls shall be designed by a Registered Civil Engineer - unless they conform to the County Standard Retaining Wall designs shown on the Building and Safety Department form 284-197.

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

The applicant shall obtain building permits from the building department for the placement of any office trailer(s), construction of the proposed block walls, or any additional buildings, structures or equipment prior to placement or construction on the property.

All proposed scope of work shall comply with current adopted California Building Codes, California Title 25 regulations and Riverside County ordinances.

E HEALTH DEPARTMENT

10.E HEALTH. 1 RIVERSIDE PUB UTIL-WATER RECOMMND

Plot Plan#24306 is currently receiving potable water service from the City of Riverside, Public Utilities. It is the responsibility of the property owner to ensure

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10. GENERAL CONDITIONS

10.E HEALTH. 1 RIVERSIDE PUB UTIL-WATER (cont.) RECOMMND

that all requirements to continue receiving potable water service are met with the City of Riverside, Public Utilities as well as all other applicable agencies.

10.E HEALTH. 2 INDUSTRIAL HYGIENE-COMMENTS RECOMMND

Based on the County of Riverside, Industrial Hygiene Program's review of Plot Plan#24306 (PP#24306), a noise study shall not be required for this planning case. However, PP#24306 shall be required to comply with the following:

1) Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels 45 dB(A) - 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB(A) - 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard).

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

10.E HEALTH. 3 NO HAZMAT STORED/USED ONSITE RECOMMND

Plot Plan#24306 is proposing to operate an impound yard for temporary vehicle storage for the Police & Sherriffs Department. Based on the information provided, no hazardous materials shall be used and/or stored onsite.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 1500 GPM for a 2 hour duration at 20 PSI residual operating pressure, which must

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10. GENERAL CONDITIONS

10.FIRE. 2 USE-#23-MIN REQ FIRE FLOW (cont.) RECOMMND

be available before any combustible material is placed on the job site.

10.FIRE. 3 USE-#20-SUPER FIRE HYDRANT RECOMMND

Super fire hydrant (6"x4"x 2-2 1/2") shall be located not less than 25 feet or more than 250 feet from any portion of the office trailer as measured along approved vehicular travel ways.

10.FIRE. 4 USE-#84-TANK PERMITS RECOMMND

Applicant or Developer shall be responsible for obtaining under/aboveground fuel, chemical and mixed liquid storage tank permits, from the Riverside County Fire Department and Environmental Health Departments. Plans must be submitted for approval prior to installation. Aboveground fuel/mixed liquid tanks(s) shall meet the following standard: Tank must be tested and labeled to UL2085 Protected Tank Standard or SwRI 93-01. The test must include the Projectile Penetration Test and the Heavy Vehicle Impact Test. A sample copy of the tank's label from an independent test laboratory must be included with your plans.

10.FIRE. 5 USE-#25-GATE ENTRANCES RECOMMND

ny gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

10.FIRE. 6 USE-#88A-AUTOMATIC GATES RECOMMND

Gate(s) shall be automatic operated, minimum 20 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

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10. GENERAL CONDITIONS

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE FLOOD HAZARD REPORT

RECOMMND

Plot Plan 24306 is a proposal for a police and sheriff impound yard with a 320 sq. ft. office trailer and six parking spaces on a 1-acre site. The site is located in the Temescal Canyon area on the northerly of Magnolia Avenue, southerly of Samson Avenue, and easterly of McKinnley Street with rail road running along the northerly property line.

The site is protected from storm runoff by existing street improvements along Magnolia Avenue and the surrounding developments, except for nuisance nature local runoff that may traverse portions of the property; the project is free from ordinary storm flood hazard. However, a storm of unusual magnitude could cause some damage.

Previously the developer had submitted a preliminary Water Quality Management Plan (WQMP) dated June 20, 2012, proposing to pave the entire site with porous concrete. The new exhibit received on April 24, 2013 shows no new impervious area proposed; in fact the developer is proposing to remove and replace the existing concrete with 4" gravel, thus only maintaining 4,633 sq. ft. of impervious surface. Since the impervious area is less than 5000 sq. ft. no WQMP is required at this time but in future if the impervious area is more than 5000 sq. ft. will need a project specific WQMP.

PLANNING DEPARTMENT

10.PLANNING. 1 GEN - IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law.

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10. GENERAL CONDITIONS

10.PLANNING. 1 GEN - IF HUMAN REMAINS FOUND (cont.) RECOMMND

Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

10.PLANNING. 2 GEN - INADVERTANT ARCHAEO FIND RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1.All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2.At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

3.Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached

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10. GENERAL CONDITIONS

10.PLANNING. 2 GEN - INADVERTANT ARCHAEO FIND (cont.) RECOMMND
by all parties as to the appropriate preservation or mitigation measures.

10.PLANNING. 3 USE - COMPLY WITH ORD./CODES RECOMMND
The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.
The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 4 USE - FEES FOR REVIEW RECOMMND
Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 5 USE - LIGHTING HOODED/DIRECTED RECOMMND
Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 6 USE - COLORS & MATERIALS RECOMMND
Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT B&C.

10.PLANNING. 9 USE - BASIS FOR PARKING RECOMMND
Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b), 1 space/200 sq ft for the office.

10.PLANNING. 11 USE - NO OUTDOOR ADVERTISING RECOMMND
No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall

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10. GENERAL CONDITIONS

10.PLANNING. 11 USE - NO OUTDOOR ADVERTISING (cont.) RECOMMND

be constructed or maintained within the property subject to this approval.

10.PLANNING. 17 USE - RECLAIMED WATER RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 18 USE - NO SECOND FLOOR RECOMMND

No tenant improvement permit, or any other building permit, shall be granted for any second story, second floor, mezzanine, or interior balcony unless a plot plan, conditional use permit, public use permit, substantial conformance or a revised permit is approved by the Planning Department pursuant to Section 18.12 of Ordinance No. 348 in order to assure adequate parking remains within the property. Only a one story building was approved as part of this permit and reviewed for parking standards.

10.PLANNING. 19 USE - NO RESIDENT OCCUPANCY RECOMMND

No permanent occupancy shall be permitted within the property approved under this plot plan as a principal place of residence. No person shall use the premises as a permanent mailing address nor be entitled to vote using an address within the premises as a place of residence.

10.PLANNING. 21 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

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10. GENERAL CONDITIONS

10.PLANNING. 22 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 24 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 25 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 26 USE - IND OCCUPANT CHANGE RECOMMND

Prior to initial occupancy, upon tenant/occupant change, or upon change in industrial use, the permit holder shall provide a letter from the Planning Department to Building & Safety verifying no need for further environmental, hazardous materials or air quality review as a result of the change.

10.PLANNING. 31 USE - PERMIT SIGNS RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to

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10. GENERAL CONDITIONS

10.PLANNING. 31 USE - PERMIT SIGNS (cont.) RECOMMND

and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 34 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 36 USE - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

1)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2)Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.

2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to

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10. GENERAL CONDITIONS

10.PLANNING. 36 USE - LC LANDSCAPE REQUIREMENT (cont.) RECOMMND

California Friendly Landscaping, and Ordinance No. 859.

3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.PLANNING. 37 USE - ADDITIONAL LANDSCAPING RECOMMND

The developer/permit holder shall submit a Landscaping Minor Plan Application to the Riverside County Planning Department for review and approval that also incorporates all the additional landscaping identified on the APPROVED EXHIBIT A. The landscaping plans shall be in compliance with Ordinance No. 348 and Ordinance No. 859.

10.PLANNING. 38 USE - PERMIT "USED" RECOMMND

The effective date of the issuance of this permit is the Planning Department's approval date. This permit shall be considered "used" as of the day of the effective date. The permit holder shall apply to the Building and Safety Department for all necessary permits, including the submission of all required documents and fees, for any plan check as determined by the Building and Safety Department, in order to ensure compliance with all applicable requirements of Ordinance Nos. 348 (Land Use & Zoning) and 457 (Building Code) and the conditions of approval of this permit. The permit holder shall pursue diligently to completion all necessary permits and obtain final inspection approval thereof.

TRANS DEPARTMENT

10.TRANS. 1 USE - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

10.TRANS. 2 USE - STD INTRO 3(ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement

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10. GENERAL CONDITIONS

10.TRANS. 2 USE - STD INTRO 3(ORD 460/461) (cont.) RECOMMND

Standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 3 USE - COUNTY WEB SITE RECOMMND

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Web site:
<http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION CODE ENFORCE RECOMMND

WITHIN SIXTY (60) DAYS OF THE EFFECTIVE DATE OF THIS PERMIT, the permit holder shall apply to the Building and Safety Department for all necessary permits, including permits for the removal of the existing buildings and for the proposed office trailer, fences and walls along with the submission of all required document fees for any plan check review as determined by the Director of Building and Safety, to ensure all buildings, structures and uses are in compliance with the applicable requirements of Ordinance Nos. 457 (Building Code) and 348 (Land Use) and the conditions of approval of this permit. A lock shall be placed on the permit to take effect on the sixtieth day, which shall not be released unless compliance with the above provision has occurred. THE PERMIT HOLDER SHALL PURSUE DILIGENTLY TO COMPLETION ALL NECESSARY PERMITS AND OBTAIN FINAL INSPECTION APPROVAL THEREOF WITHIN ONE (1) YEAR OF THE EFFECTIVE DATE OF THIS PERMIT (additional time may be requested pursuant to Section 18.43 of Ordinance No. 348). A lock shall be placed on any building permit to take effect on the expiration date, and shall not be

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20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1 USE - EXPIRATION CODE ENFORCE (cont.) RECOMMND

removed unless compliance with the above provision has occurred. Notwithstanding the above, any circumstance within the property threatening the public health and safety shall be immediately corrected.

20.PLANNING. 2 USE - COC REQUIRED RECOMMND

Within six (6) months of project approval, and prior to issuance of a grading permit or prior to issuance of building permits, whichever comes first, an application for a Certificate of Land Division Compliance shall be filed with and approved by the Planning Department for each property. Proof of recordation shall be presented to the Building and Safety Department.

20.PLANNING. 3 USE - PARCEL MERGER REQD RECOMMND

Within six (6) months of project approval, and prior to the issuance of a grading permit or prior to issuance of building permits, whichever comes first, and after the COCs have been approved and recorded, a Certificate of Parcel Merger shall be reviewed and approved by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 172-110-007 and 172-110-008. The permit holder shall submit proof of recordation of the parcel merger to the Planning Department within 6 (six) months of Planning Department approval. The proposed parcel shall comply with the development standards of the Manufacturing-Service Commercial (M-SC) zone.

20.PLANNING. 4 USE - LNDSCPNG MINOR PLOT PLAN RECOMMND

Within sixty days of the effective date of this permit, and prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

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60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY

RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT

RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 USE - IMPORT / EXPORT (cont.)

RECOMMND

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS

RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100

RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS

RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR

RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

60.BS GRADE. 11 USE - APPROVED WQMP

RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 11 USE - APPROVED WQMP (cont.) RECOMMND

the Riverside County Flood Control District and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 13 USE- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR RECOMMND

This site is mapped in the County's General Plan as having a High potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. HENCE:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and grading plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR (cont.)

RECOMMND

Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

- 1.Description of the proposed site and planned grading operations.
- 2.Description of the level of monitoring required for all earth-moving activities in the project area.
- 3.Identification and qualifications of the qualified paleontological monitor to be employed for grading operations monitoring.
- 4.Identification of personnel with authority and responsibility to temporarily halt or divert grading equipment to allow for recovery of large specimens.
- 5.Direction for any fossil discoveries to be immediately reported to the property owner who in turn will immediately notify the County Geologist of the discovery.
- 6.Means and methods to be employed by the paleontological monitor to quickly salvage fossils as they are unearthed to avoid construction delays.
- 7.Sampling of sediments that are likely to contain the remains of small fossil invertebrates and vertebrates.
- 8.Procedures and protocol for collecting and processing of samples and specimens.
- 9.Fossil identification and curation procedures to be employed.
- 10.Identification of the permanent repository to receive any recovered fossil material. * The County of Riverside must be consulted on the repository/museum to receive the fossil material and a written agreement between the property owner/developer and the repository must be in place prior to site grading.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR (cont.) (cont.) RECOMMND

11.All pertinent exhibits, maps and references.

12.Procedures for reporting of findings.

13.Identification and acknowledgement of the developer for the content of the PRIMP as well as acceptance of financial responsibility for monitoring, reporting and curation fees.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist), as appropriate. Two wet-signed original copies of the report(s) shall be submitted to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office. In addition, the applicant shall submit proof of hiring (i.e. copy of executed contract, retainer agreement, etc.) a project paleontologist for the in-grading implementation of the PRIMP.

60.PLANNING. 3 USE - COC REQUIRED (1) RECOMMND

Prior to issuance of a grading permit, an application for a Certificate of Land Division Compliance shall be filed with and approved by the Planning Department for each property. Proof of recordation shall be presented to the Building and Safety Department.

60.PLANNING. 4 USE - PARCEL MERGR REQD (1) RECOMMND

Prior to the issuance of a grading permit, and after the COCs have been approved and recorded, a Certificate of Parcel Merger shall be reviewed and approved by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 172-110-007 and 172-110-008. The permit holder shall submit proof of recordation of the parcel merger to the Planning Department within 6 (six) months of Planning Department approval. The proposed parcel shall comply with the development standards of the Manufacturing-Service Commercial (M-SC) zone.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 11 USE - FEE STATUS RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 24306, the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

TRANS DEPARTMENT

60.TRANS. 1 USE - TRANSPORTATION CLEARANCE RECOMMND

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL (cont.)

RECOMMND

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

80.E HEALTH. 1 C42 CERTIFICATION w/ PLOT PLAN

RECOMMND

Prior to the Issuance of a Building Permit, the applicant shall provide an original copy of C42 Certification (DEH-SAN-184) along with a detailed contoured plot plan wet signed by the C42 Licensed Contractor showing the location of all required information as specified in the Department of Environmental Health (DEH) Technical Guidance Manual.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$

RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS

RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

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80. PRIOR TO BLDG PRMT ISSUANCE

PLANNING DEPARTMENT

80.PLANNING. 3 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B&C.

80.PLANNING. 4 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT B&C.

80.PLANNING. 5 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 8 USE - COC REQUIRED (2) RECOMMND

Prior to issuance of building permits, an application for a Certificate of Land Division Compliance shall be filed with and approved by the Planning Department for each property. Proof of recordation shall be presented to the Department of Building and Safety.

If Planning Department Condition No. 60.PLANNING.3 is satisfied, this condition shall be considered MET.

80.PLANNING. 12 USE - PARCEL MERGR REQD (2) RECOMMND

Prior to the issuance of a building permit, and after the COCs have been approved and recorded, a Certificate of Parcel Merger shall be reviewed and approved by the Planning Department. The Parcel Merger shall merge Assessor Parcel Nos. 172-110-007 and 172-110-008. The permit holder shall submit proof of recordation of the parcel merger to the Planning department within six (6) months of Planning Department approval. The proposed parcel shall comply with the development standard of the Manufacturing-Service Commercial (M-SC) zone.

This condition shall be considered MET if Condition Of Approval No. 60.PLANNING.4 is satisfied.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 16 USE - WASTE MGMT. CLEARANCE

RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated February 1, 2010, summarized as follows:

Prior to issuance of a building permit, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to Design Guidelines for Recyclables Collection and Loading Areas, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/farade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.

Prior to issuance of a building permit, a Waste Recycling Plan (WRP) shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, and the targeted recycling or reduction rate. Arrangements can be made through the franchise hauler.

80.PLANNING. 17 USE - SCHOOL MITIGATION

RECOMMND

Impacts to the Alvord Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 18 USE - LIGHTING PLANS

RECOMMND

All parking lot lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 19 USE - FEE STATUS

RECOMMND

Prior to issuance of building permits for Plot Plan No. 24306, the Planning Department shall determine the status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

80.PLANNING. 20 USE- LNDSCPNG PROJ SPECIFIC

RECOMMND

In addition to the requirements of the Landscape and Irrigation Plan submittal, the following project specific conditions shall be imposed:

- a. LANDSCAPE BACKFLOW TO USE ALL BRASS FITTINGS AND NIPPLES ON MINOR PLOT PLAN REVIEW
- B. REMOVE LANTANA FROM PROJECT AND REPLACE WITH NON EVASIVE PLANT MATERIAL ON MINOR PLOT PLAN.

80.PLANNING. 21 USE - LC LANDSCAPE PLOT PLAN

RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:
1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;

2)Weather based controllers and necessary components to eliminate water waste;

3)A copy of the "stamped" approved grading plans; and,

4)Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

1)Identification of all common/open space areas;

2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 21 USE - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

- 3) Shading plans for projects that include parking lots/areas;
- 4) The use of canopy trees (24" box or greater) within the parking areas;
- 5) Landscaping plans for slopes exceeding 3 feet in height;
- 6) Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
- 7) If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

) When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 22 USE - LC LANDSCAPE SECURITIES

RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 22 USE - LC LANDSCAPE SECURITIES (cont.) RECOMMND

elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

TRANS DEPARTMENT

80.TRANS. 1 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951) 955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping along Magnolia Avenue.
- (2) Traffic signals located on Magnolia Avenue at intersection of Lincoln Street.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 1 USE - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

(3) Street sweeping.

80.TRANS. 2 USE - LANNDSCAPING RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within Magnolia Avenue and submitted to the Transportation Department. Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

80.TRANS. 3 USE - R-O-W DEDICATION 1 RECOMMND

Additional 10' of public right-of-way along Magnolia Avenue shall be dedicated for landscaping and irrigation.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

- 1.Sub-grade inspection prior to base placement.
- 2.Base inspection prior to paving.
- 3.Precise grade inspection of entire permit area.
 - a.Inspection of Final Paving
 - b.Precise Grade Inspection
 - c.Inspection of completed onsite storm drain facilities
 - d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

- 1.Requesting and obtaining approval of all required grading inspections.
- 2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.)

RECOMMND

certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES

RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 3 USE-#27-EXTINGUISHERS

RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

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90. PRIOR TO BLDG FINAL INSPECTION

PLANNING DEPARTMENT

90.PLANNING. 1 USE - PALEO MONITORING REPORT

RECOMMND

PRIOR TO BUILDING FINAL INSPECTION:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the Western Center, the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories.

90.PLANNING. 4 USE - PARKING PAVING MATERIAL

RECOMMND

A minimum of two (2) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 5 USE - ACCESSIBLE PARKING

RECOMMND

A minimum of one (1) accessible parking space for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 5 USE - ACCESSIBLE PARKING (cont.) RECOMMND

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ___."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 20 USE - WALL & FENCE LOCATIONS RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT W.

90.PLANNING. 23 USE - WASTE MGMT CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management Department shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated February 1, 2010, summarized as follows:

Prior to final building inspection, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection.

Prior to issuance of an occupancy permit, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.

90.PLANNING. 25 USE - CONDITION COMPLIANCE RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 28 USE - ORD 810 O S FEE

RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection, whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 810, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 24306 is calculated to be 1 net acre. In the event Riverside County Ordinance No. 810 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 810 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 29 USE - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 24306 has been calculated to be 1 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 30 USE - LC LNDSCP INSPECT DEPOST

RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 31 USE - LC COMPLY W/ LNDSCP/ IRR

RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

TRANS DEPARTMENT

90.TRANS. 1 USE - ST DESIGN/IMP CONCEPT

RECOMMND

The street design and improvement concept of this project shall be coordinated with P/P 949-00.

90.TRANS. 2 USE - WRCOG TUMF

RECOMMND

Prior to the issuance of an occupancy permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 824.

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3 USE - ANNEX L&LMD/OTHER DIST

RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division for continuous maintenance within public road rights-of-way, in accordance with Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859. Said annexation should include the following:

- (1) Landscaping along Magnolia Avenue.
- (2) Traffic signals located on Magnolia Avenue at intersection of Lincoln Street.
- (3) Street sweeping.

90.TRANS. 4 USE - EXISTING CURB & GUTTER

RECOMMND

On existing curb and gutter, new driveway, closure of existing driveways, and/or drainage devices within County right-of-way, including sewer and water laterals, on Magnolia Avenue shall be constructed within the dedicated right-of-way in accordance with County Standards, Ordinance 461. Such construction shall be shown on existing street improvement plans and approved and permitted by the Transportation Department. Process a plan revision through the Plan Check Section per Section I, Part E, page 10 of the "Policies and Guidelines" available on the Internet at:
www.tlma.co.riverside.ca.us/trans/land_dev_plan_check_guide

NOTE: 1. The driveway shall be constructed in accordance with County Standard No. 207A.

2. Gate shall be installed 35' from the curbface.

LAND DEVELOPMENT COMMITTEE
3RD CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: August 14, 2012

TO

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Flood Control District
Riv. Co. Fire Dept.

Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check
Riv. Co. Parks & Open Space District
Riv. Co. Environmental Programs Division

P.D. Geology Section
P.D. Landscaping Section
P.D. Archaeology Section

PLOT PLAN NO. 24306 AMENDED NO. 2 – EA42233 – Applicant: Jose Brown - Engineer/
Representative: Jose Brown – Second/Second Supervisorial District – East Corona Zoning District –
Temescal Canyon Area Plan: Community Development: Light Industrial (CD:LI) (0.20 to 0.60 floor area
ratio) - Location: northerly of Magnolia Avenue, southerly of Sampson Avenue, and easterly of McKinley
Street – 1.0 Gross Acres - Zoning: Manufacturing-Service Commercial (M-SC) – **REQUEST:** This plot
plan is a proposal for a Police and Sheriff impound yard with a 320 square foot office trailer and six (6)
parking spaces. APNs: 172-110-007 and 172-110-008

Please review the attached **Amended** map(s) and/or exhibit(s) for the above-mentioned project. Any
further comments, recommendations, and/or conditions are requested prior to the pending **September**
13, 2012 LDC Comment Agenda deadline, in order that they may be incorporated in the staff report
package for this project.

Should you have any questions regarding this item, please do not hesitate to contact **Damaris Abraham,**
(951) 955-5719, Project Planner, or e-mail at **dabraham@rctlma.org / MAILSTOP #: 1070**

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE
2nd CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: April 11, 2012

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Flood Control District
Riv. Co. Fire Dept.

Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check
Riv. Co. Parks & Open Space District
Riv. Co. Environmental Programs Dept.

P.D. Geology Section-D. Jones
P.D. Landscaping Section-R Dyo
P.D. Archaeology Section-L. Mouriquand

PLOT PLAN NO. 24306, AMENDED NO. 1 – EA42233 – Applicant: Jose Brown - Engineer/ Representative: Jose Brown - Second Supervisorial District – East Corona Zoning District – Temescal Canyon Area Plan: Community Development: Light Industrial (CD:LI) (0.20 to 0.60 floor area ratio) - Location: Northerly of Harlow Avenue, easterly of McKinley Street, westerly of Lincoln Street, and southerly of Sampson Avenue – 1.0 Gross Acres - Zoning: Manufacturing-Service Commercial (M-SC) – **REQUEST: This plot plan is a proposal for a Police and Sheriff impound yard with a 256 square-foot office trailer and two (2) parking spaces. APN's: 172-110-007 and 172-110-008**

Please review the attached **Amended** map(s) and/or exhibit(s) for the above-mentioned project. Any further comments, recommendations, and/or conditions are requested prior to the pending **May 10, 2012 LDC Comment Agenda** deadline, in order that they may be incorporated in the staff report package for this project.

Should you have any questions regarding this item, please do not hesitate to contact **Wendell Bugtai**, Project Planner, at **(951) 955-2419**, or e-mail at **WBUGTAI@rctlma.org / MAILSTOP #: 1070**

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: December 29, 2009

TO:

Riv. Co. Transportation Dept.
Riv. Co. Environmental Health Dept.
Riv. Co. Flood Control District
Riv. Co. Fire Department
Riv. Co. Dept. of Bldg. & Safety – Grading
Riv. Co. Dept. of Bldg. & Safety 2nd Floor
Regional Parks & Open Space District.
Riv. Co. Environmental Programs Dept.
P.D. Geology Section-D. Jones

P.D. Trails Section-J. Jolliffe
P.D. Landscaping Section-R. Dyo
P.D. Archaeology Section-L. Mouriquand
Riverside Transit Agency
Riv. Co. Sheriff's Dept.
Riv. Co. Waste Management Dept.
Riv. Co. Surveyor: Dave Duda
Riv. Co. EDA County Service Area 152
2nd District Supervisor

2nd District Planning Commissioner
City of Corona
Alvord Unified School Dist.
Western Municipal Water Dist.
Telephone: Verizon
Cable: At&t U-verse
Southern California Edison
Southern California Gas Co.

PLOT PLAN NO. 24306 – EA42233 – CFG05587 - Applicant: Jose Brown - Engineer/ Representative: Jose Brown - Second Supervisorial District – East Corona Zoning District – Temescal Canyon Area Plan: Community Development: Light Industrial (CD:LI) (0.20 to 0.60 floor area ratio) - Location: northerly of Harlow Avenue, easterly of McKinley Street, westerly of Lincoln Street, and southerly of Sampson Avenue – 1.0 Gross Acres - Zoning: Manufacturing-Service Commercial (M-SC) – **REQUEST:** This plot plan is a proposal for a Police and Sheriff impound yard to be constructed in two phases. Phase 1 will include a 3,200 square foot meta building to be used for Sheriff impound storage, 10 parking spaces and landscaping. Phase 2 will include a 936 square foot caretaker quarters and a 3,172 square foot metal building to be used as storage with a 672 square foot office and landscaping. – APN's: 172-110-007 and 172-110-008

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **LDC meeting on February 4, 2010**. All LDC Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **Wendell Bugtai**, Project Planner, at **(951) 955-2419** or email at wbugtai@rctlma.org / **MAILSTOP# 1070**.

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

February 1, 2010

Wendell Bugtai, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RE: Plot Plan No. 24306
Proposal: The Plot Plan proposes the construction of an impound yard.
APN: 172-110-007; -008

Dear Mr. Bugtai:

The Riverside County Waste Management Department (Department) has reviewed the proposed project located north of Harlow Avenue, west of Lincoln Street, south of Sampson Avenue, and east of McKinley Street, in the Temescal Canyon Area Plan. In order to mitigate the project's potential solid waste impacts and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the Department is recommending that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit for EACH building**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection for EACH building**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department and as verified by the Riverside County Building and Safety Department through site inspection.
3. a) **Prior to issuance of a building permit**, a *Waste Recycling Plan (WRP)* shall be submitted to the Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, and the targeted recycling or reduction rate. Arrangements can be made through the franchise hauler.

- b) **Prior to issuance of an occupancy permit**, evidence (i.e., receipts or other type verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning/Recycling Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits.
4. Since hazardous materials are not accepted at Riverside County landfills, the project proponent shall take any hazardous wastes, including paint used during construction, to facilities that are permitted to receive them, in accordance with local, state, and federal regulations. For further information, please contact the Household Hazardous Waste Collection Program at 1-800-304-2226.
 5. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
 6. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3351.

Sincerely,



Ryan Ross
Planner IV

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Carolyn Syms Luna · Planning Director

RECEIVED
AUG 09 2012

Standard Letter of Change of Applicant

INCOMPLETE LETTERS WILL NOT BE ACCEPTED AND PROCESSED.

(To be completed by Case Planner)

CASE NUMBER(S): PP24306/EA 42233/ CFS 05587 Set I.D. No. _____
 Check box if all concurrent cases are to be withdrawn.

APPLICATION INFORMATION

Applicant's Name: KHALOD SHKOUKANI E-Mail: AIRSHAID@RAMCAM GROUP.COM
Applicant's Contact Person: ALEX IRSHAID / RAMCAM ENGINEERING
If the applicant is not a person or persons, a contact person and their title is required
Mailing Address: 670 E PARKRIDGE AVE #106
CORONA CA 92879
City State ZIP
Daytime Phone No: (951) 734-6330 Fax No: () _____

NOTE: Only the applicant of record, as shown in the County Land Management System (LMS), can request withdrawal of an application.

DATE SUBMITTED: 8-9-12

(CHECK THE APPROPRIATE BOX)

- I _____ hereby verify that I am the applicant of record and request to withdraw the above-referenced application(s) currently on file with the County of Riverside Planning Department.
- I _____ hereby verify that I am not the applicant of record, but have provided relative documents as proof of applicant transfer and request to withdraw the above-referenced application(s) currently on file with the County of Riverside Planning Department.
- I _____ verify that I no longer wish to continue as the applicant of record and hereby transfer all rights, privileges, and responsibilities to _____.
- I KHALOD SHKOUKANI verify that I am the new applicant and acknowledge the receipt thereof. My new address is _____, phone number is 951-734-6330 and can be e-mailed at AIRSHAID@RAMCAM GROUP.COM
(name of new applicant)

Signature of Existing Applicant

Signature of New Applicant

CO. INTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Ron Goldman · Planning Director

CC005168

APPLICATION FOR LAND USE AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP24306 DATE SUBMITTED: 11-5-09

APPLICATION INFORMATION EA42233 CFG 05587

Applicant's Name: JOSE A BROWN E-Mail: BROWNDAWN12@AOL.COM

Mailing Address: 1426 FULLERTON AVE
CORONA CA 92859
City State ZIP

Daytime Phone No: (951) 371-3329 Fax No: (951) 278-2831

Engineer/Representative's Name: JOSE A BROWN E-Mail: BROWNDAWN12@AOL.COM

Mailing Address: 1426 FULLERTON AVE
CORONA CA 92859
City State ZIP

Daytime Phone No: (951) 371-3329 Fax No: (951) 278-2831

Property Owner's Name: KHALID SHKOURAIN E-Mail: TYLER8687@SBC
GLOBAL.NET

Mailing Address: 5366 CREST AVE
RIVERSIDE CA 92503
City State ZIP

Daytime Phone No: () SEE PG 1C Fax No: () SEE PG 1C

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Page 1A

APPLICATION FOR LAND USE AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

SEE PAGE 2B

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

See Page 2C to 2D

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 172-110-007 to 172-110-008

Section: 28-29 Township: 35 Range: 6W

Approximate Gross Acreage: 1 ACRE

General location (nearby or cross streets): North of HARLOW AVE, South of

SAMPSON, East of McKINLY, West of LINCOLN ST.

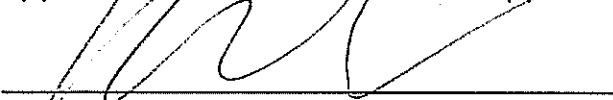
Thomas Brothers map, edition year, page number, and coordinates: 2008 P6744 B3

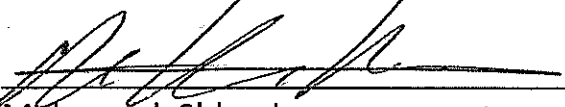
PLOT PLAN NUMBER _____

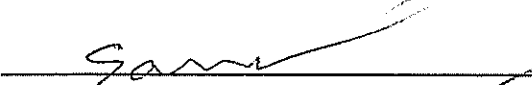
AUTHORIAZTION FOR CONCURRENT FEE TRANSFER

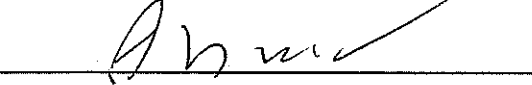
RE: Property owners of
12779 and 12745 Magnolia Avenue, Riverside, California 92503

The signatures below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.


_____ Date 11-2-09
Khalod Shkoukani one quarter owner


_____ Date 11-2-09
Mahmoud Shkoukan one quarter owner

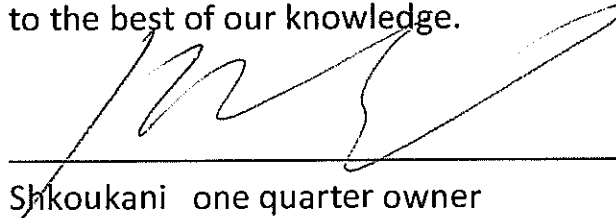

_____ Date 11-2-09
Samer Shkoukani one quarter owner

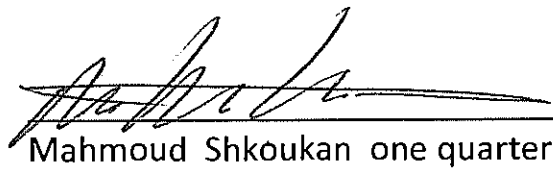

_____ Date 11-2-09
Ahmed, Shkoukani one quarter owner

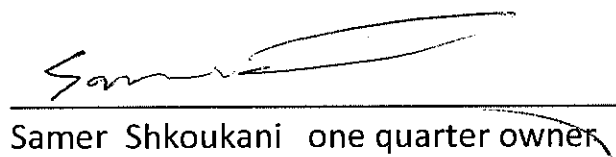
PLOT PLAN NUMBER _____

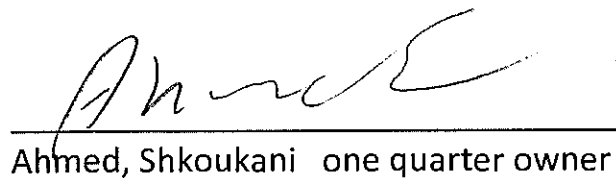
AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that we are the record owners and that the information filed is true and correct to the best of our knowledge.

 Date 11-2-09 Khalod
Shkoukani one quarter owner

 Date 11-2-09
Mahmoud Shkoukan one quarter owner

 Date 11-2-09
Samer Shkoukani one quarter owner

 Date 11-2-09
Ahmed, Shkoukani one quarter owner

PAGE 2C

PLOT PLAN NUMBER _____

To Whom It May Concern:

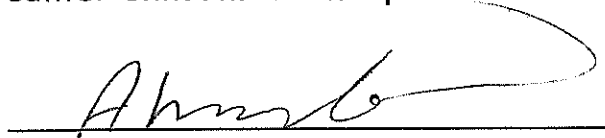
RE: 12779 and 12745 Magnolia Avenue, Riverside, California 92503

We give our permission for Jose A. Brown to submit an application for plot plan approval on our behalf.


_____ Date 11-2-09
Khalod Shkoukani one quarter owner


_____ Date 11-2-09
Mahmoud Shkoukan one quarter owner


_____ Date 11-2-09
Samer Shkoukani one quarter owner


_____ Date 11-2-09
Ahmed, Shkoukani one quarter owner

Page 2-D

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 1/22/2013.

The attached property owners list was prepared by Riverside County GIS.

APN (s) or case numbers PP 24306 For

Company or Individual's Name Planning Department.

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

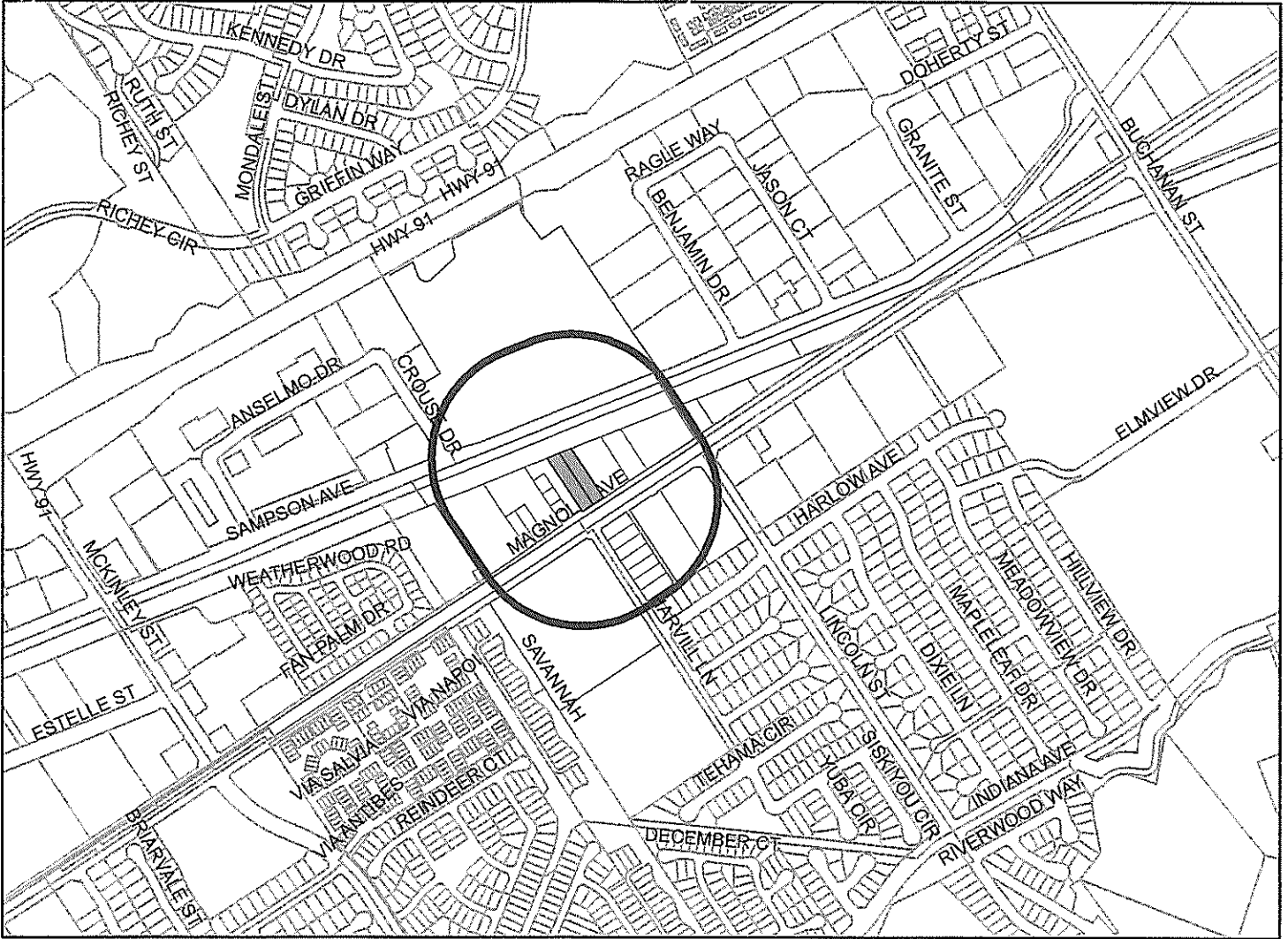
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor
Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

VA
copies
7/22/13

PP24306 (600 feet buffer)



Selected Parcels

172-110-002	172-110-005	135-140-026	172-110-003	172-110-004	172-390-042	172-410-003	135-151-002	135-151-007	135-151-005
135-151-009	135-151-008	135-151-003	135-151-004	135-151-010	172-110-007	172-110-008	135-151-001	172-410-006	172-111-001
172-111-002	172-111-003	172-111-004	172-110-009	135-151-006	172-110-010	172-390-043	172-390-041	172-410-002	135-151-023
135-140-001	135-151-020	135-151-021	172-110-011	172-420-027					



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



ASMT: 135140026, APN: 135140026
ALVORD UNIFIED SCHOOL DIST
C/O CONSTANCE NICKELL
10365 KELLER AVE
RIVERSIDE CA 92505

ASMT: 135151007, APN: 135151007
ATHENA WAITE, ETAL
2150 FAIRVIEW AVE
RIVERSIDE CA 92506

ASMT: 135151001, APN: 135151001
NESREEN TIEDT, ETAL
2621 GREEN RIVER 105-158
CORONA CA 92882

ASMT: 135151008, APN: 135151008
HISAKO YAMANO, ETAL
12791 HARLOW AVE
RIVERSIDE, CA. 92503

ASMT: 135151002, APN: 135151002
PAULETTE FAINSZTEIN, ETAL
9194 OTTER RIVER CIR
FOUNTAIN VALLEY CA 92708

ASMT: 135151009, APN: 135151009
MARY POE, ETAL
12781 HARLOW AVE
RIVERSIDE, CA. 92503

ASMT: 135151003, APN: 135151003
THOMAS OKEEFE, ETAL
C/O DAMON KUBAS
P O BOX 7676
CAPISTRANO BEACH CA 92624

ASMT: 135151010, APN: 135151010
GLENIS ULLOA, ETAL
12771 HARLOW AVE
RIVERSIDE, CA. 92503

ASMT: 135151004, APN: 135151004
KURT TIEDT, ETAL
BOX 200
1191 MAGNOLIA AVE STE D
CORONA CA 92879

ASMT: 135151020, APN: 135151020
SOUTHERN PACIFIC TRANSPORTATION CO
1700 FARNAM ST 10TH FL S
OMAHA NE 68102

ASMT: 135151005, APN: 135151005
JANET TONKOVICH, ETAL
1 RECINTO
IRVINE CA 92620

ASMT: 135151021, APN: 135151021
SPARKS PROP INV
1500 ADAMS AVE NO 300
COSTA MESA CA 92626

ASMT: 135151006, APN: 135151006
MARCIALA SOLANO
236 W 51ST ST
LOS ANGELES CA 90037

ASMT: 135151023, APN: 135151023
ROLLINS CONTINENTAL INC
C/O SHARON GREGORY
2170 PIEDMONT RD
ATLANTA GA 30324



ASMT: 172110002, APN: 172110002
A STORAGE PLACE MAGNOLIA
8080 LA MESA BLV NO 211
LA MESA CA 91941

ASMT: 172111004, APN: 172111004
MAGNOLIA DEV
2681 SATURN ST
BREA CA 92821

ASMT: 172110004, APN: 172110004
AQUARIUS WATER TRAILERS RENTAL INC
12948 3RD AVENUE
VICTORVILLE CA 92359

ASMT: 172390043, APN: 172390043
N G N GROUP
3410 LA SIERRA AVE NO F37
RIVERSIDE CA 92503

ASMT: 172110005, APN: 172110005
KHALIL RABAH, ETAL
11505 ALLWOOD DR
RIVERSIDE CA 92503

ASMT: 172410002, APN: 172410002
RIVERSIDE COUNTY FLOOD CONT
1995 MARKET ST
RIVERSIDE CA 92501

ASMT: 172110008, APN: 172110008
MAHMOUD SHKOUKANI, ETAL
5366 CREST AVE
RIVERSIDE CA 92503

ASMT: 172410003, APN: 172410003
SF RR, ETAL
ATTN ROADMASTER
740 E CARNEGIE DR
SAN BERNARDINO CA 92408

ASMT: 172110009, APN: 172110009
MAGNOLIA INV
C/O 12741 MAGNOLIA PARTNERS LLC
12741 MAGNOLIA AVE
RIVERSIDE, CA. 92503

ASMT: 172410006, APN: 172410006
LGH ALLIANCE INC
3755 AVOCADO BLV STE 443
LA MESA CA 91941

ASMT: 172110010, APN: 172110010
SHAHNAZ GAUHAR, ETAL
4186 CROWN RANCH RD
CORONA CA 92881

ASMT: 172420027, APN: 172420027
VICKY SETO, ETAL
220 CROUSE DR
CORONA, CA. 92879

ASMT: 172110011, APN: 172110011
LAURA FRANCHINA, ETAL
3785 JULIETTE CIR
CORONA CA 92881

City of Corona
Community Development
400 S. Vicentia Ave.
Corona, CA 92882

Alvord Unified School District
10365 Keller Ave.
Riverside, CA 92505-1349

Western Municipal Water District
14205 Meridian Parkway
Riverside, CA 92518

Verizon Engineering
9 South 4th St.,
Redlands, CA 92373

Southern California Edison
2244 Walnut Grove Ave., Rm 312
P.O. Box 600
Rosemead, CA 91770

Applicant:
Khalod Shkoukani
c/o Alex Irshain/RamCam Engineerin
670 E Parkridge Ave, # 101
Corona, CA 92879

Owner:
Khalod Shkoukani
5366 Crest Ave
Riverside, CA 92503

Applicant:
Khalod Shkoukani
c/o Alex Irshain/RamCam Engineerin
670 E Parkridge Ave, # 101
Corona, CA 92879

Owner:
Khalod Shkoukani
5366 Crest Ave
Riverside, CA 92503

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RIVERSIDE COUNTY
PLANNING DEPARTMENT

Carolyn Syms Luna
Director

NEGATIVE DECLARATION

Project/Case Number: Plot Plan No. 24306

Based on the Initial Study, it has been determined that the proposed project will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION (see Environmental Assessment).

COMPLETED/REVIEWED BY:

By: Damaris Abraham Title: Project Planner Date: May 13, 2013

Applicant/Project Sponsor: Khalod Shkoukani Date Submitted: November 5, 2009

ADOPTED BY: Planning Director

Person Verifying Adoption: Damaris Abraham Date: _____

The Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Damaris Abraham at (951) 955-5719.

Revised: 10/16/07

Y:\Planning Case Files-Riverside office\PP24306\DH-PC-BOS Hearings\DH-PC\Negative Declaration.PP24306.docx

Please charge deposit fee case#: ZEA42233 ZCFG05587 \$2,206.25

FOR COUNTY CLERK'S USE ONLY



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42233/Plot Plan No. 24306

Project Title/Case Numbers

Damaris Abraham
County Contact Person

951-955-5719
Phone Number

N/A

State Clearinghouse Number (if submitted to the State Clearinghouse)

Khalod Shkoukani
Project Applicant

670 E. Parkridge Ave, #101, Corona, CA 92879
Address

The project is located on the northerly side of Magnolia Avenue and westerly of Lincoln Street.

Project Location

The plot plan proposes a vehicle storage and impoundment facility. The project includes a 320 square foot office trailer with two (2) parking spaces. A maximum of 55 small and 8 large impounded vehicles are proposed to be stored at the site. No damaged or inoperable vehicles are to be stored at the facility.

Project Description

This is to advise that the Riverside County Planning Director, as the lead agency, has approved the above-referenced project on June 17, 2013, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,156.25 + \$50.00).
3. Mitigation measures WERE NOT made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Project Planner

Title

June 17, 2013

Date

Date Received for Filing and Posting at OPR: _____

DM/rj

Revised 8/25/2009

Y:\Planning Case Files-Riverside office\PP24306\DH-PC-BOS Hearings\DH-PC\NOD Form.PP24306.docx

Please charge deposit fee case#: ZEA42233 ZCFG5587 \$2,206.25

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

M* REPRINTED * R0915407

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: SHKOUKANI KHALOD \$64.00
paid by: CK 5936
CA F&G FEE FOR EA42233
paid towards: CFG05587 CALIF FISH & GAME: DOC FEE
at parcel: 12779 MAGNOLIA AVE RIV
appl type: CFG3

By _____ Nov 05, 2009 09:55
SBROSTRO posting date Nov 05, 2009

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

D* REPRINTED * R1206939

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: SHKOUKANI KHALOD \$2,101.50
paid by: CK 8758
CA F&G FEE FOR EA42233
paid towards: CFG05587 CALIF FISH & GAME: DOC FEE
at parcel: 12779 MAGNOLIA AVE RIV
appl type: CFG3

By _____ Aug 09, 2012 13:39
MGARDNER posting date Aug 09, 2012

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,101.50

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

M* REPRINTED * R1304106

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: SHKOUKANI KHALOD \$54.75
paid by: VI 008112
CA F&G FEE FOR EA42233
paid towards: CFG05587 CALIF FISH & GAME: DOC FEE
at parcel: 12779 MAGNOLIA AVE RIV
appl type: CFG3

By _____ May 08, 2013 11:14
MGARDNER posting date May 08, 2013

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$54.75

Overpayments of less than \$5.00 will not be refunded!