



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

1:30 P.M.

OCTOBER 21, 2013

AGENDA

RIVERSIDE COUNTY PLANNING DEPARTMENT
DIRECTOR'S HEARING
DESERT PERMIT ASSISTANCE CENTER
77588 El Duna Court, Suite H
Palm Desert, CA 92211

NOTE: Please be aware that the indicated staff recommendation shown below for each item may differ from that presented to the Planning Director during the public hearing.

If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Planning Director. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s).

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Mary Stark at (951) 955-7436 or E-mail at mcstark@rctlma.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 CONSENT CALENDAR:

1.1 **NONE**

2.0 PUBLIC HEARINGS: 1:30 p.m. or as soon as possible thereafter.

- 2.1 **PLOT PLAN NO. 25356, PLOT PLAN NO. 25357, VARIANCE NO. 1888 and VARIANCE NO. 1889 - CEQA Exempt – Applicant:** Chelsea Property Group LLC – Engineer/Representative: Architects Orange – Fifth/Fifth Supervisorial District – Pass and Desert Zoning District – The Pass Area Plan: Community Development: Commercial Retail (CD: CR) – Location: Northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, westerly of Millard Pass – 75.2 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST:** To permit a uniform master signage program for an existing outdoor outlet shopping center located on 75 gross acres (Desert Hills Premium Outlets) and variance to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear face of buildings. Project Planner, Paul Rull at (951) 955-0972 or email prull@rctlma.org. (Quasi-judicial)

- 2.2 **PLOT PLAN NO. 25414** - CEQA Exempt - Applicant: Cindy and Drew Clark – Fourth/Fourth Supervisorial District – Location: Southerly Avenue 42 and easterly of Washington Street - **REQUEST:** The Plot Plan is a proposal for a Class I Kennel on 3.29 Acres. Project Planner, Bahelila Boothe at (951) 955-8703 or email bboothe@rctlma.org. (Quasi-judicial)

3.0 PUBLIC COMMENTS:

Agenda Item No.: 2.1
Area Plan: The Pass
Zoning District: Pass and Desert
Supervisory District: Fifth/Fifth
Project Planner: Paul Rull
Directors Hearing: October 21, 2013

PLOT PLAN NO. 25356, 25357
VARIANCE NO. 1888, 1889
CEQA Exempt
Applicant: Chelsea Property Group
Engineer/Rep: Architects Orange

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

PLOT PLAN NO. 25356 and **PLOT PLAN NO. 25357** proposes a uniform master signage program for the existing Desert Hills Premium Outlets outdoor shopping center including wall signs, pylon signs, monument signs, garage parking signs, identification signs, hanging signs, directory and direction signs located on 75 gross acres.

VARIANCE NO. 1888 and **VARIANCE NO. 1889** proposes to exceed the maximum sign face surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

The proposed project is located within the existing Desert Hills Premium Outlets shopping center. The proposed master signage program intends on consolidating all signs for both east and west wings of the shopping center and providing a uniformed sign design theme. The program includes pylon signs, monument signs, garage parking signs, directory and directional signs, wall tenant signs, and identification signs that will be required to follow consistent design, color, and coverage scheme.

The applicant is also seeking an increase in the signage area for tenant wall signs for the rear of the building from 5% to 10% of the surface area of the rear face building through the use of a variance.

Project is located northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, and westerly of Millard Pass.

POTENTIAL ISSUES

Desert Hills Premium Outlets was originally approved by Riverside County through PP11972 on May 3, 1998, for an outdoor outlet shopping center. The County has processed approximately 80 on-site signs over the years for the east and west wings of the shopping center, including tenant wall signs located on the rear of the commercial buildings. These signs were permitted under Ordinance No. 348 Section 19.4.b.1.c which states that the surface area of the sign shall not exceed 5% of the surface area of the rear face of the building. The proposed variances are to modify property development standards pertaining to the size of the rear wall building sign in accordance with Section 19.4.e.

The applicant has expressed concerns with the lack of advertising exposure from the 5% restriction for rear wall signs:

- Deficiency in sign exposure along Seminole Road and Millard Pass,
- Stores reverse frontage orientation with backs of stores facing Seminole Road resulting in minimal sign exposure towards the I-10 freeway,
- Building design and orientation driven by close proximity of fault lines and fault setback lines which required buildings to be located as close as possible to Seminole Road and Millar Pass. The orientation and design of the building layout was also necessary to provide a safe protected area for shopping from the high winds of the Coachella Valley. The buildings act as a natural windbreak, and by having the store fronts facing inwards, it reduces the impacts to the stores and shoppers,

- The requested 10% wall sign area is consistent with several wall signs permitted by the County in the adjacent shopping center to the east. The Cabazon Outlets shopping center have store fronts facing Seminole Road, and as such, are permitted 10% in tenant wall sign area.
- The requested 10% wall sign area is consistent with Section 19.4.e through the use of a variance. Section 19.4.e allows for front and rear wall building signs to be 10% of the surface area of the building face for projects located along scenic corridors designated within the Eastern and Western Coachella Valley Community Plans. Although the project is not located within the Eastern or Western Coachella Valley Community Plans (approximately 4 miles east from the Western Coachella Plan boundary), it is located next to the I-10 freeway, which is a State eligible scenic highway, and it is still located in the greater Coachella Valley vicinity. Approval of the variance would mean that the project would share the same privileges of other similarly zoned Scenic Highway Commercial (C-P-S) properties within Eastern and Western Coachella Valley Community Plan in having a maximum of 10% wall sign area. Furthermore, the basis for the variance is predicated upon the special circumstances that exist for the property such that its location and surrounding area restrict the advertising privileges enjoy by other properties in the vicinity i.e. in the nearby Western and Eastern Coachella Community Plan Areas. The nearest commercial designated property within the Western Coachella Valley Community Plan is located at the intersection of I-10 freeway and Haugen-Lehmann Way approximately 8 miles from the project. The physical makeup of this property does not exhibit any unique characteristics or special considerations that would be deemed suitable to allow for an increase in surface signage area on the rear of buildings, yet it is permitted by right to have signage to up to 10% surface area of the rear of the building because of its location within the community plan. The proposed project, with all of its physical site constraints, is seeking the same privileges offered to properties in the vicinity through approval of a variance.

Due to these special circumstances, the signs at Desert Hills Premium Outlets are deprived of privileges enjoyed by other properties i.e. Cabazon Outlets which is similarly zoned Scenic Highway Commercial (C-P-S) and properties within the Eastern and Western Coachella Valley Community Plans. Desert Hills Premium Outlets and Cabazon Outlets shopping centers are located on Seminole Road, however due to topographical and seismic engineering restrictions, Desert Hills Premium Outlets had to design their buildings to face inwards, thus losing advertising exposure towards Seminole Road and the I-10 freeway, compared to Cabazon Outlets whose storefronts face towards Seminole Road and are allowed 10% wall sign area. Desert Hills Premium Outlets is located approximately 4 miles away from the Western Coachella Valley Community Plan boundary, which would have permitted the request of 10% wall sign area without the use of a variance. Based on the fact that the project's location 4 miles away from the Western Coachella Valley Community Plan boundary deprives the project of privileges enjoyed by those properties also zoned C-P-S located within the community's plan boundary.

SUMMARY OF FINDINGS:

1. Existing General Plan Land Use (EX.#5): Community Development: Commercial Retail (CD: CR)
2. Surrounding General Plan Land Use (EX.#5): Rural: Rural Desert (R: RD), Rural: Rural Residential (R: RR), Community Development: Commercial Retail (CD: CR), Community Development: Medium Density Residential (CD: MDR), Community Development: Light Industrial (CD: LI) City of Banning, Areas subject to Indian Jurisdiction

- | | |
|----------------------------------|--|
| 3. Existing Zoning (EX.#2): | Scenic Highway Commercial (C-P-S) |
| 4. Surrounding Zoning (EX.#2):: | Controlled Development Areas (W-2), Controlled Development Areas-10 acre minimum (W-2-10), Rural Residential-5 acre minimum (R-R-5), Scenic Highway Commercial (C-P-S), Manufacturing-Service Commercial (M-SC), City of Banning |
| 5. Existing Land Use (EX.#1): | Outdoor commercial shopping center |
| 6. Surrounding Land Use (EX.#1): | Commercial shopping center, single family residences on large lots, single family residences on small lots, vacant |
| 7. Project Data: | Total Acreage: 75 gross acres |
| 8. Environmental Concerns: | CEQA Exempt (Section 15301.e, 15302.b, 15303.e, 15311.a) |

RECOMMENDATIONS:

APPROVAL of **VARIANCE NO. 1888** and **VARIANCE NO. 1889**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

APPROVAL of **PLOT PLAN NO. 25356** and **PLOT PLAN NO. 25357**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail (CD: CR) (0.25 – 0.35 FAR) in the Pass Area Plan.
2. The project site is surrounded by properties which are designated Rural: Rural Desert (R: RD), Rural: Rural Residential (R: RR), Community Development: Commercial Retail (CD: CR), Community Development: Medium Density Residential (CD: MDR), Community Development: Light Industrial (CD: LI) City of Banning, Areas subject to Indian Jurisdiction
3. The project site is located within the Cabazon Policy Area, however these policies do not apply to the project as the proposed signs are considered a minor development and an accessory to the existing shopping center.
4. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
5. On-site advertising signs and sign programs are permitted, provided that a plot plan application is submitted and approved pursuant to the provisions of Section 18.30 (Plot Plans) of Ordinance No. 348.
6. The proposed sign program is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone and Section 19.4 (On-Site Advertising Structures and Signs). The proposed wall sign area of 10% of the surface area of the rear face of the building is consistent with the basis of findings outlined in Section 18.27 Variances. Special circumstances exist on the subject property which deprives the project of privileges enjoyed by other properties

in the vicinity such as the Cabazon Outlets shopping center directly east of the project. Due to topographical and seismic engineering restrictions, and high winds, Desert Hills Premium Outlets had to design their shops and buildings facing inwards to protect their customers, thus losing advertising exposure towards Seminole Road and the I-10 freeway, compared to Cabazon Outlets whose storefronts face towards Seminole Road and are allowed 10% wall sign area. Approval of the project will create a more uniformed sign design theme for the shopping center, as well as increasing business advertising exposure by expanding sign area maximums to a level consistent with existing adjacent uses.

7. The proposed project is consistent with Section 19.4.e through the use of a variance. Section 19.4.e allows for front and rear wall building signs to be 10% of the surface area of the building face for projects located along scenic corridors designated within the Eastern and Western Coachella Valley Community Plans. Although the project is not located within the Eastern or Western Coachella Valley Community Plans (approximately 4 miles from the boundary), it is located next to the I-10 freeway, which is a State eligible scenic highway, and it is still located in the greater Coachella Valley vicinity. Approval of the variance would mean that the project would share the same privileges of other similarly zoned Scenic Highway Commercial (C-P-S) properties within Eastern and Western Coachella Valley Community Plan in having a maximum of 10% wall sign area.
8. The project site is surrounded by properties which are zoned Controlled Development Areas (W-2), Controlled Development Areas-10 acre minimum (W-2-10), Rural Residential-5 acre minimum (R-R-5), Scenic Highway Commercial (C-P-S), Manufacturing-Service Commercial (M-SC), and the City of Banning.
9. Commercial uses have been constructed on site and are operating in the project vicinity. There is also a mixture of large and small lot residences as well as vacant land surrounding the project site.
10. This project is not located within a Criteria Area of the Coachella Valley Multiple Species Habitat Conservation Plan.
11. The project is exempt from CEQA under Section 15301.e Existing Facilities, 15302.b Replacement or Reconstruction, 15303.e New Construction or Conversion of Small Structures, and 15311.a Accessory Structures.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Commercial Retail (CD: CR) (0.25 – 0.35 FAR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The proposed project is consistent with the On-Site Advertising Structures and Signs section of Ordinance No. 348.
4. The proposed project is consistent with the Section 18.27 (Variances) of Ordinance No. 348.

5. The public's health, safety, and general welfare are protected through project design.
6. The proposed project is clearly compatible with the present and future logical development of the area.
7. The proposed project will not have a significant effect on the environment.
8. The proposed project will not preclude reserve design for the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. Tribal Land;
 - b. A Specific Plan;
 - c. A Historic Preservation District;
 - d. An Airport Influence Area;
 - e. An MSHCP Criteria Cell;
 - f. A Flood Area; or
3. The project site is located within:
 - a. The boundaries of the Pass Area Plan;
 - b. West Desert Municipal Advisory Committees;
 - c. The boundaries of the Cabazon Policy Area;
 - d. A High Fire Area;
 - e. Banning Unified School District;
 - f. An area of moderate liquefaction;
 - g. An area of low potential for paleontological sensitivity;
 - h. An area of moderate liquefaction potential;
 - i. San Andrea fault zone;
4. The subject site is currently designated as Assessor's Parcel Numbers: 519-110-040 and 519-110-041

PP25356, PP25357, VAR1888, VAR1889 LAND USE MAP



Selected parcel(s):
519-110-040 519-110-041

IMPORTANT

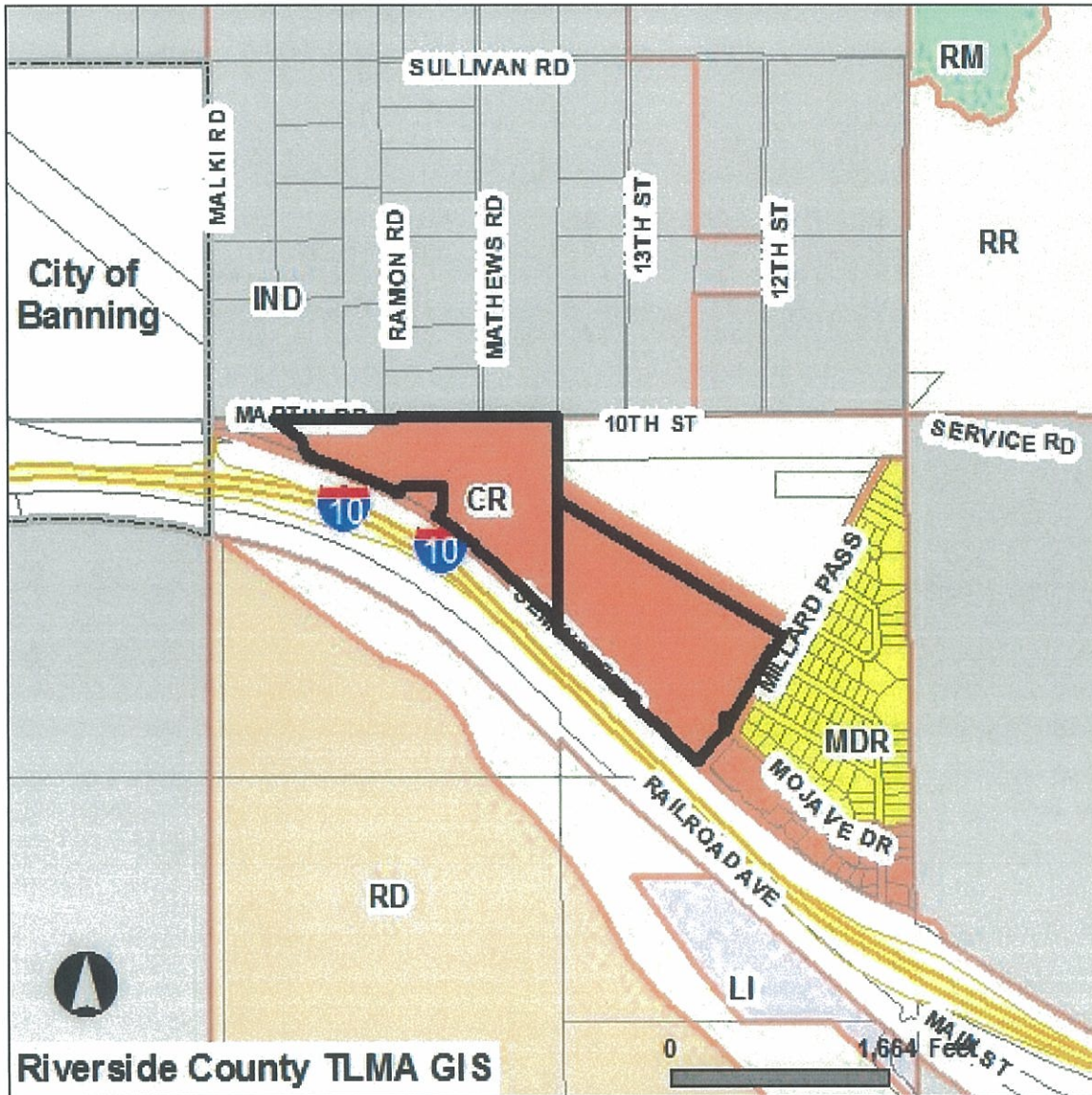
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130826

Exhibit #1

PP25356, PP25357, VAR1888, VAR1889 GENERAL PLAN LAND USE MAP



Selected parcel(s):
519-110-040 519-110-041

IMPORTANT

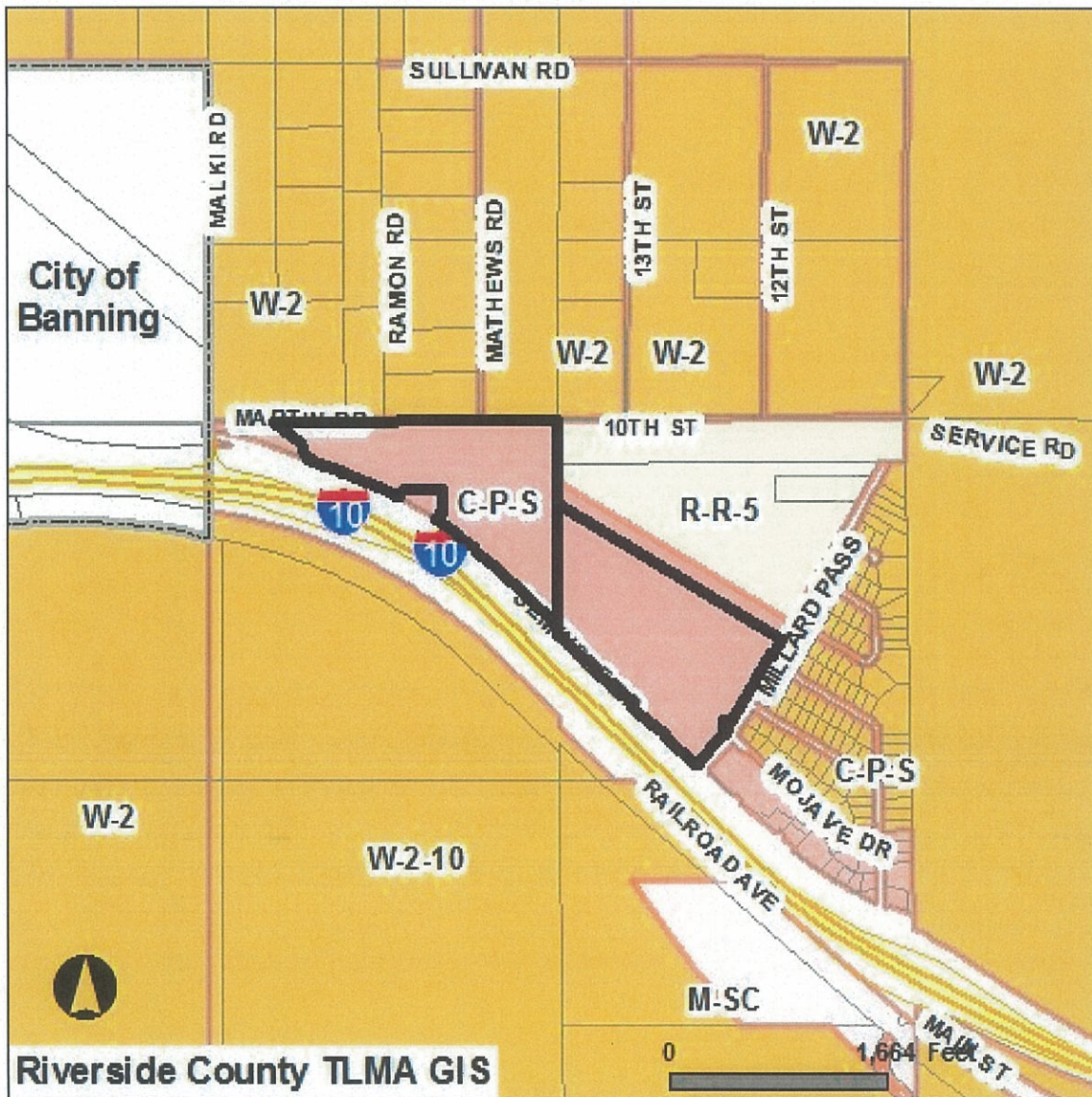
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130826

Exhibit #5

PP25356, PP25357, VAR1888, VAR1889 ZONING MAP



Selected parcel(s):
519-110-040 519-110-041

IMPORTANT

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Version 130826

Exhibit #2



A R C H I T E C T S O R A N G E

September 12, 2013

Mr. Paul Rull, Contract Planner
Riverside County Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92501

Re: Desert Hills Premium Outlets – Application Numbers PP25356 & PP25357 - Variance Justification

Dear Mr. Rull,

I am writing in response to your request regarding the justification for the variance to the allowable area of tenant and center identification and advertising wall signs for Desert Hills Premium Outlets, Cabazon, CA.. A Signage Masterplan Application is currently in process that incorporates this variance request for these parcels. The basis of the variance request is to modify County of Riverside Ordinance No. 348, Article XIX Advertising Regulations, Section 19.4b, Item 2.C which is as follows;

“Rear Wall of a Building – The surface area of the sign shall not exceed 5% of the surface area of the rear face of the building”.

This variance request is to allow an increase to 10% of the wall surface area for signs on the rear wall of the buildings. This variance request is for plot plan numbers PP25356 and PP25357. Justifications for this request are as follows:

1. The building placement on both parcels was driven by the close proximity of fault lines and fault setbacks that occur on both sites. This unique site constraint required buildings to be located as close as possible to Seminole and Millard.

The unique site planning used at Desert Hills Premium Outlets creates a pedestrian oriented “promenade” with outlet stores “fronting” both sides of the promenade. This arrangement of buildings creates the best shopping environment for guests, while allowing the greatest number of retail suites to occur along the shortest walking path. This planning layout results in buildings with, what is defined by County of Riverside Ordinance as, their “backs” being exposed to the major street Seminole and minor street Millard Pass.

2. The additional sign area requested in this variance submission is not greater than the signage allowed on other adjacent projects fronting onto Seminole. Therefore, granting this variance will allow the project the same level of signage fronting onto public streets as adjacent projects.

To conclude, these variances should be granted because of special circumstances applicable to Desert Hills Premium Outlets, including but not limited to, its configuration, topography, location and surroundings – all of which are criteria on which variances are to be granted under the express terms of the ordinance.

Sincerely,
Architects Orange

Darrel Hebenstreit, Partner
September 12, 2013

Architects Orange

144 North Orange Street
Orange, California 92866
Ph 714.639-9860
Fax 714.639-5286
E-mail: architectsorange.com



SIGN TABULATIONS

EAST SIDE

<u>Sign Type</u>	<u>Number</u>
Food Court Identity –Tower Mounted	1
Food court Tenant Identity/ ATM	1
Pylon Identity	1
Pedestrian Directional –ATM/Restrooms	2
Pedestrian Directory	6
Pedestrian Directional- Village sign	5
Pedestrian Wayfinding	1
Center Identity	3
Pedestrian Wayfinding Gateway-Overhead	1
Auto-Directional – Ground Mounted	2
Auto-Directional Monument	2
Pedestrian Directional Village Entry	1
Auto Directional Sign – Wall Mounted	1
Pedestrian Wayfinding –Wall Mounted	6
Vehicular Gateway Overhead Archway	3
Information Sign Blade	1



PARKING GARAGE

<u>Sign Type</u>	<u>Number</u>
Center Identity –Wall Mounted	2
Vehicular Entry Directional- Wall Mounted	7
Car Counter Display	5
Vehicular Gateway-Ground Mounted overhead arch	1
Vehicular Entry Directional wall mounted blade	4
Pedestrian Directional-wall mounted	1
Valet Sign	1
Valet Sign- column mounted blade	1



WEST SIDE

<u>Sign Type</u>	<u>Number</u>
Pedestrian Crossing/wayfinding ground mounted	2
Monument Identity	1
Food Court Identity-tower mounted	1
Food Court Identity-wall mounted	1
Food Court Tenant Wall Sign	4
Pedestrian Directional- village sign	5
Center Identity –wall sign	2
Pedestrian Directory	3
Pedestrian Wayfinding	2
Pedestrian Wayfinding-wall mounted	3
Monument Identity	1
Pylon Identity (if no monument is installed)	1
Customer Information Sign	4
Vehicular Directional Sign	1

WEST - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS

- LANDLORD DIRECTIONAL SIGN
- LANDLORD ADVERTISING SIGN

Sign / Item Number	Sign Type	Sign Description	Sign Dimensions (w x h)	Sign Area (sf)
Retail Buildings and Site				
WL35A	<input type="radio"/>	Pedestrian Crossing/Wayfinding Sign - Ground Mounted	N/A	N/A
WL35B	<input type="radio"/>	Pedestrian Crossing/Wayfinding Sign - Ground Mounted	N/A	N/A
WL36	<input type="checkbox"/>	Monument Identity Sign	7'-2" x 11'-2" x 12'-0" high	80 sf / face. 2 faces total
WL37		Not Used		
WL38		Not Used		
WL39A	<input type="radio"/>	Food Court Identity - Tower Mounted	10'-0" x 12'-0"	120 sf
WL39B	<input type="radio"/>	Food Court Identity - Wall Mounted	10'-0" x 12'-0"	120 sf
WL40	<input type="checkbox"/>	Food Court Tenant Wall Signs	6'-0" x 10'-0"	60 sf
WL41A	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL41B	<input type="checkbox"/>	Center Identity - Tower Mounted	6'-5" x 18'-5"	118 sf
WL42A	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL42B	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL42C	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL43	<input type="radio"/>	Pedestrian Wayfinding	N/A	N/A
WL44		Not Used		
WL45	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
WL46	<input type="checkbox"/>	Monument Identity Sign	7'-2" x 11'-2" x 12'-0" high	80 sf / face. 2 faces total
WL47	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL48	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
WL49	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL50		Not Used		
WL51	<input type="radio"/>	Pedestrian Wayfinding	N/A	N/A
WL52	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	4'-3" x 21'-10"	93 sf
WL53	<input type="checkbox"/>	Center Identity - Tower Mounted	6'-5" x 18'-5"	118 sf
WL54	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL55	<input type="radio"/>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL56		Not Used		
WL57	<input type="checkbox"/>	Pylon / Identity Sign	8'-9" x 17'-0" x 40'-0" high	149 sf/face. 2 Faces Total
WL58	<input type="radio"/>	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL59	<input type="radio"/>	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL60	<input type="radio"/>	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL61	<input type="radio"/>	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL62	<input type="radio"/>	Vehicular Directional Sign	8'-0" x 8'-0"	64 sf

*REFER TO SHEET WS0.01-WS0.03 FOR ADDITIONAL INFORMATION

WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
WL41A	4	WA1.01	68FT ²	ENTRY	<u>PEDESTRIAN DIRECTIONAL</u>	93.0FT ²
W2	4	WA1.01	52FT ²	ENTRY	-	-
W3	4	WA1.01		ENTRY	-	-
WL39B	4	WA1.01	150FT ²	PUBLIC	<u>FOOD COURT IDENTITY</u>	120.0FT ²
WL40	4	WA1.01		PUBLIC	<u>FOOD COURT TENANTS</u>	60.0FT ²
WL39A	4	WA1.01	76FT ²	PUBLIC	<u>FOOD COURT IDENTITY</u>	120.0FT ²
W8	4	WA1.01	282FT ²	432	JONES NEW YORK	28.9FT ²
W9	4	WA1.01		430	ED HARDY	28.9FT ²
W10	4	WA1.01		428	KASPER	14.5FT ²
W11	4	WA1.01		426	DKNY	20.6FT ²
W12	4	WA1.01	172FT ²	424	NINE WEST	21.9FT ²
W13	4	WA1.01		420	BOSE OUTLET STORE	24.8FT ²
W14	4	WA1.01		419	FRAGRANCE OUTLET	26.7FT ²
W15	4	WA1.01	340FT ²	418	ECCO	23.8FT ²
W16	4	WA1.01		414	-	-
W17	4	WA1.01		414	TOMMY HILFIGER	43.5FT ²
W18	4	WA1.01		414	-	-
W19	4	WA1.01		411	SUNGLASS HUT	32.7FT ²
W20	4	WA1.01		410	CLAIRE'S	11.8FT ²
W21	4	WA1.01		408	THE LUGGAGE FACTORY	21.3FT ²
W22	4	WA1.01	88FT ²	400	-	-
W23	4	WA1.01		400	GAP OUTLET	25.5FT ²
W24	4	WA1.01	76FT ²	400	GAP OUTLET	18.8FT ²
W25	4-5	WA1.01	132FT ²	800	POLO RALPH LAUREN CHILDREN	45.0FT ²
W26	5	WA1.02	76FT ²	500	ANN TAYLOR FACTORY STORE	52.5FT ²
W27	5	WA1.02	156FT ²	500	ANN TAYLOR FACTORY STORE	28.9FT ²
W28	5	WA1.02		500	-	-
W29	5	WA1.02		502	TRUE REIGION BRAND JEANS	16.0FT ²

*REFER TO SHEETS WA0.01-WA1.10
FOR ADDITIONAL INFORMATION

WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W30	5	WA1.02	288FT ²	504	NAUTICA	22.0FT ²
W31	5	WA1.02		508	-	-
W32	5	WA1.02		508	SPLENDID-ELLA MOSS	15.4FT ²
W33	5	WA1.02		510	VOLCOM	37.5FT ²
W34	5	WA1.02		512	JOCKEY	29.0FT ²
W35	5	WA1.02	158FT ²	514	7 FOR ALL MANKIND	17.1FT ²
W36	5	WA1.02		518	US POLO ASSN.	40.9FT ²
W37	5	WA1.02		518	-	-
W38	5	WA1.02	120FT ²	520	COLDWATER CREEK OUTLET	46.8FT ²
W39	5	WA1.02		520	-	-
W40	5	WA1.02	26FT ²	520	-	-
W41	7	WA1.02	46FT ²	720	-	-
W42	7	WA1.02	78FT ²	720	LAST CALL BY NEIMAN MARCUS	35.0FT ²
W43	7	WA1.02	114FT ²	720	-	-
W44	7	WA1.02		720	-	-
WL55	7-6	WA1.02	74FT ²	ENTRY	<u>PEDESTRIAN DIRECTIONAL</u>	93.0FT ²
WL45	7-6	WA1.02	26FT ²	B.O.H.	<u>PEDESTRIAN WAYFINDING</u>	N/A
W45	6	WA1.03	72FT ²	626	-	-
W46	6	WA1.03	172FT ²	626	VANS OUTLET	21.0FT ²
W47	6	WA1.03		626	-	-
W48	6	WA1.03		624	CHICO'S	29.0FT ²
W49	6	WA1.03	294FT ²	622	GYMBOREE	18.2FT ²
W50	6	WA1.03		620	BOSTONIAN CLARKS	30.7FT ²
W51	6	WA1.03		618	PERFUMANIA	18.7FT ²
W52	6	WA1.03		616	DIESEL	16.5FT ²
W53	6	WA1.03		614	UGG	10.8FT ²
W54	6	WA1.03		612	WILLIAM RAST	19.0FT ²
W55	6	WA1.03	172FT ²	610	VAN HEUSEN	23.6FT ²
W56	6	WA1.03		600	-	-
W57	6	WA1.03		600	BASS	26.0FT ²

*REFER TO SHEETS WA0.01-WA1.10
FOR ADDITIONAL INFORMATION

WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W58	6	WA1.03	72FT ²	600	BASS	20.6FT ²
W59	6	WA1.03	222FT ²	600	-	-
W60	6	WA1.03		600	-	-
W61	6	WA1.03		600	-	-
WL52	6	WA1.03		B.O.H.	PEDESTRIAN WAYFINDING	N/A
W63	6	WA1.03	30FT ²	B.O.H.	-	-
WL54	6-3	WA1.04	198FT ²	ENTRY	PEDESTRIAN DIRECTIONAL	93.0FT ²
W65	3	WA1.04	30FT ²	B.O.H.	-	-
W66	3	WA1.04	220FT ²	300	-	-
W67	3	WA1.04		300	-	-
W68	3	WA1.04		300	-	-
W69	3	WA1.04		300	-	-
W70	3	WA1.04	72FT ²	300	LEVI'S OUTLET STORE	47.1FT ²
W71	3	WA1.04	82FT ²	300	LEVI'S OUTLET STORE	27.5FT ²
W72	3	WA1.04		300	-	-
W73	3	WA1.04	58FT ²	304	-	-
W74	3	WA1.04	48FT ²	304	CRABTREE & EVELYN	30.0FT ²
W75	3	WA1.04	76FT ²	306	-	-
W76	3	WA1.04		306	-	-
W77	3	WA1.04	76FT ²	306	OFF 5TH-SAKS FIFTH AVENUE	73.3FT ²
W78	3	WA1.04	72FT ²	306	-	-
W79	3	WA1.04		306	-	-
W80	3	WA1.04	48FT ²	320	SOLSTICE SUNGLASS OUTLET	34.5FT ²
W81	3	WA1.04	48FT ²	320	SOLSTICE SUNGLASS OUTLET	20.3FT ²
W82	3	WA1.04	172FT ²	322	ALDO	16.6FT ²
W83	3	WA1.04		324	SAMSONITE	24.3FT ²
W84	3	WA1.04		325	LUCKY BRAND	33.5FT ²
W85	3	WA1.04		326	L'OCCITANE	32.0FT ²

*REFER TO SHEETS WA0.01-WA1.10
FOR ADDITIONAL INFORMATION

WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W86	3	WA1.05	236FT ²	330	-	-
W87	3	WA1.05		330	J-CREW	34.8FT ²
W88	3	WA1.05		336	SKETCHERS	39.3FT ²
W89	3	WA1.05		338	-	-
W90	3	WA1.05	144FT ²	338	KENNITH COLE NEW YORK	21.0FT ²
W91	3	WA1.05		338	KENNITH COLE NEW YORK	34.7FT ²
W92	3	WA1.05		338	-	-
W93	3	WA1.06	98FT ²	338	-	-
W94	3	WA1.06		338	-	-
W95	3	WA1.06	100FT ²	338	-	-
W96	3	WA1.06		338	-	-
W97	3	WA1.06	96FT ²	338	-	-
W100	3	WA1.06		330	-	-
W98	3	WA1.06	168FT ²	336	-	-
W99	3	WA1.06		336	-	-
W101	3	WA1.06		330	-	-
W102	3	WA1.06	46FT ²	330	-	-
W103	3	WA1.06	58FT ²	B.O.H.	-	-
W104	3	WA1.06		B.O.H.	-	-
W105	3	WA1.06	58FT ²	B.O.H.	-	-
W106	3	WA1.06		B.O.H.	-	-
W107	3	WA1.06	200FT ²	326	-	-
W108	3	WA1.06		325	-	-
W109	3	WA1.06		324	-	-
W110	3	WA1.06		323	-	-
W111	3	WA1.06		323	-	-
W112	3	WA1.06	154FT ²	306	-	-
W113	3	WA1.06		B.O.H.	-	-
W114	3	WA1.06	144FT ²	306	-	-
W115	3	WA1.06		306	-	-
W116	3	WA1.06		306	-	-

*REFER TO SHEETS WA0.01-WA1.10 FOR ADDITIONAL INFORMATION

WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W117	3	WA1.06	102FT ²	306(BEYOND)	-	-
W118	3	WA1.06		306(BEYOND)	-	-
W119	3	WA1.06	220FT ²	306(BEYOND)	-	-
W120	3	WA1.06		306(BEYOND)	-	-
W121	3	WA1.06		306(BEYOND)	OFF 5TH-SAKS FIFTH AVENUE	41.3FT ²
W122	3	WA1.06	96FT ²	B.O.H.	-	-
W123	3	WA1.07	160FT ²	300	-	-
W124	3	WA1.07		300	-	-
W125	3	WA1.07		300	-	-
W126	3	WA1.07	48FT ²	B.O.H.	-	-
WL49	3-6	WA1.07	304FT ²	ENTRY	<u>PEDESTRIAN DIRECTIONAL</u>	93.0FT ²
WL58	3-6	WA1.07	304FT ²	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT ²
WL59	3-6	WA1.07	304FT ²	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT ²
WL60	3-6	WA1.04	198FT ²	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT ²
WL60	3-6	WA1.04	198FT ²	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT ²
WL48	6	WA1.07	32FT ²	B.O.H.	<u>PEDESTRIAN WAYFINDING</u>	N/A
W128	6	WA1.07	134FT ²	B.O.H.	-	-
W129	6	WA1.07		B.O.H.	VAN HEUSEN	38.1FT ²
W130	6	WA1.07		B.O.H.	-	-
W131	6	WA1.07		B.O.H.	-	-
W132	6	WA1.07	28FT ²	607	DOONEY & BOURKE	?
W133	6	WA1.07	100FT ²	607	-	-
W134	6	WA1.07		607	DOONEY & BOURKE	18.8FT ²
W135	6	WA1.07	50FT ²	607	-	-
W136	6	WA1.07	50FT ²	B.O.H.	DOONEY & BOURKE	18.8FT ²
W137	6	WA1.07	78FT ²	607	-	-
W138	6	WA1.07		607	-	-

*REFER TO SHEETS WA0.01-WA1.10
FOR ADDITIONAL INFORMATION

WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W139	6	WA1.07	351FT ²	616	-	-
W140	6	WA1.07		616	-	-
W141	6	WA1.07		618	-	-
W142	6	WA1.07		620	UGG	28.1FT ²
W143	6	WA1.07		620	-	-
W144	6	WA1.07		622	-	-
W145	6	WA1.07	244FT ²	624	-	-
W146	6	WA1.07		626	-	-
W147	6	WA1.07		626	VANS OUTLET	23.3FT ²
W148	6	WA1.07		626	-	-
W149	6	WA1.07		B.O.H.	-	-
WL47	6-7	WA1.07	74FT ²	ENTRY	<u>PEDESTRIAN DIRECTIONAL</u>	93.0FT ²
W150	7	WA1.08	269FT ²	720	-	-
W151	7	WA1.08		720	LAST CALL BY NEIMAN MARCUS	43.0FT ²
W152	7	WA1.08		720	-	-
W153	7	WA1.08		720	-	-
W154	7	WA1.08		720	-	-
W155	7	WA1.08		720	-	-
W156	7	WA1.08	74FT ²	720	VANS OUTLET	16.3FT ²
W157	7	WA1.08	74FT ²	720	LAST CALL BY NEIMAN MARCUS	34.8FT ²
W158	7	WA1.08	50FT ²	720	-	-
W159	7	WA1.08	42FT ²	720	-	-
W160	7	WA1.08	86FT ²	720	-	-
W162	7	WA1.08		720	LAST CALL BY NEIMAN MARCUS	34.8FT ²
W163	5	WA1.08	76FT ²	B.O.H.	-	-
W164	5	WA1.08		B.O.H.	-	-
W165	5	WA1.08	72FT ²	520	EDDIE BAUER	44.2FT ²
W166	5	WA1.08	242FT ²	520	-	-
W167	5	WA1.08		518	TAG HEUER	35.5FT ²
W168	5	WA1.08		518	-	-
W169	5	WA1.08		518	JOCKEY	28.1FT ²
W170	5	WA1.08		514	UGG	28.1FT ²

*REFER TO SHEETS WA0.01-WA1.10
FOR ADDITIONAL INFORMATION

WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W171	5	WA1.08	141FT ²	512	-	-
W172	5	WA1.08		510	VOLCOM	34.6FT ²
W173	5	WA1.08		506	-	-
W174	5	WA1.08	56FT ²	506	NAUTICA	18.3FT ²
W175	5	WA1.08	44FT ²	504	TOD'S	9.6FT ²
W176	5	WA1.08	172FT ²	504	-	-
W177	5	WA1.08		502	POLO RALPH LAUREN CHILDREN	45.0FT ²
W178	5	WA1.08		500	-	-
W179	5	WA1.08		500	ANN TAYLOR FACTORY STORE	28.9FT ²
W180	5	WA1.08		500	-	-
WL53	5-4	WA1.09	116FT ²	800	<u>CENTER IDENTITY</u>	118.0FT ²
W182	4	WA1.09	164FT ²	400	VANS OUTLET	36.0FT ²
W183	4	WA1.09		400	GAP OUTLET	26.7FT ²
W184	4	WA1.09		400	LEVI'S OUTLET STORE	47.1FT ²
W185	4	WA1.09		408	TOMMY HILFINGER	36.8FT ²
W186	4	WA1.09	56FT ²	414	-	-
W187	4	WA1.09	154FT ²	414	-	-
W188	4	WA1.09		414	-	-
W189	4	WA1.09		418	-	-
W190	4	WA1.09	126FT ²	420	BOSE OUTLET STORE	20.8FT ²
W191	4	WA1.09		420	NINE WEST	35.0FT ²
W192	4	WA1.09		424	ECCO	15.8FT ²
W193	4	WA1.09	130FT ²	426	-	-
W194	4	WA1.09		426	TRUE RELIGION BRAND JEANS	45.3FT ²
W195	4	WA1.09		428	J-CREW	42.0FT ²
W196	4	WA1.09	50FT ²	430	-	-
W197	4	WA1.09	82FT ²	430	-	-
W198	4	WA1.09		432	ED HARDY	39.9FT ²
W199	4	WA1.09	160FT ²	B.O.H.	JONES NEW YORK	29.5FT ²
W200	4	WA1.09		436	-	-
W201	4	WA1.09		438	KENNITH COLE NEW YORK	54.0FT ²

WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
W202	4	WA1.09	50FT ²	440	-	-
W203	4	WA1.10	50FT ²	440	-	-
W204	4	WA1.10	126FT ²	442	-	-
W205	4	WA1.10		444	-	-
W206	4	WA1.10	52FT ²	ENTRY	-	-
W207	4	WA1.10		ENTRY	-	-
WL41B	4	WA1.10	68FT ²	ENTRY	<u>CENTER IDENTITY</u>	80.0FT ²
W209	4	WA1.10	68FT ²	ENTRY	-	-



DESERT HILLS PROGRAM
OUTLETS
WATER
CANNISTER CHANGE

WEST
PROJECT
SIGNAGE

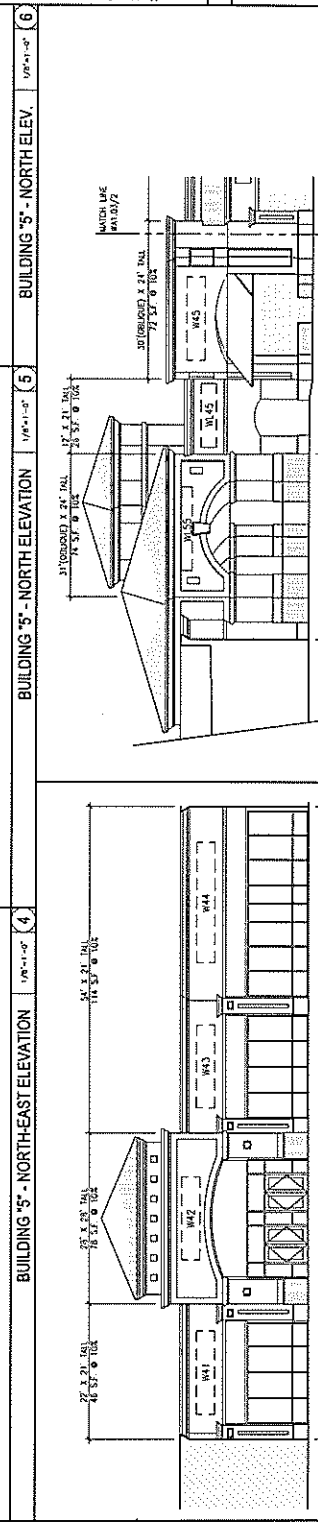
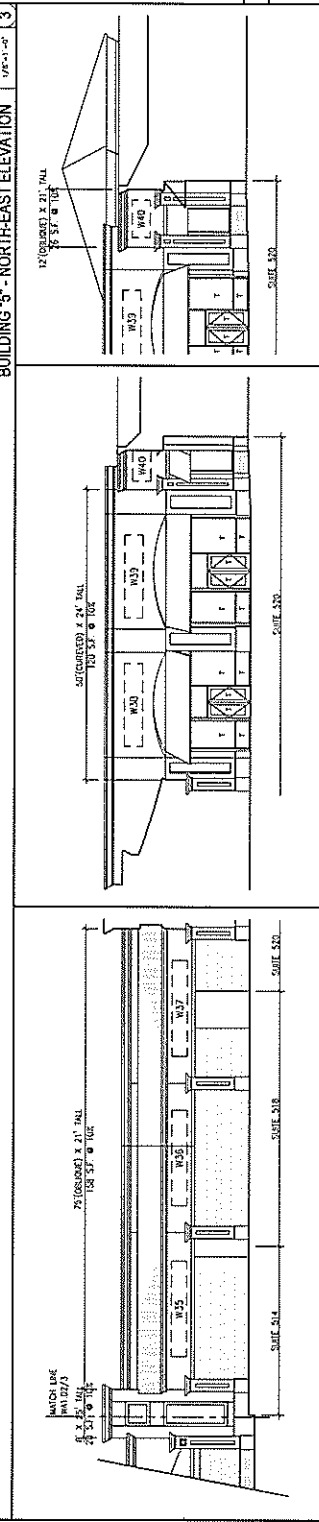
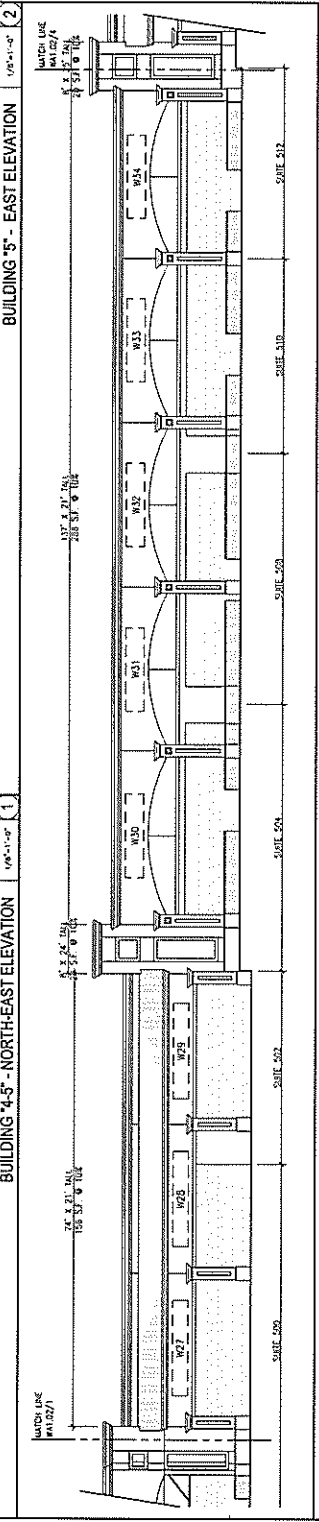
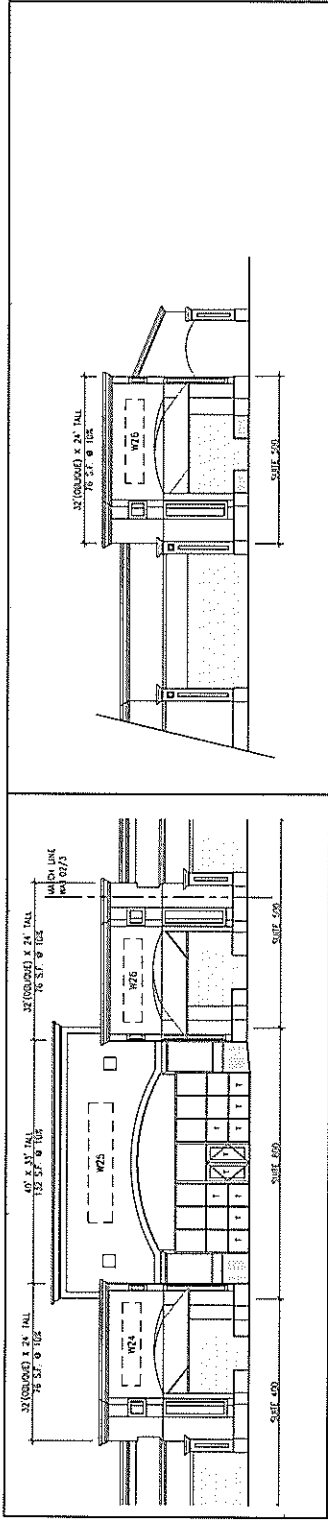
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SIMON

SIGNAGE
ELEVATIONS
BUILDING
4, 5, 6 & 7

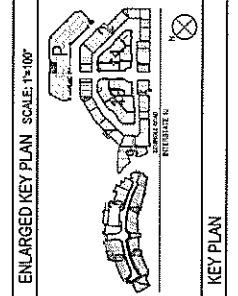
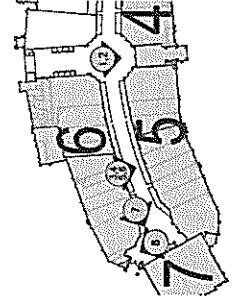
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SHEET NO.

SHEET
WA1.02
BLDG. 4, 5, 6 & 7



NOTES



KEY PLAN

FROM: FEBRUARY 14, 2013
PROJECT: WEST PROJECT OUTLETS SIGNAGE
SHEET: WA1.02



DESERT HILLS PREMIUM
OUTLETS
10000 W. CENTRAL EXPRESSWAY
MESA, AZ 85208

WEST
MASTER
SIGN
PROGRAM

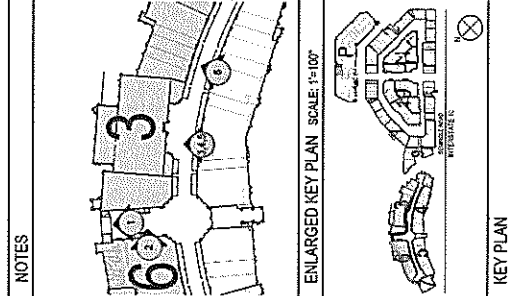
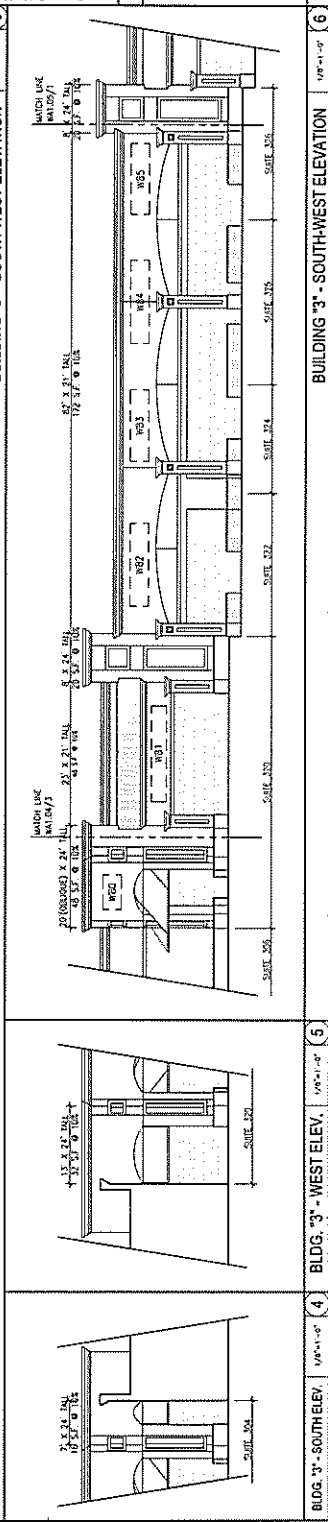
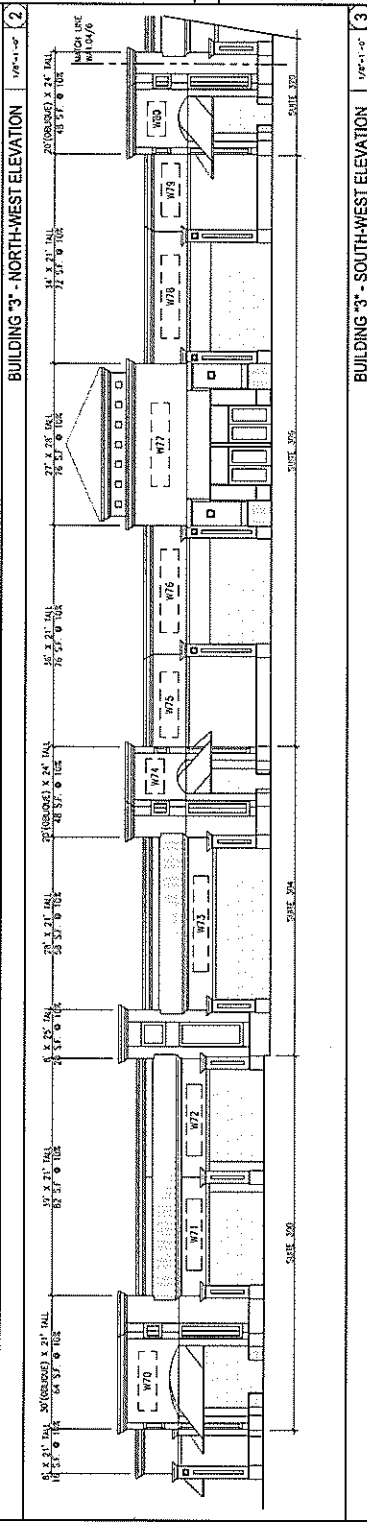
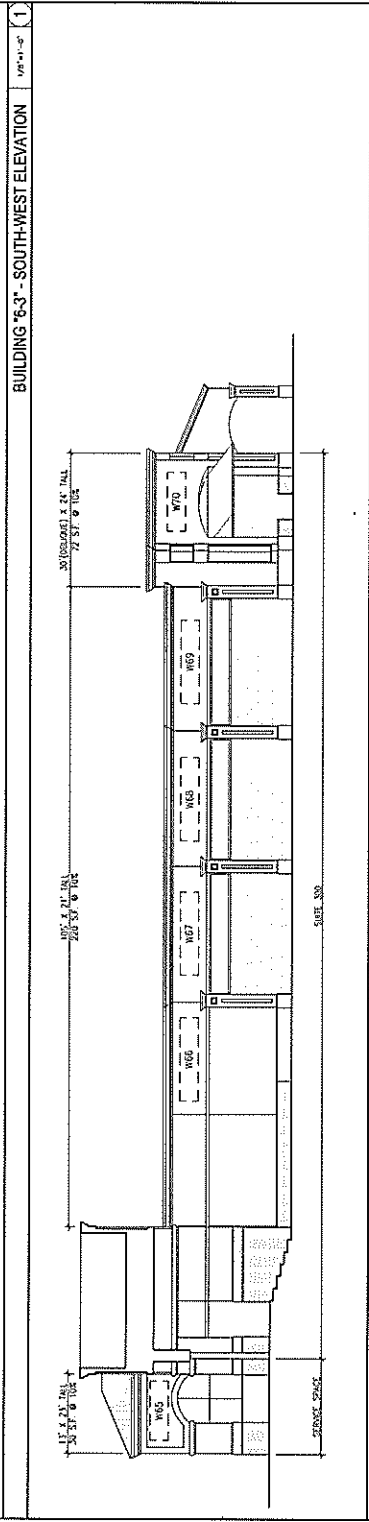
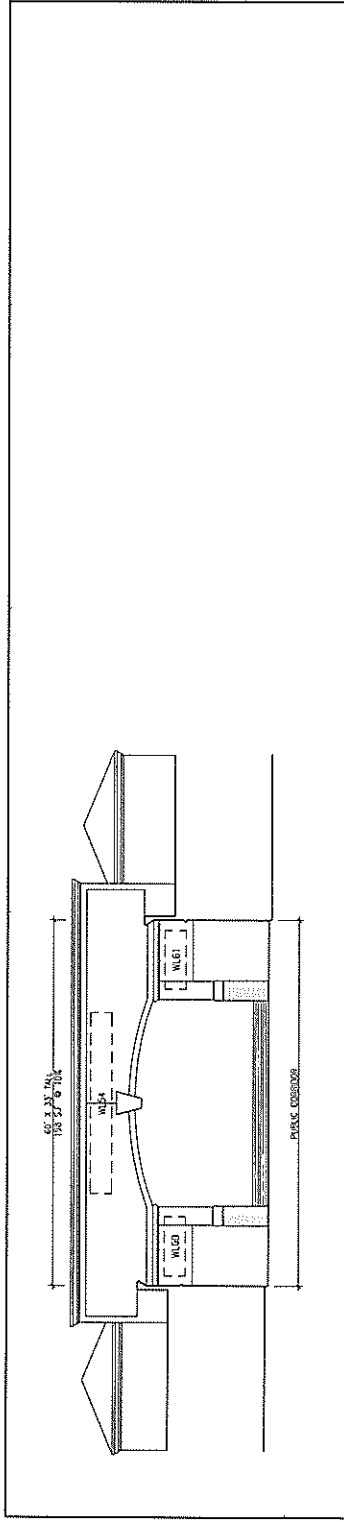
PREMIUM
OUTLETS
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SIGNAGE
ELEVATIONS
BUILDING
3 & 6

ANDREW F. ROSENFELD
REGISTERED PROFESSIONAL ENGINEER
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MESA, AZ 85208
TEL: 480-988-1111

DATE
PROJECT NO.
SHEET NO.
SHEET TOTAL

SHEET
WA1.04
BLDG. 3 & 6



NOTES

ENLARGED KEY PLAN SCALE: 1/8"=1'-0"

KEY PLAN

BLDG. 3 - SOUTH ELEV. 1/8"=1'-0" 4

BLDG. 3 - WEST ELEV. 1/8"=1'-0" 5

BLDG. 3 - SOUTH-WEST ELEVATION 1/8"=1'-0" 6



DAVID M. WILLIAMS
 LICENSED PROFESSIONAL ENGINEER
 STATE OF NEW YORK

WEST
 PROJECT
 SIGNAGE

PREMIUM
 OUTLETS
 SIMON

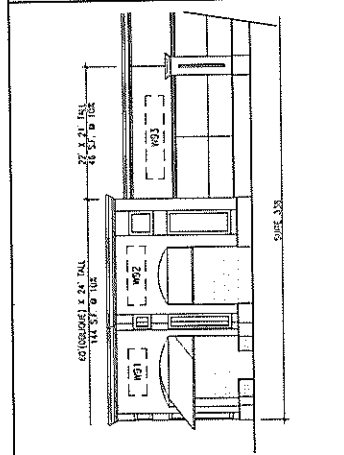
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 3

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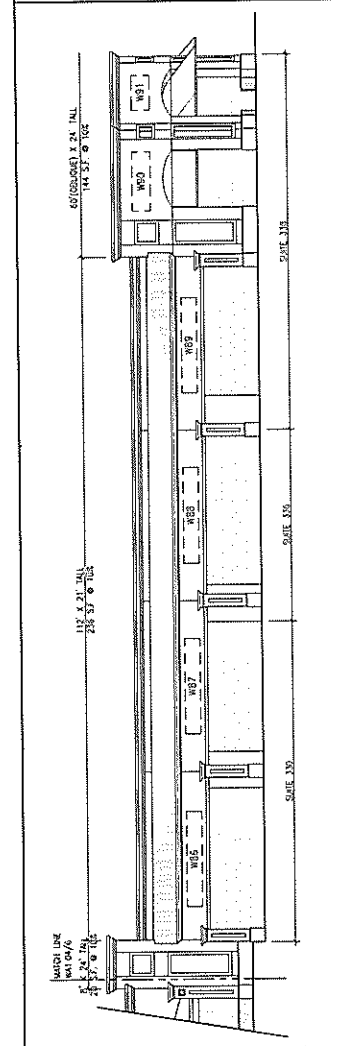
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PROJECT NO. 2013-03-2001-033
 SHEET NO. WA1.05
 BUILDING NO. 3

SHEET
WA1.05
 BLDG. 3

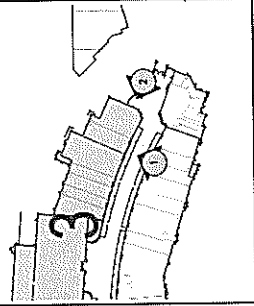


BLDG. "3" - SOUTH ELEVATION 1/8"=1'-0"

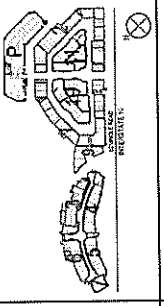


BUILDING "3" - WEST ELEVATION 1/8"=1'-0"

NOTES



ENLARGED KEY PLAN SCALE: 1"=100'



KEY PLAN



DESERT HILLS PREMIUM
OUTLETS
CENTRAL OFFICE

WEST
MASTER
SIGN
PROGRAM

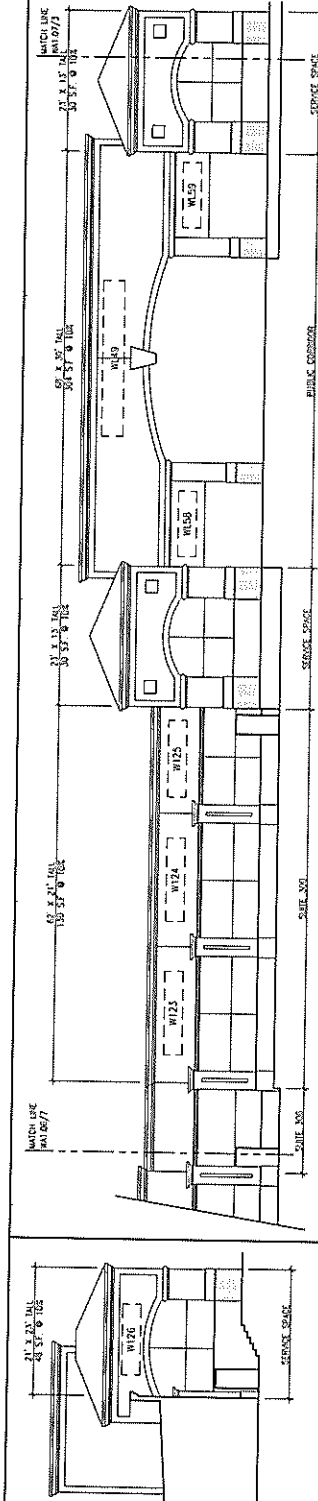
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OUTLETS
SIMON

SIGNAGE
ELEVATIONS
BUILDING
3, 6 & 7

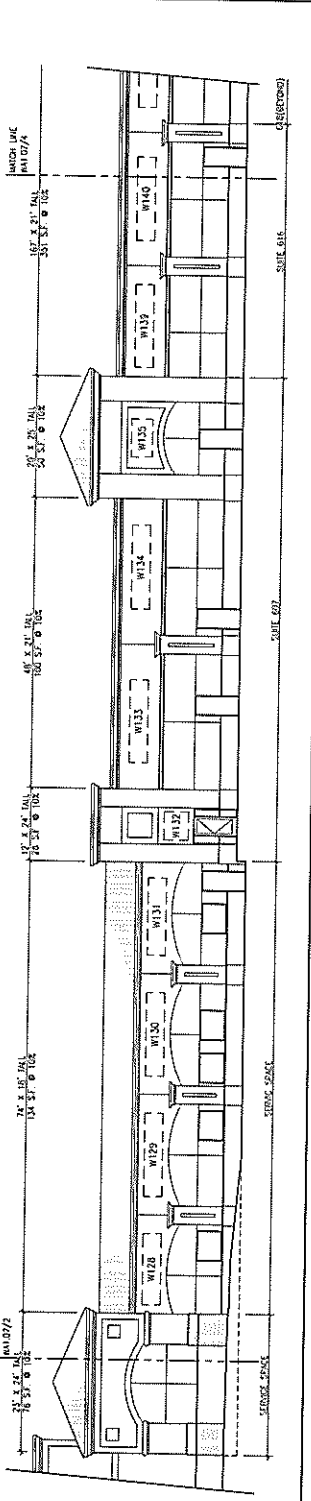
PLANNED BY: SIMON
3101 Adams Drive
Las Vegas, NV 89119
DATE: 12/10/2013

DATE	12/10/2013
BY	DAVID J. WILLIAMS
CHECKED BY	DAVID J. WILLIAMS
PROJECT	DESERT HILLS PREMIUM OUTLETS
SHEET NO.	WA1.07
TOTAL SHEETS	6

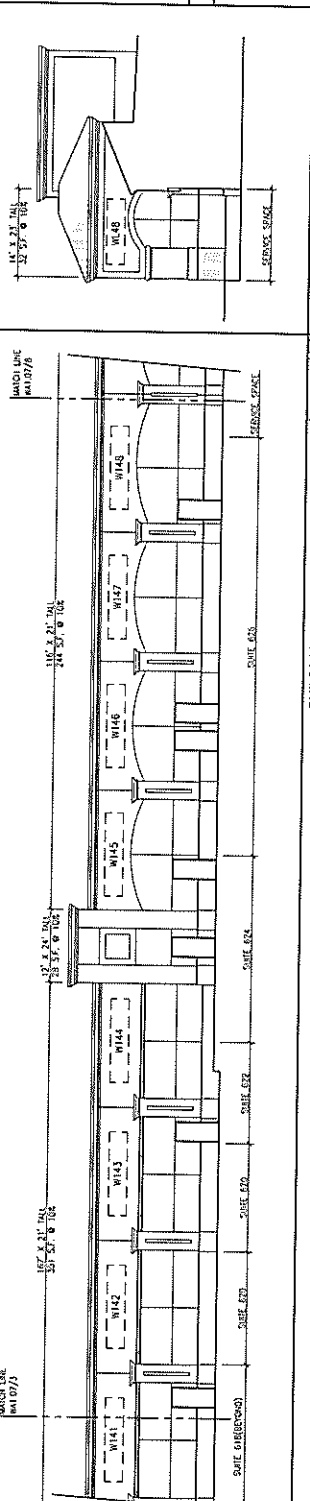
SHEET
WA1.07
BLDG. 3, 6 & 7



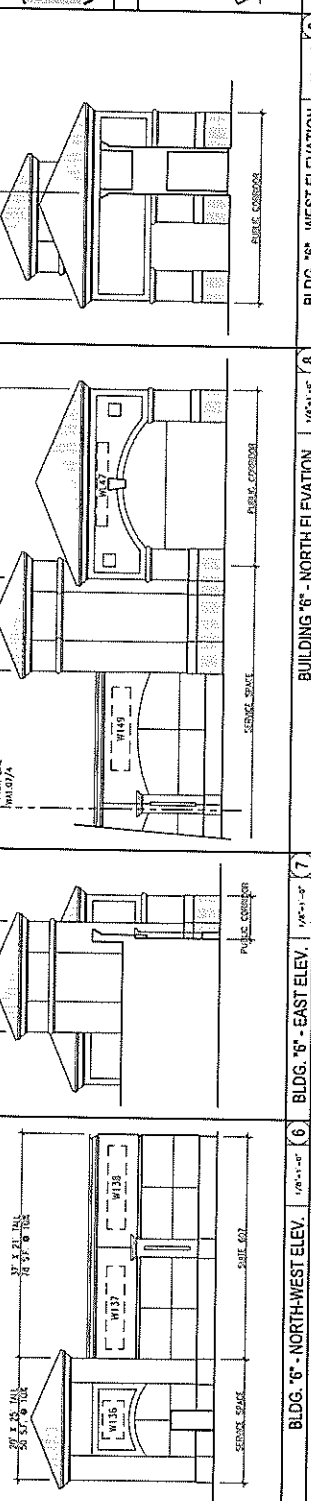
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BLDG. 6 - NORTH-EAST ELEVATION 1/8"=1'-0" (3)



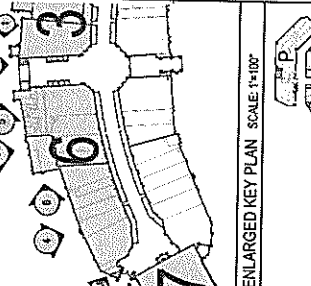
BLDG. 6 - NORTH-EAST ELEVATION 1/8"=1'-0" (4)



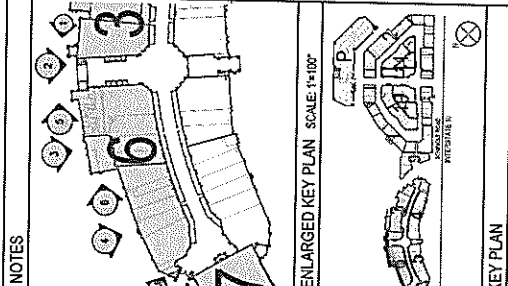
BLDG. 6 - NORTH-WEST ELEV. 1/8"=1'-0" (5)



BLDG. 6 - NORTH-WEST ELEV. 1/8"=1'-0" (6)



BLDG. 6 - WEST ELEVATION 1/8"=1'-0" (9)



1/8"=1'-0" (1) BLDG. 3 - SOUTH-EAST ELEV. 1/8"=1'-0" (2) BLDG. 6 - NORTH-EAST ELEVATION 1/8"=1'-0" (3) BLDG. 6 - NORTH-EAST ELEVATION 1/8"=1'-0" (4) BLDG. 6 - NORTH-EAST ELEVATION 1/8"=1'-0" (5) BLDG. 6 - NORTH-WEST ELEV. 1/8"=1'-0" (6) BLDG. 6 - NORTH-WEST ELEV. 1/8"=1'-0" (7) BLDG. 6 - EAST ELEV. 1/8"=1'-0" (8) BLDG. 6 - NORTH-ELEVATION 1/8"=1'-0" (9) BLDG. 6 - WEST ELEVATION 1/8"=1'-0" (9)



DESERT HILLS PREMIUM
OUTLETS
4000 CAMPBELL
DESERT CENTER

WEST
MASTER
SIGN
PROGRAM

PREMIUM
OUTLETS
SIMON

TENANT
WALL SIGN
EXAMPLES
TYPE "A"

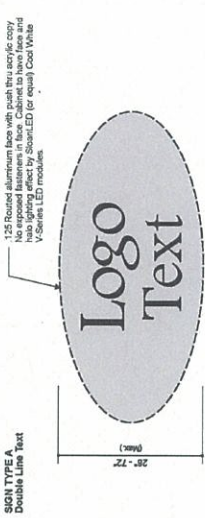
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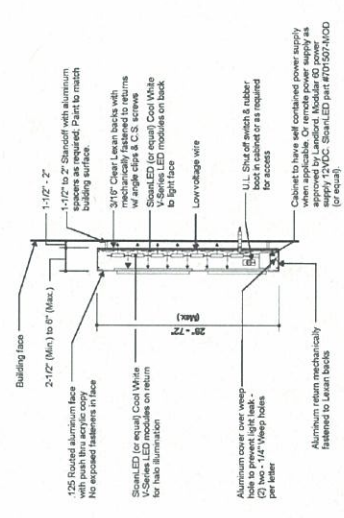
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2012-10-20/2012-10-20		

SHEET

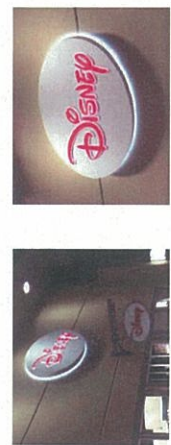
WS2.01



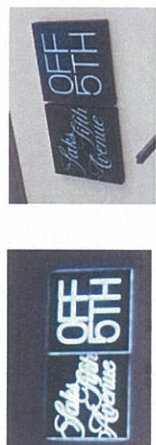
Logo with Face / Halo Illumination
(Shape Varies)



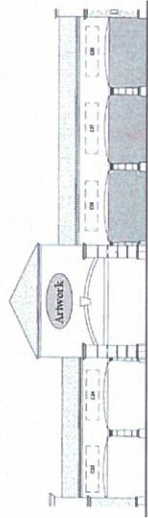
Note: All bolts, Conduits, Sleeves, Electrical Conduits, etc. to be non ferrous. All penetrations thru slip concrete will need to be waterproof. LEDs are not to be visible on sign. All illumination to be even lighting without any hotspot on surfaces.



Sign Type A



Sign Type A



Signage Type A - Examples
Signage mounting height will be determined at the site of installation by Landlord.



DESERT HILLS PREMIUM
OUTLETS
4800 SANDHILL DR.
CANTON, CA 92521

WEST
MASTER
SIGN /
PROGRAM

PREMIUM
OUTLETS
SIGN

TENANT
WALL SIGN
EXAMPLES
TYPE "B"

MAN CHECK E. BERRBERG
2011 Architects Group
10000 Wilshire Blvd., Suite 1000
Beverly Hills, CA 90210
Tel: 310.277.1111
Fax: 310.277.1112
www.mancheck.com

DATE	Rev. Date
	Rev. No.
	Rev. Desc.
	Rev. Date
	Rev. No.
	Rev. Desc.
	Rev. Date
	Rev. No.
	Rev. Desc.

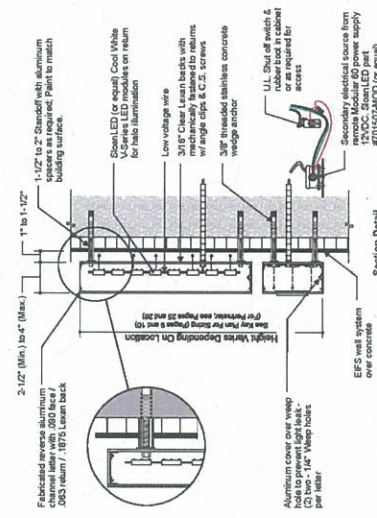
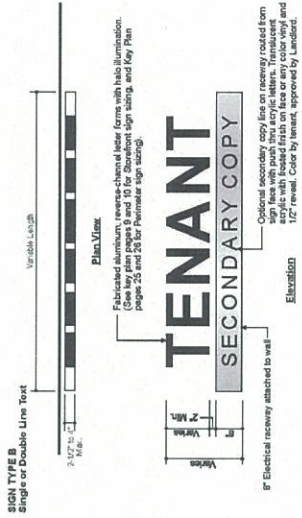
SHEET
WS2.02

TENANT WALL SIGN EXAMPLES TYPE "B" 1

- Sign Type B: INDIVIDUAL REVERSE CHANNEL HALO LIT LETTERS WITH LED ILLUMINATION.**
- a. Individual letters shall be U.L. Rated to have a minimum depth of 2-1/2" (6" max.) and shall be spaced off wall 1-1/2" with blind end caps and shall be fabricated from 3003B3K aluminum. All seams shall have continuous welds and be filled.
 - b. Letters & Logos shall be color coated natural metal (i.e.: Bronze, Brushed Alum. Etc) or Tenant's corporate color with Landlord approval.
 - c. Tenant signs to be installed with back-up on facade (generally) behind prominent architectural elements such as columns, in front of Tenant's space. Exact location to be determined by Landlord at time of install.
 - d. Lighting: Individual channel-off reverse channel letters shall be back lit with Sign LED (or equal) cool white V-series LED modules for halo lighting with 2-1/2" min. to 4" max. returns. The sign's electrical components: wiring, transformer, etc. should be fully waterproof even when mounted on the interior side of the wall.
 - e. Length & Height: The length and height of individual Tenant signs on internal storefronts shall not exceed what is described in either *East Wind at West Wind* or *Santa Monica* previously.
 - f. Area: notwithstanding the above criteria, no sign shall exceed County of Riverside criteria.
 - g. Bolt, connections, sleeves, etc. shall be non-ferrous materials.
 - h. All penetrations thru walls to be watertight.
 - i. Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at expansion locations.



Sign Type B



Note: All Sign Connections, Wiring, Electrical Controls, Etc. shall be in EFC. All penetrations thru the concrete shall be sealed with a U.L. rated LED sealant to be water-tight without any "mastic" or "caulk".



DEBERTI-HILLS PREMIER
 WESTCHESTER COUNTY
 BOARD OF SUPERVISORS

WEST
 MASTER
 SIGN
 PROGRAM

PREMIUM
 OUTLETS
 SIMON

TENANT
 DOOR /
 STOREFRONT
 SIGNAGE

PLANNED & MANAGED BY
 Q 2111 Madison Drive
 Westchester, NY 10596
 Tel: 914.941.1000
 Fax: 914.941.1001
 www.westchester.com

DATE _____

NO. _____

DATE _____

NO. _____

DATE _____

NO. _____

DATE _____

NO. _____

DATE _____

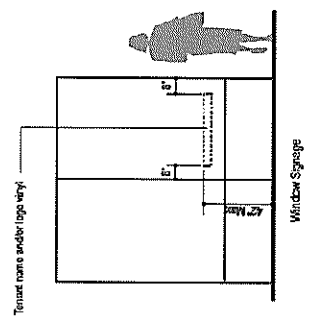
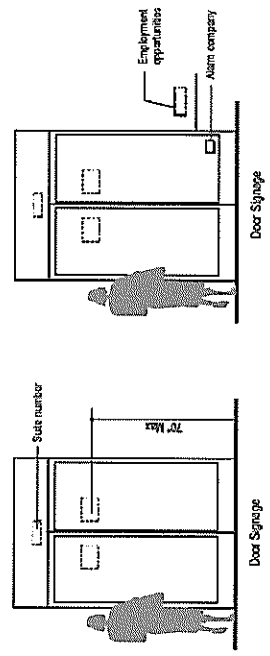
NO. _____

SHEET
WS2.04

Tenant Name and/or Logo Vinyl

ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

- For the purpose of store identification, the Tenant may propose to the Landlord a design layout of Tenant name and/or logo in white or black Vinyl Die-Cut Graphics or another color as per Landlord's approval for placement on the inside of entry doors. Each door is permitted one (1) square foot of Vinyl Die-Cut Sign area. The area must be centered 70" from grade or as otherwise directed due to door configurations.
- For the purpose of additional store identification, the Tenant may also propose to the Landlord a design layout of store name in black or white Vinyl Die-Cut Graphics or another color, as per Landlord's approval, for placement on the inside of every other (alternating) display window. The maximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of 8" inward toward the window's center from the vertical edges of the window and may not exceed 42" above grade.
- Permanent store signage as part of window background display is limited to one (1) square foot of sign area per one (1) linear foot of store frontage.
- Tenant supplied "Help Wanted" signs are prohibited.
- "Help Wanted" and other standard information signs as deemed necessary by Landlord, are provided by Landlord and shall be affixed to the inside left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
- Standard information signage items such as no food, drink, smoking, store hours, etc. shall be provided by Landlord only. Facebook, Twitter, Foursquare shall be provided by Landlord at tenant request and tenant expense.
- Credit Card or check acceptance signs or logos placed on storefront display windows or doors are strictly prohibited.
- Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
- Handicap access is permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
- The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.





DESERT HILLS PREMIUM
OUTLETS
ARCHITECTURAL
CHANGE ORDER

EAST
MASTER
SIGN
PROGRAM

PREMIUM
OUTLETS
SIMON

EAST
LANDLORD
SIGNAGE
DETAILS

DATE

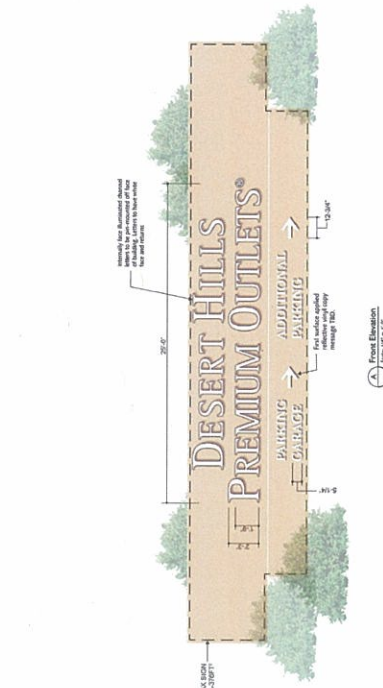
Rev. No. _____
Rev. Date _____
2012-11-09/2012-11-19
Rev. No. _____
Rev. Date _____
2012-11-19-2013

PROJECT: EAST LANDLORD SIGNAGE
DRAWN BY: RJA
CHECKED BY: RJA
DATE: 11/19/12

SHEET

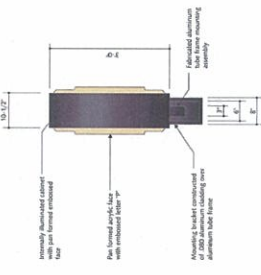
ES0.05

The design contained within this document is submitted as advisory in nature and is subject to the condition of general design over and development is completed.



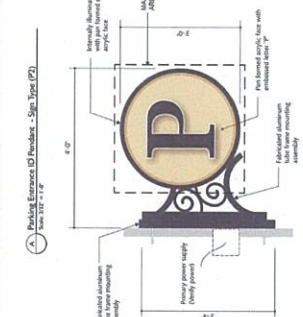
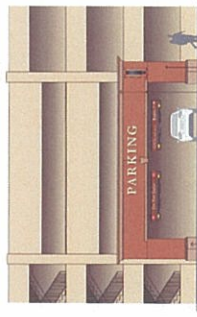
EL22 AUTO DIRECTIONAL SIGN-WALL MOUNTED N/A 1

The design contained within this document is submitted as advisory in nature and is subject to the condition of general design over and development is completed.



ELG10
ELG13
ELG15
ELG17

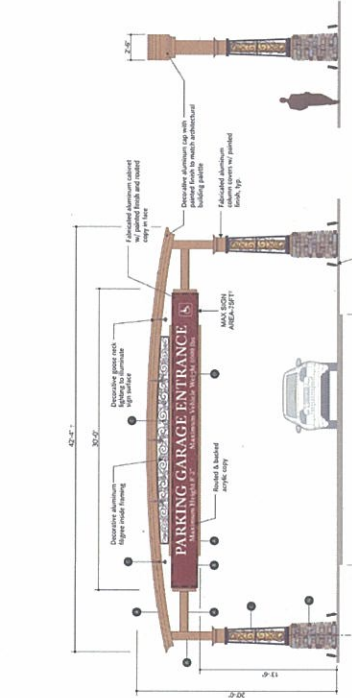
PARKING ENTRANCE IDENTITY BLADE N/A 3



ELG2
ELG4
ELG6
ELG9
ELG12
ELG14
ELG16

PARKING ENTRANCE SIGNAGE N/A 2

The design contained within this document is submitted as advisory in nature and is subject to the condition of general design over and development is completed.



ELG7

VEHICULAR GATEWAY OVERHEAD ARCHWAY N/A 4



DAVID C. RAYMOND
REGISTERED ARCHITECT
STATE OF CALIFORNIA
NO. 10000

**EAST
PROJECT
SIGNAGE**

**PREMIUM
OUTLETS
SIMON**

**SIGNAGE
ELEVATIONS
BUILDING
2**

DAVID C. RAYMOND
ARCHITECT
3111 KENNEDY DRIVE
SAN JOSE, CA 95128
TEL: 408.434.1111
FAX: 408.434.1112
WWW.DCRM.COM

NO.	DATE	DESCRIPTION
1	10/15/13	ISSUED FOR PERMIT
2	11/15/13	REVISIONS
3	12/15/13	REVISIONS
4	01/15/14	REVISIONS
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6	03/15/14	REVISIONS
7	04/15/14	REVISIONS
8	05/15/14	REVISIONS
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306	03/15/39	REVISIONS
307	04/15/39	REVISIONS

EAST - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS

- LANDLORD DIRECTIONAL SIGN
- LANDLORD ADVERTISING SIGN

Sign / Item Number	Sign Type	Sign Description	Sign Dimensions (w x h)	Sign Area (sf)
Retail Buildings and Site				
EL1	<input type="radio"/>	Food Court Identity - Tower Mounted	10'-0" x 12'-0"	120 sf
EL2	Not Used			
EL3	<input type="checkbox"/>	Food Court Tenant Identity / ATM Sign	3'-0" x 6'-0"	18 sf
EL4	Not Used			
EL5	Not Used			
EL6	Not Used			
EL7	Not Used			
EL8	<input type="checkbox"/>	Pylon / Identity Sign	8'-9" x 17'-0" x 40'-0" high	149 sf/face. 2 Faces Total
EL9	<input type="radio"/>	Pedestrian Directional - ATM / Restrooms	N/A	N/A
EL10	<input type="radio"/>	Pedestrian Directional - ATM / Restrooms	N/A	N/A
EL11A	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11B	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11C	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11D	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11E	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11F	<input type="checkbox"/>	Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL12	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL13	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL14	<input type="radio"/>	Pedestrian Wayfinding	N/A	N/A
EL15	<input type="radio"/>	Center Identity	8'-5" x 10'-9"	90 sf
EL16	<input type="radio"/>	Center Identity	4'-6" x 22'-0"	99 sf
EL17	<input type="radio"/>	Pedestrian Wayfinding Gateway - Overhead Arch	5'-0" x 5'-0" x 20'-0" high	75 sf
EL18A	<input type="radio"/>	Auto directional - ground mounted	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL18B	<input type="radio"/>	Auto directional - ground mounted	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL19	<input type="radio"/>	Auto directional monument	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL20	<input type="radio"/>	Auto directional monument	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL21	<input type="radio"/>	Pedestrian Directional Villa Entry	4'-3" x 21'-10"	93 sf
EL22	<input type="radio"/>	Auto Directional Sign - Wall Mounted	9'-0" x 42'-0"	376 sf
EL23	Not Used			
EL24	<input type="checkbox"/>	Center Identity	10'-0" x 13'-0"	130 sf
EL25	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL26	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL27	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL28	Not Used			
EL29	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL30	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL31	<input type="radio"/>	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf

*REFER TO SHEET ES0.01 FOR ADDITIONAL INFORMATION

EAST - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS

<i>Sign / Item Number</i>		<i>Sign Description</i>	<i>Sign Dimensions (w x h)</i>	<i>Sign Area (sf)</i>
<i>Retail Buildings and Site Cont.</i>				
EL32	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL33	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL34	<input type="radio"/>	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL35-53	Not Used			
EL54	<input type="radio"/>	Vehicular Gateway Overhead Archway	2'-6" x 40'-8" x 20'-0" high	100 sf
EL55	<input type="radio"/>	Vehicular Gateway Overhead Archway	2'-6" x 30'-0" x 20'-0" high	75 sf
EL56	<input type="radio"/>	Vehicular Gateway Overhead Archway	2'-6" x 30'-0" x 20'-0" high	75 sf
EL57	<input type="radio"/>	Information Sign Blade	3'-0" x 3'-0"	9 sf

<i>Parking Garage</i>				
ELG1	<input type="checkbox"/>	Center Identity - Wall Mounted	8'-11" x 25'-8"	229 sf
ELG2	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG3	<input type="checkbox"/>	Center Identity - Wall Mounted	2'-6" x 48'-0"	120 sf
ELG4	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG5	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG6	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG7	<input type="radio"/>	Vehicular Gateway - Ground Mounter Overhead Arch	2'-6" x 30'-0" x 20'-0" high	75 sf
ELG8	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG9	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG10	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf
ELG11	<input type="radio"/>	Pedestrian Directional - Wall Mounted	2'-0" x 20'-0"	40 sf
ELG12	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG13	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf
ELG14	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG15	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf
ELG16	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf
ELG17	<input type="radio"/>	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf
ELG18	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG19	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG20	<input type="radio"/>	Car Counter Display Panel	2'-0" x 4'-0"	8 sf
ELG21	<input type="radio"/>	Valet Sign	2'-6" x 20'-0"	50 sf
ELG22	<input type="radio"/>	Valet Sign - Column Mounted Blade	3'-0" x 3'-0"	9 sf

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E1	10	EA1.01	70FT ²	1010	-	-
E2	10	EA1.01	114FT ²	1010	-	-
E3	10	EA1.01		1010	-	-
E4	10	EA1.01	110FT ²	1010	-	-
E5	10	EA1.01		1008	-	-
E6	10	EA1.01	74FT ²	1008	-	-
E7	10	EA1.01	172FT ²	1004	-	-
E8	10	EA1.01		1004	-	-
E9	10	EA1.01		1002	-	-
E10	10	EA1.01	62FT ²	1002	-	-
E11	10	EA1.01	164FT ²	1000	-	-
E12	10	EA1.01		1000	COACH	32.5FT ²
E13	10	EA1.01		1000	-	-
E14	10	EA1.01	64FT ²	1000	-	-
E15	10	EA1.01	162FT ²	1000	-	-
E16	10	EA1.01		1000	COACH	32.5FT ²
E17	10	EA1.01		1000	-	-
E18	10	EA1.01	173FT ²	1000	-	-
E19	10	EA1.01		1000	-	-
E20	10	EA1.01		1000	-	-
E21	10	EA1.01	106FT ²	1052	-	-
E22	10	EA1.01		1050	-	-
E23	10	EA1.01	234FT ²	1048	-	-
E24	10	EA1.01		1046	DOLCE & GABBANA	27.1FT ²
E25	10	EA1.01		1044	-	-
E26	10	EA1.01		1040	-	-
E27	10	EA1.01	90FT ²	1040	-	-
E28	10	EA1.01		1040	-	-
E29	10	EA1.01	60FT ²	1040	-	-

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E30	10	EA1.02	64FT ²	1040	-	-
E31	10	EA1.02	50FT ²	1040	-	-
E32	10	EA1.02	150FT ²	1040	-	-
E33	10	EA1.02		1038	-	-
E34	10	EA1.02		1038	-	-
E35	10	EA1.02	59FT ²	1036	-	-
E36	10	EA1.02	84FT ²	1034	-	-
E37	10	EA1.02	130FT ²	1032	-	-
E38	10	EA1.02		1030	-	-
E39	10	EA1.02	64FT ²	1028	-	-
E40	10	EA1.02	76FT ²	1028	-	-
E41	10	EA1.02	56FT ²	1026	-	-
E42	10	EA1.02	224FT ²	1024	-	-
E43	10	EA1.02		1022	-	-
E44	10	EA1.02		1020	-	-
E45	10	EA1.02		1018	-	-
E46	10	EA1.02	78FT ²	1016	-	-
E47	10	EA1.02	66FT ²	1014	-	-
E48	10	EA1.02	164FT ²	1010	-	-
E49	10	EA1.02		1010	-	-
E50	10	EA1.02		1010	-	-
E51	10	EA1.02	40FT ²	1010	-	-
E52	11	EA1.04	130FT ²	1100	BURBERRY	15.4FT ²
EL24	11	EA1.04		1100	<i>CENTER IDENTITY</i>	130.0FT ²
E54	11	EA1.03	40FT ²	1100	-	-
E55	11	EA1.04	66FT ²	1100	-	-
E56	11	EA1.04		1100	-	-

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E57	11	EA1.04	50FT ²	1100	-	-
E58	11	EA1.03	98FT ²	1100	-	-
E59	11	EA1.03		1100	-	-
E60	11	EA1.03	150FT ²	1156	-	-
E61	11	EA1.03		1156	-	-
E62	11	EA1.03		1156	HURLEY	11.3FT ²
E63	11	EA1.03	192FT ²	1154	-	-
E64	11	EA1.03		1152	-	-
E65	11	EA1.03		1150	-	-
E66	11	EA1.03	106FT ²	1146	-	-
E67	11	EA1.03		1146	-	-
E68	11	EA1.03	70FT ²	1146	-	-
E69	11	EA1.03	74FT ²	1146	-	-
E70	11	EA1.03		1144	-	-
E71	11	EA1.03	140FT ²	1144	-	-
E72	11	EA1.03	90FT ²	1144	-	-
E73	11	EA1.03		1144	-	-
E74	11	EA1.03	130FT ²	1142	-	-
E75	11	EA1.03		1140	-	-
E76	11	EA1.03	94FT ²	1138	-	-
E77	11	EA1.03		1136	-	-
E78	11	EA1.04	52FT ²	1134	-	-
E79	11	EA1.04	316FT ²	1132	-	-
E80	11	EA1.04		1130	-	-
E81	11	EA1.04		1128	-	-
E82	11	EA1.04		1126	-	-
E83	11	EA1.04		1124	-	-
E84	11	EA1.04	112FT ²	1122	-	-
E85	11	EA1.04		1120	-	-

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E86	11	EA1.04	188FT ²	1118	-	-
E87	11	EA1.04		1118	-	-
E88	11	EA1.04		1116	-	-
E89	11	EA1.04	106FT ²	1116	-	-
E90	11	EA1.04		1112	-	-
E91	11	EA1.04	58FT ²	1112	-	-
E92	11	EA1.04	111FT ²	1112	-	-
E93	11	EA1.04		1112	-	-
E94	11	EA1.04		1112	-	-
E95	11	EA1.04	104FT ²	1112	-	-
E96	11	EA1.04		1112	-	-
E97	11	EA1.04	164FT ²	1112	-	-
E98	11	EA1.04		1110	-	-
E99	11	EA1.04		1108	-	-
E100	11	EA1.04		1106	-	-
E101	11	EA1.04	198FT ²	1104	-	-
E102	11	EA1.04		1100	-	-
E103	11	EA1.04		1100	-	-
E104	11	EA1.04	40FT ²	1100	-	-
E105	2	EA1.05	73FT ²	168	LACOSTE	46.3FT ²
E106	2	EA1.05	68FT ²	168	-	-
E107	2	EA1.05		170	THEORY	33.8FT ²
E108	2	EA1.05	58FT ²	172	-	-
E109	2	EA1.05	76FT ²	172	IZOD	19.6FT ²
E110	2	EA1.05		174	COLE HAAN	19.3FT ²
E111	2	EA1.05	100FT ²	178	POLO RALPH LAUREN	94.9FT ²

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E112	2	EA1.05	322FT ²	179	-	-
E113	2	EA1.05		179	-	-
E114	2	EA1.05		180	CHARLOTTE RUSSE	34.6FT ²
E115	2	EA1.05		180	-	-
E116	2	EA1.05		181	GIORGIO ARMANI	33.0FT ²
E117	2	EA1.05	198FT ²	182	-	-
E118	2	EA1.05		182	CALVIN KLEIN	60.9FT ²
E119	2	EA1.05		182	-	-
E120	2	EA1.05	224FT ²	183	PAPAYA	37.7FT ²
E121	2	EA1.05		184	-	-
E122	2	EA1.05		184	OSHKOSH B'GOSH	63.3FT ²
EL21	2	EA1.05	158FT ²	VIA	<u>PEDESTRIAN DIRECTIONAL</u>	93.0FT ²
E124	2	EA1.05		192	-	-
E125	2	EA1.05		192	MAIDENFORM	49.0FT ²
E126	2	EA1.05		194	BRUNELLO CUCINELLI	56.9FT ²
E127	2	EA1.05		196	DESIGNER FRAGRANCES	32.9FT ²
E128	2	EA1.05	62FT ²	198	EASY SPIRIT	33.5FT ²
E129	2	EA1.05	96FT ²	198	-	-
E130	2	EA1.05		200	JOHNSTON & MURPHY	30.3FT ²
E131	2	EA1.05		202	MICHAEL KORS	25.2FT ²
E132	2	EA1.05	90FT ²	204	FOSSILE	28.3FT ²
E133	2	EA1.05		206	CONVERSE	52.3FT ²
E134	2	EA1.05	94FT ²	206	-	-
E135	2	EA1.05	30FT ²	208	ZUMIES	31.2FT ²
EL1	2	EA1.05	52FT ²	210	<u>FOOD COURT IDENTITY</u>	37.5FT ²
E137	2	EA1.05	34FT ²	220	-	-
E138	2	EA1.06	106FT ²	221	ZALES	36.8FT ²
E139	2	EA1.06		222	YVES SAINT LAURENT	37.0FT ²
E140	2	EA1.06	74FT ²	224	HARRY & DAVID	52.8FT ²
E141	2	EA1.06		228	-	-

*REFER TO SHEETS EA0.01-EA1.18
FOR ADDITIONAL INFORMATION

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E142	2	EA1.06	64FT ²	228	GUCCI	39.4FT ²
E143	2	EA1.06	76FT ²	229	DIANE VON FURSTENBERG	24.0FT ²
E144	2	EA1.06		229	-	-
E145	2	EA1.06	72FT ²	230	-	-
E146	2	EA1.06		230	-	-
E147	2	EA1.06	56FT ²	231	VINCE	14.0FT ²
E148	2	EA1.06	68FT ²	232	-	-
E149	2	EA1.06		232	-	-
E150	2	EA1.06	50FT ²	232	-	-
E151	2	EA1.06	64FT ²	232	NIKE(5W005H)	77.5FT ²
E152	2	EA1.06	52FT ²	232	NIKE	77.5FT ²
E153	2	EA1.06	36FT ²	232	-	-
E154	2	EA1.06	74FT ²	239	-	-
E155	2	EA1.06		238	-	-
E156	2	EA1.06	64FT ²	238	-	-
E157	1	EA1.06	68FT ²	240	-	-
E158	1	EA1.06	100FT ²	240	-	-
E159	1	EA1.06		240	-	-
E160	1	EA1.06	88FT ²	241	2B BEBE	61.9FT ²
E161	1	EA1.06		241	-	-
E162	1	EA1.06		242	JUDITH LEIBER	20.3FT ²
E163	1	EA1.06	75FT ²	244	-	-
E164	1	EA1.06	50FT ²	100	-	-
E165	1	EA1.06		100	-	-
E166	1	EA1.06	64FT ²	100	BROOKS BROTHERS	28.4FT ²
E167	1	EA1.06		102	SUNGLASS HUT	22.5FT ²

*REFER TO SHEETS EA0.01-EA1.18
FOR ADDITIONAL INFORMATION

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E168	1	EA1.06	56FT ²	104	MOVADO	33.8FT ²
E169	1	EA1.06	64FT ²	105	KATE SPADE NEW YORK	33.3FT ²
E170	1	EA1.06		106	TSE	7.5FT ²
E171	1	EA1.06	54FT ²	106	-	-
E172	1	EA1.06		107A	ST. JOHN	22.2FT ²
E173	1	EA1.06	140FT ²	107B	-	-
E174	1	EA1.06		107B	CARTERS	26.2FT ²
E175	1	EA1.06		107C	-	-
E176	1	EA1.07	64FT ²	108	-	-
E177	1	EA1.07		108	-	-
E178	1	EA1.07	62FT ²	108	GUESS	30.9FT ²
E179	1	EA1.07	92FT ²	112	JIMMY CHOO	30.9FT ²
E180	1	EA1.07		112	-	-
E181	1	EA1.07		114	ZEGNA	31.0FT ²
E182	1	EA1.07	72FT ²	116	BANANA REPUBLIC	89.5FT ²
EL12	1	EA1.07	74FT ²	VIA	<u>PEDESTRIAN DIRECTIONAL VIA</u>	96.0FT ²
E184	1	EA1.07	50FT ²	122	TOURNEAU	30.0FT ²
E185	1	EA1.07		122	TOURNEAU(CLOCK)	18.8FT ²
E186	1	EA1.07	54FT ²	124	LORO PIANA	29.8FT ²
E187	1	EA1.07		126	-	-
E188	1	EA1.07	70FT ²	126	PRADA	11.4FT ²
E189	1	EA1.07	94FT ²	128	-	-
E190	1	EA1.07		128	BARNEYS NEW YORK	93.8FT ²
E191	1	EA1.07		128	-	-
E192	1	EA1.07	130FT ²	132	ARMANI	20.8FT ²
E193	1	EA1.07		134	ULTRA DIAMONDS	40.0FT ²
E194	1	EA1.07		138	-	-

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E195	1	EA1.07	122FT ²	138	-	-
E196	1	EA1.07		138	-	-
E197	1	EA1.07		140	FURLA	31.7FT ²
E198	1	EA1.07		142	-	-
E199	1	EA1.07	62FT ²	142	FAMOUS FOOTWARE	39.0FT ²
E200	1	EA1.07	120FT ²	142	-	-
E201	1	EA1.07		144	TUMI	22.5FT ²
E202	1	EA1.07		146	-	-
E203	1	EA1.07		146	-	-
E204	1	EA1.07	88FT ²	147	TAG HEUER	18.2FT ²
E205	1	EA1.07		148	-	-
EL31	1	EA1.07	62FT ²	VIA	<u>PEDESTRIAN DIRECTIONAL VIA</u>	96.0FT ²
E207	1	EA1.07		150	-	-
E208	1	EA1.07	56FT ²	150	TORI BURCH	48.0FT ²
E209	1	EA1.07	62FT ²	151	THE COSMETIC COMPANY STORE	41.6FT ²
E210	1	EA1.07		152	BCBGMAXAZRIA	18.9FT ²
E211	1	EA1.07	82FT ²	152	-	-
E212	1	EA1.07		156	JUICY COUTURE	24.0FT ²
E213	1	EA1.07	84FT ²	156	-	-
E214	1	EA1.07		158	-	-
E215	1	EA1.08		160	JOE'S JEANS	24.3FT ²
E216	1	EA1.08	52FT ²	160	PAC SUN	24.3FT ²
E217	1	EA1.08	70FT ²	162	-	-
E218	1	EA1.08		162	WILSONS LEATHER	39.1FT ²
E219	1	EA1.08	68FT ²	164	-	-
E220	2	EA1.09	64FT ²	238	-	-

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E221	2	EA1.09	140FT ²	238	-	-
E222	2	EA1.09		238	-	-
E223	2	EA1.09		238	-	-
E224	2	EA1.09		238	-	-
E225	2	EA1.09		238	-	-
E226	2	EA1.09	60FT ²	238	-	-
E227	2	EA1.09	60FT ²	238	-	-
E228	2	EA1.09	70FT ²	238	-	-
E229	2	EA1.09		238	-	-
E230	2	EA1.09	36FT ²	232	-	-
E231	2	EA1.09	58FT ²	232	-	-
E232	2	EA1.09		232	-	-
E233	2	EA1.09	44FT ²	232	-	-
E234	2	EA1.09	62FT ²	232	NIKE(SWOOSH)	77.5FT ²
E235	2	EA1.09	44FT ²	232	-	-
E236	2	EA1.09	58FT ²	232	-	-
E237	2	EA1.09		232	-	-
E238	2	EA1.09	138FT ²	231	BURBERRY	15.4FT ²
E239	2	EA1.09		230	-	-
E240	2	EA1.09		230	-	-
E241	2	EA1.09	62FT ²	229	GUCCI	39.4FT ²
E242	2	EA1.09	130FT ²	229	-	-
E243	2	A1.09		228	-	-
E244	2	EA1.09		228	DIANE VON FURSTENBERG	18.4FT ²
E245	2	EA1.09		228	HARRY & DAVID	52.8FT ²
E246	2	EA1.09	88FT ²	224	-	-
E247	2	EA1.09		222	-	-

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E248	2	EA1.09	200FT ²	221	-	-
E249	2	EA1.09		220	-	-
E250	2	EA1.09		210	-	-
E251	2	EA1.09		210	MAIDENFORM	33.7FT ²
E252	2	EA1.09		210	-	-
E253	2	EA1.09		210	-	-
E254	2	EA1.09	62FT ²	210	-	-
E255	2	EA1.09		210	POLO RALPH LAUREN	15.5FT ²
E256	2	EA1.10	62FT ²	210	-	-
E257	2	EA1.10		210	POLO RALPH LAUREN	15.5FT ²
E258	2	EA1.10	70FT ²	210	-	-
E259	2	EA1.10		210	-	-
E260	2	EA1.10	342FT ²	210	-	-
E261	2	EA1.10		208	-	-
E262	2	EA1.10		208	-	-
E263	2	EA1.10		206	-	-
E264	2	EA1.10		206	-	-
E265	2	EA1.10		204	-	-
E266	2	EA1.10		204	-	-
E267	2	EA1.10		B.O.H.	-	-
E268	2	EA1.10	32FT ²	B.O.H.	-	-
E269	2	EA1.10	34FT ²	B.O.H.	-	-
E270	2	EA1.10	142FT ²	202	-	-
E271	2	EA1.10		202	-	-
E272	2	EA1.10		200	-	-
E273	2	EA1.10	55FT ²	198	-	-
EL27	2	EA1.10	138FT ²	196	PEDESTRIAN WAYFINDING	N/A
E275	2	EA1.10		194	-	-
E276	2	EA1.10		192	-	-
EL25	2	EA1.10	34FT ²	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT ²

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
EL26	2	EA1.10	130FT ²	184	PEDESTRIAN WAYFINDING	N/A
E279	2	EA1.10		184	-	-
E280	2	EA1.10		184	-	-
E290	2	EA1.10		183	-	-
E291	2	EA1.10	66FT ²	182	-	-
E292	2	EA1.10	248FT ²	182	-	-
E293	2	EA1.10		181	-	-
E294	2	EA1.10		181	-	-
E295	2	EA1.10		180	-	-
E296	2	EA1.10	58FT ²	180	-	-
E297	2	EA1.10	80FT ²	179	-	-
E298	2	EA1.10	84FT ²	178	-	-
E299	2	EA1.10		178	-	-
E300	2	EA1.11	270FT ²	178	-	-
E301	2	EA1.11		178	-	-
E302	2	EA1.11		178	-	-
E303	2	EA1.11		178	-	-
E304	2	EA1.11		174	-	-
E305	2	EA1.11	122FT ²	172	-	-
E306	2	EA1.11		172	-	-
E307	2	EA1.11		170	-	-
E308	2	EA1.11	89FT ²	188	-	-
E309	2	EA1.11		188	LACOSTE	46.3FT ²
E310	2	EA1.11	64FT ²	188	LACOSTE	46.3FT ²
E311	2	EA1.11	156FT ²	188	-	-
E312	2	EA1.11		188	-	-
E312.5	2	EA1.11		188	-	-
E313	1	EA1.11	136FT ²	164	-	-
E314	1	EA1.11		164	-	-
E315	1	EA1.11		164	-	-

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
EL15	1	EA1.11	68FT ²	B.O.H.	<u>CENTER IDENTITY</u>	90.1FT ²
EL57(BLADE)	1	EA1.11		B.O.H.	<u>INFORMATION IDENTITY</u>	9.0FT ²
EL16	1	EA1.11	75FT ²	B.O.H.	<u>CENTER IDENTITY</u>	99.0FT ²
E319	1	EA1.11	51FT ²	164	-	-
E320	1	EA1.11	214FT ²	160	-	-
E321	1	EA1.11		160	-	-
E323	1	EA1.11		158	-	-
E324	1	EA1.11		156	-	-
E325	1	EA1.12	34FT ²	ACCESS	-	-
E326	1	EA1.12	226FT ²	B.O.H.	-	-
EL29	1	EA1.12		152	<u>PEDESTRIAN WAYFINDING</u>	N/A
E328	1	EA1.12		152	-	-
E329	1	EA1.12		151	-	-
E330	1	EA1.12		150	-	-
EL30	1	EA1.12	65FT ²	VIA	<u>PEDESTRIAN DIRECTIONAL VIA</u>	96.0FT ²
E332	1	EA1.12	136FT ²	148	-	-
E333	1	EA1.12		147	-	-
EL32	1	EA1.12		146	<u>PEDESTRIAN WAYFINDING</u>	N/A
E335	1	EA1.12	94FT ²	146	-	-
E336	1	EA1.12		144	-	-
E337	1	EA1.12	53FT ²	144	-	-
E338	1	EA1.12	280FT ²	142	-	-
E339	1	EA1.12		142	-	-
E340	1	EA1.12		140	-	-
E341	1	EA1.12		138	-	-
E342	1	EA1.12		138	-	-
E343	1	EA1.12		134	-	-
E344	1	EA1.12	218FT ²	132	-	-
E345	1	EA1.12		128	-	-
E346	1	EA1.12		128	-	-
E347	1	EA1.12		128	-	-
E348	1	EA1.12		128	-	-

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
EL33	1	EA1.12	35FT ²	128	PEDESTRIAN WAYFINDING	N/A
EL34	9	EA1.12	102FT ²	912	PEDESTRIAN WAYFINDING	N/A
E351	9	EA1.12		910	-	-
E352	9	EA1.12	394FT ²	908	-	-
E353	9	EA1.12		908	-	-
E354	9	EA1.12		904	-	-
E355	9	EA1.12		900	-	-
E356	9	EA1.12		900	-	-
E357	9	EA1.12		900	-	-
E358	9	EA1.12		B.O.H.	-	-
E359	9	EA1.13	32FT ²	B.O.H.	-	-
E360	9	EA1.13	112FT ²	900	-	-
E361	9	EA1.13		900	-	-
E362	9	EA1.13		900	-	-
E363	9	EA1.13	26FT ²	900	-	-
E364	9	EA1.13	64FT ²	900	-	-
E365	9	EA1.13		900	-	-
E366	9	EA1.13		900	HUGO BOSS	16.9FT ²
E367	9	EA1.13	40FT ²	900	-	-
E368	9	EA1.13	38FT ²	900	-	-
E369	9	EA1.13	95FT ²	900	HUGO BOSS	49.3FT ²
E370	9	EA1.13	74FT ²	900	-	-
E371	9	EA1.13		904	MARNI	10.4FT ²
E372	9	EA1.13	154FT ²	908	ETRO	9.7FT ²
E373	9	EA1.13		910	ELIE TAHARI	19.3FT ²
E374	9	EA1.13		912	JAMES PERSE	13.6FT ²
EL14	9	EA1.13	30FT ²	B.O.H.	PEDESTRIAN WAYFINDING	N/A
E376	1	EA1.13	18FT ²	122	TOURNEAU(CLOCK)	9.0FT ²

*REFER TO SHEETS EA0.01-EA1.18
FOR ADDITIONAL INFORMATION

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
EL13	1	EA1.13	74FT ²	VIA	<u>PEDESTRIAN DIRECTIONAL VIA</u>	96.0FT ²
E378	9	EA1.13	32FT ²	B.O.H.	BOTTEGA VENETA	19.6FT ²
E379	9	EA1.13	92FT ²	916	-	-
E380	9	EA1.13		918	KIPLING	13.5FT ²
E381	9	EA1.13		920	-	-
E382	9	EA1.13	60FT ²	920	SALVADOR FERRAGAMO	67.3FT ²
E383	9	EA1.13	50FT ²	920	SALVADOR FERRAGAMO	67.3FT ²
E384	9	EA1.13	100FT ²	920	-	-
E385	9	EA1.13		920	ELIE TAHARI	47.9FT ²
E386	9	EA1.13	60FT ²	920	BOTTEGA VENETA	19.6FT ²
E387	9	EA1.13	118FT ²	920	SALVADOR FERRAGAMO	72.6FT ²
E388	9	EA1.13		916	JAMES PERSE	13.8FT ²
E389	1	EA1.13	60FT ²	116	BANANA REPUBLIC	45.0FT ²
E390	1	EA1.14	74FT ²	116	YVES SAINT LAURENT	43.1FT ²
E391	1	EA1.14	48FT ²	116	BANANA REPUBLIC	50.5FT ²
E392	1	EA1.14	128FT ²	116	TOURNEAU	32.3FT ²
E393	1	EA1.14		116	-	-
E394	1	EA1.14		116	COACH	32.5FT ²
E395	1	EA1.14	164FT ²	114	-	-
E396	1	EA1.14		112	ZENGA	42.6FT ²
E397	1	EA1.14		112	JUICY COUTURE	16.5FT ²
E398	1	EA1.14		108	DKNY	34.0FT ²
E399	1	EA1.14		108	-	-
E400	1	EA1.14	62FT ²	108	-	-
E401	1	EA1.14		108	GUESS	30.9FT ²
E402	1	EA1.14	128FT ²	107C	-	-
E403	1	EA1.14		107B	-	-
E404	1	EA1.14		107B	-	-

*REFER TO SHEETS EA0.01-EA1.18
FOR ADDITIONAL INFORMATION

***EA1* - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS**

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E405	1	EA1.14	52FT ²	107A	ST. JOHN	29.0FT ²
E406	1	EA1.14		107A	-	-
E407	1	EA1.14	68FT ²	106	TSE	7.5FT ²
E408	1	EA1.14		105	KATE SPADE NEW YORK	38.3FT ²
E409	1	EA1.14	58FT ²	104	-	-
E410	1	EA1.14	72FT ²	102	MOVADO	19.3FT ²
E411	1	EA1.14		100	-	-
E412	1	EA1.14	52FT ²	100	BROOKS BROTHERS	66.1FT ²
E414	1	EA1.14	92FT ²	244	-	-
E415	1	EA1.14	50FT ²	241	DOLCE & GABBANA	32.1FT ²
E416	1	EA1.14	104FT ²	241	CALVIN KLEIN	25.0FT ²
E417	1	EA1.14		240	GIORGIO ARMANI	33.0FT ²
E418	1	EA1.14	60FT ²	240	-	-
E419	1	EA1.14	60FT ²	240	-	-
E420	1	EA1.14	132FT ²	240	-	-
E421	1	EA1.14		240	-	-
E422	1	EA1.14		240	-	-
E423	1	EA1.14		240	-	-
E424	1	EA1.14		240	-	-
E425	1	EA1.14	68FT ²	240	-	-
ELG9	P	EA1.15	510FT ²	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT ²
E427	P	EA1.15		-	-	-
E428	P	EA1.15		-	-	-
ELG10(BLADE)	P	EA1.15		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	9.0FT ²
ELG18	P	-		-	<u>CAR COUNTER DISPLAY</u>	8.0FT ²
ELG11	P	EA1.15	608FT ²	-	<u>PEDESTRIAN DIRECTIONAL</u>	40.0FT ²
ELG3	P	EA1.15		-	<u>CENTER IDENTITY</u>	120.0FT ²
ELG12	P	EA1.15		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT ²
ELG13(BLADE)	P	EA1.15		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	9.0FT ²
ELG19	P	-		-	<u>CAR COUNTER DISPLAY</u>	8.0FT ²

*REFER TO SHEETS EA0.01-EA1.18
FOR ADDITIONAL INFORMATION

EAST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
ELG14	P	EA1.15	896FT ²	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT ²
E435	P	EA1.15		-	-	-
E436	P	EA1.15		-	-	-
ELG15(BLADE)	P	EA1.15		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	9.0FT ²
ELG21	P	EA1.15	896FT ²	-	<u>VALET SIGN</u>	50.0FT ²
ELG22(BLADE)	P	EA1.15		-	<u>VALET BLADE SIGN</u>	9.0FT ²
ELG16	P	EA1.16	1048FT ²	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT ²
E439	P	EA1.16		-	-	-
E440	P	EA1.16		-	-	-
ELG17(BLADE)	P	EA1.16		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	9.0FT ²
ELG20	P	-		-	<u>CAR COUNTER DISPLAY</u>	8.0FT ²
E442	P	EA1.16	388FT ²	-	-	-
E443	P	EA1.16		-	-	-
ELG2	P	EA1.16		-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT ²
E445	P	EA1.16		-	-	-
E446	P	EA1.16		-	-	-
E447	P	EA1.16		-	-	-
E448	P	EA1.16		-	-	-
E449	P	EA1.16		-	-	-
ELG1	P	EA1.16	160FT ²	-	<u>CENTER IDENTITY</u>	229.0FT ²
ELG4	P	EA1.17	148FT ²	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT ²
E452	P	EA1.17		-	-	-
E453	P	EA1.17		-	-	-
ELG5	P	-		-	<u>CAR COUNTER DISPLAY</u>	8.0FT ²
ELG6	P	EA1.18	330FT ²	-	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT ²
E455	P	EA1.18		-	-	-
E456	P	EA1.18		-	-	-
ELG8	P	-		-	<u>CAR COUNTER DISPLAY</u>	8.0FT ²



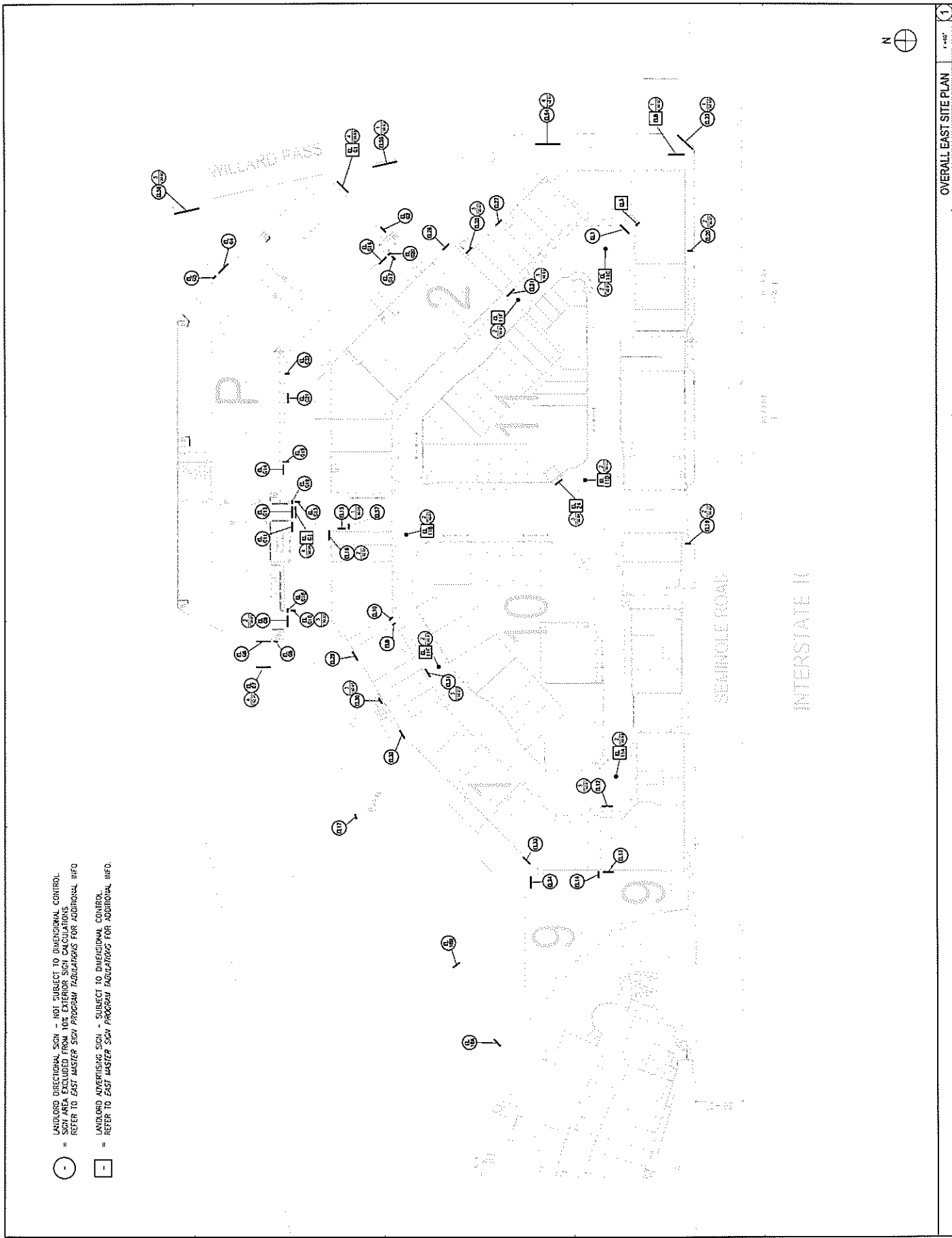
DEPARTMENT OF TRANSPORTATION
 STATE OF FLORIDA
 EAST MASTER SIGN PROGRAM
 PREMIUM OUTLETS
 SIMON

OVERALL SITE
 EAST
 LANDLORD
 SIGNAGE

PLANNING & ENGINEERING
 2011 Atlantic City
 Suite 200
 Jacksonville, FL 32202
 DATE

NO.	DATE	DESCRIPTION
1	01/15/2011	ISSUED FOR PERMITTING

SHEET
ES0.01
 SP



- = LANDLORD DIRECTIONAL SIGN - NOT SUBJECT TO DIMENSIONAL CONTROL. SIGN AREA EXCLUDED FROM 10% EXTERIOR SIGN CALCULATIONS. REFER TO EAST MASTER SIGN PROGRAM TABULARIAS FOR ADDITIONAL INFO.
- = LANDLORD ADVERTISING SIGN - SUBJECT TO DIMENSIONAL CONTROL. REFER TO EAST MASTER SIGN PROGRAM TABULARIAS FOR ADDITIONAL INFO.

OVERALL EAST SITE PLAN 1/100



ROBERT J. PICHARDO
 PROFESSIONAL ENGINEER
 LICENSE NO. 10000

EAST
 PROJECT
 SIGNAGE

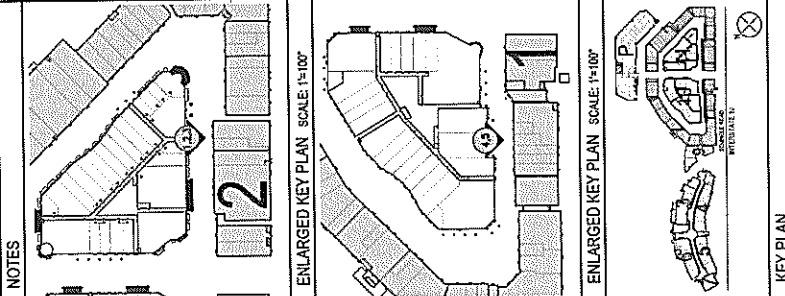
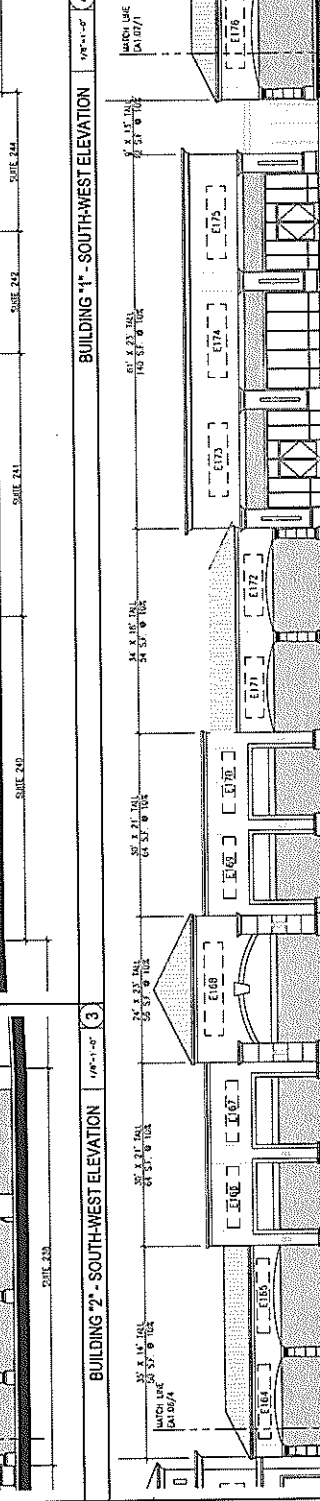
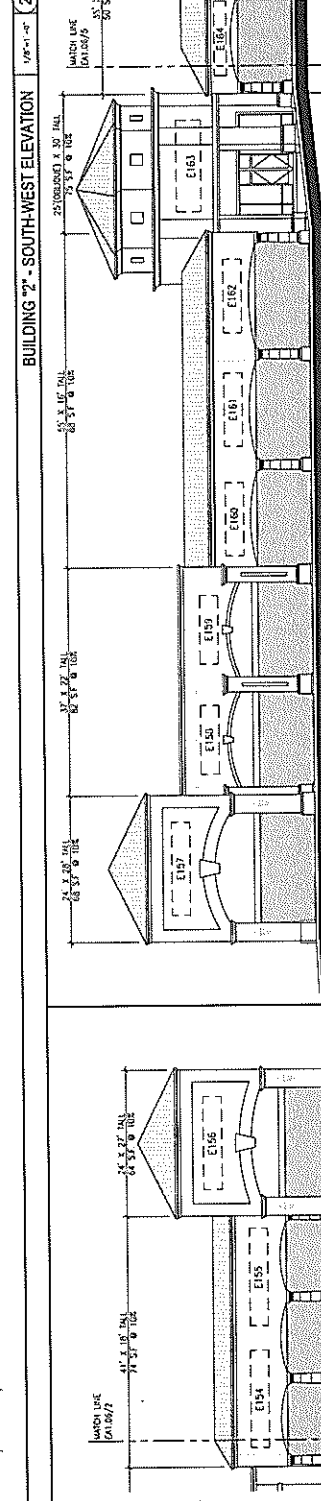
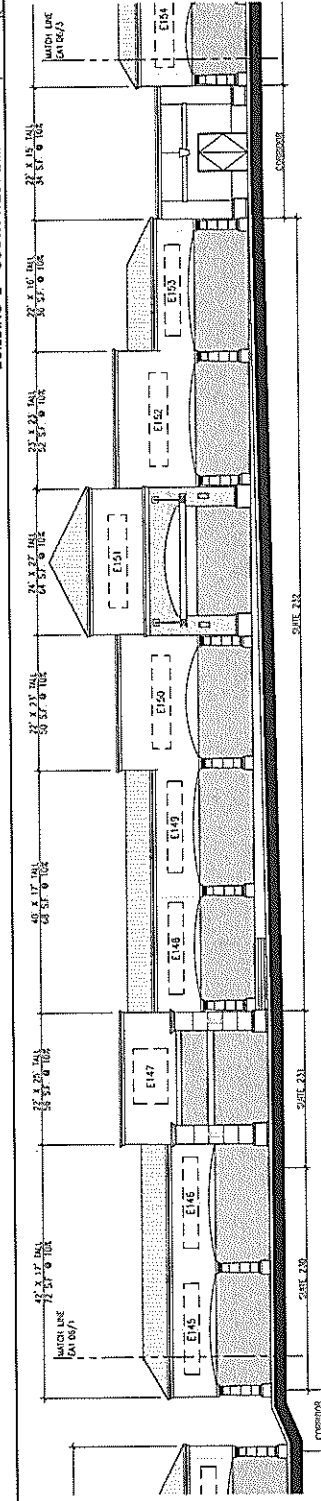
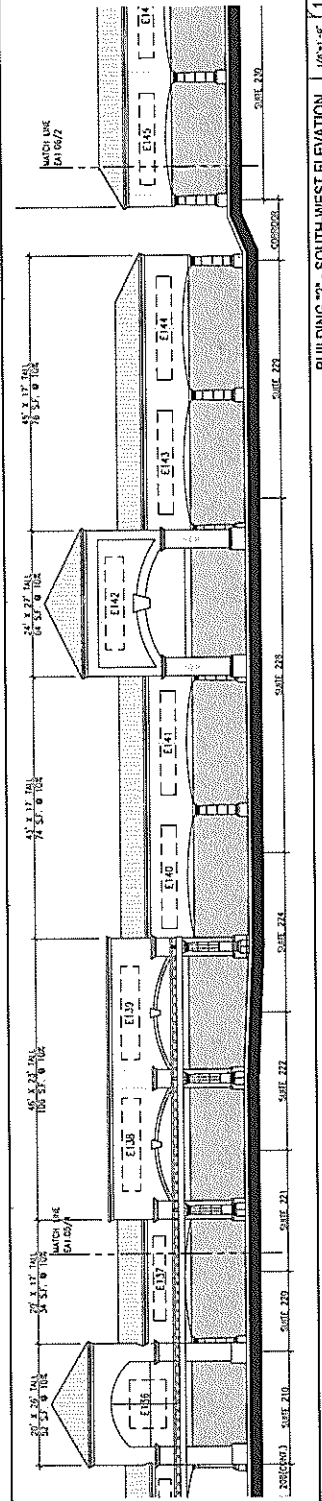
PREMIUM
 OUTLETS
 SIMON

SIGNAGE
 ELEVATIONS
 BUILDING
 1 & 2

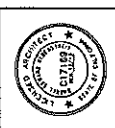
PLANNED BY: ARCHITECT
 2111 Lakeside Drive
 Suite 100
 San Diego, CA 92108
 DATE: _____

Project No.	2022-10-001-001
Sheet No.	EA1.06
Scale	1/8" = 1'-0"
Date	10/10/2022

SHEET
EA1.06
 BLDG. 1 & 2



KEY PLAN



DEZERT HALL PREMIER
 10000 DEZERT HALL
 UNIVERSITY MICROFILMS
 ANN ARBOR MI 48106

WEST
 MASTER
 SIGN
 PROGRAM

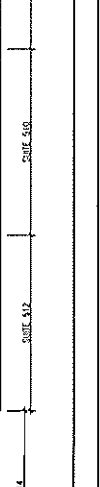
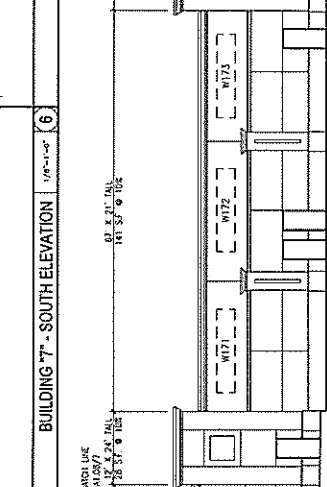
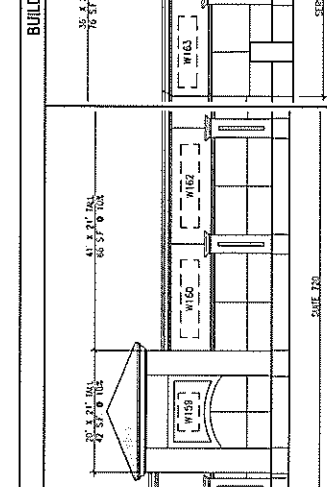
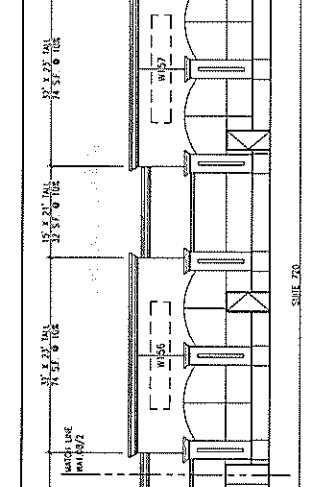
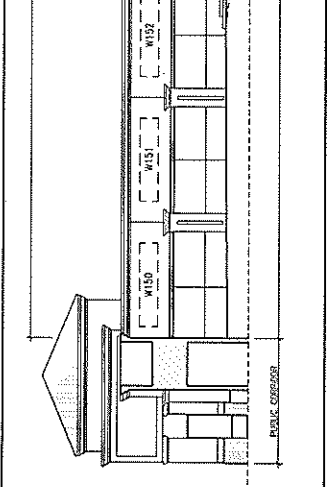
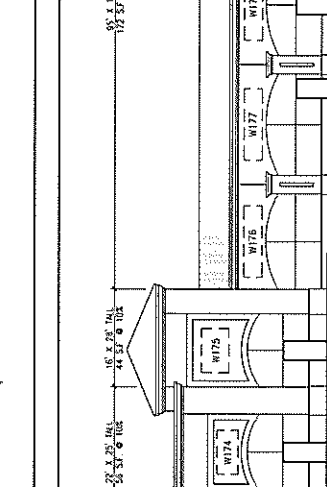
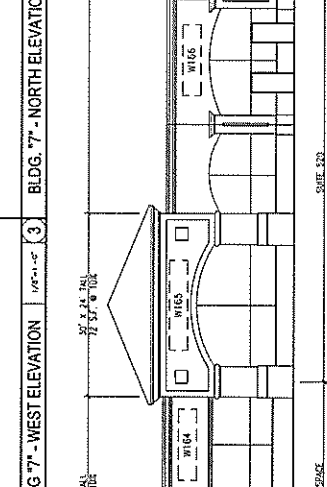
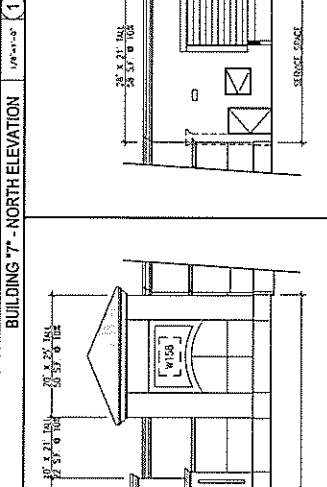
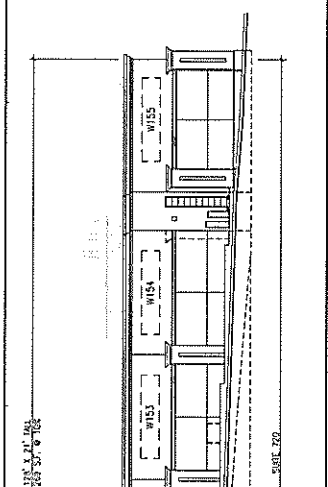
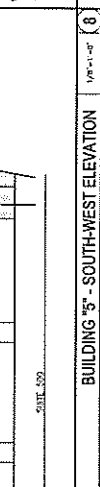
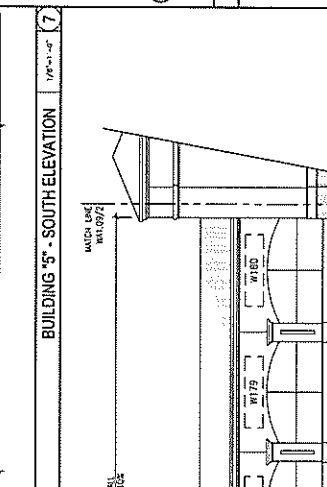
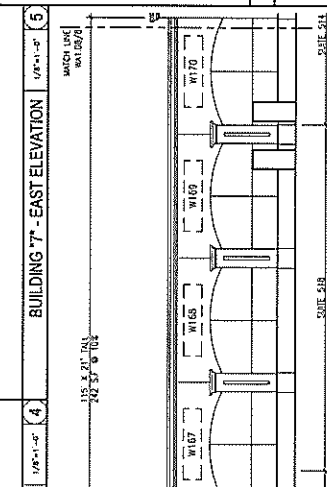
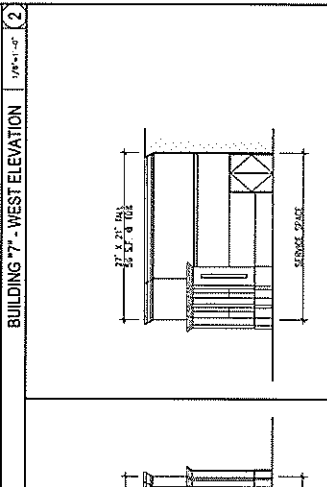
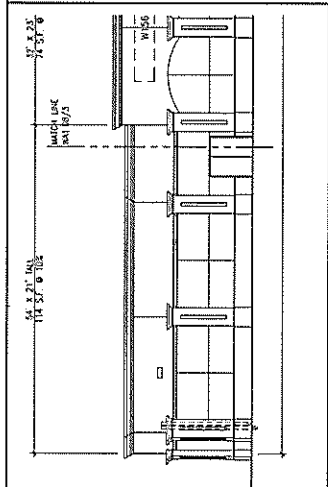
PREMIUM
 OUTLETS
 SIMON

SIGNAGE
 ELEVATIONS
 BUILDING
 5 & 7

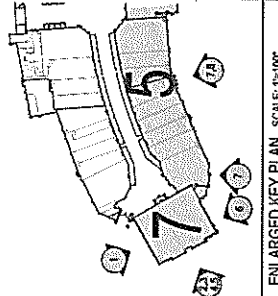
PLAYDECK MANAGEMENT
 2011 Robinson Drive
 Suite 100
 Ann Arbor, MI 48106
 Phone: 734.769.1100
 Fax: 734.769.1101
 www.playdeck.com

DATE	12/15/2010
PROJECT NAME	WEST MASTER SIGN PROGRAM
PROJECT NO.	2010.01.00000000
DESIGNER	PROJECT ARCHITECTURE & INTERIORS, INC.
SCALE	1/8" = 1'-0"

SHEET
WA1.08
 BLDG. 1 & 5



NOTES



ENLARGED KEY PLAN SCALE: 1/8" = 1'-0"

KEY PLAN



DESERT DOLS PREMIER
OUTLETS
MAGNIFICENT
MOUNTAIN VILLAGE

EAST
MASTER
SIGN
PROGRAM

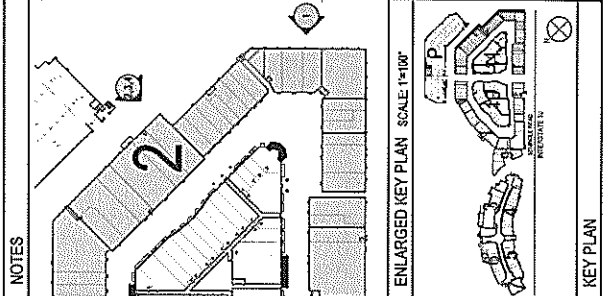
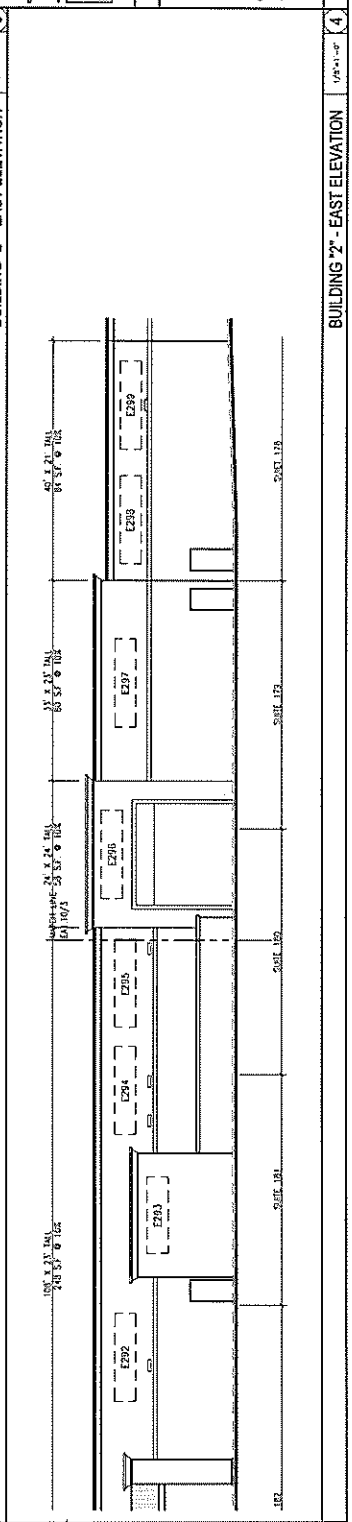
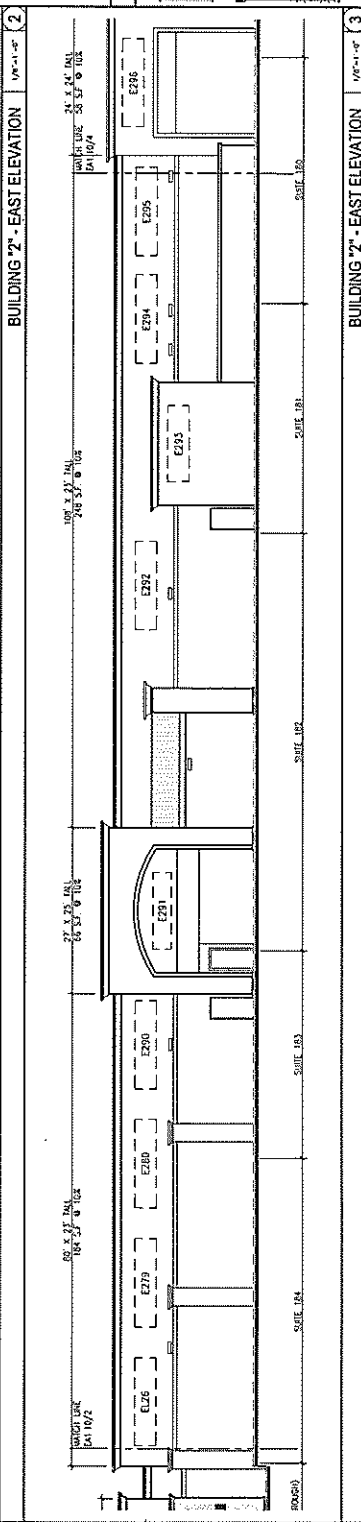
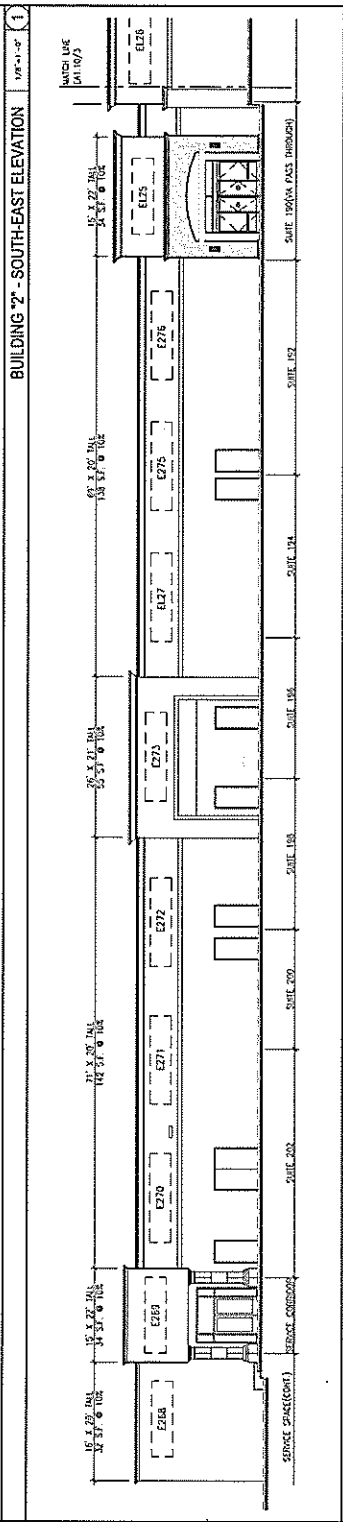
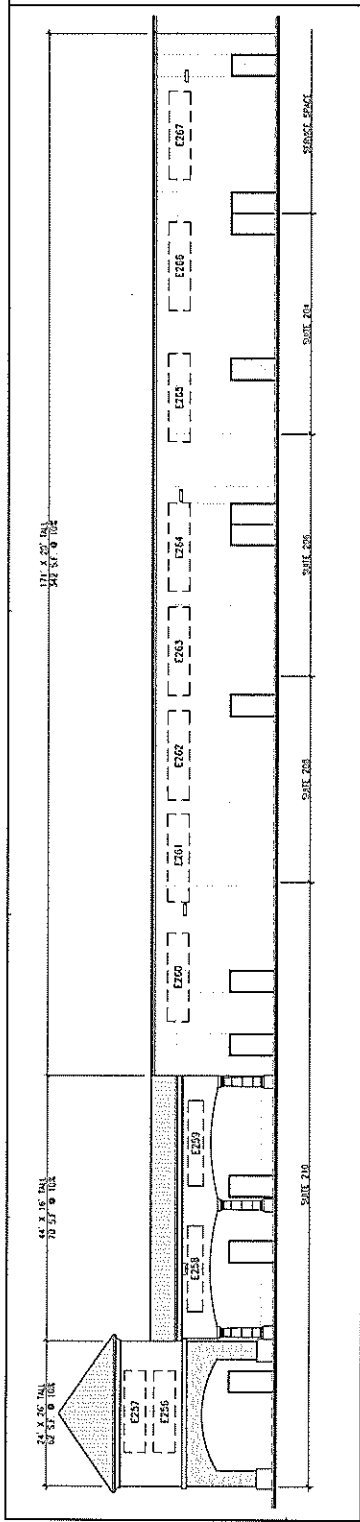
PREMIUM
OUTLETS
SIMON

SIGNAGE
ELEVATIONS
BUILDING
2

PLANNED BY: J. J. JENSEN
DESIGNED BY: J. J. JENSEN
DATE: 01/11/10

DATE	BY	CHKD	APP'D
01/11/10	J. J. JENSEN	J. J. JENSEN	J. J. JENSEN
REVISION	NO.	DATE	BY

SHEET
EA1.10
BLDG. 2





DESERT HILLS PREMIUM
OUTLETS
10000 W. WILLOW
AVENUE, SUITE 100
MESA, AZ 85208

EAST
PROJECT
SIGNAGE

PREMIUM
OUTLETS
SIMON

SIGNAGE
ELEVATIONS
BUILDING
1 & 9

AMICK & HERRING
ARCHITECTS
1000 W. WILLOW AVENUE
SUITE 100
MESA, AZ 85208
PH: 480.961.1111
WWW.AMICKANDHERRING.COM

DATE: _____
BY: _____
CHECKED BY: _____
PROJECT NO: 2012-03-00000-030
SHEET NO: 03-0303

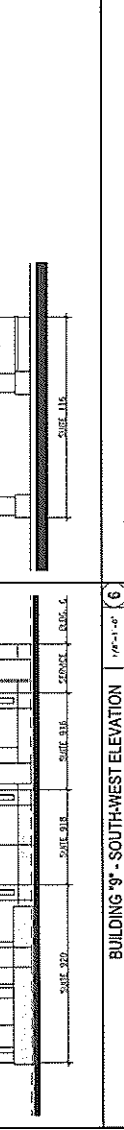
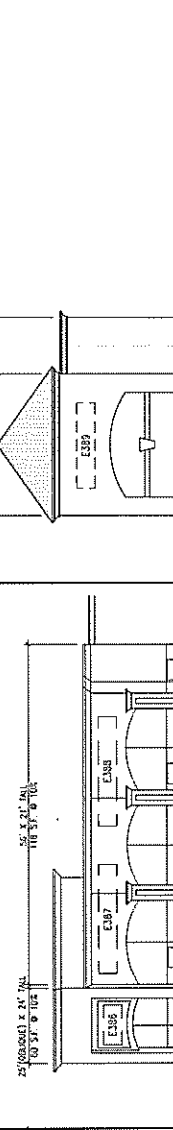
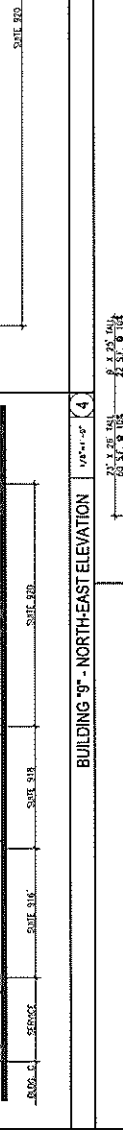
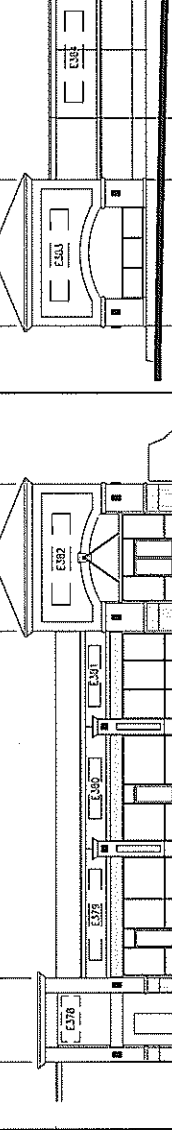
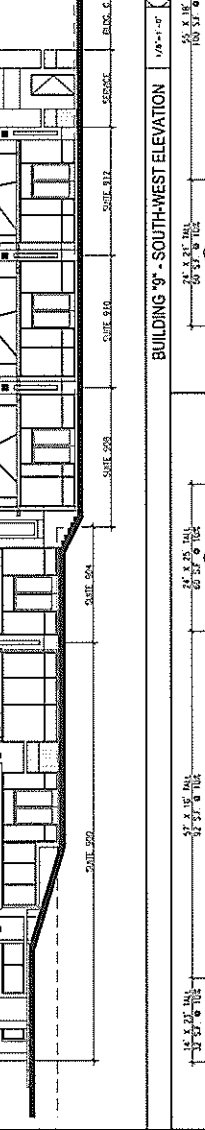
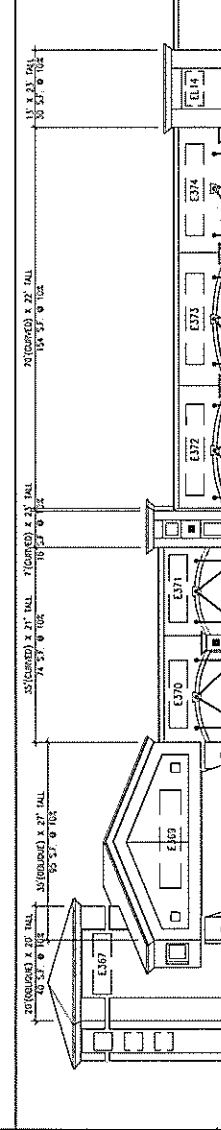
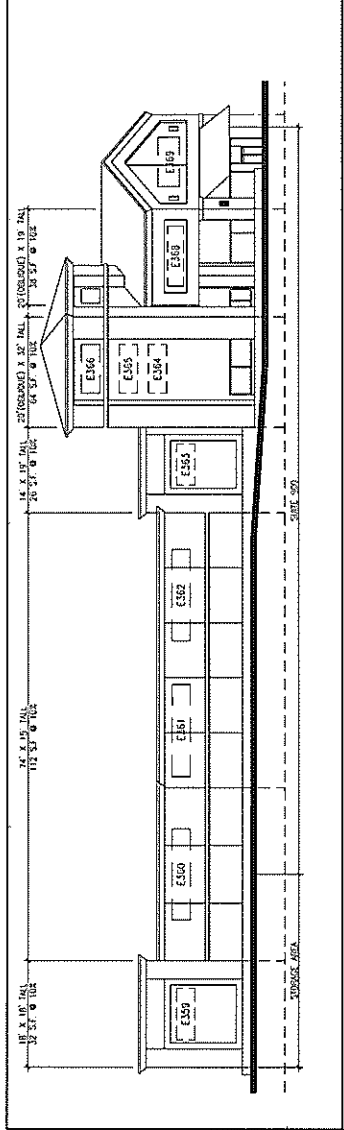
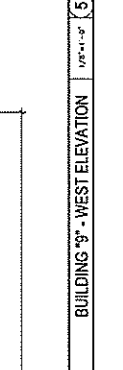
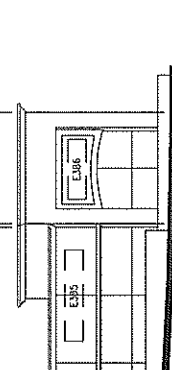
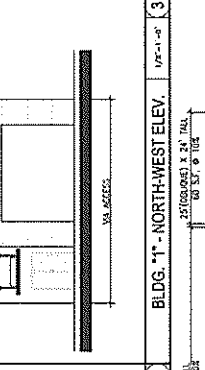
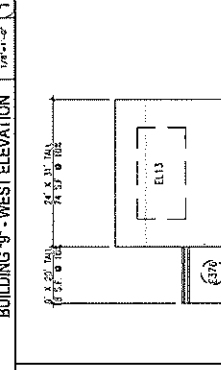
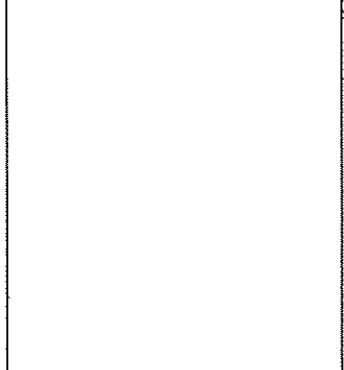
SHEET
EA1.13
BLDG. 1 & 9



NOTES

ENLARGED KEY PLAN SCALE: 1/8"=1'-0"

KEY PLAN





DESERT HILLS PREMIUM
OUTLETS
EAST MASTER
STORY
PROGRAM

PREMIUM
OUTLETS
SIMON

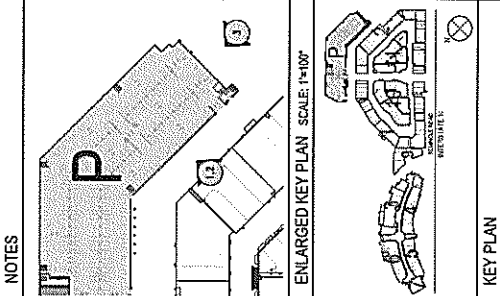
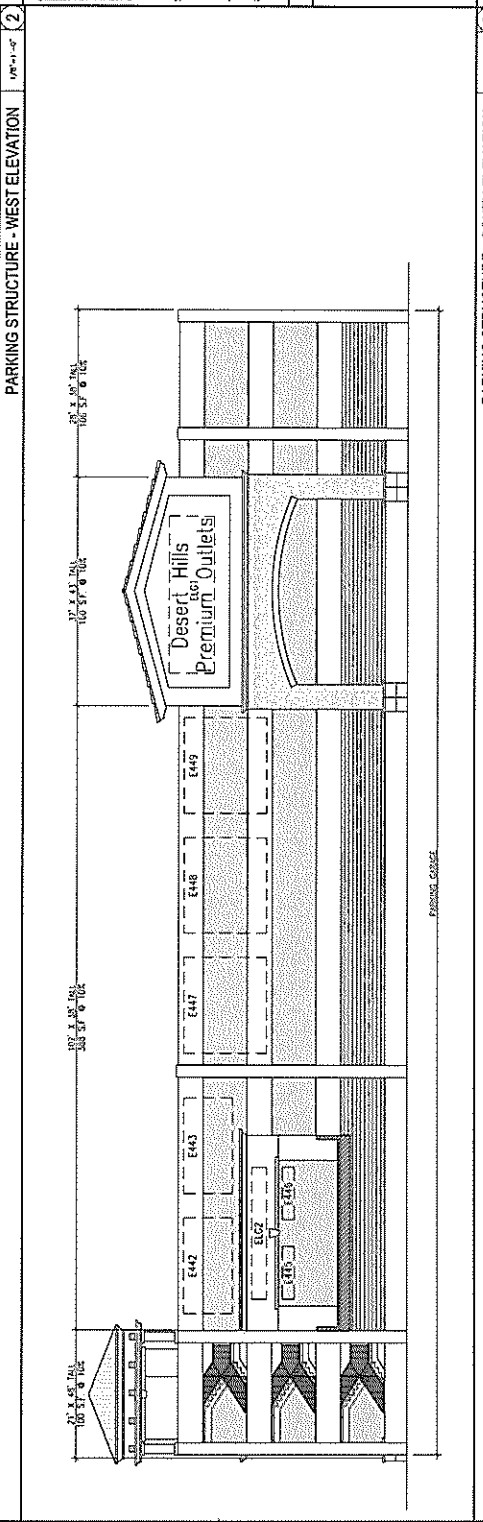
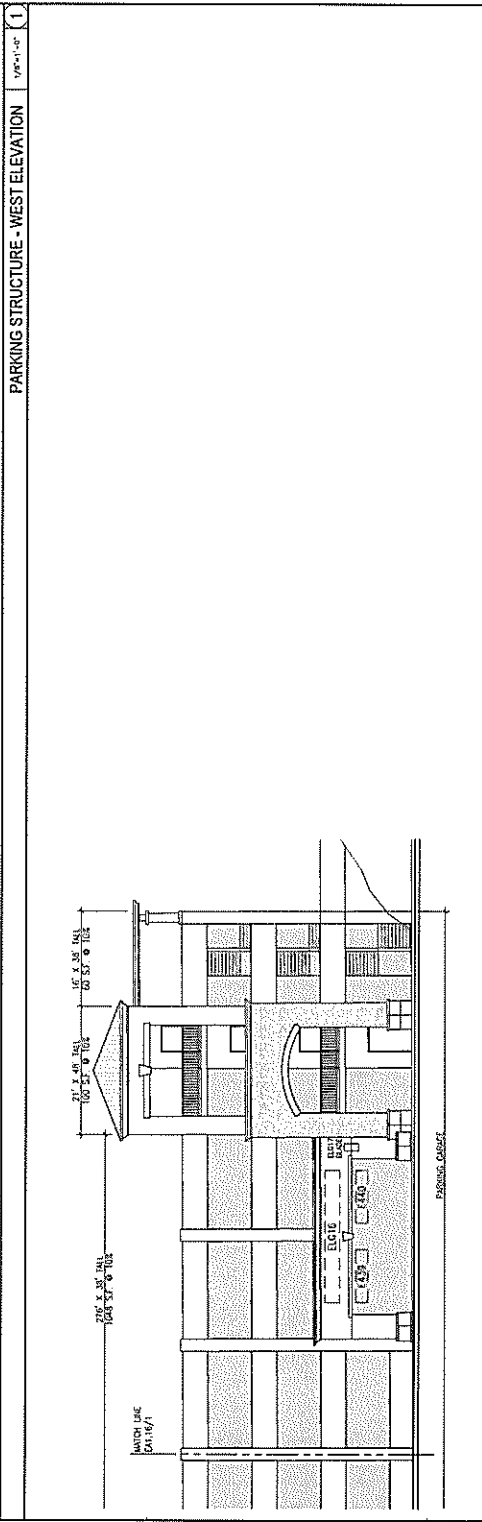
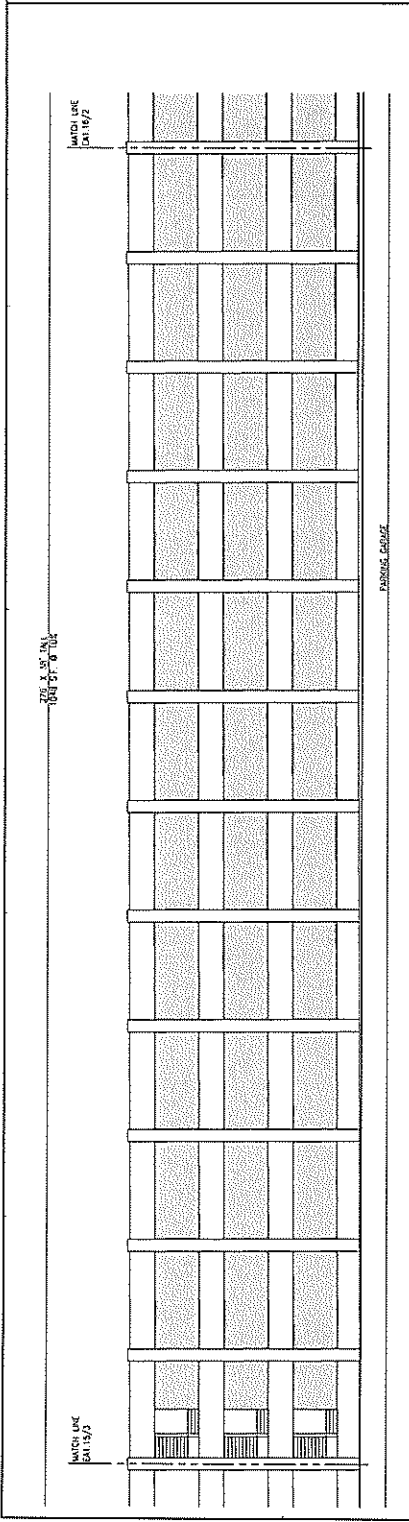
SIGNAGE
ELEVATIONS
PARKING
STRUCTURE

PROJECT: EAST MASTER STORY PROGRAM
DATE: 02-28-2011

DESIGNER: RANDY A. ENGLISH
ARCHITECT: RANDY A. ENGLISH ARCHITECTS
PROJECT: EAST MASTER STORY PROGRAM
DATE: 02-28-2011

PROJECT: EAST MASTER STORY PROGRAM
DATE: 02-28-2011

SHEET
EA1.16
PS



NOTES



DESERT HILLS PREMIUM
OUTLETS
4000 S. UNIVERSITY
LAS VEGAS, NV 89121
OFFICE OF THE ARCHITECT

**EAST
MASTER
SIGN
PROGRAM**

**PREMIUM
OUTLETS
SIMON**

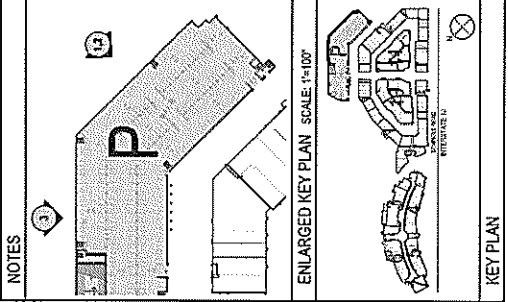
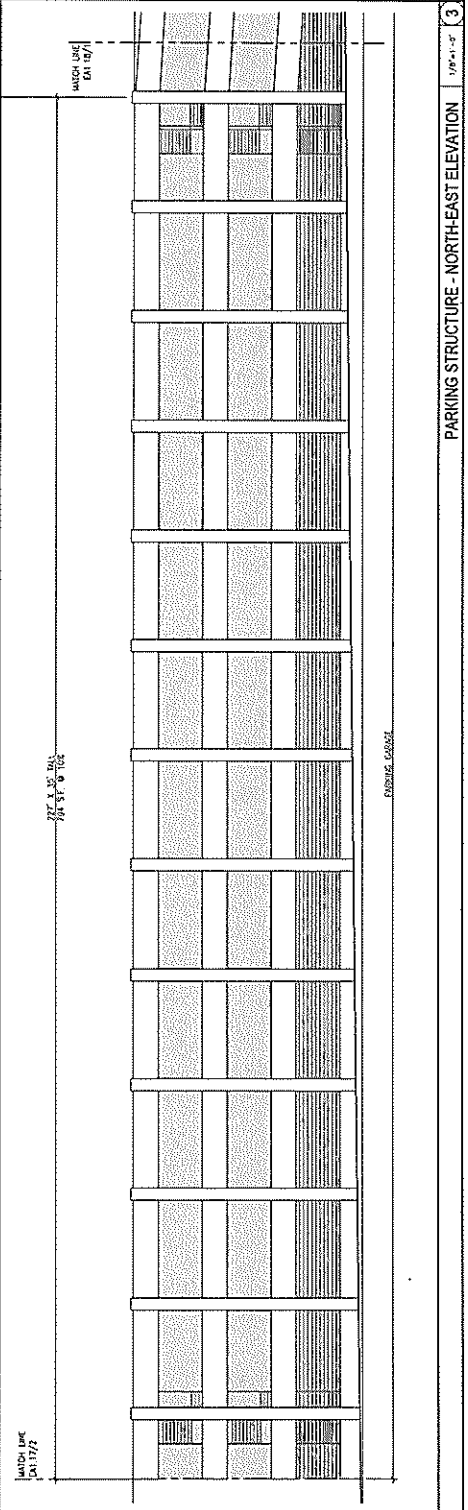
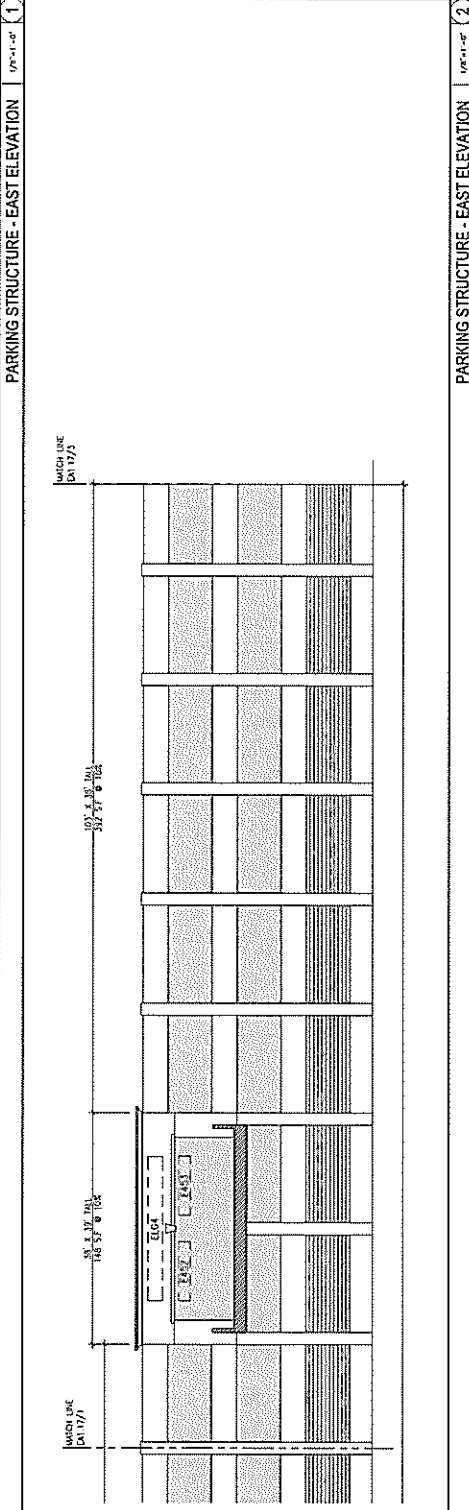
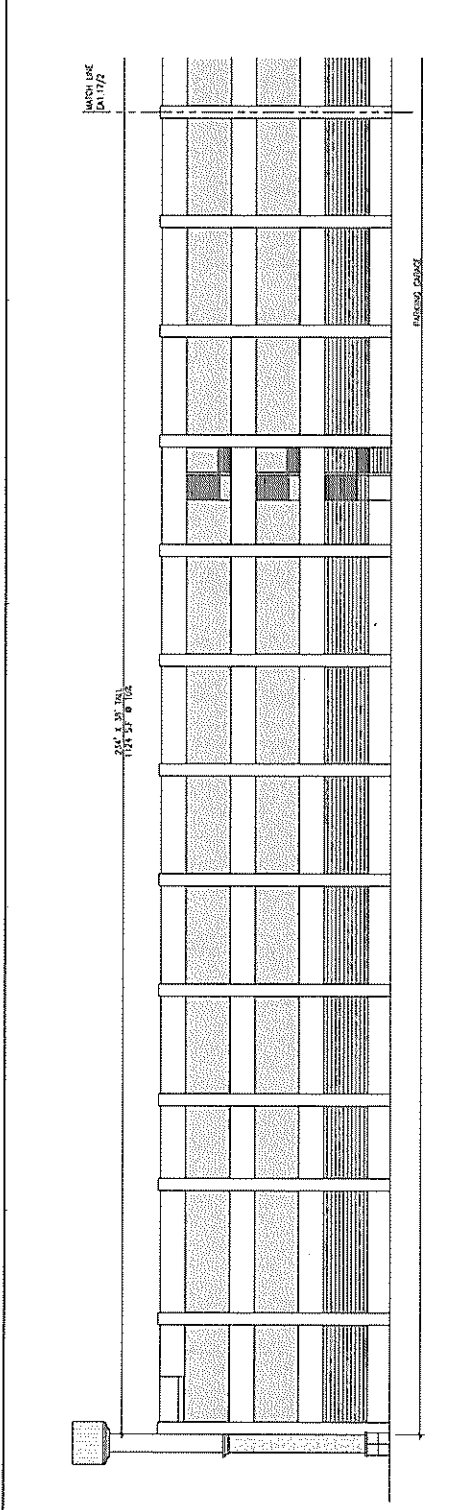
**SIGNAGE
ELEVATIONS
PARKING
STRUCTURE**

DATE: _____
 PROJECT NO.: _____
 SHEET NO.: _____
 DRAWING NO.: _____
 SCALE: _____

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**EAST
MASTER
SIGN
PROGRAM**

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SIGN
PROGRAM**





DESERT HILLS PREMIUM
OUTLETS
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PREMIUM
OUTLETS
SIMON

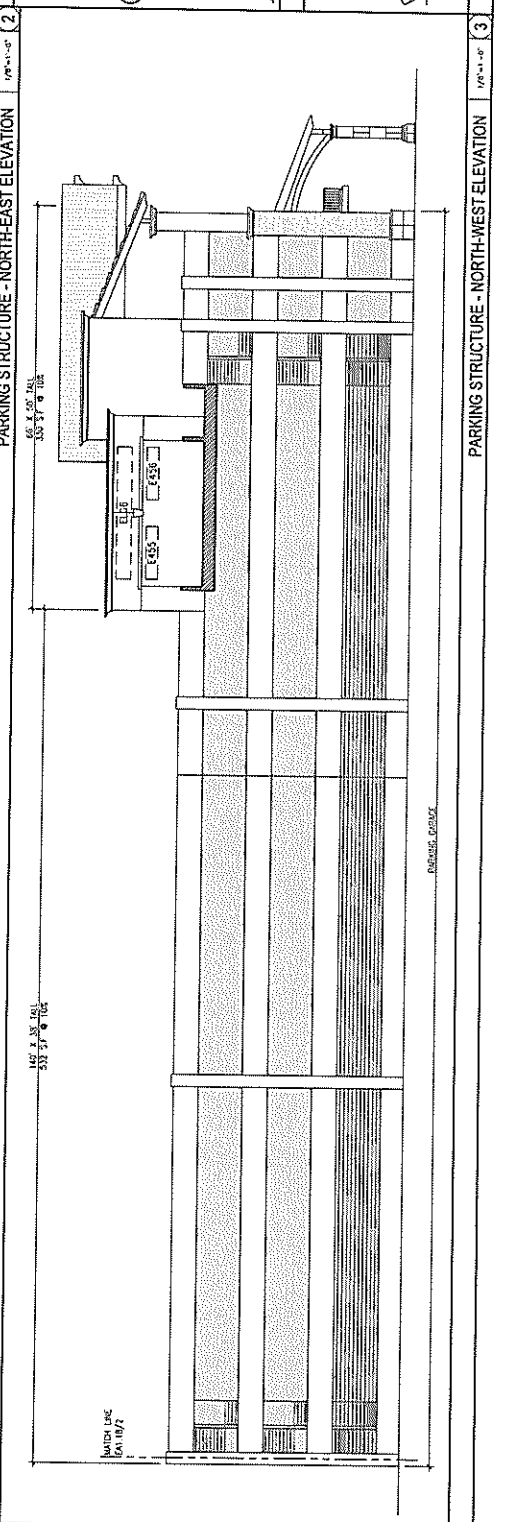
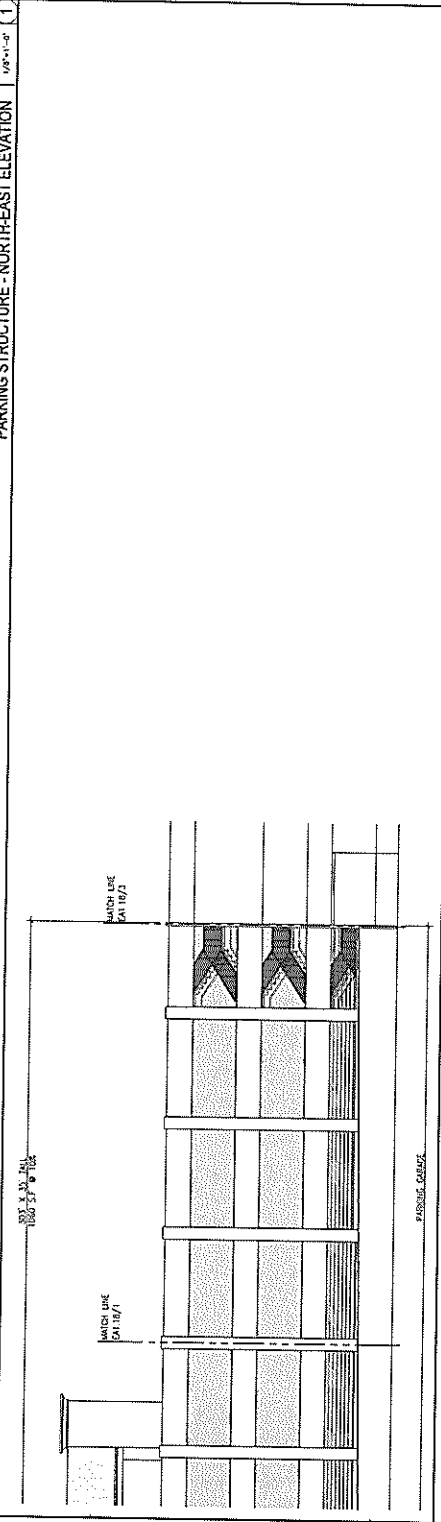
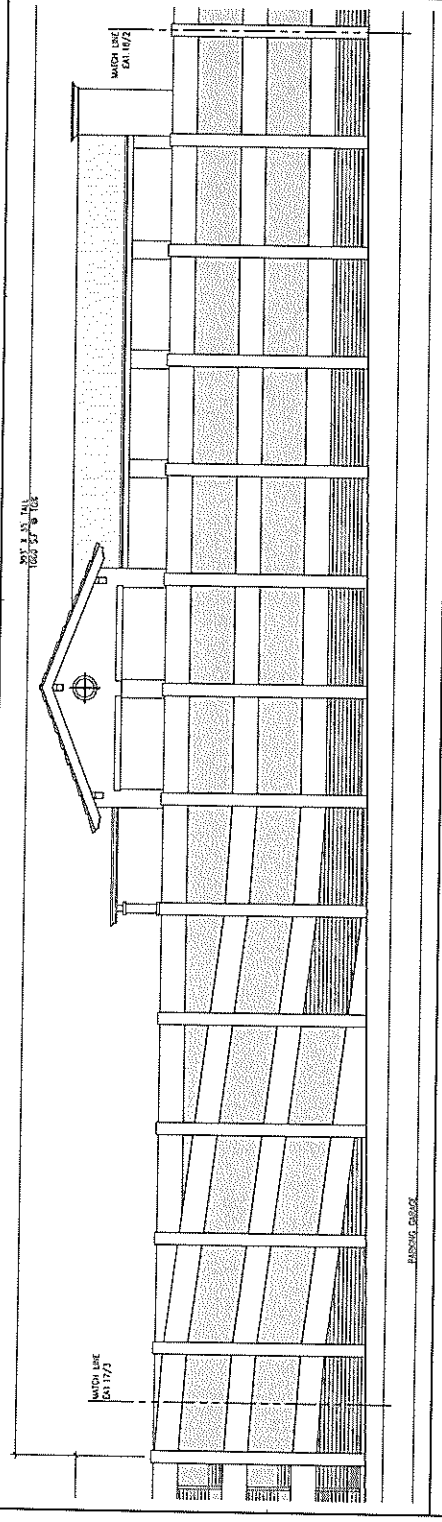
SIGNAGE
ELEVATIONS
PARKING
STRUCTURE

PROJECT: EAST MASTER SIGN PROGRAM
DATE: 11/15/11
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

DATE

NO.	DATE	DESCRIPTION
1	11/15/11	ISSUED FOR PERMIT
2	11/15/11	ISSUED FOR PERMIT
3	11/15/11	ISSUED FOR PERMIT

SHEET
EA1.18
PS



NOTES

1. SEE SHEET EA1.17 FOR SIGNAGE ELEVATIONS.

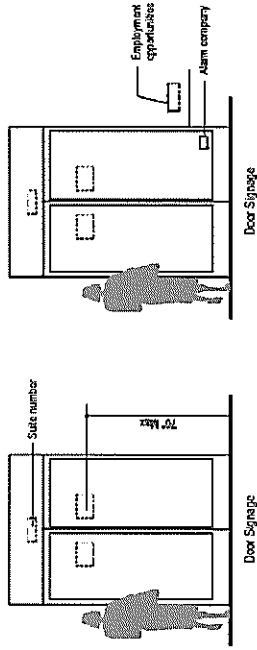
2. SEE SHEET EA1.19 FOR SIGNAGE ELEVATIONS.

3. SEE SHEET EA1.20 FOR SIGNAGE ELEVATIONS.

ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

- a. For the purpose of store identification, the Tenant may propose to the Landlord a design layout of Tenant name and/or logo in white or black Vinyl Die-Cut Graphics or another color as per Landlord's approval for placement on the inside of entry doors. Each door is permitted one (1) square foot of Vinyl Die-Cut Sign area. The area must be centered 70" from grade or as otherwise dictated due to door configurations.
- b. For the purpose of additional store identification, the Tenant may also propose to the Landlord a design layout of store name in black or white Vinyl Die-Cut Graphics or another color, as per Landlord's approval, for placement on the inside of every other (alternating) display window. The maximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of 8" inward toward the window's center from the vertical edges of the window and may not exceed 42" above grade.
- c. Permanent store signage as part of window background display is limited to one (1) square foot of sign area per one (1) linear foot of store frontage.
- d. Tenant supplied "Help Wanted" signs are prohibited.
- e. "Help Wanted" and other standard information signs as deemed necessary by Landlord, are provided by Landlord and shall be affixed to the inside left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
- f. Standard information signage icons such as no food, drink, smoking, store hours, etc. shall be provided by Landlord only. Facebook, Twitter, Foursquare shall be provided by Landlord at tenant request and tenant expense.
- g. Credit Card or check acceptance signs or logos placed on storefront display windows or doors are strictly prohibited.
- h. Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
- i. Handicap access is permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
- j. The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.

Tenant Name and/or Logo Vinyl



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D A T E
 No. of Set: _____
 No. in Set: _____
 Date: _____
 2012 LAMMA 02/15/13
 Project Name: _____
 Project No.: _____
 Rev. No.: _____
 Rev. Date: _____

S H E E T
ES2.04



DESERT HILLS PREMIUM
 OUTLETS
 MANAGED BY
**EAST
 MASTER
 SIGN
 PROGRAM**

PREMIUM
 OUTLETS
 SIMON

TENANT
 DOOR/
 STOREFRONT
 SIGNAGE



DESERT HILLS PREMIUM
OUTLETS
COMMUNITY DEVELOPMENT
COMMISSION OF DESER

EAST
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SIGN
PROGRAM

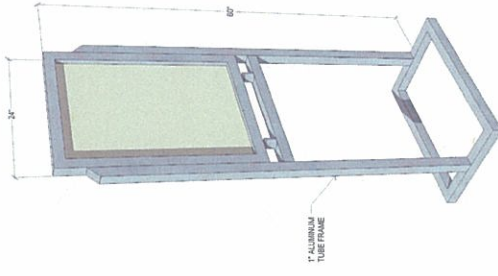
PREMIUM
OUTLETS
SIMON

TEMPORARY
PROMENADE
SIGNS /
BANNERS

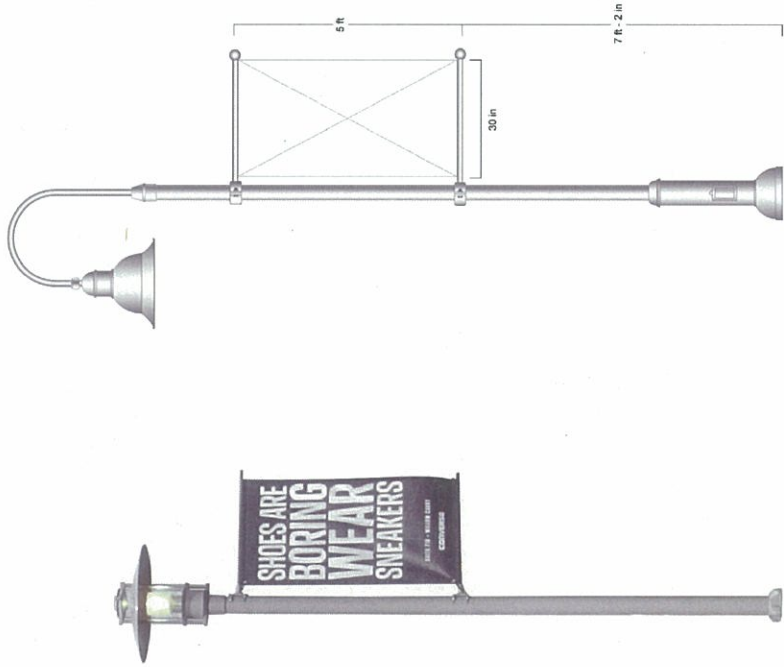
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DATE	
Rev. Sheet	
Rev. No.	
Project Name	2012-1100/2008-030
Sheet No.	ES-1E-2013
Rev. No.	
Rev. No.	
Rev. No.	
Rev. No.	
Rev. No.	
Rev. No.	

SHEET
ES2.05



NOTE:
ALL TEMPORARY PROMENADE SIGNS ARE PROVIDED AND INSTALLED BY THE
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OR SPECIAL EVENT INFORMATION.



NOTE:
ALL TEMPORARY PROMENADE BANNERS ARE PROVIDED AND INSTALLED BY
THE DESERTS HILLS P.O. ADMINISTRATION TEAM. BANNERS MAY CONTAIN
SEASONAL OR SPECIAL EVENT INFORMATION.

P A R K I N G D E C K I D E N T I T Y & F U N C T I O N A L G R A P H I C S P R O G R A M

DESERT HILLS



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PREMIUM
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3DSTUDIO
creative services

1765 South Kings Avenue
Brandon, Florida 33511
P: 813-864-9245 F: 813-864-9245

CASE #: PP25357
EXHIBIT: SP (sign parking)
DATED: 9/10/13
PLANNER: P. RULL

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Section I - Logo Artwork, Typography, Pictograms & Color Palettes

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- P22.01 Electronic Vehicle Counter (no Obsn)
- ER01 Emergency Phone Signage

General Notes: Graphic Fabrication Notes & Specifications

General fabrication Notes & Specifications

- GN.01 General Fabrication Notes & Specifications
- GN.02 General Fabrication Notes & Specifications
- GN.03 General Fabrication Notes & Specifications



Project Name:
**DESERT HILLS
 PREMIUM OUTLETS***

Project Owner:
**PREMIUM
 OUTLETS
 SIMON**



No.	Description	Date
01	PO/S Review	05/22/13
02	PO/S Review	06/24/13
03	PO/S Review	07/18/13

Project:
 Date:
 Scale:
 Drawn By:
 Checked By:

Project:	12091
Date:	05/22/13
Scale:	N/A
Drawn By:	JPH
Checked By:	DMC

GN.02

INSPECTIONS: (Continued)

- K. All critical attachment points requiring anchors or fasteners.
- L. Prior to and during the placement of concrete around all anchor bolts.
- M. Placement of all concrete as specified.

PERMITS & ENGINEERING:

1. The Contractor shall in no way contact any city, county or state official, in regards to the project, until notified, in writing, to do so by the PO/S Representative. Upon notification by the PO/S Representative to proceed with the permitting process, the Contractor shall then proceed to obtain all required permits pertaining to the contract.
2. Engineering for all the elements shall be submitted to the 3d Studio by the Contractor at the time of the shop drawing submittal. All engineering submittals must be sealed and stamped by a licensed engineer in the state of which the project is located.
3. Contractor is responsible for all applicable fees associated with permitting.

WORKING HOURS:

1. When the project is a renovation the working hours for the installation portion of the project will be limited to the hours the mall is closed to the public or as otherwise outlined by the PO/S Representative.
2. When the project is new construction the working hours for the installation portion of the work will be BAM, to BPM, or as otherwise outlined by the PO/S Representative.
3. All on site working schedules must be submitted to the PO/S Representative in writing for approval prior to beginning the installation work. Failure to do so may result in denied access.

GENERAL NOTES:

All materials and workmanship shall conform to the most recent edition of the building code in the city and state where the work is to be constructed and/or installed. All work shall be performed to the highest professional standards and shall be free of imperfections in material and workmanship and be suitable for its intended use and location. The contractor shall have in-house, broad knowledge, diverse shop and field experience, flexibility, coordination ability, skilled craftsmen and physical plant necessary to produce quality products equivalent to or superior to similar type products produced by other contractors in the same area of expertise. It is intended that all finished work be of the highest quality to pass eye-level examination and scrutiny by the PO/S Representative. Contractor shall be responsible for all foundations, structural and electrical engineering, compliance with all applicable local, state and national codes and inspections.

1. Contractor shall provide five (5) sets of shop drawings to the 3d Studio for approval, including required engineering, which shall be sealed by an engineer licensed in the state where the work will be installed. All sign engineering shall be reviewed and approved by the project engineer. Contractor shall incorporate all modifications or corrections to the shop drawings, and resubmit for approval. Once to shop drawings have been approved, Contractor may proceed with required submittals, however work shall not commence until submittals have been approved, and Contractor receives written authorization to proceed from the PO/S Representative.

2. The Contractor shall field verify/measure all dimensions and review all site conditions prior to commencing work. Contractor shall review, and coordinate work with, project architectural, structural, location plans and drawings. Contractor shall notify the PO/S Representative in writing of any discrepancies, deviations or inconsistencies in the drawings, specifications, descriptions, locations or conditions. Where no dimension is indicated, do not attempt to scale dimensions. Contact the PO/S Representative in writing for clarification before proceeding with the work.

FOUNDATIONS:

1. Contractor shall excavate for foundation concrete to neat, clean lines in undisturbed soil. Contractor shall provide forms where required due to unstable soil conditions, and remove any wood, loose soil, rubbish or other foreign matter from excavation and moisten earth and wood forms immediately before placing concrete. Contractor shall be responsible for insuring that foundations do not damage, interfere with or obstruct public utilities, including but not limited to telephone, gas, electrical, sanitary and storm sewer lines.
2. Use Portland Cement Type I to conform to ASTM C 150. Water shall be clean and potable. Aggregates shall conform to ASTM C 33. Concrete shall be mixed in proportions to attain 28-day compressive strength of not less than 3000 PSI. Perform churning to avoid segregation of mix. Concrete shall be placed continuously, immediately after mixing, to prevent formation of cold joints. Compact concrete in place by use of vibrators to consolidate. Moisture cure exposed concrete for not less than seven days, or use a non-staining curing compound in freezing weather. Finish trowel exposed concrete surfaces to smooth, dense surface. Provide positive slope for water runoff to base perimeter. Contractor is responsible for required engineering of foundations.
3. Reinforcing steel shall be deformed bars per ASTM A 615, Grade 60. Welded wire shall be per ASTM A 185, cold drawn steel, plain. Tie wire shall be Black Annealed, 6 1/2 gauge or heavier. Bar supports shall conform to specifications of CRSI "Manual of Standard Practice."

4. Foundations shall be extended to a minimum of 48" below finished grade to accommodate for frost protection.

3. Specific notes and details on drawings shall take precedence over general notes and typical details.
4. Design Loads: Live Loads A) Roof, 50 PSF Non-reducible B) Stairways, Corridors, Elevator Lobbies On Floor, 100 PSF Non-reducible C) Floor, 150 PSF Non-reducible except for columns.
5. All elements shall be engineered to withstand wind and snow load requirements as specified by local, Federal and/or state building codes.

6. The contract structural drawings and specifications represent the finished structure, unless otherwise shown. They do not indicate the method of construction, nor all details of fabrication required for the complete structural integrity of the elements, including consideration for static, dynamic and erection loads during handling, erecting and service at the installed locations, nor do they take into consideration the preferred shop practices of the individual contractors, therefore, it shall be the responsibility of the Contractor to perform the complete structural design of the elements and to incorporate all reasonable safety factors necessary to protect the Owner, PO/S Representative, and Contractor against public liability.
6. All work must be performed in accordance with all federal, state and local safety laws.

TIME & SCHEDULE:

1. Contractor shall submit a detailed working schedule. This detailed schedule shall show all time lines indicating the start and completion dates of shop drawing, submittals, permits, fabrication, shipping and installation. Contract time schedule must be submitted with the signed contract documents to the PO/S Representative.



10000 West 10th Avenue, Suite 1000
Denver, CO 80202
Phone: 303.733.1111
www.3dstudio.com

Project Name:

DESERT HILLS

PREMIUM OUTLETS

Project Owner:

PREMIUM OUTLETS

Project Architect:

SIMON



Revision

Date

01/22/13

02/27/13

06/27/13

07/18/13

STRUCTURAL STEEL:

1. Fabrication and erection of structural steel framing members shall be in accordance with the latest edition of the AISC "Code of Standard Practice for Steel Buildings and Bridges."
2. Unless otherwise specifically approved in writing by PO/S Representative, furnish exact sections, weights and kinds of material specified, using details and dimensions shown. Not all connections are detailed; similar details apply to similar conditions, unless otherwise indicated. Contact PO/S Representative promptly to verify design of members or connections in any situation where design requirements are unclear.
3. Establish that joint welding procedures are pre-qualified or tested in accordance with American Welding Society (AWS) qualification procedures.
4. Welders must be currently certified under American Welding Society (AWS) qualification procedures.
5. Steel shall be delivered in timely fashion, to permit most efficient and economical flow of work. Deliver steel members properly marked for field assembly and erection. Deliver anchor bolts, washers and other anchorage devices to be built into other work in time to avoid delays and permit their proper installation.

6. Protect steel and other materials from damage and corrosion. If temporary storage at project site is required, keep steel members off ground, using platforms or pallets; in location easily accessible for inspection.
7. Materials provided shall be free of surface blemishes such as pitting, roller marks, rolled trade names and surface roughness.
8. Structural steel members shall conform to ASTM A 36.
9. W-Beams and columns shall conform to ASTM A 572.
10. Structural tubing, cold-formed shall conform to ASTM A 500.
11. Steel pipe columns shall conform to ASTM A 53.
12. Galvanized anchor bolts shall conform to ASTM A 307. Carbon steel, Grade C. Galvanized steel plate washers and nuts shall conform to ASTM A 36.
13. High-strength structural bolts shall conform to ASTM A 325, with matching ASTM A 563 nuts and ASTM F 436 washers.
14. Carbon steel nuts and bolts shall conform to ASTM A 307. Provide hexagonal bolt heads and nuts at all exposed locations.
15. Welding electrodes and fluxes shall conform to ASTM Standards for the application.

16. Shop fabricate and assemble to maximum degree possible in compliance with requirements of AISC specifications. Cut, fit and assemble units with exposed surfaces smooth, square and free from cutting marks, shear distortion, burrs and nicks. Tolerances shall be as specified in AISC code unless more stringent requirements are indicated on the drawings. Perform thermal cutting by machine, to greatest extent possible. Plain thermally cut edges which are to be welded.
17. Comply with requirements of AWS code for welding procedures and quality of welds, including appearance. For built-up sections, assemble components and weld using procedures which will maintain proper alignment of finished section. Verify that weld sizes, fabrication sequence and equipment to be employed will limit distortions to allowable tolerances. Surface bleed of backside welding on exposed surfaces will not be acceptable. Grind smooth exposed fillet welds 1/2 inch and larger. Grind flush all butt welds. Dress all exposed welds.
18. Accurately mill ends of columns and other members which must transmit loads in bearing. Make all holes in steel members by means of cutting, drilling or punching at right angles to surface of metal. Do not make or enlarge holes by burning. Provide holes in steel members as required to permit connection of work by others.
19. Examine areas and conditions for erection of structural steel and verify that work may properly proceed. Provide temporary support as required including guys, braces, falsework, cribbing or other elements required to secure steel framing against loads equal in intensity to design loads. Remove such temporary support only when permanent connections have been made and steel framing is fully capable of supporting design loads, including any temporary construction loads.

20. Erect structural steel in compliance with AISC code and specifications dealing with architecturally exposed structural steel. Set structural members accurately to locations and elevations indicated, within tolerances established in AISC code, before making final connections. Do not use thermal cutting to correct fabrication errors on any major structural member.
21. Clean bearing and contact surfaces before assembly. Slightly roughen concrete and masonry surfaces to improve bond. Set base and bearing plates accurately using metal wedges, shims or setting nuts as required. After tightening anchor bolts and ensuring that structure is plumb. Grout solidly between plates and bearing surfaces. Comply with manufacturer's instructions for non-shrink grout.
22. Use high-strength bolts which comply with requirements of AISC "Specification for Structural Joints Using ASTM A 325 or A 490 Bolts."
23. Do not perform welding when ambient temperature is at 0 degrees F or below, or when surfaces are wet, exposed to rain, snow or high wind, perform field welding in accordance with AWS "Structural Welding-Steel." Tighten and leave in place erection bolts used in field-welded construction. Verify that weld sizes, erection sequence and equipment to be employed will limit distortions to allowable tolerances.
24. Do not pour concrete if temperatures are below 32 deg. Fahrenheit and forecasted to be so for an extended period of time.

General
Fabrication
Notes &
Specifications

Project:	120201
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DYK

GN.03

Section I

Logo Artwork, Typography, Pictograms & Color Palettes

Section I - Logo Artwork, Typography, Pictograms & Color Palettes

01.01

Project Logo Artwork / Project Color Palettes
Typography & Pictogram Artwork



Section II

Interior & Exterior Signage Placement Plans

Section II - Exterior & Interior Signage Placement Plans

SP1.00	Parking Entry Portal(s) Site Placement Plans
SP1.01	Parking Garage Placement Plans - Level 1
SP1.02	Parking Garage Placement Plans - Level 2
SP1.03	Parking Garage Placement Plans - Level 3
SP1.04	Parking Garage Placement Plans - Level 4
SP1.05	Stairwell #1 Placement Plans - Level 1 thru Level 4
SP1.06	Elev/Escalator/ #1 Placement Plans - Level 1 thru Level 4
SP1.07	Stairwell #2 Placement Plans - Level 1 thru Level 4
SP1.08	Stairwell #3 Placement Plans - Level 1 thru Level 4
SP1.09	Elevator #2 Stairwell #4 Placement Plans - Level 1 thru Level 2
SP1.10	Elevator #2 Stairwell #4 Placement Plans - Level 3 thru Level 4
SP1.11	Stairwell #5 Placement Plans - Level 1 thru Level 4

Site Signage Placement Legend:

 City: 4 |  Parking Entry Portal



Project Name:

DESERT HILLS
 PREMIUM OUTLETS

Project Owner:

PREMIUM
 OUTLETS
 SIMON

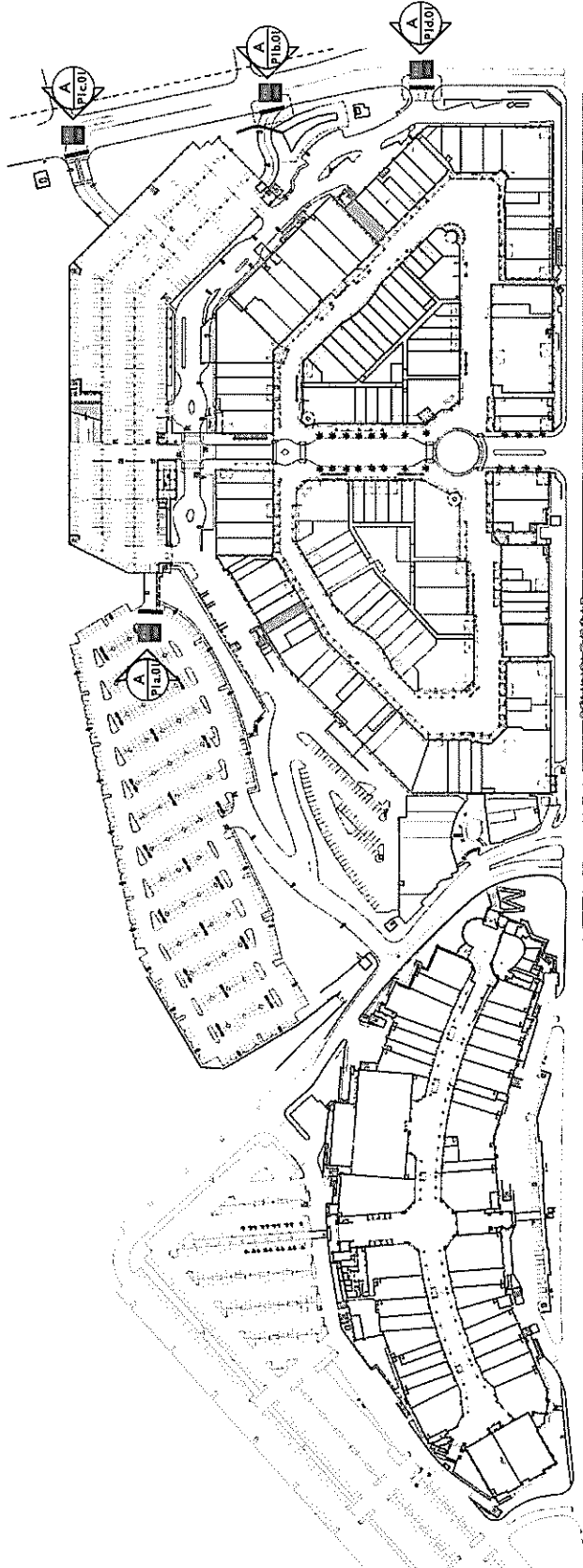
Project Architect:




No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/16/13

Site Placement
 Plans

Parking Portal



INTERSTATE 10
 SERVICE ROAD

 Overall Site Plan
 Scale: N.T.S.

Project:	13001
Date:	09/27/13
Scale:	Noted
Drawn By:	SH
Checked By:	DMC

SPI.00

No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement

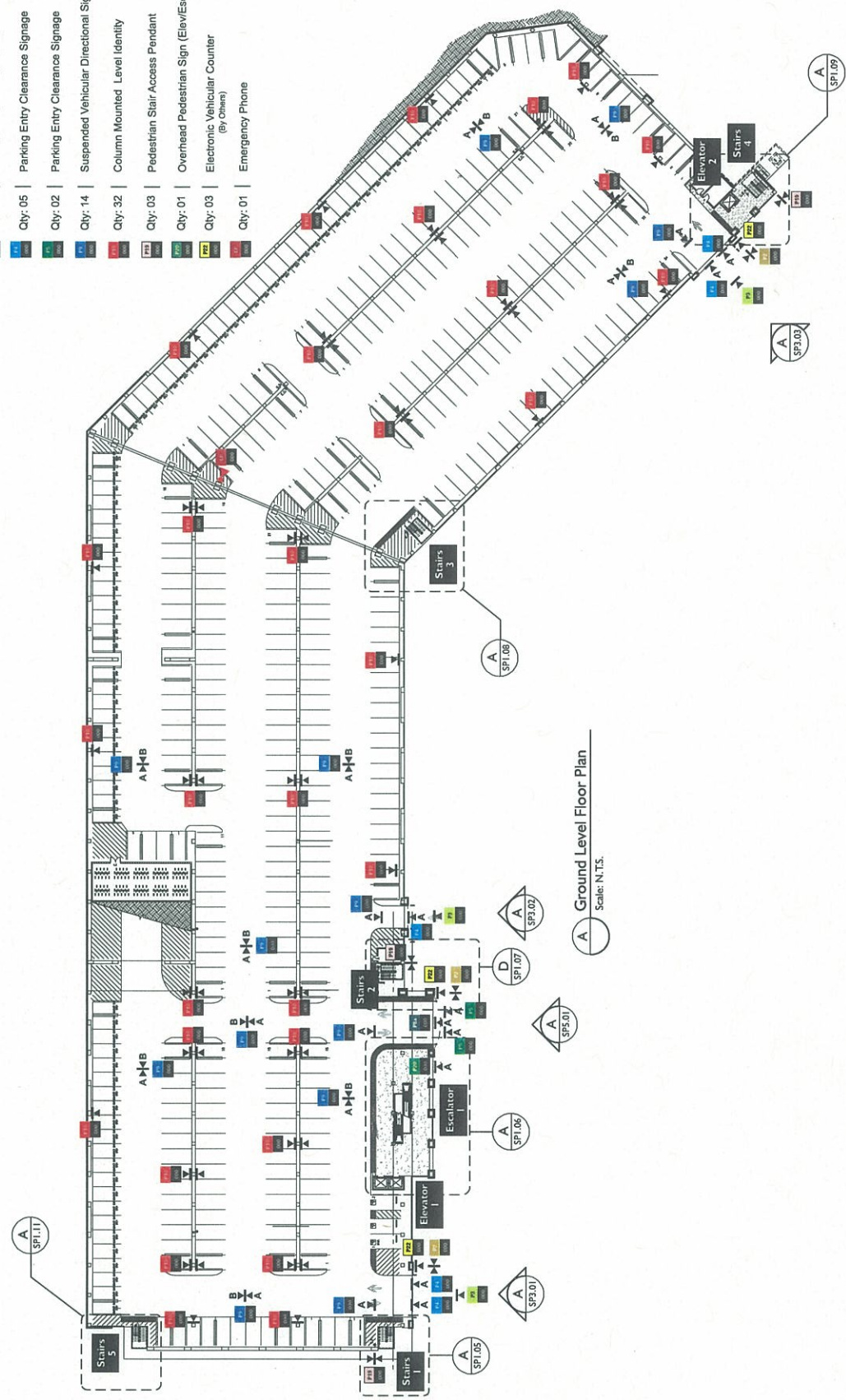
Ground Level Floor Plan

Project:	L2001
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMC

Site Signage Placement Legend:





- Qty: 03 | Parking Identity Pendant
- Qty: 03 | Parking Entry Identity Signage
- Qty: 05 | Parking Entry Clearance Signage
- Qty: 02 | Parking Entry Clearance Signage
- Qty: 14 | Suspended Vehicular Directional Signage
- Qty: 32 | Column Mounted Level Identity
- Qty: 03 | Pedestrian Stair Access Pendant
- Qty: 01 | Overhead Pedestrian Sign (Elev/Esc)
- Qty: 03 | Electronic Vehicular Counter (By Others)
- Qty: 01 | Emergency Phone

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.



Ground Level Floor Plan
 Scale: N.T.S.

Site Signage Placement Legend:

-  Qty: 01 | Suspended Vehicular Directional Signage
-  Qty: 11 | Suspended Vehicular Directional Signage
-  Qty: 32 | Column Mounted Level ID
-  Qty: 01 | Emergency Phone

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.



Project Name:
**DESERT HILLS
PREMIUM OUTLETS**

Project Owner:
**PREMIUM
OUTLETS
SIMON**

Project Architect:



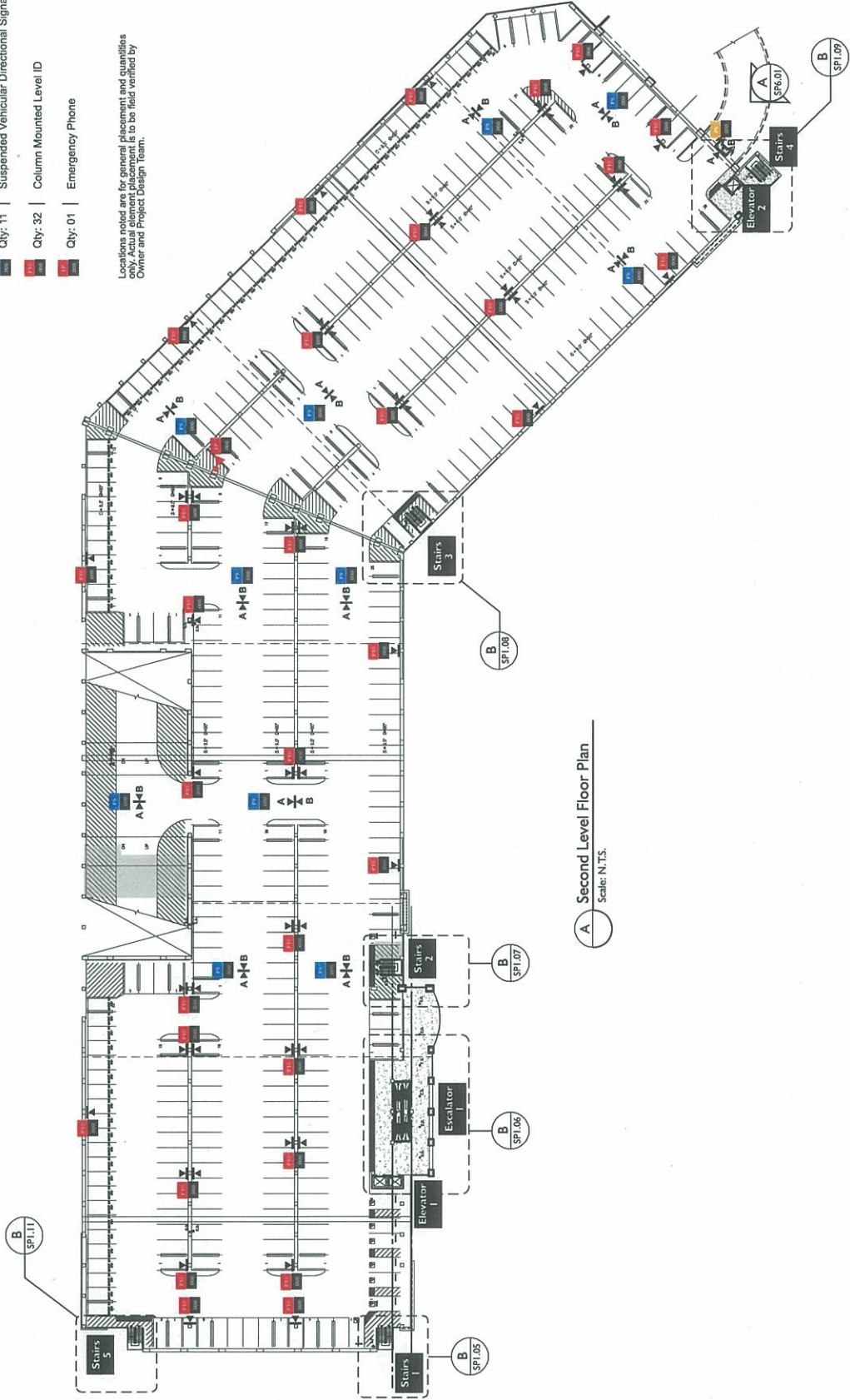
No.	Description	Date:
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement

Second Level Floor Plan

Project:	126801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMC

SPI.02



A Second Level Floor Plan
Scale: N.T.S.



No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/20/13
03	PCS Review	07/09/13
04	PCS Review	07/16/13

Site Signage Placement

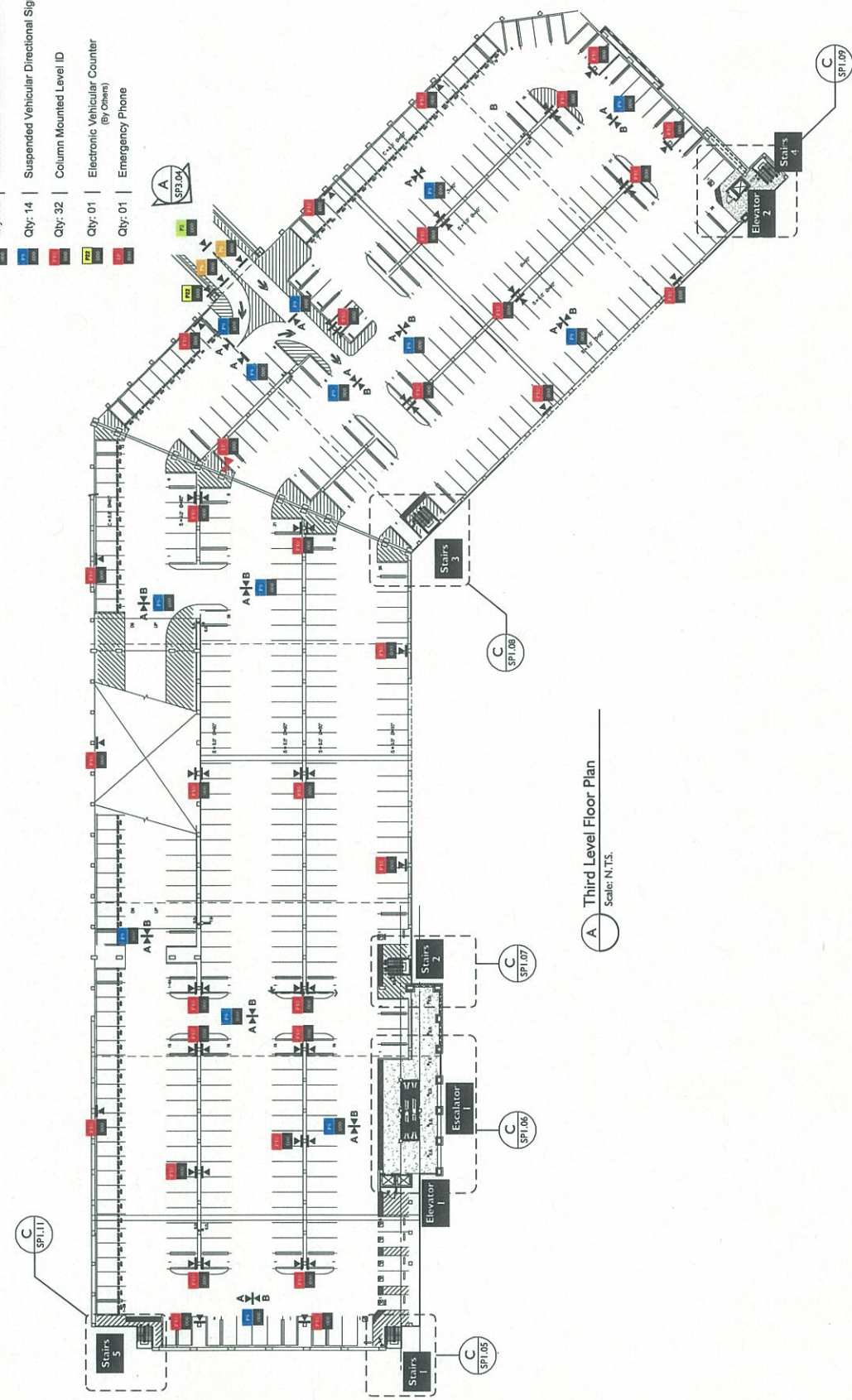
Third Level Floor Plan

Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMC

Site Signage Placement Legend:

- Qty: 01 | Parking Entry Identity Signage
- Qty: 02 | Wall Mounted Vehicular Directional Signage
- Qty: 14 | Suspended Vehicular Directional Signage
- Qty: 32 | Column Mounted Level ID
- Qty: 01 | Electronic Vehicular Counter (By Others)
- Qty: 01 | Emergency Phone

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.



Third Level Floor Plan
 Scale: N.T.S.

Site Signage Placement Legend:

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.

- Qty: 01 | Garage Entry Identity Signage
- Qty: 02 | Garage Entry Signage
- Qty: 01 | Project Identity Signage
- Qty: 10 | Pole Mounted Level ID
- Qty: 08 | Pole Mounted Exit Signage
- Qty: 01 | Pedestrian Stair Access Pendant
- Qty: 01 | Electronic Vehicular Counter (by owner)
- Qty: 01 | Emergency Phone

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 graphic design services
 107 Lake Street, Suite 8, 201
 P: 813-844-8281 F: 813-844-8282

Project Name:
**DESERT HILLS
 PREMIUM OUTLETS™**

Project Owner:

**PREMIUM OUTLETS™
 SIMON**

Project Architect:



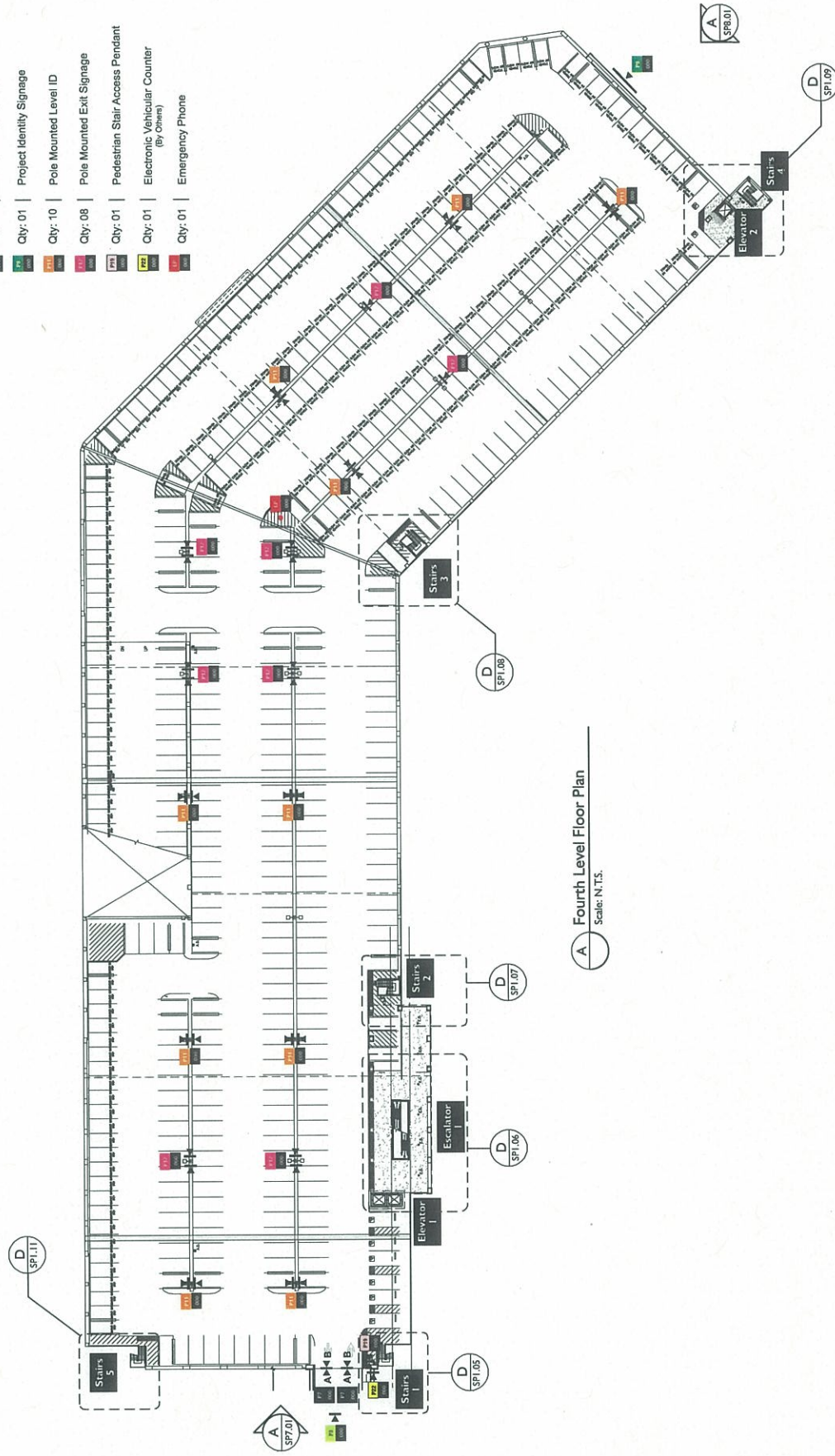
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement

Fourth Level Floor Plan

Project:	120901
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMC

SPI.04

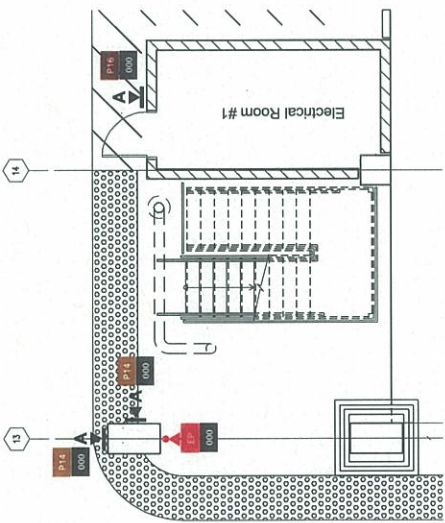


Fourth Level Floor Plan
 Scale: N.T.S.

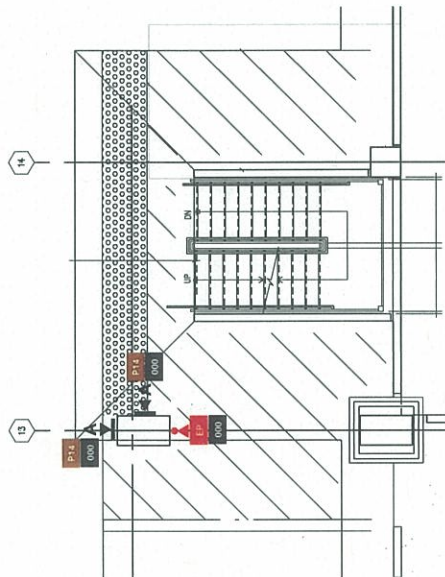
Site Signage Placement Legend:

- Qty: 08 | Stair Level Identity
- Qty: 01 | ADA Room Identity
- Qty: 04 | Emergency Phone

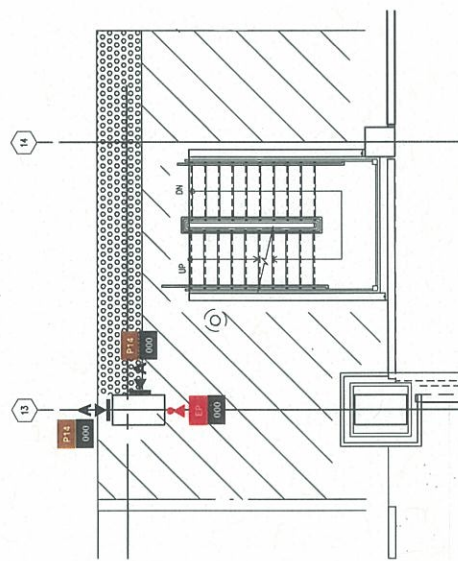
Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.



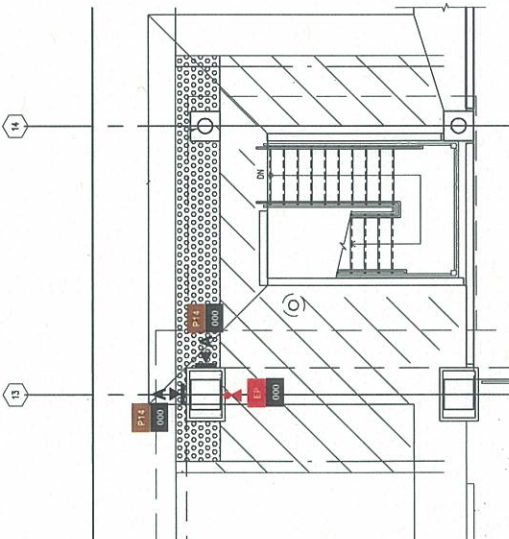
A Stair #2 - Level One
Scale: 1/8" = 1'-0"



B Stair #2 - Level Two
Scale: 1/8" = 1'-0"



C Stair #2 - Level Three
Scale: 1/8" = 1'-0"



D Stair #2 - Level Four
Scale: 1/8" = 1'-0"



Project Name:
**DESERT HILLS
PREMIUM OUTLETS**

Project Owner:
**PREMIUM OUTLETS
SIMON**



No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

Site Signage Placement
Stairwell #2

Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	SP-H
Checked By:	DMC

SPI.07

Site Signage Placement Legend:

- Qty: 02 | Stairwell Level Identity
- Qty: 02 | Elevator Fire Signage
- Qty: 03 | ADA Room Identity
- Qty: 02 | Painted Elevator Level Identity
- Qty: 02 | Elevator Level Identity
- Qty: 02 | Emergency Phone

Locations noted are for general placement and quantities. All quantities and locations to be field verified by Owner and Project Design Team.



Project Name:
**DESERT HILLS
 PREMIUM OUTLETS***

Project Owner:
**PREMIUM OUTLETS
 SIMON**

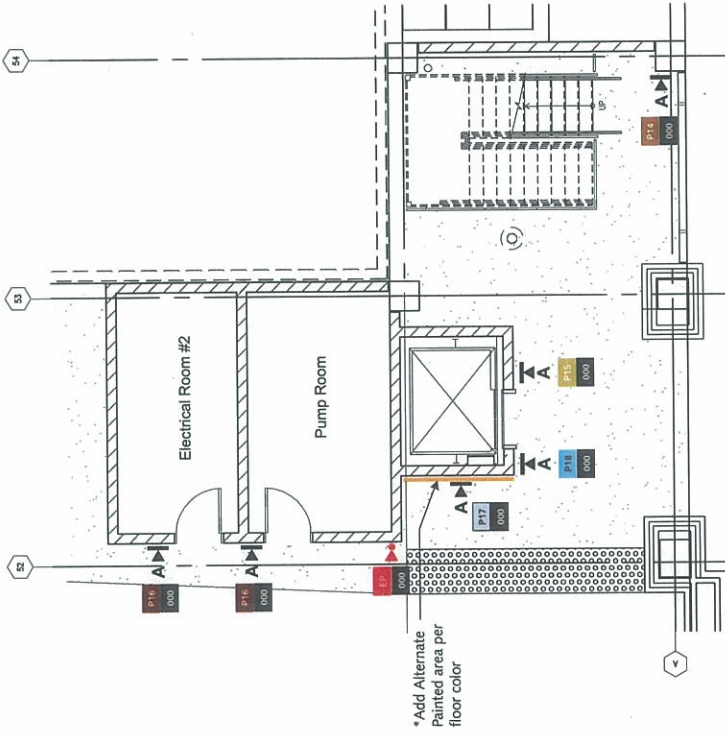


No.	Description	Date:
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

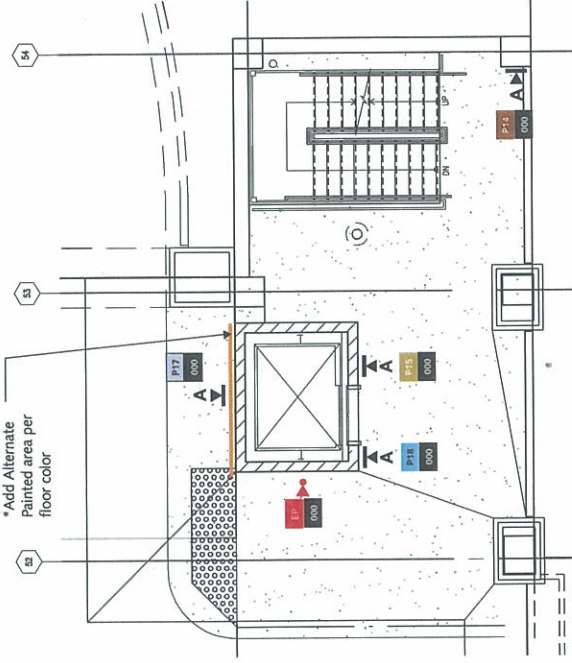
Site Signage Placement
 Elevator Core #2
 Stairwell #4

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMG

SPI.09



B Elevator Core #2 - Stair No. 4 Section - Level One
 Scale: 1/16" = 1'-0"



B Elevator Core #2 - Stair No. 4 - Level Two
 Scale: 1/16" = 1'-0"

Site Signage Placement Legend:

- Qty: 04 | Stairwell Level Identity
- Qty: 02 | Elevator Fire Signage
- Qty: 02 | Painted Elevator Level Identity
- Qty: 02 | Elevator Level Identity
- Qty: 02 | Emergency Phone

Locations noted are for general placement and quantities. Actual quantities to be field verified by Owner and Project Design Team.



Project Name:

**DESERT HILLS
PREMIUM OUTLETS**

Project Owner:

**PREMIUM
OUTLETS
SIMON**

Project Architect:



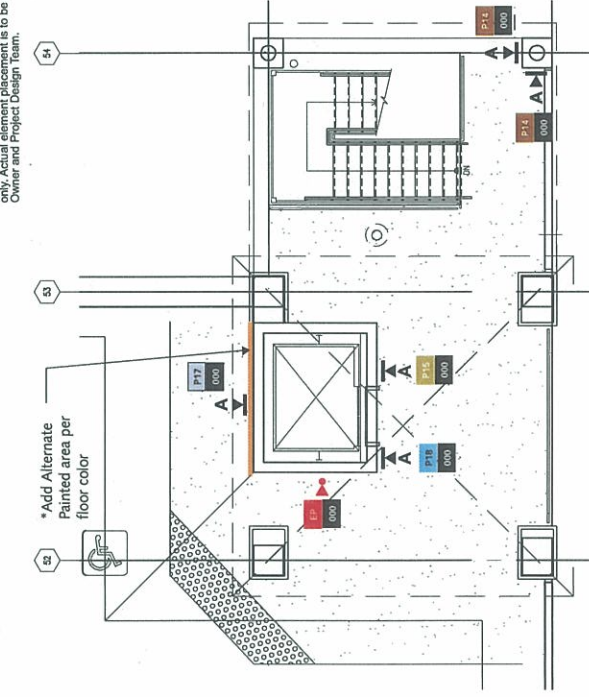
No.	Description	Date
01	PCS Review	06/27/13
02	PCS Review	06/27/13
03	PCS Review	07/07/13
04	PCS Review	07/16/13

Site Signage Placement

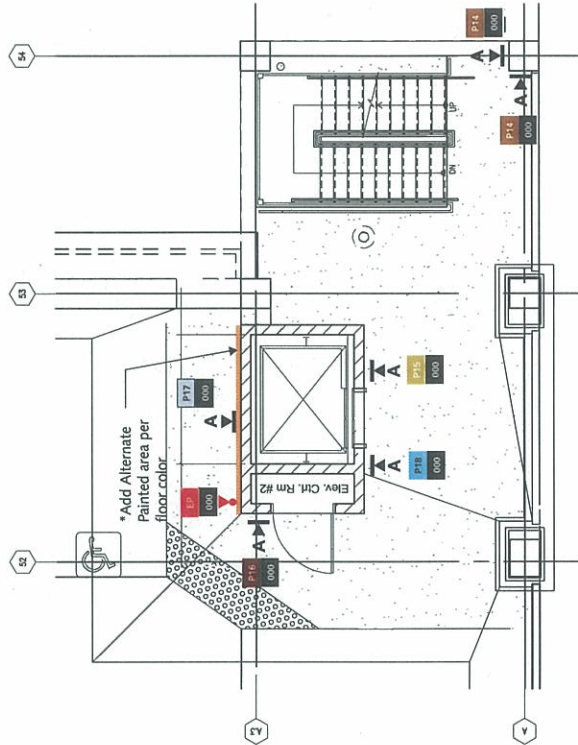
Elevator Core #2
Stairwell #4

Project:	120901
Date:	05/22/13
Scale:	Notes
Drawn By:	SM
Checked By:	DKC

SPI.10



B Elevator Core #2 - Stair No. 4 - Level Four
Scale: 1/16"=1'-0"



B Elevator Core #2 - Stair No. 4 - Level Three
Scale: 1/16"=1'-0"

Site Signage Placement Legend:

- Qty: 04 | Stair Level Identity
- Qty: 04 | Emergency Phone

Locations marked are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.

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 graphic design services
 1750 South Pinyon Ave. - Suite 10, 2018
 Phoenix, AZ 85024
 P: 602.998.1234

Project Name:
**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:
**PREMIUM
 OUTLETS
 SIMON**

Project Architect:

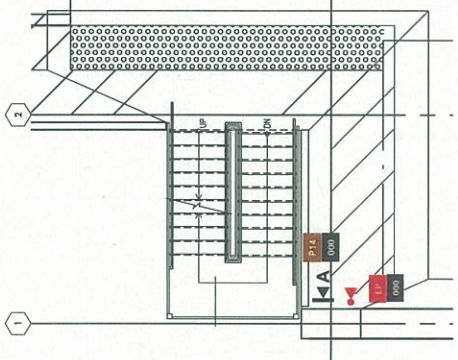


No.	Description	Date:
01	PCS Review	05/22/13
02	PCS Review	06/04/13
03	PCS Review	07/09/13
04	PCS Review	07/18/13

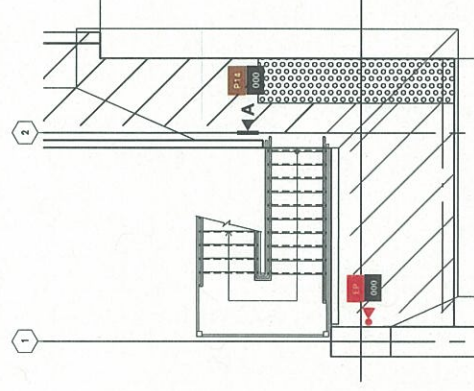
Site Signage Placement
 Stairwell #5

Project:	120901
Date:	05/22/13
Scale:	Natural
Drawn By:	SPH
Checked By:	DXC

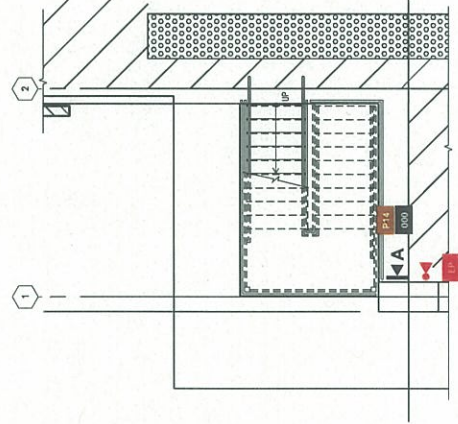
SPI.11



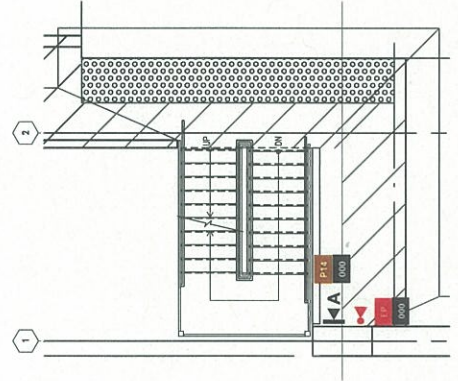
B Stair #5 - Level Two
 Scale: 1/16"=1'-0"



B Stair #5 - Level Four
 Scale: 1/16"=1'-0"



B Stair #5 - Level One
 Scale: 1/16"=1'-0"



B Stair #5 - Level Three
 Scale: 1/16"=1'-0"

Section III

Exterior Identity & Way-finding Signage

Section III - Exterior Identity & Way-finding Signage

P1a.01	Parking Entrance Portal	Sign Type: P1a
P1a.02	Parking Entrance Portal - Details	Sign Type: P1a
P1a.03	Parking Entrance Portal - Details	Sign Type: P1a
P1b.01	Parking Entrance Portal	Sign Type: P1b
P1c.01	Parking Entrance Portal	Sign Type: P1c
P1d.01	Parking Entrance Portal	Sign Type: P1d
P2.01	Parking Identity Pendant	Sign Type: P2
P2.02	Parking Identity Pendant - Details	Sign Type: P2
P3.01	Parking Entry Identity Signage - Southwest Elevation	Sign Type: P3
P3.02	Parking Entry Identity Signage - Southwest Elevation	Sign Type: P3
P3.03	Parking Entry Identity Signage - West Elevation	Sign Type: P3
P3.04	Parking Entry Identity Signage - Details	Sign Type: P3
P3.05	Parking Entry Identity Signage - Details	Sign Type: P3
P3.06	Parking Entry Identity Signage - East Elevation	Sign Type: P3
P3.07	Parking Entry Identity Signage - Details	Sign Type: P3
P3.08	Parking Entry Identity Signage - Northwest Elevation	Sign Type: P3
P3.09	Parking Entry Identity Signage - Details	Sign Type: P3
P4.01	Parking Garage Entry Signage	Sign Type: P4
P4.02	Parking Garage Entry Signage - Details	Sign Type: P4
P4.03	Parking Garage Entry Signage - Details	Sign Type: P4
P5.01	Parking Garage Entry Signage	Sign Type: P5
P5.02	Parking Garage Entry Signage - Details	Sign Type: P5
P6.01	Parking Garage Entry Signage	Sign Type: P6
P6.02	Parking Garage Entry Signage - Details	Sign Type: P6
P7.01	Parking Garage Entry Signage	Sign Type: P7
P8.01	Parking Garage Main Identity	Sign Type: P8
P8.02	Parking Garage Main Identity - Details	Sign Type: P8
P8a.01	Parking Garage Secondary Identity	Sign Type: P8a



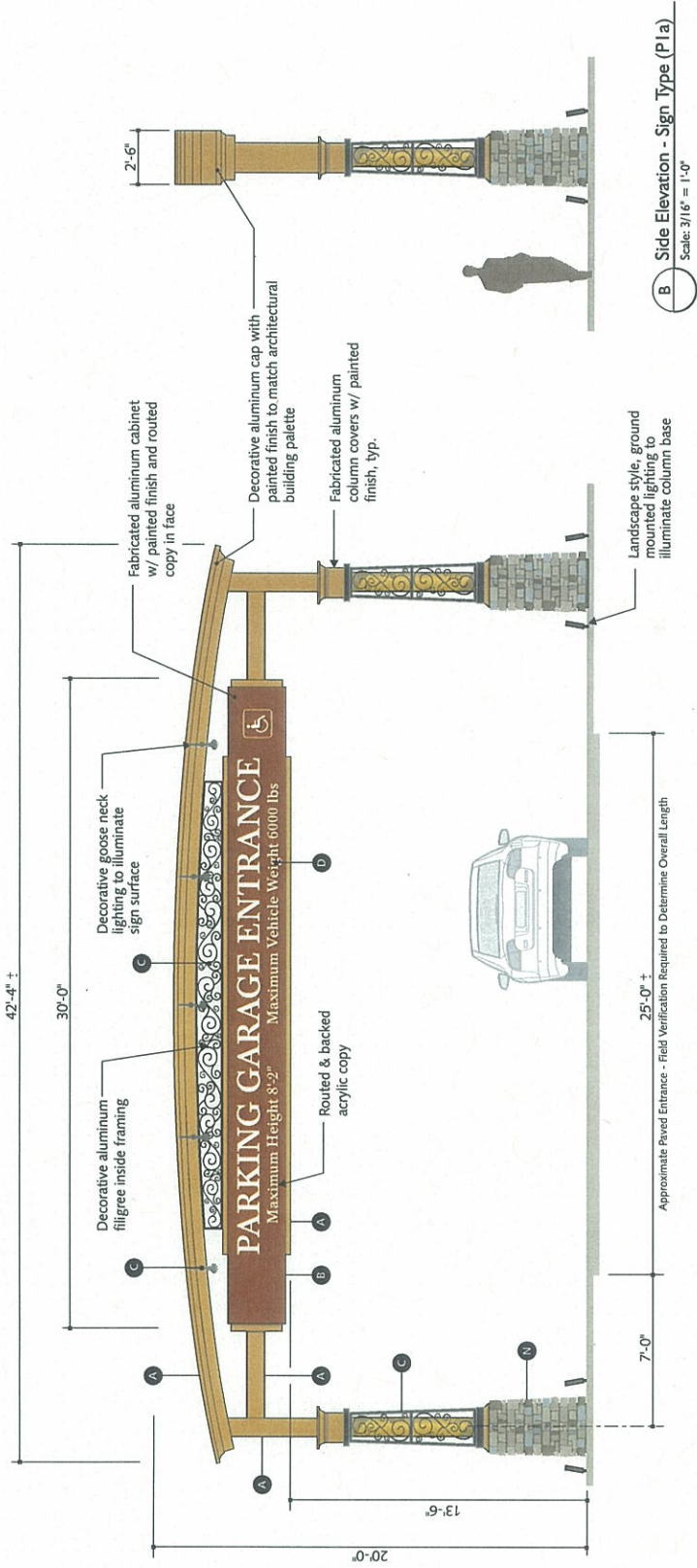
No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Parking Entrance Portal

Signtype:
 (P1a)

Elevations & Details

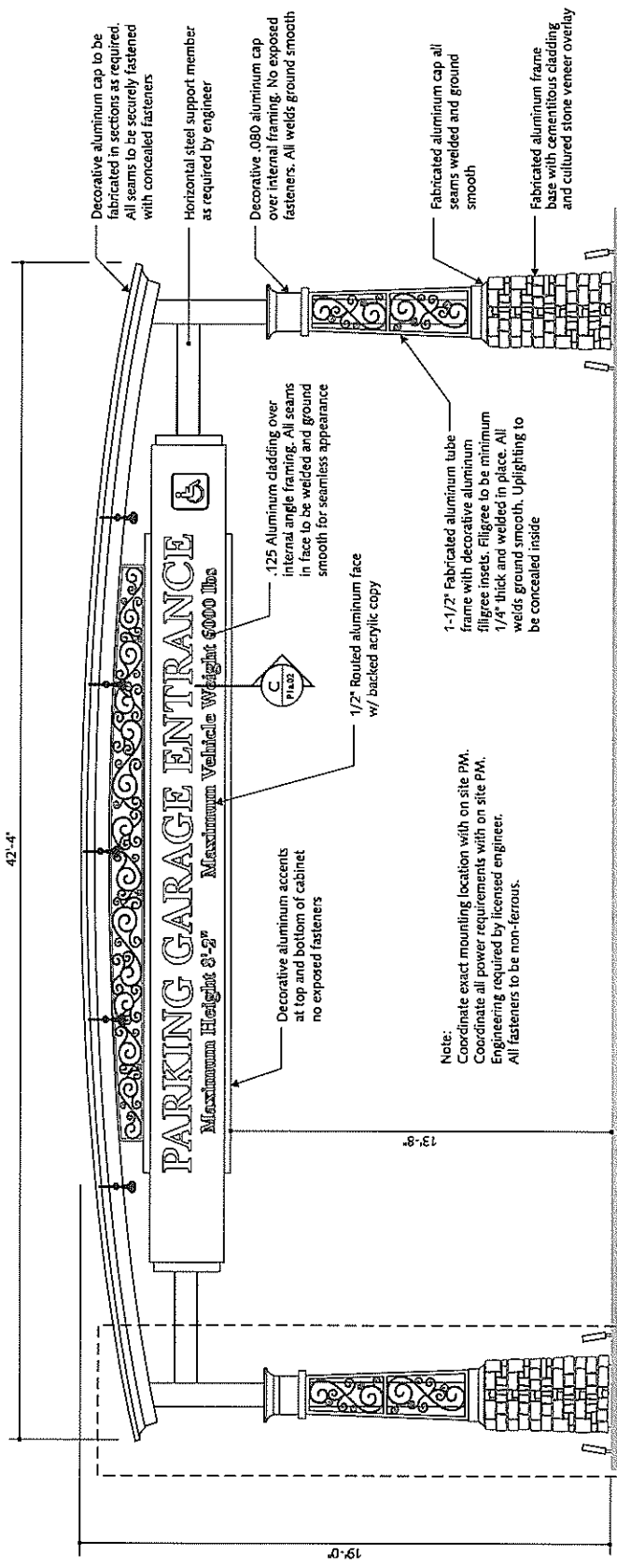
Project:	126801
Date:	05/22/13
Scale:	Notes
Drawn By:	SPH
Checked By:	DMC



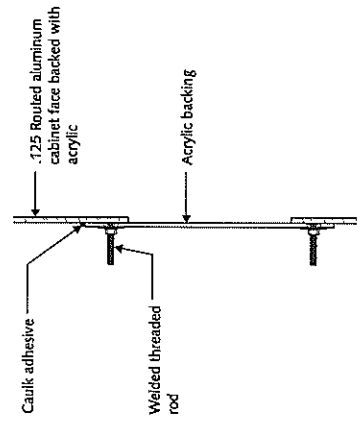
A Front Elevation - Sign Type (P1a)
 Scale: 3/16" = 1'-0"

B Side Elevation - Sign Type (P1a)
 Scale: 3/16" = 1'-0"

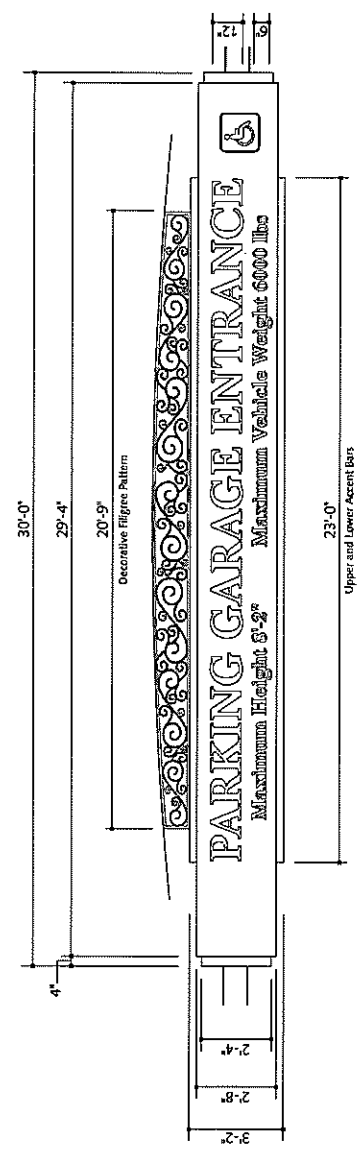
Approximate Paved Entrance - Field Verification Required to Determine Overall Length



A Front Elevation - Sign Type (P1a)
 Scale: 1/4" = 1'-0"



C Partial Section At Copy
 Scale: N.T.S.



B Front Elevation - Sign Type (P1a)
 Scale: 1/4" = 1'-0"

Project Name:

**DESERT HILLS
 PREMIUM OUTLETS***

Project Owner:

**PREMIUM OUTLETS
 SIMON**

Project Architect:



No.	Description	Date
01	RCS Revise	02/27/13
02	RCS Revise	02/27/13
03	RCS Revise	07/18/13

Parking Entrance Portal

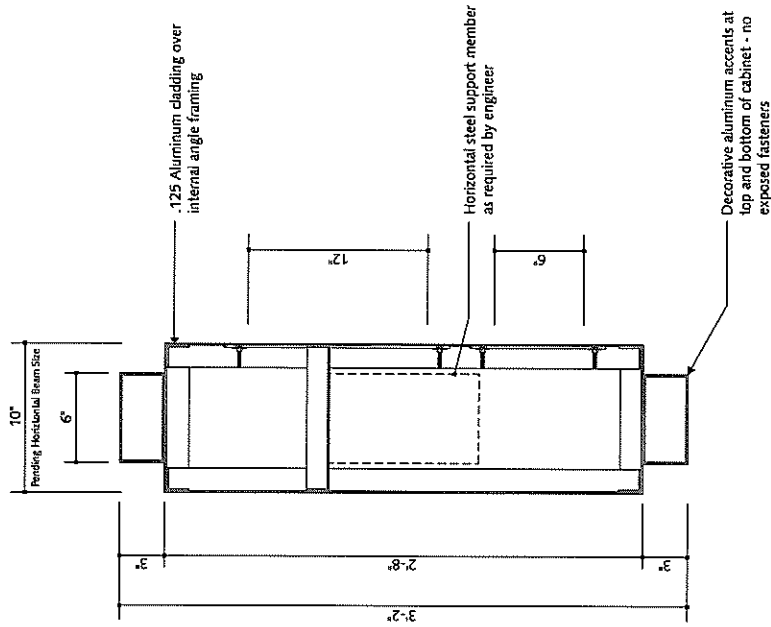
Signtype:
 (P1a)

Elevations & Details

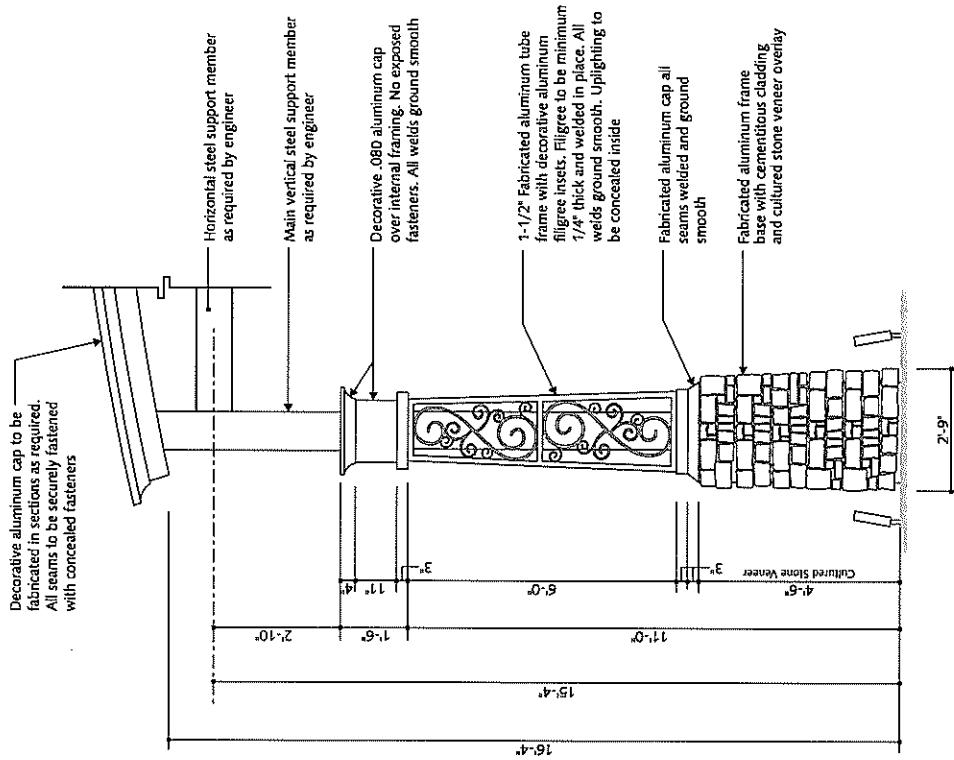
Project:	12000
Date:	02/20/12
Scale:	NOTED
Drawn By:	SPH
Checked By:	DPK

P1a.03

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 All fasteners to be non-ferrous.



B Front Elevation - Sign Type (P1a)
 Scale: 1/12" = 1'-0"



A Front Elevation - Sign Type (P1a)
 Scale: 3/16" = 1'-0"

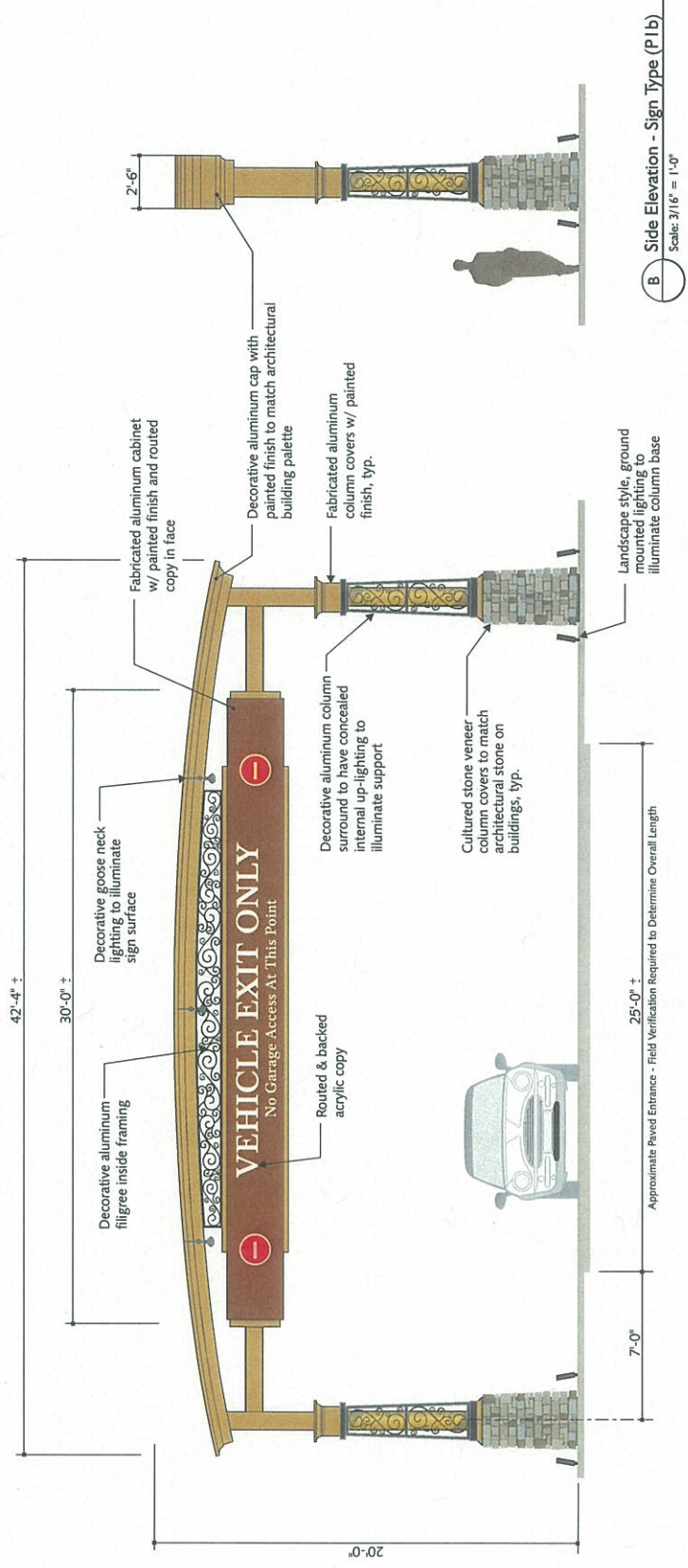


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Parking Entrance Portal
 Signtype: (P1b)
 Scale: 3/16" = 1'-0"

Elevations & Details

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMG



A Front Elevation - Sign Type (P1b)
 Scale: 3/16" = 1'-0"

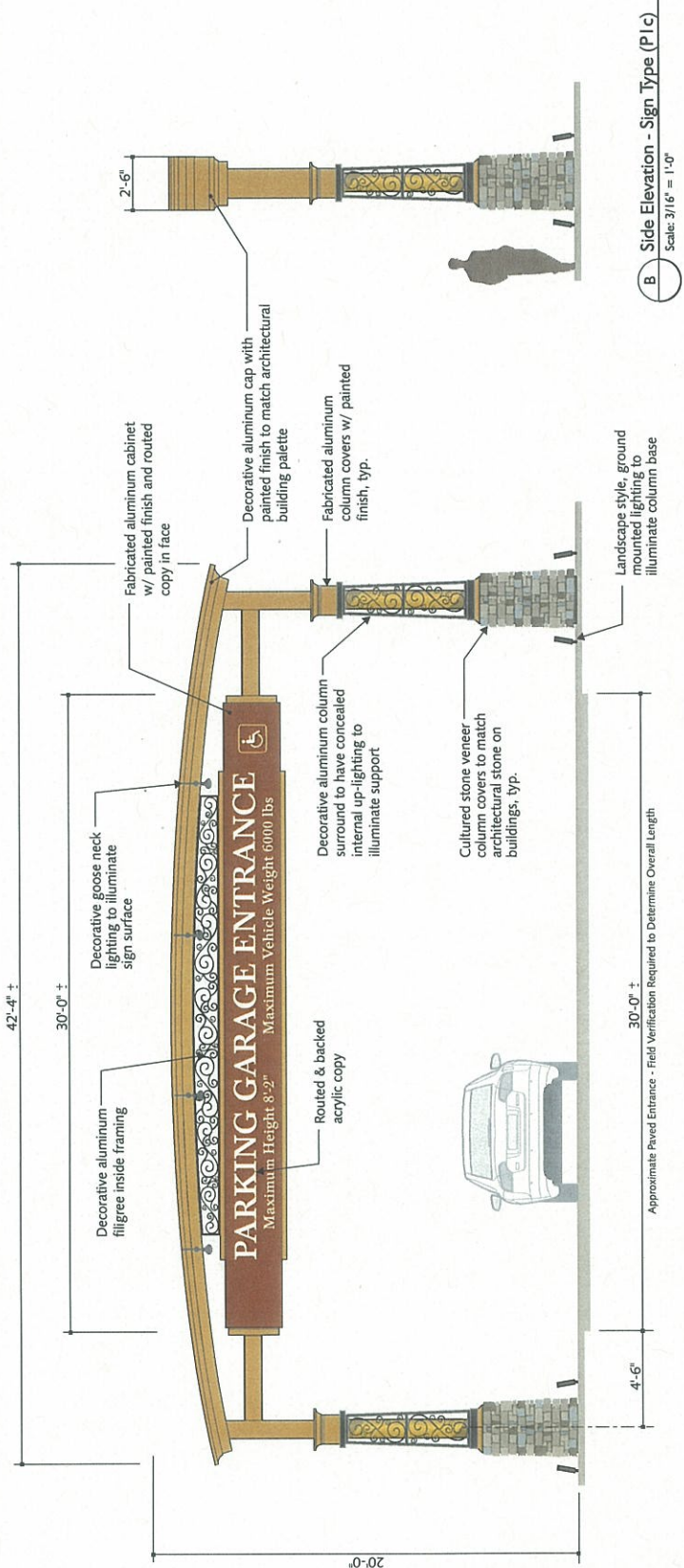
B Side Elevation - Sign Type (P1b)
 Scale: 3/16" = 1'-0"



No.	Description	Date
01	RCS Review	06/22/13
02	RCS Review	06/24/13
03	RCS Review	07/18/13

Parking Entrance Portal
 Signtype: (P1c)

Elevations & Details
 Project: 120601
 Date: 05/22/13
 Scale: N/A
 Drawn By: SPH
 Checked By: DMG





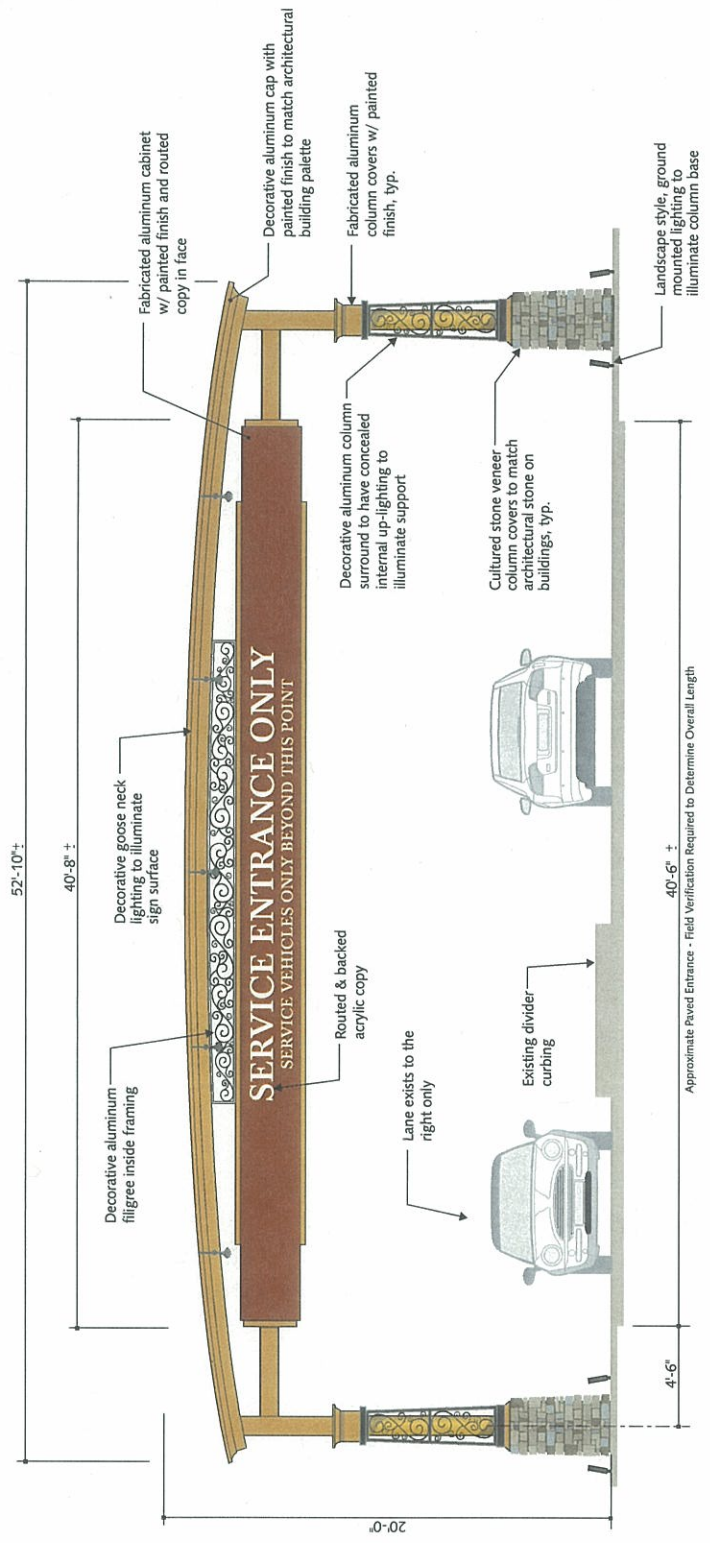
No.	Description	Date
01	RCS Review	06/22/13
02	RCS Review	06/24/13
03	RCS Review	07/18/13

Parking Entrance Portal
 Signtype:
 (P1d)

Elevations & Details

Project:	128801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMC

P1d.01



A Front Elevation - Sign Type (P1d)
 Scale: 3/16" = 1'-0"

Project Name:

**DESERT HILLS
 PREMIUM OUTLETS**

Project Owner:

**PREMIUM OUTLETS
 SIMON**

Project Architect:



No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

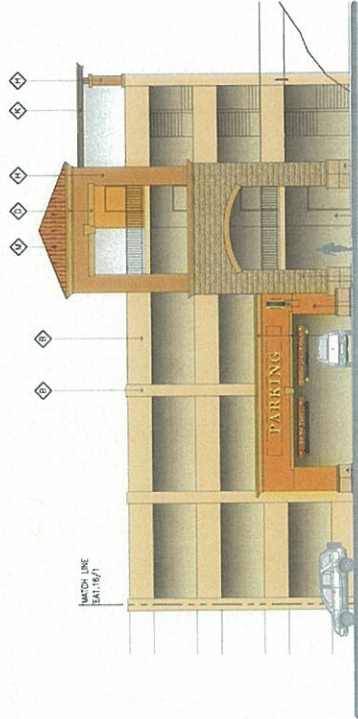
Exterior Signage

Signtype: (P3)

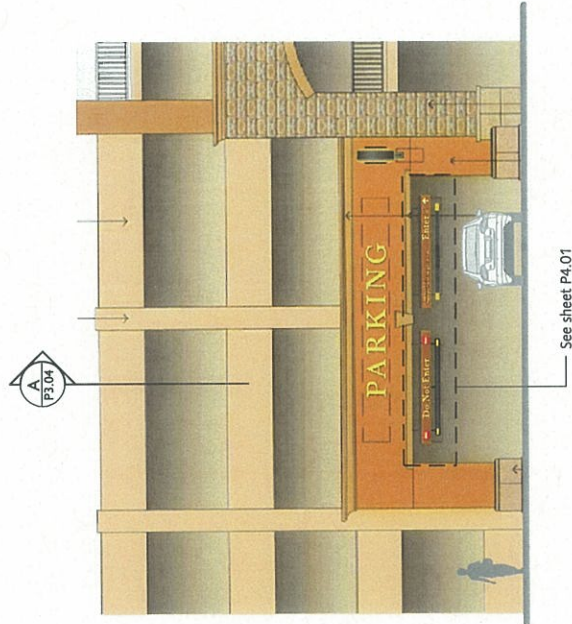
Parking Garage Elevations

Project:	128801
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMG

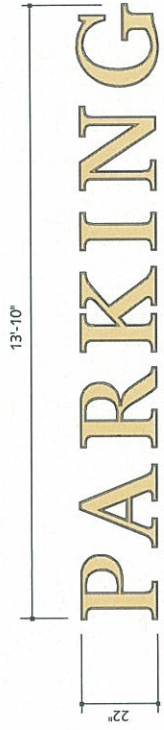
P3-03



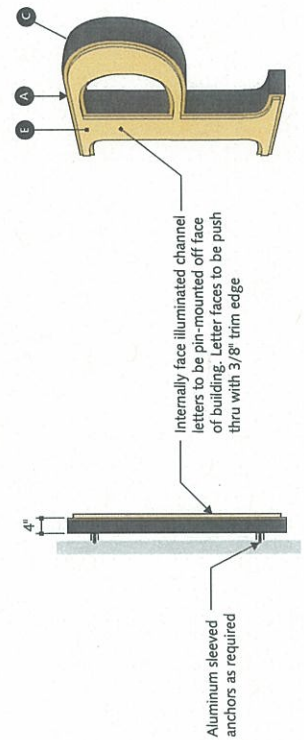
A West Elevation (P3)
 Scale: 1" = 20'-0"



B Enlarged Mounting Elevation - Sign Type (P3)
 Scale: 3/32" = 1'-0"



C Front Elevation - Sign Type (P3)
 Scale: 3/8" = 1'-0"



D Letter Detail - Sign Type (P3)
 Scale: 1" = 1'-0"

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



Project Name:

DESERT HILLS
 PREMIUM OUTLETS

Project Owner:

PREMIUM
 OUTLETS
 SIMON

Project Architect:



No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/16/13

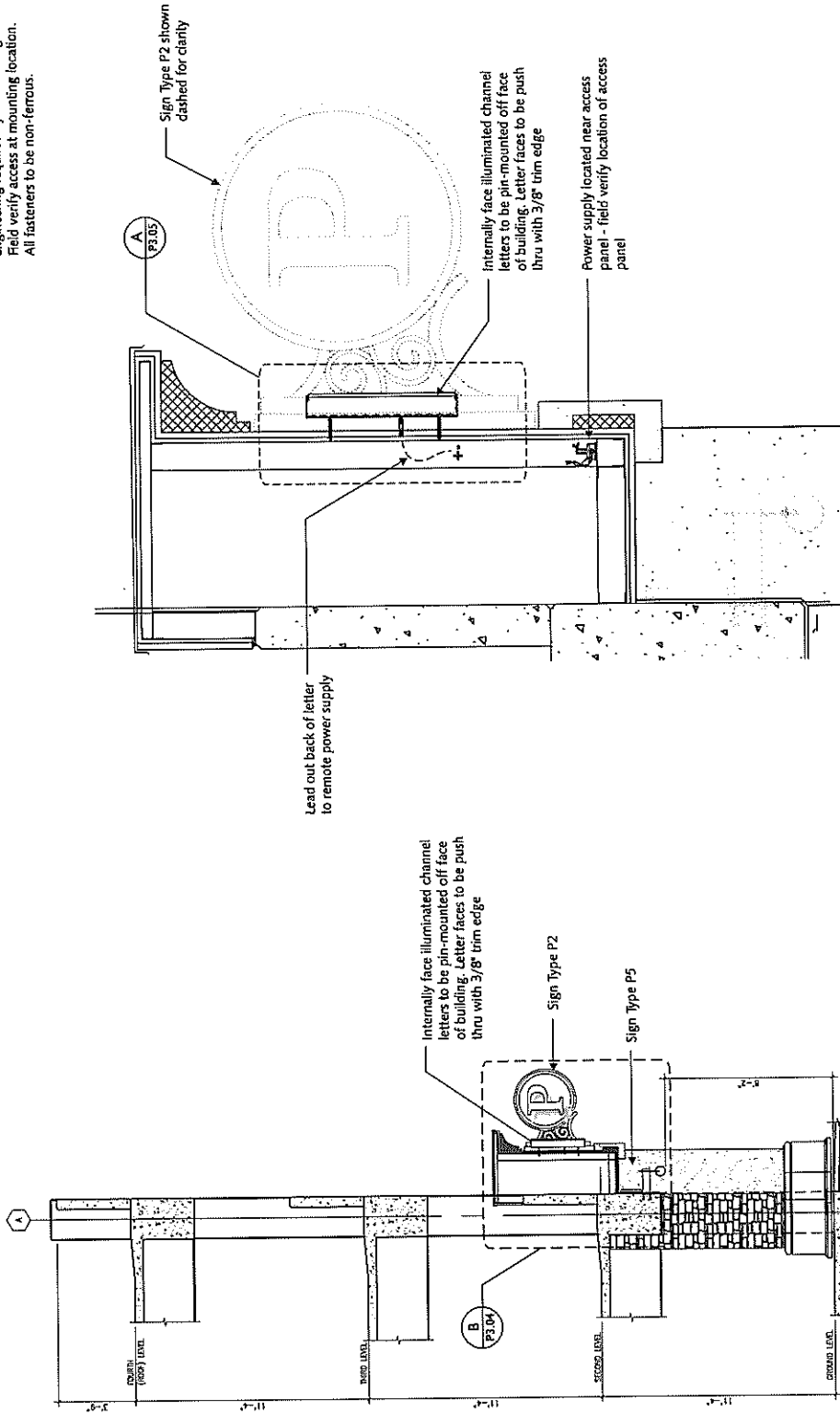
Exterior
 Signage

Sign type:
 (P3)

Details

Project	13001
Date	06/22/13
Scale	Noted
Drawn By	SMH
Checked By	DPG

P3.04



B Enlarged Section Detail
 Scale: 3/4" = 1'-0"

A Section Detail
 Scale: 3/16" = 1'-0"

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



Project Name:

DESERT HILLS
 PREMIUM OUTLETS

Project Owner:

PREMIUM
 OUTLETS
 SIMON

Project Architect:



No.	Description	Date
01	PCS Binder	06/22/13
02	PCS Binder	06/24/13
03	PCS Binder	07/18/13

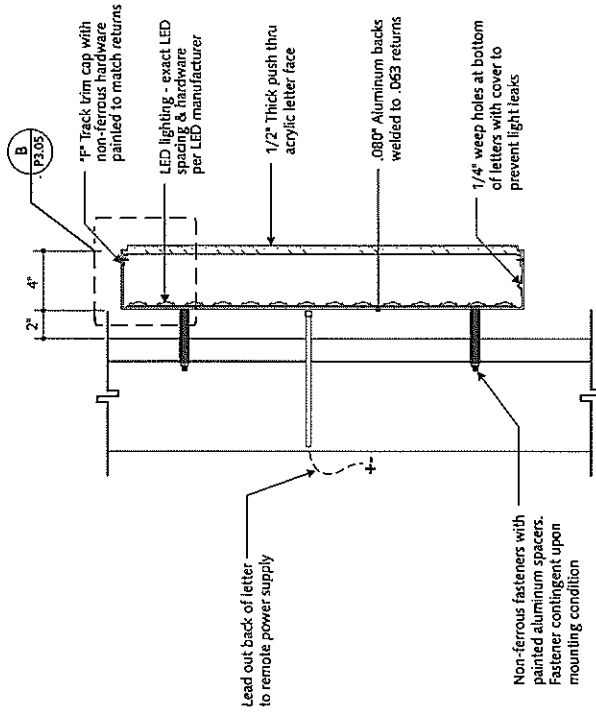
Exterior
 Signage

Signtype:
 (P3)

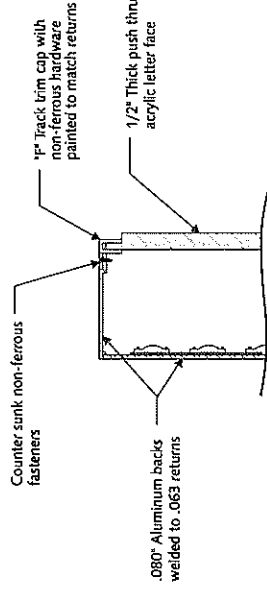
Details

Project:	120001
Date:	09/24/13
Scale:	Noted
Drawn By:	JFP
Checked By:	DKC

P3.05



A Channel Letter Detail (A1)
 Scale: 1-1/2" = 1'-0"



B Channel Letter Detail
 Scale: 1-1/2" = 1'-0"

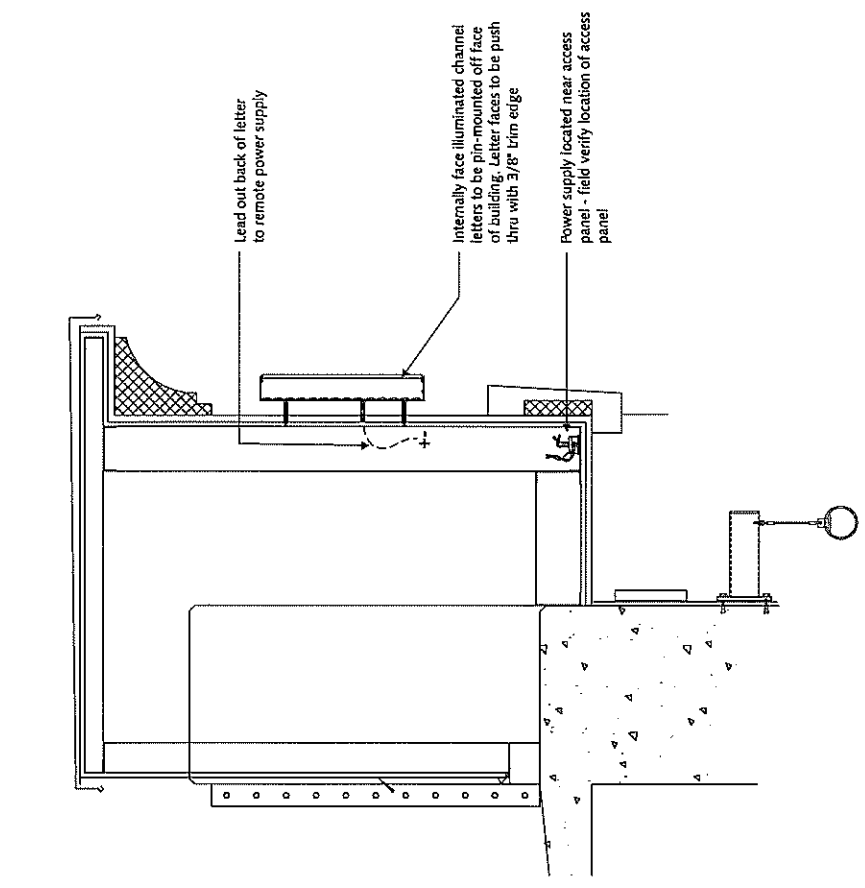
No.	Description	Date
01	PCGS Revisions	06/20/13
02	PCGS Revisions	06/24/13
03	PCGS Revisions	07/16/13

Exterior Signage
 Signtype:
(P3)

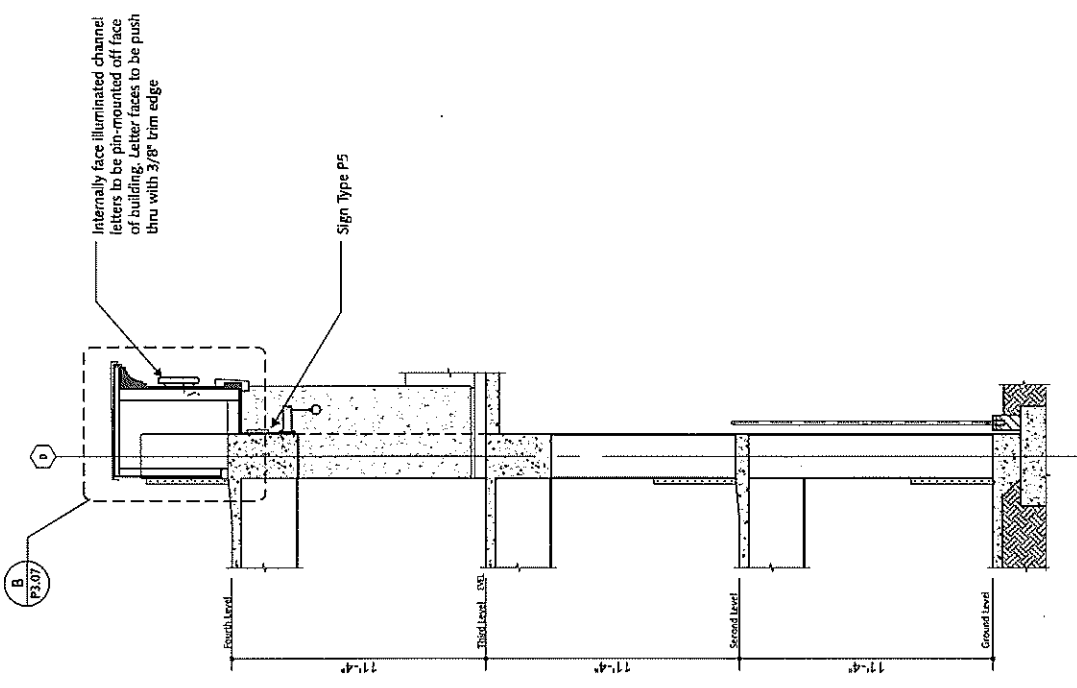
Parking Garage Elevations

Project:	126201
Date:	05/22/13
Scale:	Noted
Drawn By:	SPK
Checked By:	DPG

Note:
 Coordinate exact mounting to location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



B Enlarged Section Detail
 Scale: 3/4" = 1'-0"



A Section Detail
 Scale: 3/16" = 1'-0"

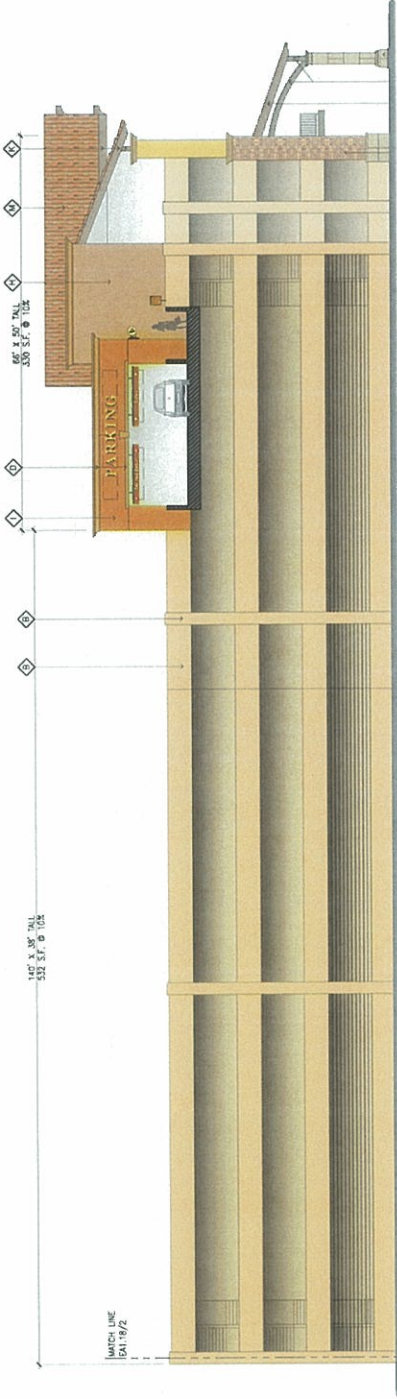


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Exterior Signage
 Signtype: (P3)

Parking Garage Elevations

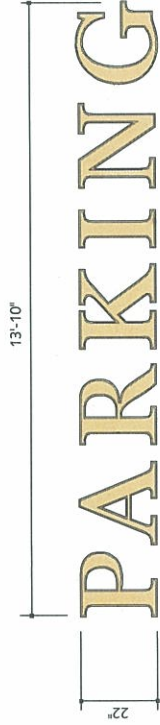
Project:	128901
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMG



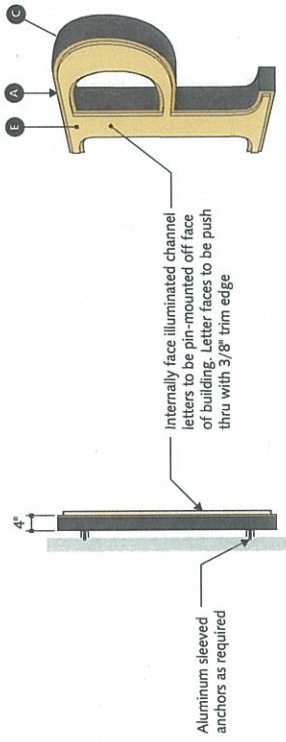
A Northwest Elevation (P3)
 Scale: 1" = 20'-0"



B Enlarged Mounting Elevation - Sign Type (P3)
 Scale: 3/32" = 1'-0"



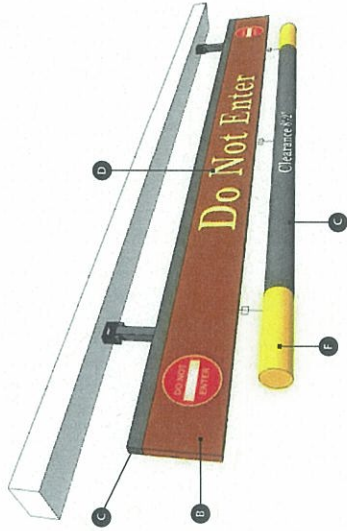
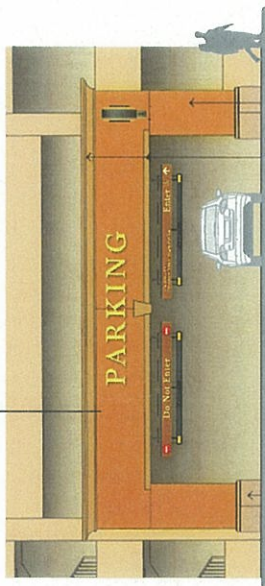
C Front Elevation - Sign Type (P3)
 Scale: 3/8" = 1'-0"



D Letter Detail - Sign Type (P3)
 Scale: 1" = 1'-0"

Internally face illuminated channel letters to be pin-mounted off face of building. Letter faces to be push thru with 3/8" trim edge

Aluminum sleeved anchors as required



A Parking Garage Entry Clearance - Sign Type (P4)
Scale: 3/32" = 1'-0"

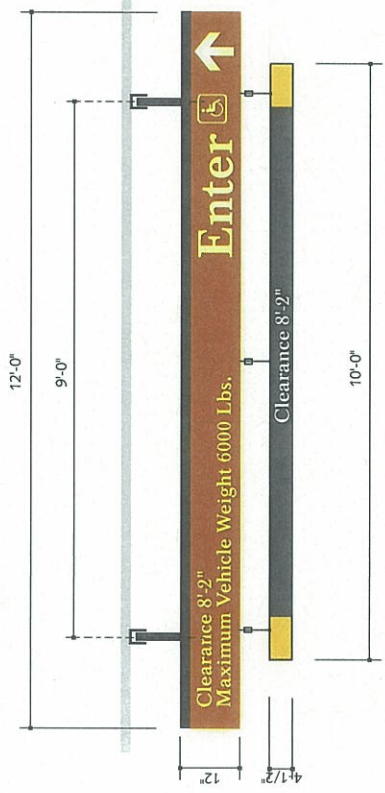


No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

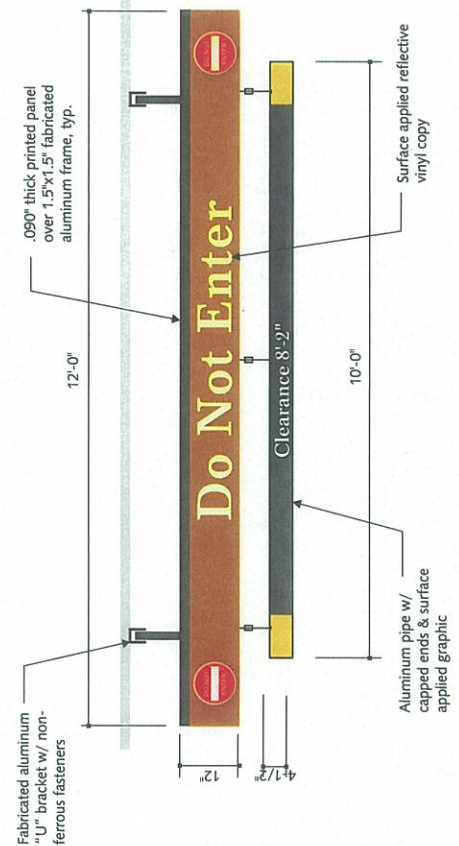
Exterior Signage
Signtype: (P4)

Parking Garage Elevations
Project: 12661
Date: 05/22/13
Scale: Notes
Drawn By: SPH
Checked By: DMK

Messages will vary, pending final message schedule



C Front Elevation - Sign Type (P4)
Scale: 1/2" = 1'-0"



B Front Elevation - Sign Type (P4)
Scale: 1/2" = 1'-0"

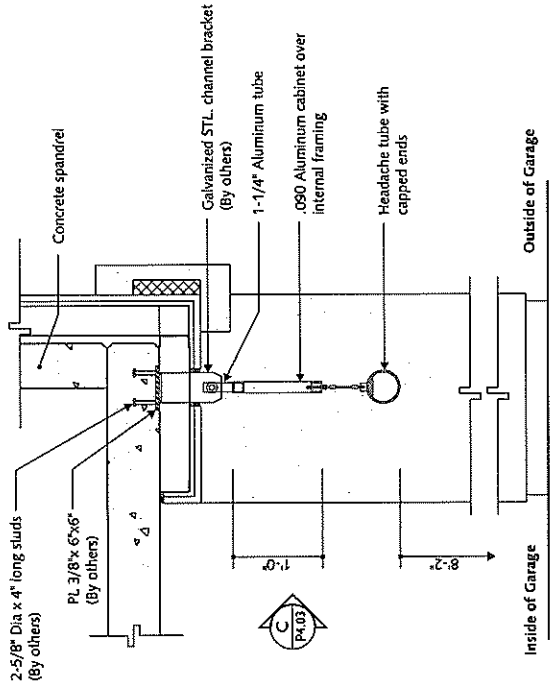


No.	Description	Date
01	PCS Reviser	10/22/13
02	PCS Reviser	10/24/13
03	PCS Reviser	10/27/13

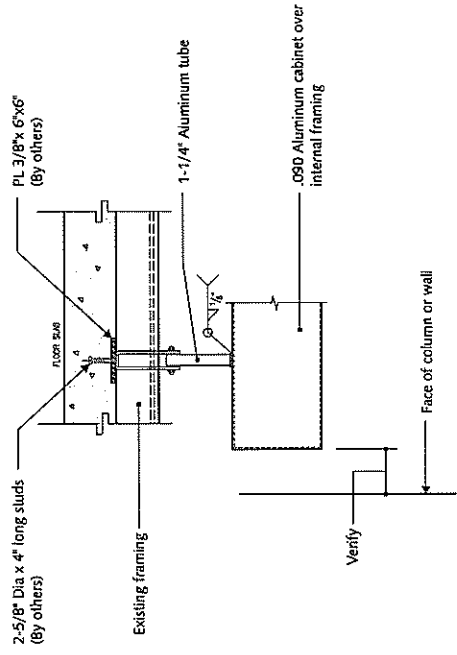
Exterior Signage
 Signtype: (P4)

Details

Project:	122201
Date:	02/22/13
Scale:	As Noted
Drawn By:	SPH
Checked By:	DMK

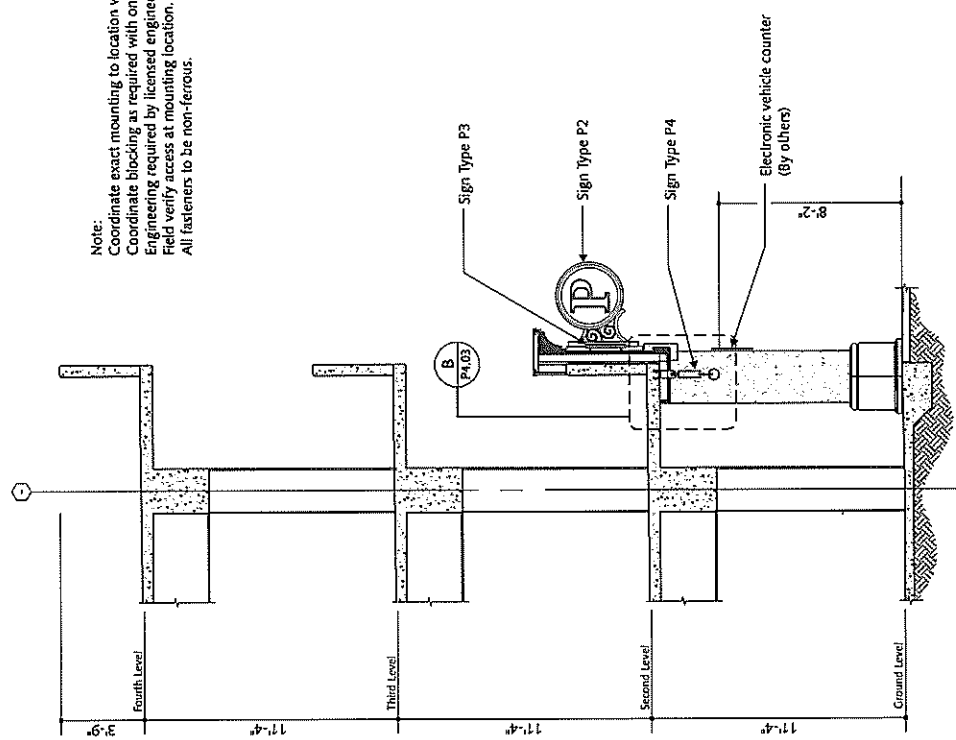


B Section Detail
 Scale: 3/4" = 1'-0"



C Partial View
 Scale: 3/4" = 1'-0"

Note:
 Coordinate exact mounting to location with on site PM.
 Coordinate blocking as required with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



A Section Detail
 Scale: 3/16" = 1'-0"

Project Name:

Project Owner:

Project Architect:



No.	Description	Date
01	P50 Review	06/21/13
02	P50 Review	06/24/13
03	P50 Review	07/01/13

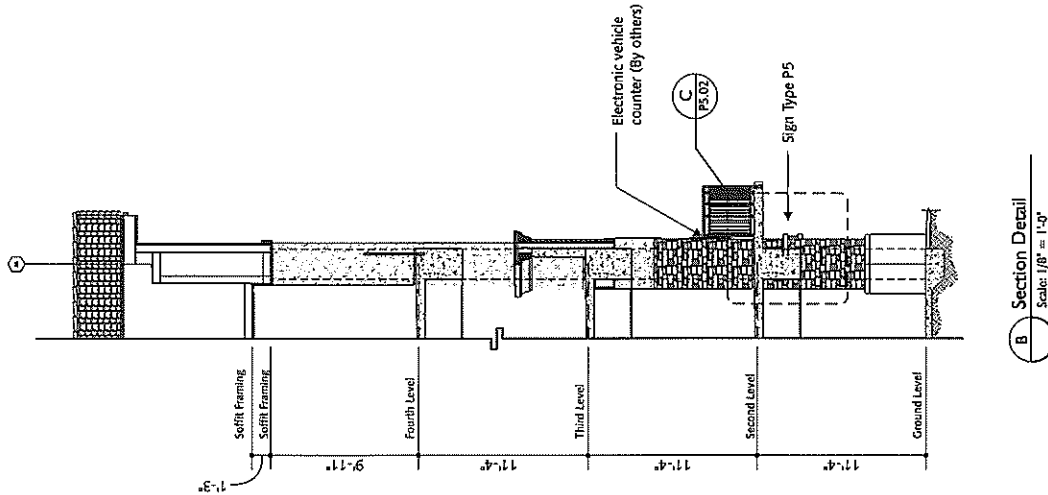
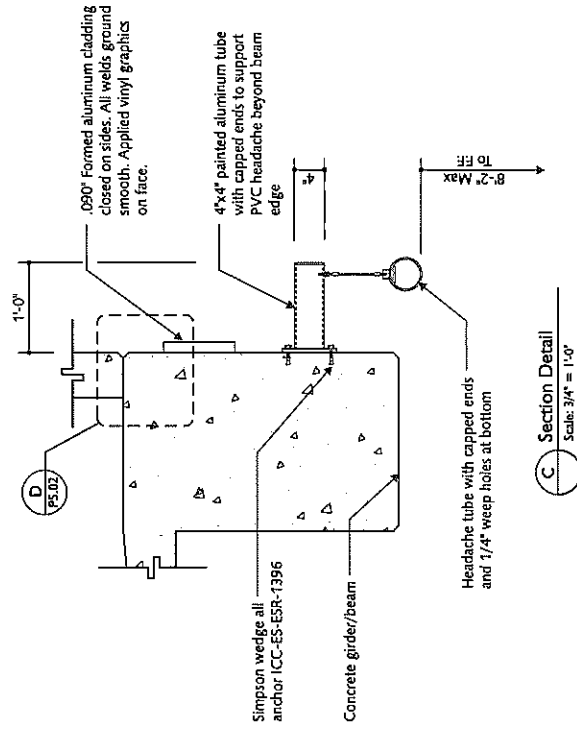
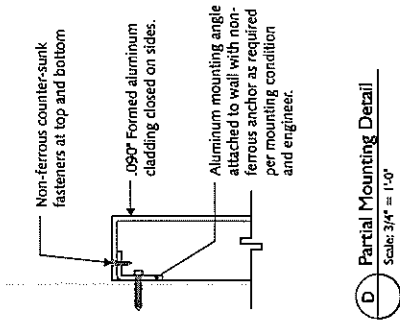
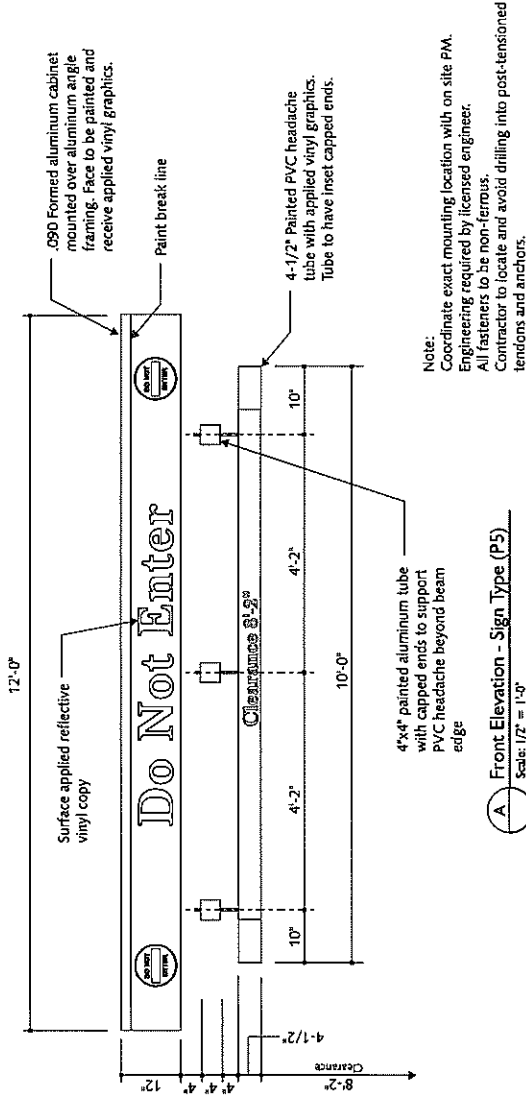
Exterior Signage

Signtype: (P5)

Details

Project:	122001
Date:	09/22/13
Scale:	None
Drawn By:	SPM
Checked By:	DPG

P5-02

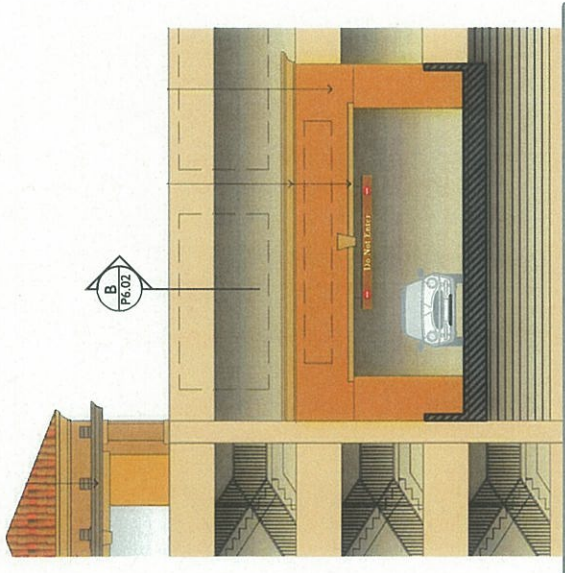




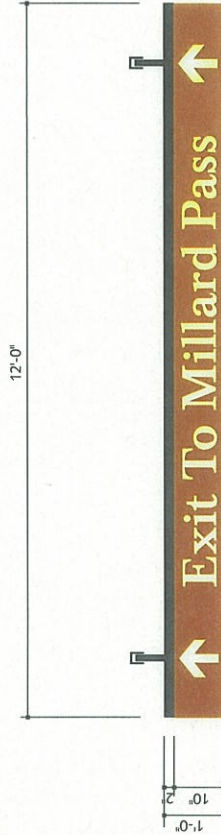
No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	05/24/13
03	PCS Review	07/18/13

Exterior Signage
 Signage
 Signtype: (P6)

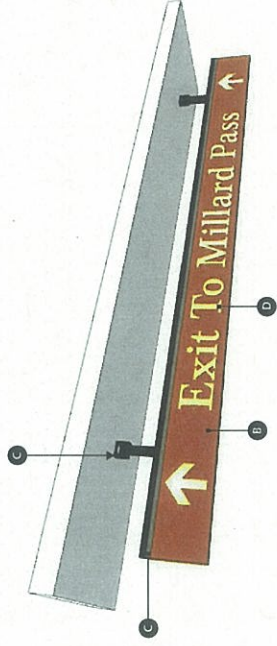
Parking Garage Elevations
 Project: 12060
 Date: 05/22/13
 Scale: Noted
 Drawn By: SPH
 Checked By: DMK



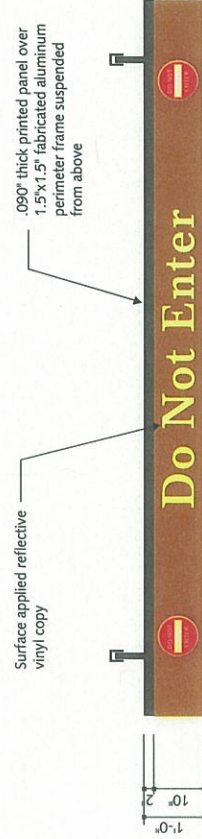
A Enlarged Mounting Elevation - Sign Type (P6)
 Scale: 3/32" = 1'-0"



C Suspended Vehicular Signage - Sign Type (P6/A)
 Scale: 1/2" = 1'-0"



Messages will vary pending final message schedule



B Suspended Vehicular Signage - Sign Type (P6/B)
 Scale: 1/2" = 1'-0"

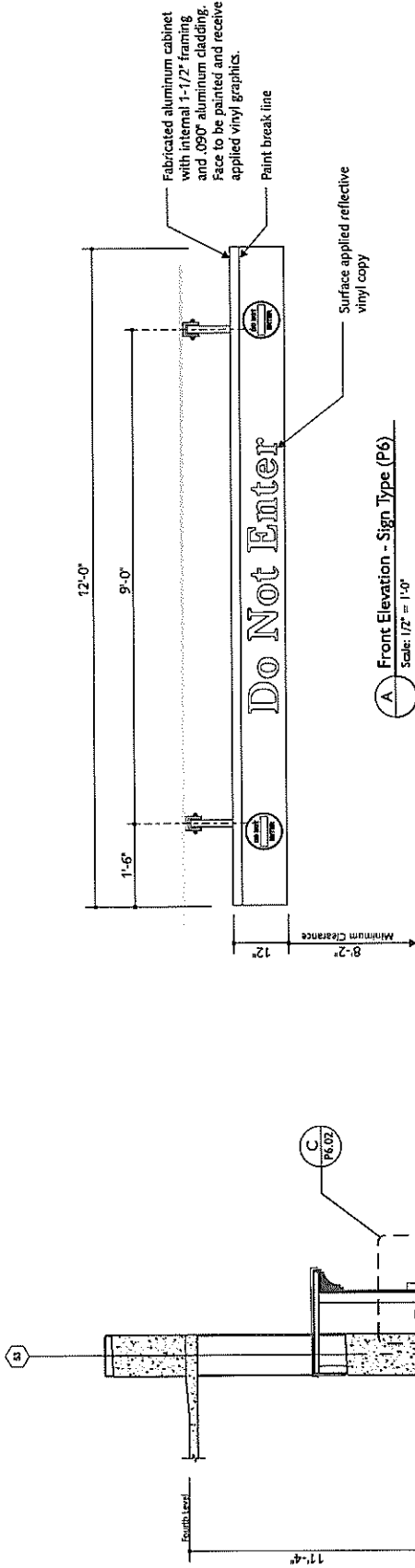
No.	Description	Date
01	PCGS Review	05/22/13
02	PCGS Review	06/24/13
03	PCGS Review	07/16/13

Excutor
 Signage
 Signtype:
 (P6)

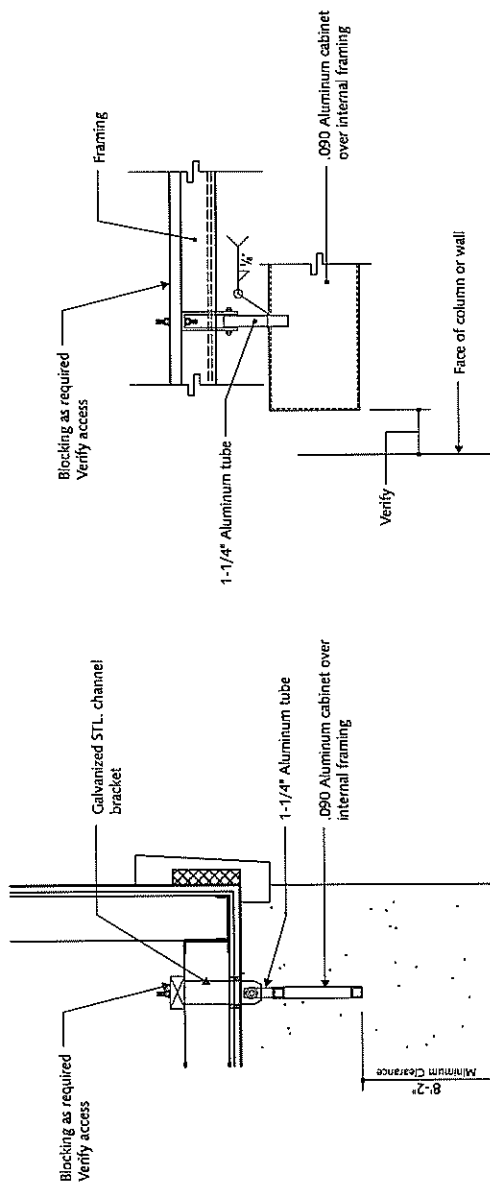
Details

Project:	130501
Date:	05/22/13
Scale:	Noted
Drawn By:	DPH
Checked By:	DPK

P6.02



Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



C Partial View
 Scale: 3/4" = 1'-0"

B Section Detail
 Scale: 3/16" = 1'-0"



No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/16/13

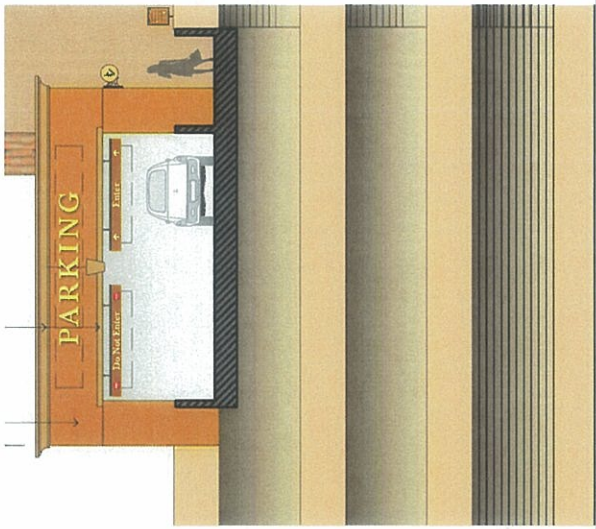
Exterior Signage

Signtype:
 (P7)

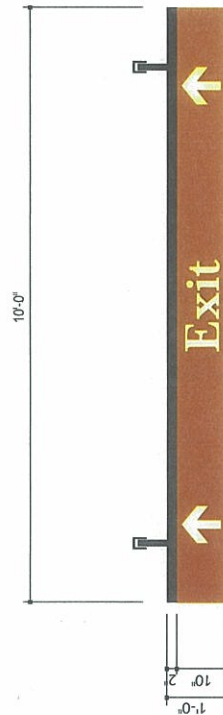
Parking Garage Elevations

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMC

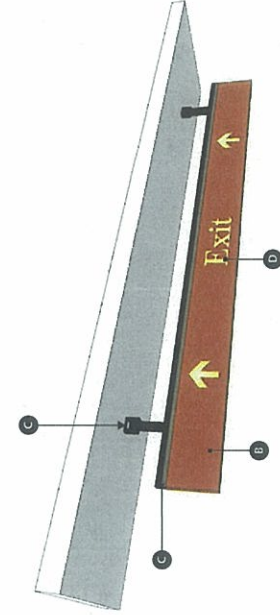
P7.01



A Enlarged Mounting Elevation - Sign Type (P7)
 Scale: 3/32" = 1'-0"



C Suspended Vehicular Signage - Sign Type (P7/A)
 Scale: 1/2" = 1'-0"



Messages will vary pending final message schedule

Surface applied reflective vinyl copy
 .090" thick printed panel over 1.5"x1.5" fabricated aluminum perimeter frame suspended from above



B Suspended Vehicular Signage - Sign Type (P7/B)
 Scale: 1/2" = 1'-0"



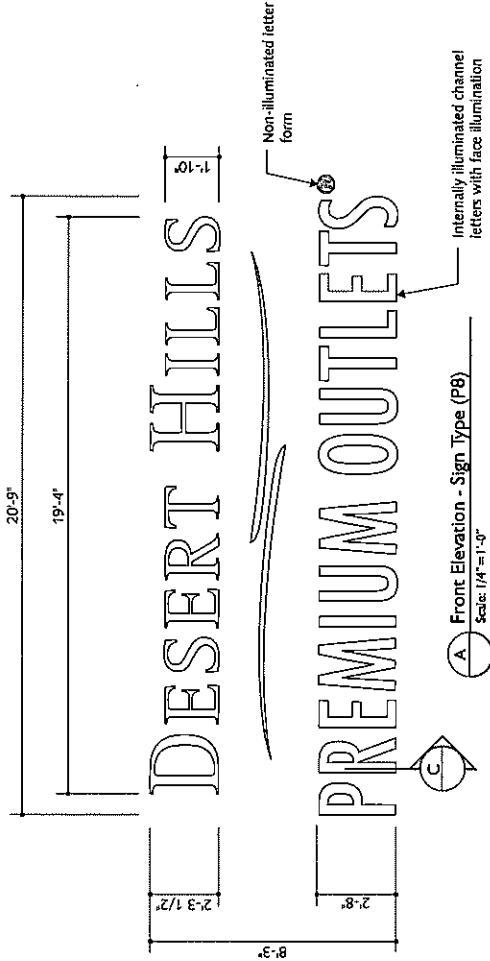
Sign Type (P7/B)

Sign Type (P7/A)

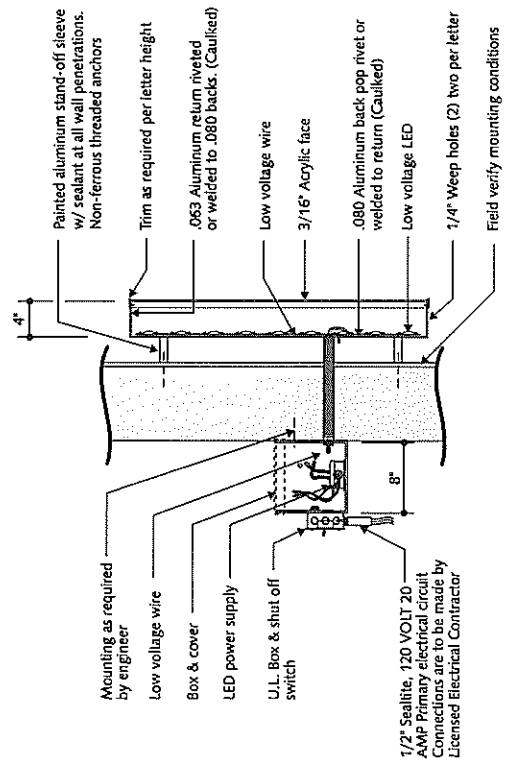
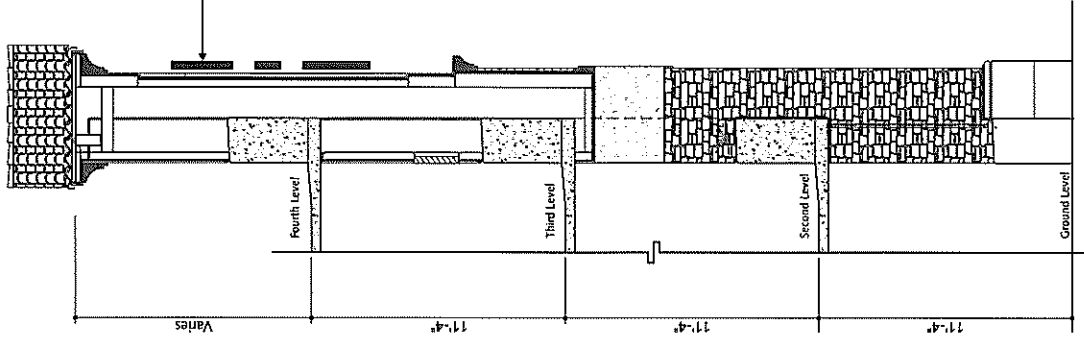


No.	Description	Date
01	PCO Review	06/21/13
02	PCO Review	06/24/13
03	PCO Review	07/18/13

Interior Signage
 Signtype: (P8)
 Project: 13290
 Date: 06/21/13
 Scale: As Shown
 Drawn By: SPW
 Checked By: DPK



Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Coordinate all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



C Front Elevation - Sign Type (P8)
 Scale: 1/4" = 1'-0"

B Section Detail
 Scale: 3/16" = 1'-0"

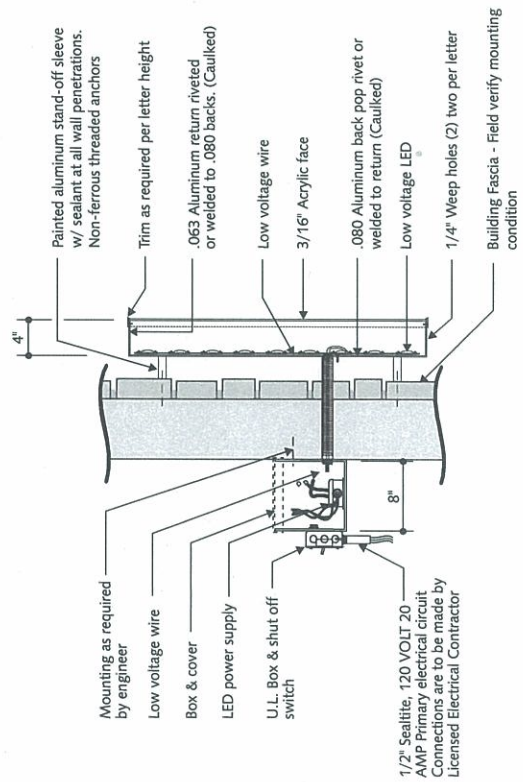


No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Inerior Signage
 Signtype: (P8a)

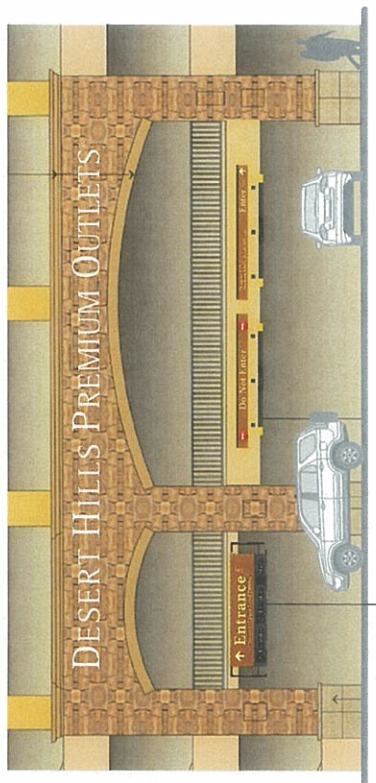
Parking Garage Elevations

Project:	120601
Date:	05/22/13
Scale:	Notes
Drawn By:	SPH
Checked By:	DPK

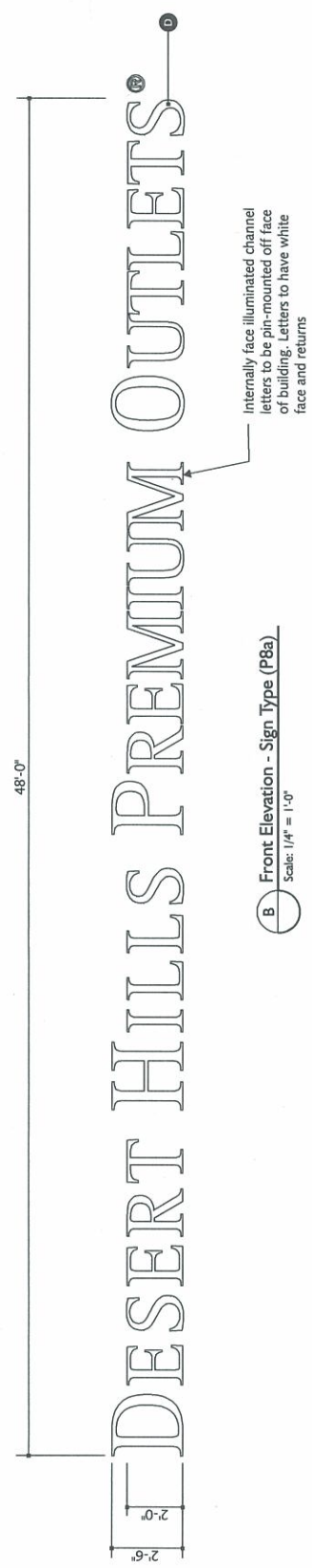


C Front Elevation - Sign Type (P8a)
 Scale: N.T.S.

Note:
 Coordinate exact mounting location with on site PM.
 Coordinate blocking as required with on site PM.
 Engineer all power requirements with on site PM.
 Engineering required by licensed engineer.
 Field verify access at mounting location.
 All fasteners to be non-ferrous.



A Parking Garage Entry Clearance - Sign Type (P8a)
 Scale: 3/32" = 1'-0"



B Front Elevation - Sign Type (P8a)
 Scale: 1/4" = 1'-0"

Section IV

Interior Identity & Way-finding Signage

Section IV - Interior Identity & Way-finding Signage

P9.01	Interior Wayfinding Signage	Sign Type: P9
P9.02	Interior Wayfinding Signage - Details	Sign Type: P9
P10.01	Parking Level Identity Signage	Sign Type: P10
P11.01	Parking Level Identity Signage	Sign Type: P11
P11.02	Parking Level Identity Signage - Details	Sign Type: P11
P12.01	Upper Level Wayfinding Signage	Sign Type: P12
P13.01	Escalator Identity Signage	Sign Type: P13
P13.02	Escalator Identity Signage - Details	Sign Type: P13
P14.01	Stair Level Identity Signage	Sign Type: P14
P15.01	Lifesafety Signage At Elevator	Sign Type: P15
P16.01	ADA Room Identity Signage	Sign Type: P16
P17.01	Primary Elevator Identity Signage	Sign Type: P17
P18.01	Secondary Elevator Identity Signage	Sign Type: P18
P19.01	Stair Entrance Identity Pendant	Sign Type: P19
P20.01	Overhead Pedestrian Signage	Sign Type: P20
P21.01	Pole Mounted Pedestrian Signage	Sign Type: P21
P22.01	Electronic Vehicle Counter (By others)	Sign Type: P22
EP01	Emergency Phone Signage	Sign Type: EP

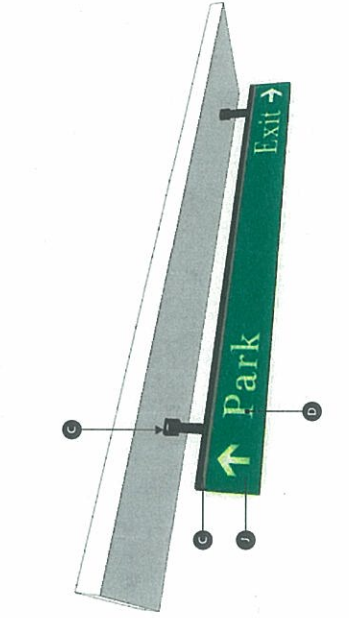


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

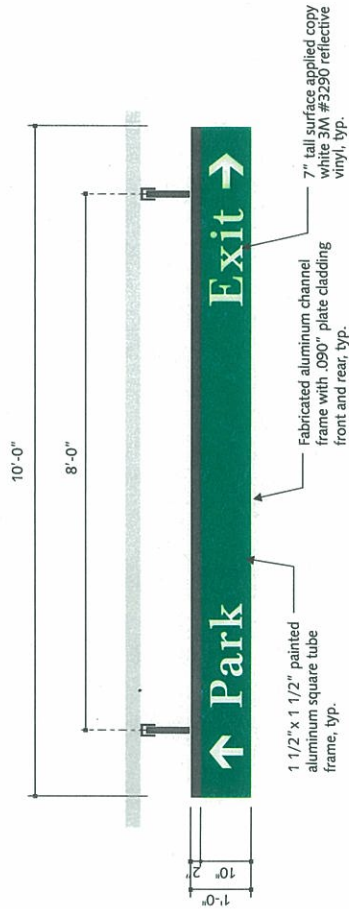
Interior Signage
 Signtype: (P9)

Parking Garage Elevations

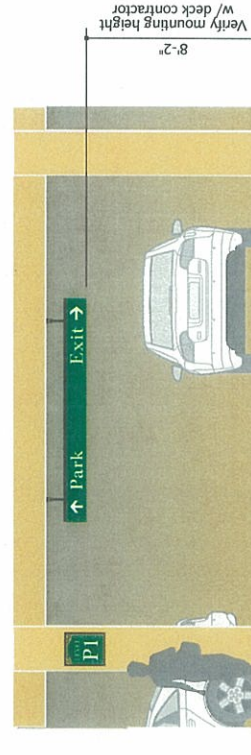
Project:	130901
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMG



Messages will vary pending final message schedule



B Overhead Vehicular Directional Elevation - Sign Type (P9)
 Scale: 1/2" = 1'-0"



A Overhead Vehicular Directional Mounting Elevation - Sign Type (P9)
 Scale: 3/16" = 1'-0"

Project Name:

Project Owner:

Project Architect:



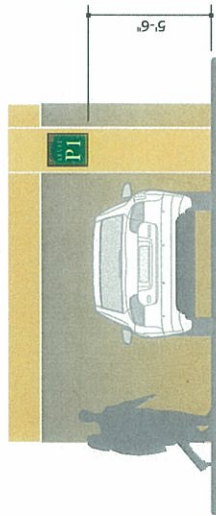
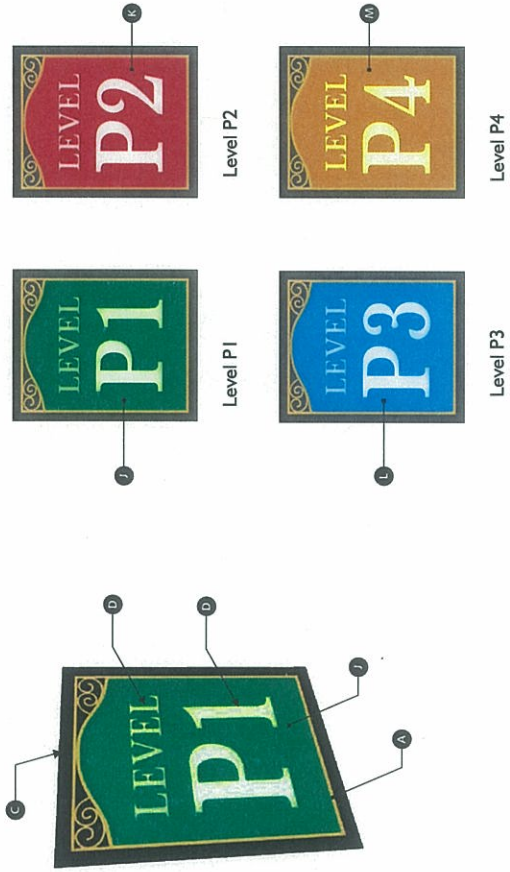
No.	Description	Date
01	PCS Review	06/27/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Interior Signage

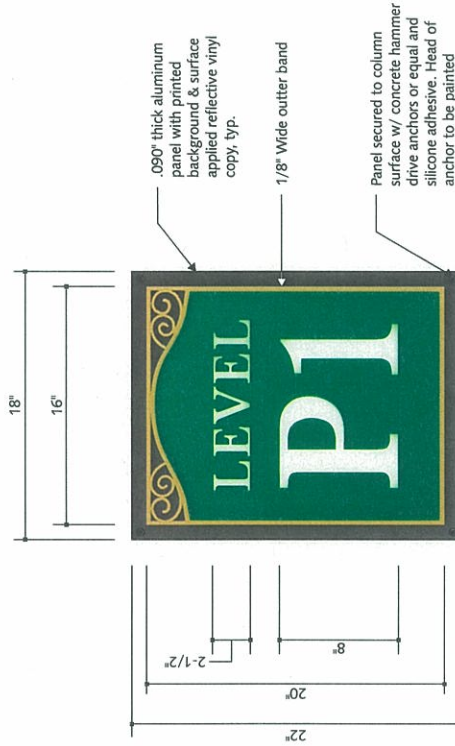
Signtype:
 (P10)

Parking Garage Elevations

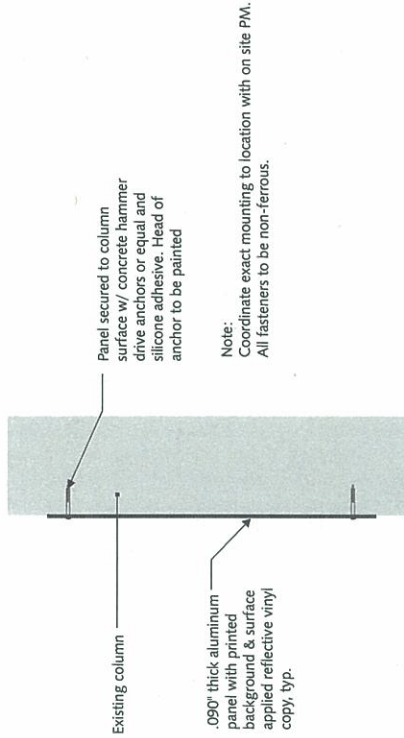
Project:	126901
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DMC



A Level Identity Mounting Elevation - Sign Type (P10)
 Scale: 3/16" = 1'-0"



B Level Identity - Sign Type (P10)
 Scale: 1/12" = 1'-0"



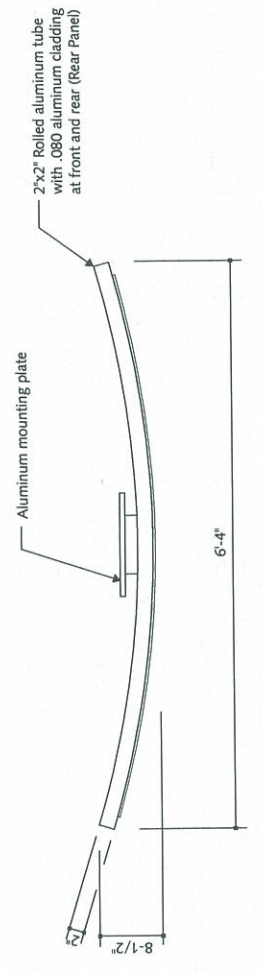
C Side Elevation - Sign Type (P10)
 Scale: 3" = 1'-0"

No.	Description	Date
01	PCOS Review	05/22/13
02	PCOS Review	06/24/13
03	PCOS Review	07/18/13

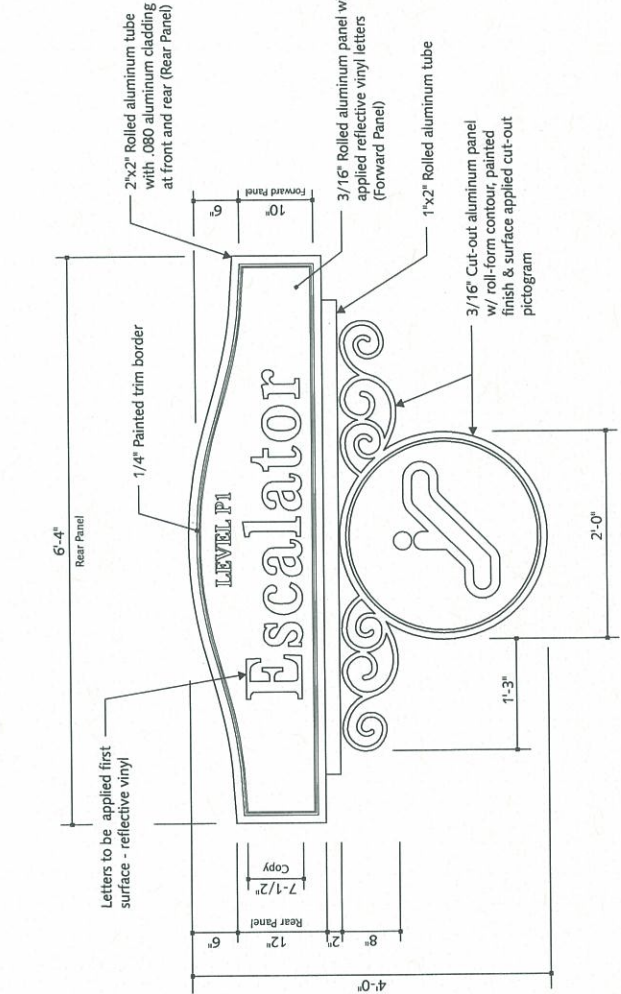
Escalator Level
 Identity Signage
 Signtype:
(P13)
 Details

Project:	120001
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DKG

Note:
 Coordinate exact mounting location with on site PM.
 Engineering required by licensed engineer.
 All fasteners to be non-ferrous.

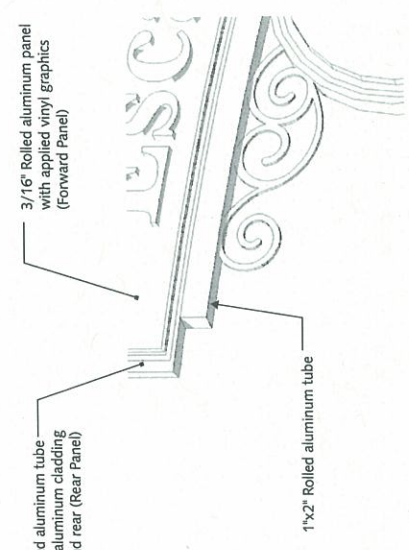


B Plan View - Sign Type (P13)
 Scale: 3/4" = 1'-0"



A Front Elevation - Sign Type (P13)
 Scale: 3/4" = 1'-0"

C Isometric View - Sign Type (P13)
 Scale: N.T.S.



D Enlarged View - Sign Type (P13)
 Scale: N.T.S.

D Enlarged View - Sign Type (P13)
 Scale: N.T.S.



No.	Description	Date
01	POS Review	05/22/13
02	POS Review	06/24/13
03	POS Review	07/18/13

Stairwell Level
 Identity Signage
 Signtype:
 (P14)

Parking Garage
 Elevations

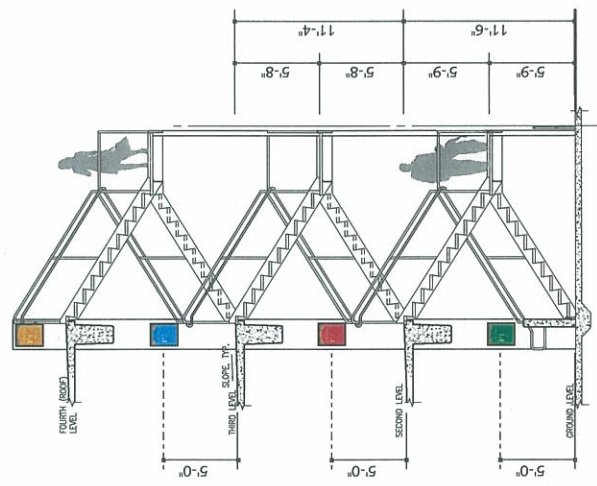
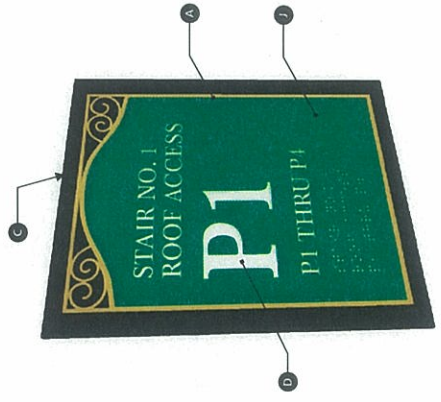
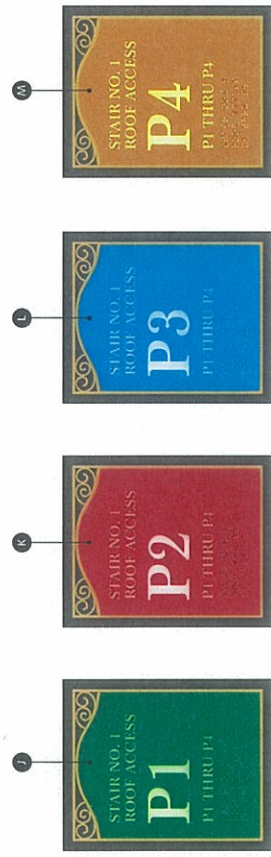
Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMC

Note:
 Coordinate exact mounting location with on site PM.
 All fasteners to be non-ferrous.



B Front Elevation - Sign Type (P14)
 Scale: 1/12" = 1'-0"

C Side Elevation - Sign Type (P14)
 Scale: 3" = 1'-0"



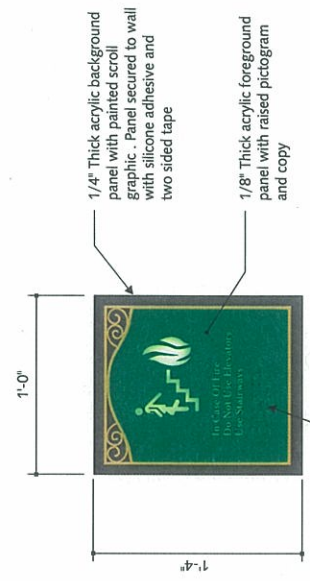
A Section View At Stairs - Sign Type (P14)
 Scale: 1/8" = 1'-0"

No.	Description	Date:
01	POS Review	05/22/13
02	POS Review	06/24/13
03	POS Review	07/18/13

Elevator ADA
 Fire Signage
 Signtype: (P15)

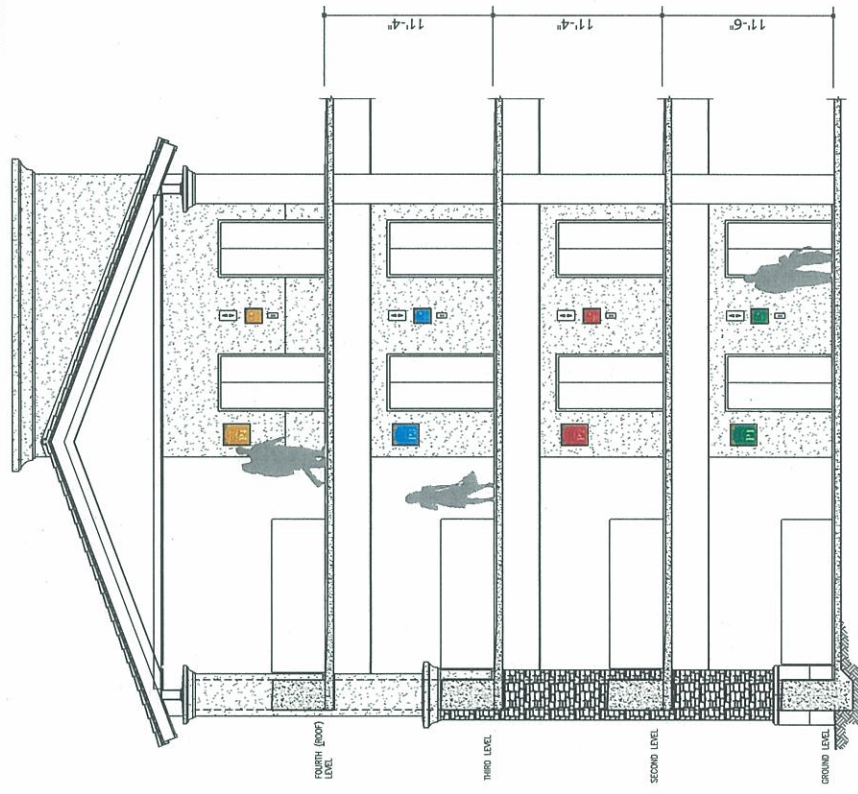
Parking Garage
 Elevations
 Project: 130901
 Date: 05/22/13
 Scale: Noted
 Drawn By: SPH
 Checked By: DMG

Note:
 Coordinate exact mounting location with on site PM.
 All fasteners to be non-ferrous.



Type II Braille translation as
 required by state and local
 municipalities.

B Front Elevation - Sign Type (P15)
 Scale: 1/12" = 1'-0"



A Elevator Core - Sign Type (P15)
 Scale: 1/8" = 1'-0"

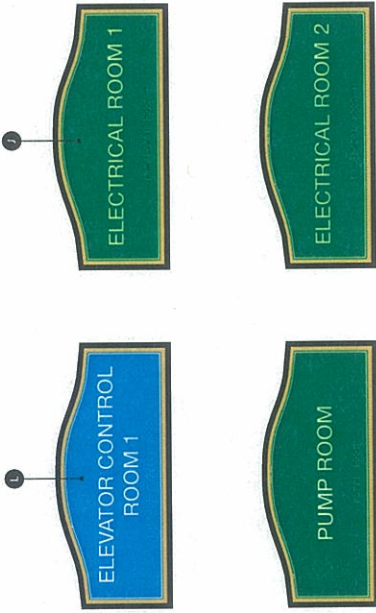


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

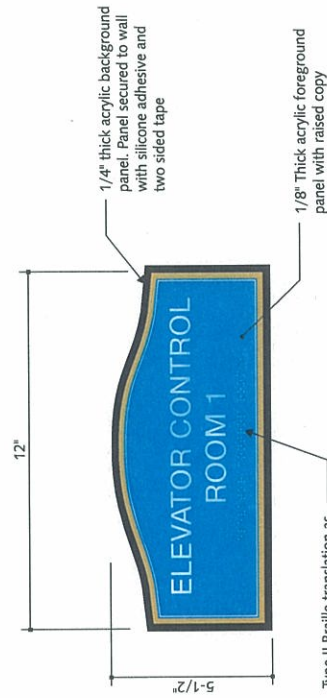
ADA Room
 Identity Signage
 Signtype:
 (P16)

Parking Garage
 Elevations

Project:	129501
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DYG

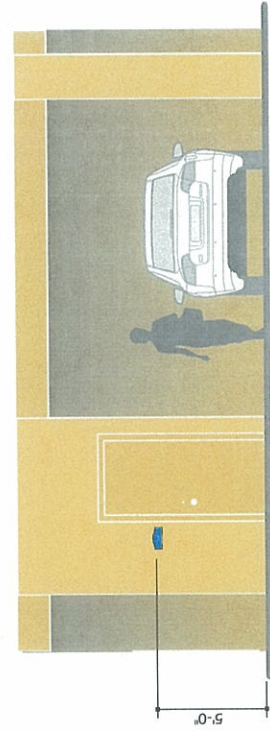


Note:
 Coordinate exact mounting to location with on site PM.
 All fasteners to be non-ferrous.



Type II Braille translation as required by state and local municipalities.

B Front Elevation - Sign Type (P16)
 Scale: 3/16" = 1'-0"



A Misc. Room Identity Mounting Elevation - Sign Type (P16)
 Scale: 3/16" = 1'-0"

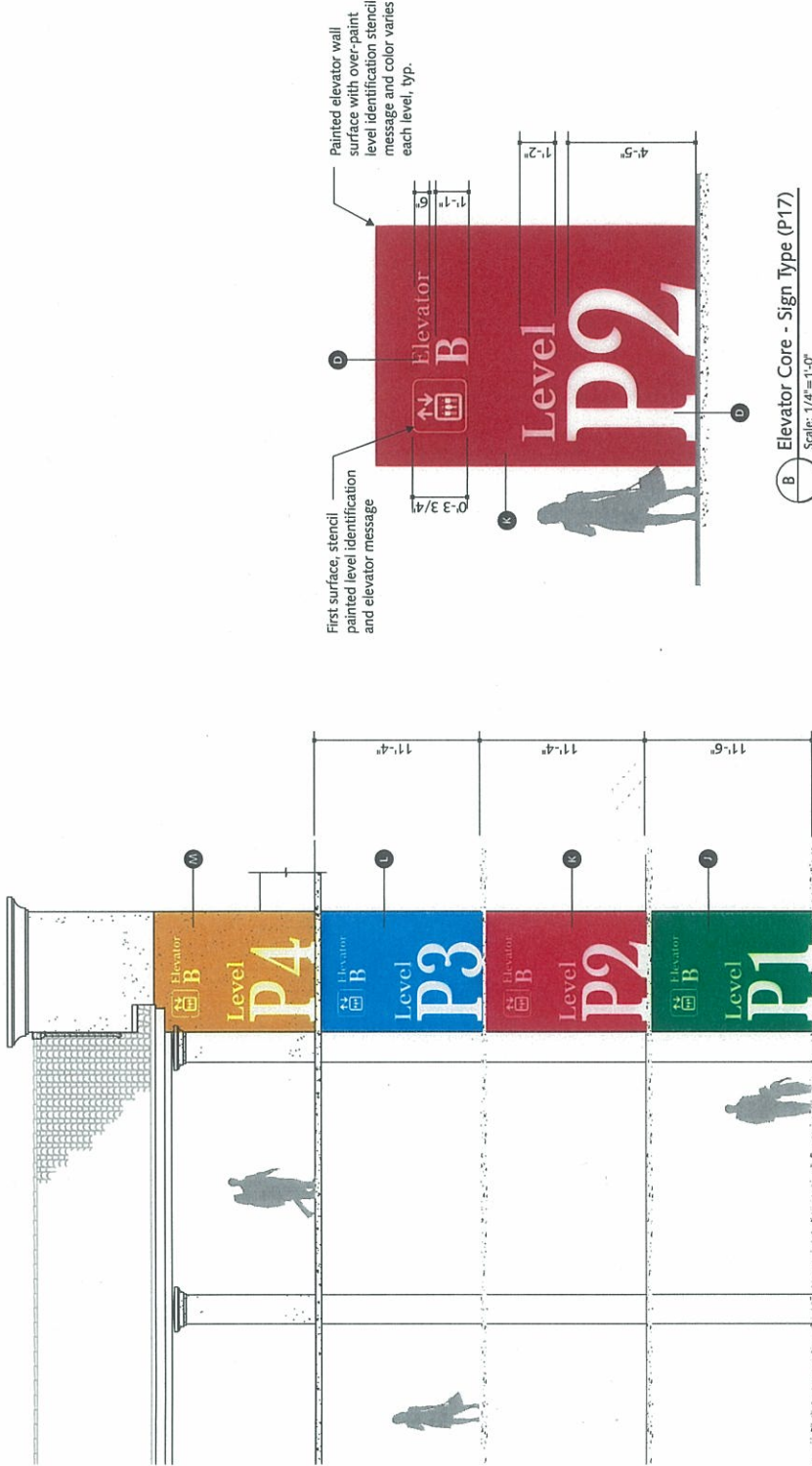


No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Elevator Level
 Identity Signage
 Signtype:
 (P17)

Parking Garage
 Elevations

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMC





No.	Description	Date
01	PCS Review	05/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Elevator Level Identity

Signtype:
(P18)

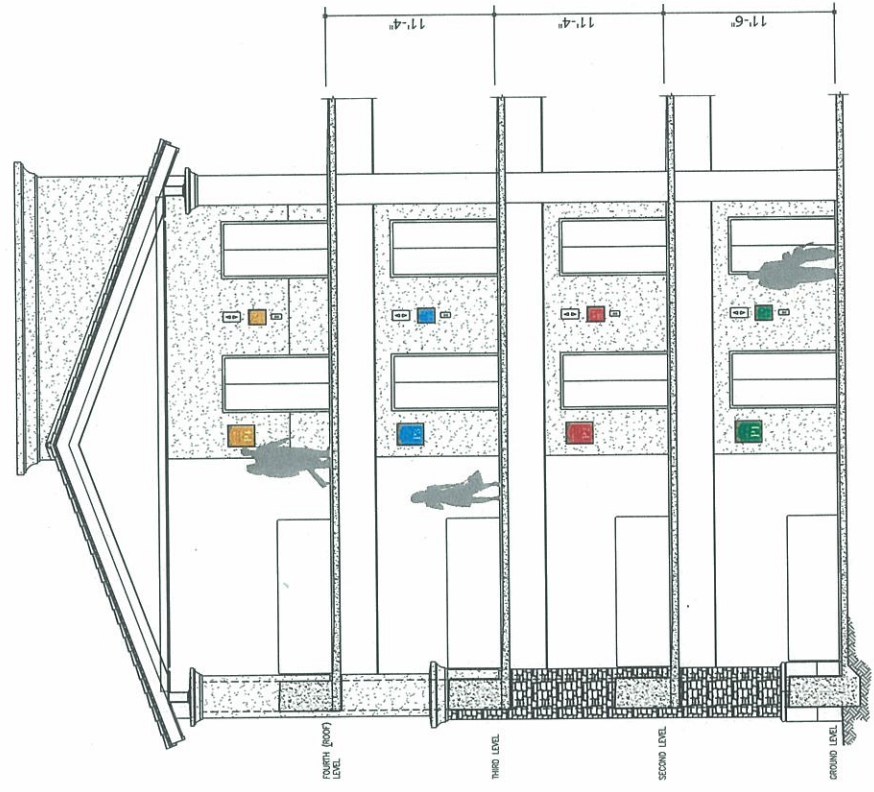
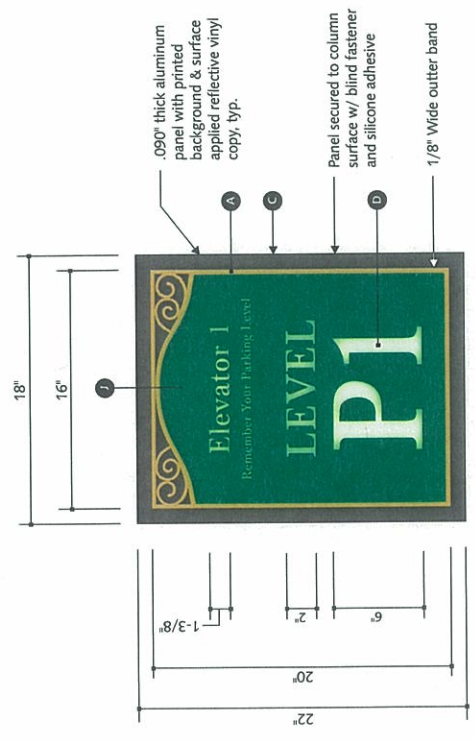
Elevations & Details

Project:	120901
Date:	05/22/13
Scale:	Noted
Drawn By:	SPH
Checked By:	DKG

P18.01



Note:
 Coordinate exact mounting location with on site PM.
 All fasteners to be non-ferrous.
 All fasteners to be blind fasteners



A Elevator Core - Sign Type (P18)
 Scale: 1/8"=1'-0"

B Level Identity - Sign Type (P18)
 Scale: 1/2"=1'-0"



No.	Description	Date
01	PCS Review	06/22/13
02	PCS Review	06/24/13
03	PCS Review	07/18/13

Emergency Phone Signage

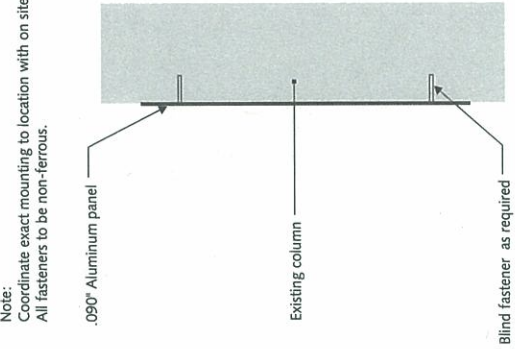
Signtype: (EP)

Parking Garage Elevations

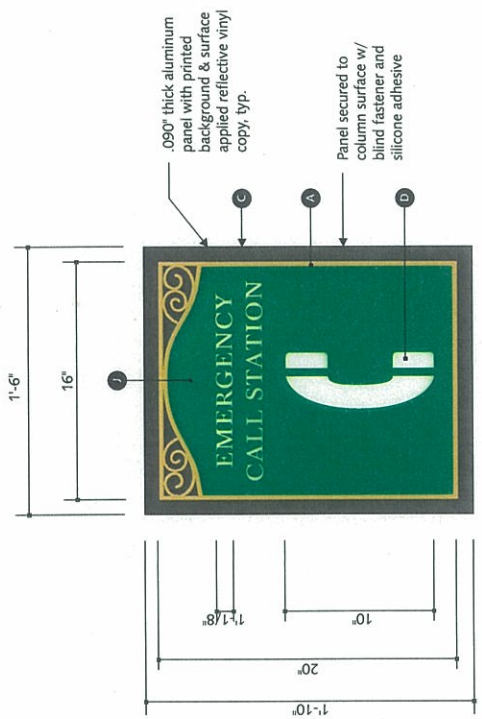
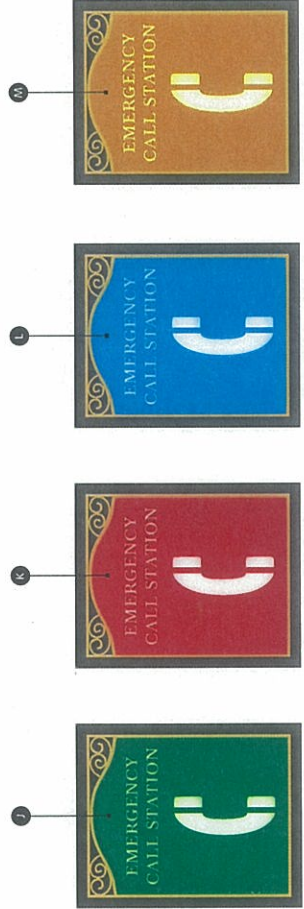
Project:	120601
Date:	05/22/13
Scale:	Noted
Drawn By:	GWS
Checked By:	DMG

EP01

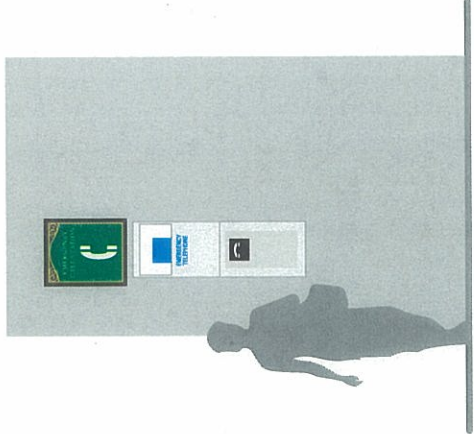
Note:
 Coordinate exact mounting to location with on site PM.
 All fasteners to be non-ferrous.



B Side Elevation - Sign Type (EP1)
 Scale: 3/8" = 1'-0"



A Front Elevation - Sign Type (EP1)
 Scale: 1/12" = 1'-0"



C Emergency Call Station Graphic (EP1)
 Scale: 3/8" = 1'-0"

DESERT HILLS



PREMIUM OUTLETS®

Cabazon, California

Tenant Signage Manual

September 10, 2013

PREMIUM
OUTLETS® | SIMON®

CASE #: PP25356, PP25357
EXHIBIT: SM (sign manual)
DATED: 9/23/13
PLANNER: P. RULL

I. General Sign Criteria

A. INTRODUCTION

This criteria has been developed to guide each Tenant to an imaginative signage solution. The guidelines established herein will ensure that Tenant identification is of consistent quality and is compatible with the architectural character of the Center. Each proposed sign will be evaluated on the design's excellence and compatibility with neighboring signs and the overall character of the Center's signage/graphics. Tenant's signage depends on location and architectural conditions at the storefronts within the center.

Tenants can select from several signage solutions for their primary storefront and secondary signage depending on location and architectural conditions at the storefronts within the Center.

1. Primary Tenant Identification Sign Options for Storefront & Perimeter side of the Center:

- a. Combination Face/Halo lit logo or logo with text.
- b. Reverse channel, halo-lit, pin-mounted letters. Tag line in raceway with push thru copy.

2. Secondary Tenant Sign Options for Storefront side of the Center:

- a. Blade Sign.
- b. Entry door/storefront window signage.

B. SUBMITTALS & APPROVALS

1. All Tenant signage is subject to the Landlord's written approval. The Landlord's approval shall be based on the following criteria:
 - a. Design, fabrication and method of installation of all signs shall conform to this sign criteria.
 - b. This sign criteria shall conform with the design standards of the Center and shall be in harmony with adjacent signage conditions.
2. The Tenant agrees to conform to the following procedures and submission requirements to secure the Landlord's approval:
 - a. Sign drawings are to be prepared by a reputable state licensed Sign Contractor or as required to be licensed by the County of Riverside. Submit one set of detailed sign design shop drawings to: Simon Property Group.
 - b. Sign drawings must include a min. 1/8" scaled storefront drawing illustrating the proposed sign design and all dimensions as they relate to the storefront elevation of the Tenant's premises.
 - c. Sign drawings must also include a min. 1" = 1'- 0" sign elevation and section through sign indicating construction and attachment methods and illumination details.
 - d. Letters must be accurately dimensioned and spaced.
 - e. Sign colors, paint finishes and types of materials must be submitted with the sign drawings.
 - f. Unless the Landlord has received the above described drawings and information in the quantities set forth above, the Landlord will not approve the Tenant's exterior sign.
3. All drawings and samples marked "Revise and Resubmit" must be resubmitted with the required corrections prior to fabrication. Only after all drawings have been marked "Approved" or "Approved As Noted" may the fabricator proceed with fabrication per approved drawings.

The Tenant and Sign Contractor will not be permitted to commence installation of the exterior sign unless all of the following conditions have occurred:

- a. A stamped set of final drawings reflecting the Landlord's approval shall be on file in the Landlord's office.
 - b. Sign Contractor/Tenant shall be responsible for the securing of all applicable sign permits required by the Director of Planning and Community Development for the County of Riverside sign ordinance prior to fabrication of the signs. **The Landlord's stamped approval is required on all sign plans prior to the application for permits.**
 - c. The Fabricator must provide to the Landlord a copy of the County of Riverside issued sign permit and a stamped set of drawings reflecting both the Landlord's and the County of Riverside's approvals prior to sign installation.
 - d. The Landlord must be notified 48 hours in advance prior to the sign installation. Contact: On-Site Manager.
 - e. The Landlord must receive a Certificate of Insurance from the Sign Contractor actually performing the installation.
4. The Landlord reserves the right to revise this Signage Criteria in accordance with the County of Riverside's Sign Ordinance for up to thirty (30) days before the Tenant's Rent Commencement date. However, this Signage Criteria may be revised at any time if so required by any governmental agency having jurisdiction over its contents.

5. In the event Tenant changes their exterior sign at any time during the term of their lease, Tenant must comply with any future modifications, revisions or changes which have been made to the Sign Criteria for the Center after the execution of their Lease Agreement.
6. **The Tenant shall pay for all signs, their installation (including any required electrical connection back to the J-box as well as any secondary j-box required) and all other labor, materials and future maintenance.**
7. The Tenant and their Sign Contractor are responsible for understanding this Signage Criteria and conforming to its requirements.
8. The Tenant shall be ultimately responsible for the fulfillment of all requirements and specifications, including all applicable building and electrical codes.
9. All signs shall be reviewed for conformance with this criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetic of design shall remain the sole right of the Landlord.
10. Tenant is responsible for the fabrication and installation of the current required blade sign bracket if none exist or older style is currently installed at their space.

C. FABRICATION & INSTALLATION REQUIREMENTS

The fabrication and installation of all signs shall be subject to the following restrictions:

1. All signs mounted on concrete, EFIS or brick clad substrates are to be attached by pin-mounting or as shown on detailed exhibits. Mounts consist of 3/16" to 1/4" 'all-thread' with 3/8" to 1/2" aluminum spacer sleeve for rigidity. Spacers to be painted to match adjacent building wall color.
2. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and patched to match adjacent finish. Spacers must be painted to match building color. No PK housings allowed.
3. Ladders, installation equipment and installation crews are not permitted to lean on building, awnings and storefront. All installation equipment must be freestanding type to avoid contact with or damage to building or storefront. Rubber wheeled lifts must have white tires, wheel padding or must roll over planking to prevent marks on paving areas. Vehicles are not permitted on pedestrian streets.
4. **Tenant's Sign Contractor is required to contact the Tenant Manager or Center Manager at time of installation of signage and at completion so acceptance can be determined.**
5. Installation crews are responsible for establishing a safety zone around their work area. Crews must possess caution tape and safety cones and utilize these safety devices to secure walkways and doors. Electrical cords cannot be run outside of this zone. Hard hats must be worn at all times.
6. Each Tenant, or their Sign Contractor, shall be responsible for the repair of any damage to the building caused by the installation of said Tenant's sign. Particular attention must be paid in and around the access panels into the canopy area. If required, repainting these areas will be back-charged to Tenant.
7. The installation Sign Contractor is responsible for removing all debris and cleaning the work area after installation is complete. Sign Contractor shall protect existing wall surfaces and near by awning structures during sign installation.
8. The Sign Contractor must check sign to ensure proper illumination.
9. Each Tenant shall be responsible for the performance of its Sign Contractor.
10. Each Tenant shall be responsible for removal of its sign within three (3) days after vacating site. Removal of the sign shall include the repair of the wall surface back to its original condition and finish painting to nearest panel edge on joint over the entire panel surface if color difference is visible. If Tenant does not repair wall surface to Landlord's satisfaction, Landlord will perform repairs at Tenant's expense.

11. Each Tenant shall be responsible for the installation and maintenance of its sign. Should the Tenant's sign require maintenance or repair, Landlord shall give Tenant fifteen (15) days written notice to effect said maintenance or repair. Should Tenant fail to do so, Landlord shall effect said maintenance or repair and Tenant shall reimburse Landlord within ten (10) days of receipt of invoice.
12. Tenant to use Landlord approved storefront j-box to wire storefront signage back to designated circuit. If no j-box exists, it is Tenant's responsibility to provide and connect to Landlord's time clock.
13. Any damage to surrounding walls or surfaces made by signage contractor shall be repaired at their expense. It is strongly recommended that either the Tenant or its sign contractor use Landlord's approved sign contractor for patching, repairing and repainting the storefront sign band:
Bruin Painting (951) 308-1300. If Tenant chooses to use their sign contractor to patch sign holes and repaint, Landlord reserves the right to review the work, and if said work is not acceptable to Landlord, then hire the above recommended patching and painting contractor at Tenant's expense.
14. All U.L. labels to be applied so as to not be visible from pedestrian pathway.
15. Interior raceways may be required to conceal wiring and transformers on interior of tenant space if open ceiling condition exists. Field survey conditions.
16. In some cases, exterior weatherproof raceways may be required to cover any exposed electrical components above roof-lines. Any roof penetrations must be sealed. Penetrations and raceway sealing must be coordinated with Landlord's roofer to preserve roof warranty. Contact Center Management for roofer's contact information.

D. NON-CONFORMANCE

1. No field installation changes are permitted without first notifying Landlord in writing. If any sign is changed as to placement, location and/or size which differs from approved sign plan, Tenant and/or Sign Contractor will be responsible for repair, change, and/or relocation of sign to proper placement at their expense.
2. Any sign that is installed by Tenant which is not in conformance to the approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into conformance within said fifteen (15) day period, then Landlord shall have the option to correct non-conforming sign at Tenant's expense.

E. GUARANTEE

Entire display shall be guaranteed by Sign Contractor for one (1) year from date of installation against defects in material and workmanship. Defective parts shall be replaced without charge.

F.1 INSURANCE (Existing East and West Wing)

CPG Partners, L.P.; are to be named as an Additional Insured on all policies. Premium Outlets Simon, as Certificate Holder, shall be included on all policies as an additional insured/loss payee. Before commencing the work, the Contractor shall procure and maintain at its own expense, until final completion and acceptance of the work, the following minimum insurance forms and with insurance companies acceptable to the Owner:

1. Worker's Compensation Insurance for statutory obligations imposed by Worker's Compensation or Occupational Disease Laws, including, where applicable, the United States Longshoremen's and Harbor Worker's Act, the Federal Employer's Liability Act, and the Jones Act. Employers' Liability insurance shall be provided with a maximum limit of \$100,000.00 per disease, \$500,000.00 policy limit by disease.

2. Comprehensive Automobile Liability Insurance with the following minimum limits of liability:
Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

The insurance is to apply to all owned, non-owned and hired automobiles used by the Contractor in the performance of work.

3. General Liability, Contractual Liability and Products/Completed Operations Liability Insurance covering all operations required to complete the work with the following minimum limits of liability:

Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

The Products/Completed Operations Liability Insurance shall be provided for a period of at least two (2) years after completion of the work.

The Contractual Liability Insurance coverage shall insure the performance of the contractual obligations assumed by the Contractor by acceptance of this order, including specifically, but without limitation, the Indemnification provisions of this agreement.

4. Excess Liability (Umbrella):

Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

F.2 INSURANCE (Expansion 2014 Buildings (Ste #1000 thru Ste #1156))

Dessert Hills Premium Outlets Expansion, LLC, Simon Capital Limited Partnership, SPG Capital Associates Limited Partnership, SPG Capital VII, LLC; are to be named as an Additional Insured on all policies. Premium Outlets Simon, as Certificate Holder, shall be included on all policies as an additional insured/loss payee. Before commencing the work, the Contractor shall procure and maintain at its own expense, until final completion and acceptance of the work, the following minimum insurance forms and with insurance companies acceptable to the Owner:

1. Worker's Compensation Insurance for statutory obligations imposed by Worker's Compensation or Occupational Disease Laws, including, where applicable, the United States Longshoremen's and Harbor

Worker's Act, the Federal Employer's Liability Act, and the Jones Act. Employers' Liability insurance shall be provided with a maximum limit of \$100,000.00 per disease, \$500,000.00 policy limit by disease.

2. Comprehensive Automobile Liability Insurance with the following minimum limits of liability:
Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

The insurance is to apply to all owned, non-owned and hired automobiles used by the Contractor in the performance of work.

3. General Liability, Contractual Liability and Products/Completed Operations Liability Insurance covering all operations required to complete the work with the following minimum limits of liability:

Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

The Products/Completed Operations Liability Insurance shall be provided for a period of at least two (2) years after completion of the work.

The Contractual Liability Insurance coverage shall insure the performance of the contractual obligations assumed by the Contractor by acceptance of this order, including specifically, but without limitation, the Indemnification provisions of this agreement.

4. Excess Liability (Umbrella):

Bodily Injury Liability \$2,000,000 - Each Occurrence
Property Damage Liability \$2,000,000 - Each Occurrence

G. Signage Attachment Details

1. All wall penetrations are to be made using one of the approved attachments details as found in this Signage Criteria.

H. STOREFRONT SIGNAGE

1. All Tenants are to have a storefront sign. Sign shall be located only on the spaces and on the surfaces specially provided for same on the building elevations. Signage type and size shall be dictated by the building type the Tenant is located in as defined by the Location Key Plan.

2. Square footage for Tenant wall signs shall be based on the maximum sign lengths and letter heights as defined in the following paragraphs and exhibits.
 - (a) Each Tenant to have:
 - One (1) primary Storefront sign.
 - One (1) secondary Blade sign.
 - An additional exterior wall sign shall be offered to specific Tenants solely at the Landlord's discretion for perimeter signage on the exterior of the Center.
 - (b) Subject to Landlord and County review and approval, specific Tenant locations (such as towers or corner spaces at ends of buildings) with more than one frontage and/or entry may be allowed one sign on each frontage provided architectural treatments at each location can accommodate a sign. If additional signs are allowed, signs located on adjacent building elevations shall be similar in length, letter height, method of illumination and color. Tenant is responsible for supply and installation of additional j-box where needed.
 - (c) Sign area and location to be determined by Landlord at time of install.
 - (d) Letter height on primary storefront single line signs shall be as defined in the following sections:

Note:
Consideration for moderate increases to maximum sign or letter heights may be given to Tenants with logotypes which have larger initial capital letters or other unique features.

Specific locations and surrounding architectural treatments can dictate maximum sign height and length, which in some cases may be less than the maximum defined herein.
3. All signs (size, design, type and color) are subject to Landlord's approval, based on aesthetic and relationship to neighboring Tenant signs.
4. Signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
 - (a) **Tenant shall display their established registered trade name(s) only.**
 - (b) Registered Trademark Symbols are permitted subject to Landlord review/approval fabrication requirements.
5. The colors and type styles of all signs shall be subject to Landlord's approval. Established trade logos and signage are required to be used, providing they conform to the criteria described herein. The color of all lettering and/or sign panels shall be compatible with the building color and provide sufficient contrast with the background color of the building wall on which the sign is located.
6. Logo plaque components used in conjunction with individual letters are considered an integral part of the store identity and are included in the calculation of allowable sign area, subject to Landlord's approval.
7. No box-type cabinet signs will be permitted unless specifically provided for herein.
8. Individual shop address numerals will be provided and installed by the Landlord on the storefront of the Tenant space, and are not included in calculation of allowable for wall signage area.
9. No Tenant shall affix or maintain upon any exterior glass or other exterior surface of the storefront, any signs or symbols other than the signs provided for in this criteria. Also refer to the Tenant Handbook Section entitled: Storefront Criteria.
10. **No temporary signs of any nature will be accepted!**

PRIMARY STOREFRONT SIGNAGE

- Tenant's primary identification sign shall be selected from the following sign types based on the storefront's location and architectural conditions within the center's internal areas.

EAST WING STOREFRONT TENANT SIGNS:

The rate of calculation of these individual signs for the East Wing shall not exceed ten percent (10%) of the surface wall. Allowable size of Tenant's sign must conform to County of Riverside Sign Ordinance. If any conflict arises between Landlord's criteria and the County's ordinance, The County of Riverside's sign ordinance will prevail.

- Maximum letter height on single line signs shall be 24" overall. Minimum letter height on single line signs shall be 18" overall.
- Maximum sign height on double line signs shall be 36" tall. * Larger signs will be given consideration at "Taller" features of building and for logos at Landlord's discretion.
- East Wing address 48650 Seminole Drive, Cabazon, CA 92230. Plot Plan Number Pp25357
VAR Number 01889
APN Number 519-101-040

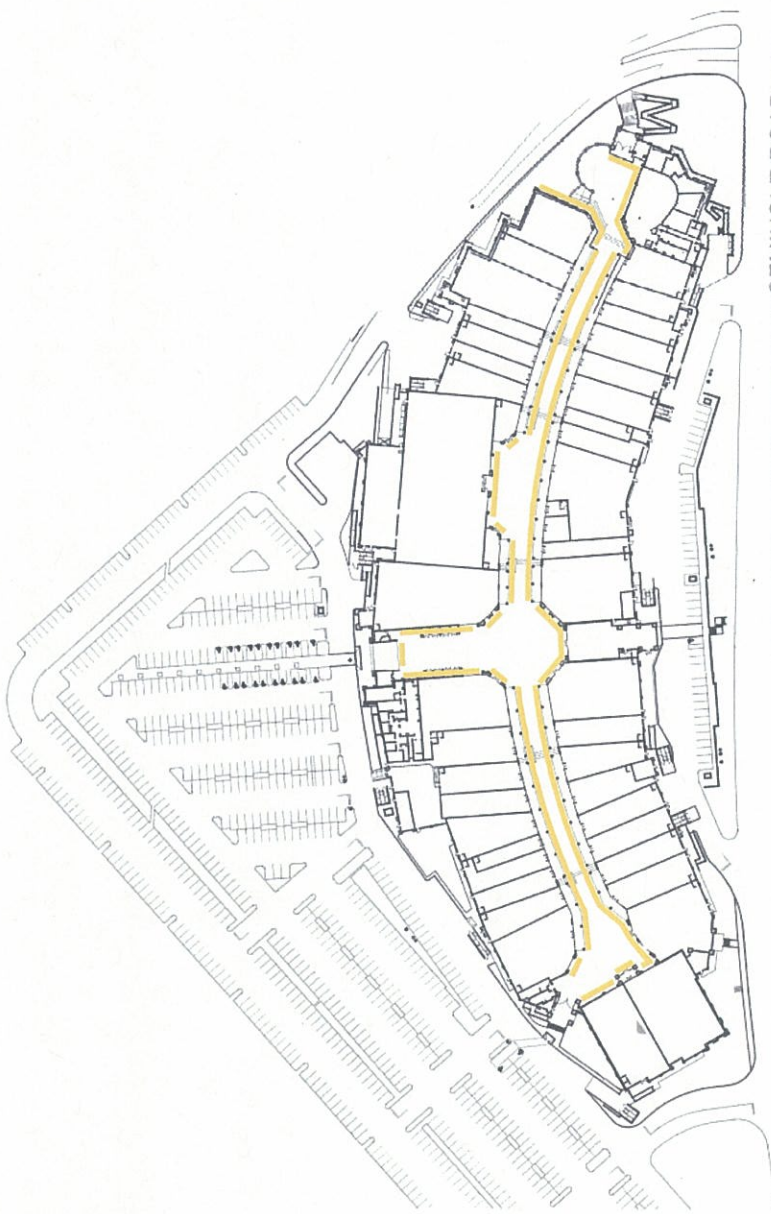
WEST WING STOREFRONT TENANT SIGNS:

The rate of calculation of these individual signs for the East Wing shall not exceed ten percent (10%) of the surface wall. Allowable size of Tenant's sign must conform to County of Riverside Sign Ordinance. If any conflict arises between Landlord's criteria and the County's ordinance, The County of Riverside's sign ordinance will prevail.

- Maximum letter height on single line signs shall be 18" tall, minimum letter height shall be 15" tall.
- Maximum sign height on double line signs shall be 28" tall, with a maximum letter height of 18" tall. Larger signs will be given consideration at "Taller" features of building and for logos at Landlords discretion.
- West Wing address 48400 Seminole Drive, Cabazon, CA 92230. Plot Plan Number Pp25356
VAR Number 01888
APN Number 519-101-041

Interior Signage Schedule

West Wing



SEMINOLE ROAD

INTERSTATE 10

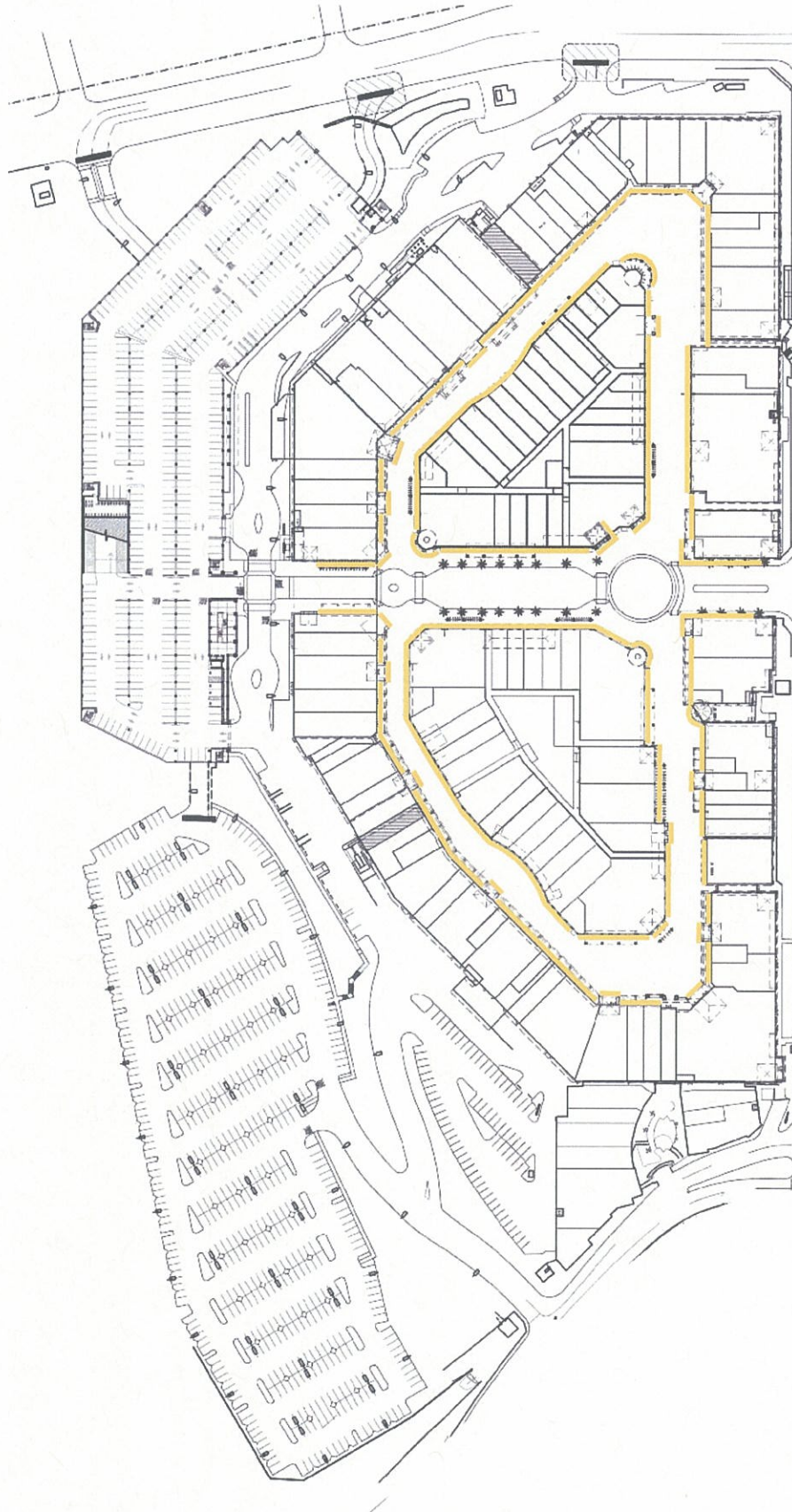
Signage Type A

Cabinet Size Varies: From 28" tall up to 72" tall
 Combo Face/halo lit cabinet at any mounting location where conditions permit and as allowed / approved by Landlord

Signage Type B

18" High Single Line Letters
 28" Max. Assembly Height with Secondary Copy
 Reverse Channel Letters with halo illumination

Interior Signage Schedule East Wing



SEMINOLE ROAD

INTERSTATE 10

Signage Type A

Cabinet Size Varies: From 28" tall up to 72" tall
 Combo Face/halo lit cabinet at any mounting
 location where conditions permit and as allowed /
 approved by Landlord

Signage Type B

24" High Max. Single Line Letters / 18" Min.
 36" Max. Assembly Height with Secondary Copy
 Reverse Channel Letters with halo illumination

Sign Type A: CABINET TYPE SIGNS - COMBINATION OF ROUTED ALUMINUM WITH PUSH-THRU ACRYLIC LETTERS. ALL SIGNS TO HAVE FACE/HALO ILLUMINATION BY MULTI-DIRECTIONAL LEDS.

- a. Fabricated enclosed weather-proofed aluminum box type cabinet with routed face and push thru acrylic copy. Cabinet to have Lexan backing for combination face and halo illumination by multidirectional Sloan LED V-Series Cool White or Colored LED modules (or equal)
- b. Color of logo box cabinet to be approved by Landlord prior to fabrication and installation. Logos/Cabinets shall be contrast in color to wall.
- c. Any copy within the logo box cabinet shall be routed from aluminum logo face with push thru acrylic letters/logo symbol. Copy/symbol shall be translucent acrylic with frosted finish on face or any color vinyl and 1/2" reveal. Color selected by Tenant and approved by Landlord. No glue-on allowed.
- d. Size of logo will vary depending on location, elevation and designated sign band area. See Exhibits A.2 & A.3 for details.
- e. Tenant signs are to be centered on the Tenant's store frontage or between prominent architectural elements, as dictated by Landlord.
- f. Length: The length of the individual Tenant signs on internal storefronts shall be variable. However, the length shall not exceed ten percent (10%) of wall surface.

Example:
75' store width x 10% multiplier = 7.5 feet of allowable sign length.
- g. Bolts, connectors, sleeves, etc. shall be non-ferrous materials.
- h. All penetrations thru walls to be watertight.
- i. Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at 2013 Bldg A & B Expansion locations.

NOTE: This sign type may be substituted at any elevation for Logos/ Logos with text only. Any lettering that is separate from the logo element must be designed as the correct sign type indicated for that typical elevation sign band.

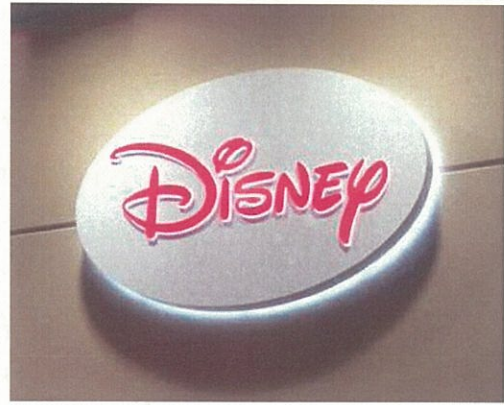
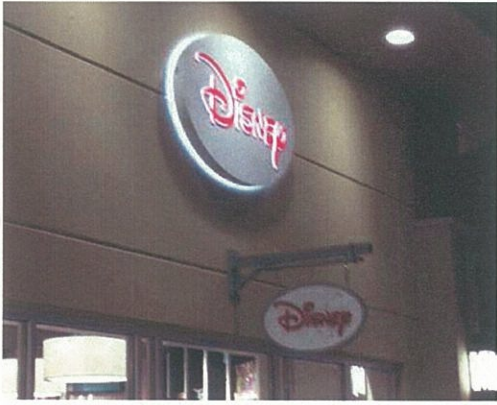
For questions and availability in reference to individual lighting products specified in these documents, please contact the appropriate supplier identified below:

SloanLED Contact:
Mr. John Ward
Production Manager
(805) 676-3200
jward@sloanled.com

www.sloanled.com

Plastics America Contact:
Ms. Carol Gauvin
Sales Manager
(800) 881-3711
sales@plasticsamerica.com

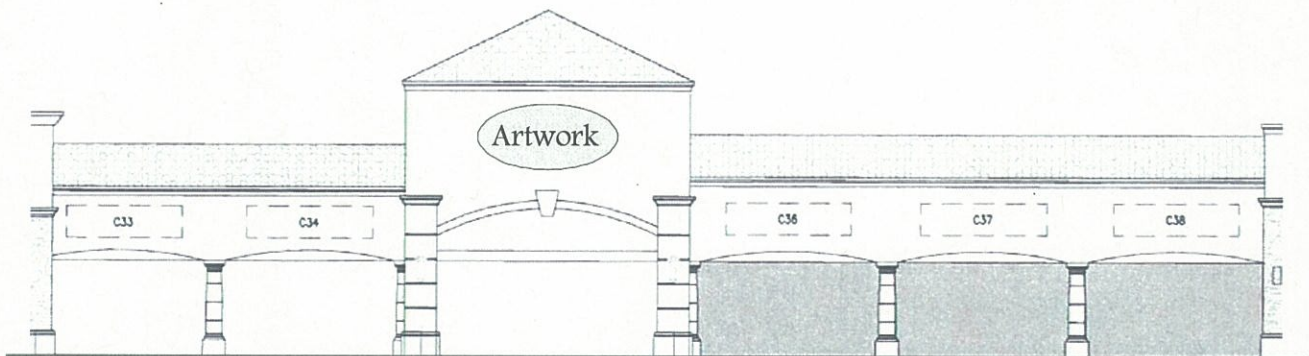
www.plasticsamerica.com



Sign Type A



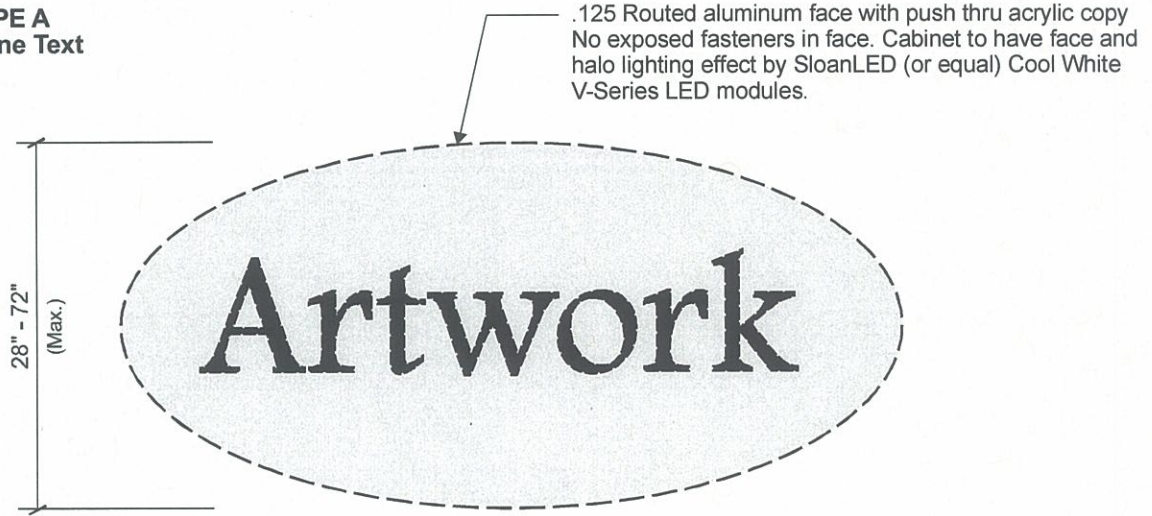
Sign Type A



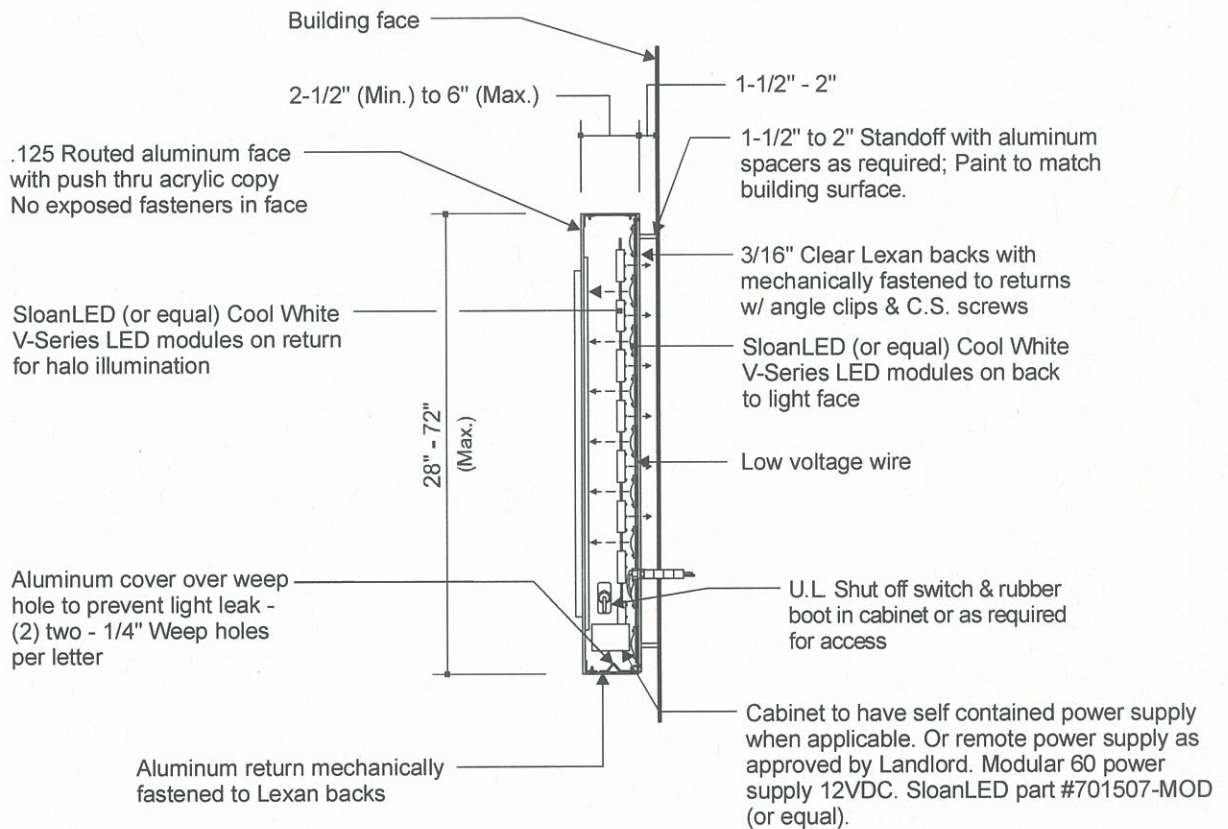
Signage Type A – Examples

Signage mounting height will be determined at the time of installation by Landlord.

SIGN TYPE A
Single Line Text



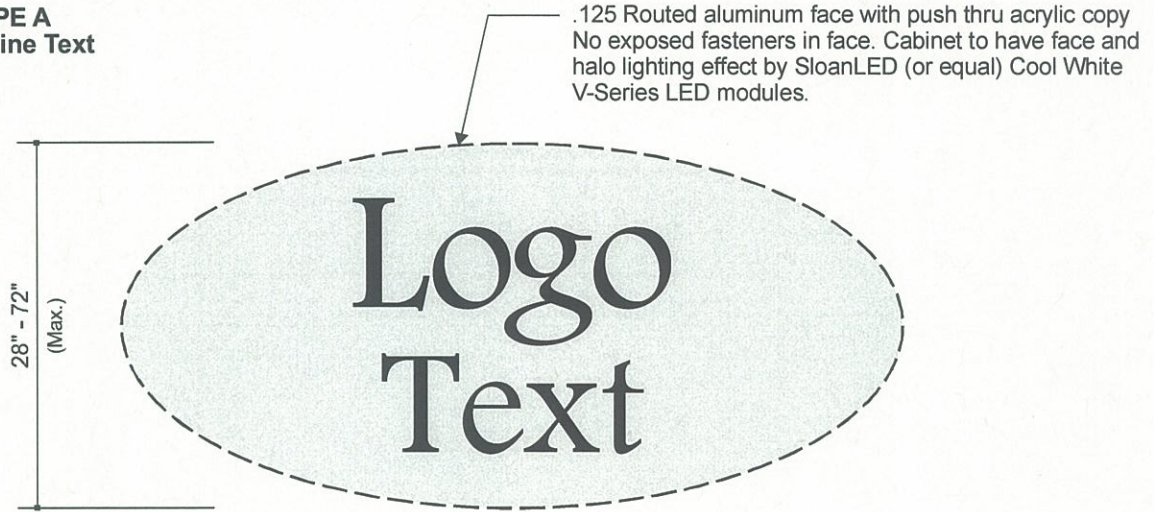
Logo with Face / Halo Illumination
(Shape Varies)



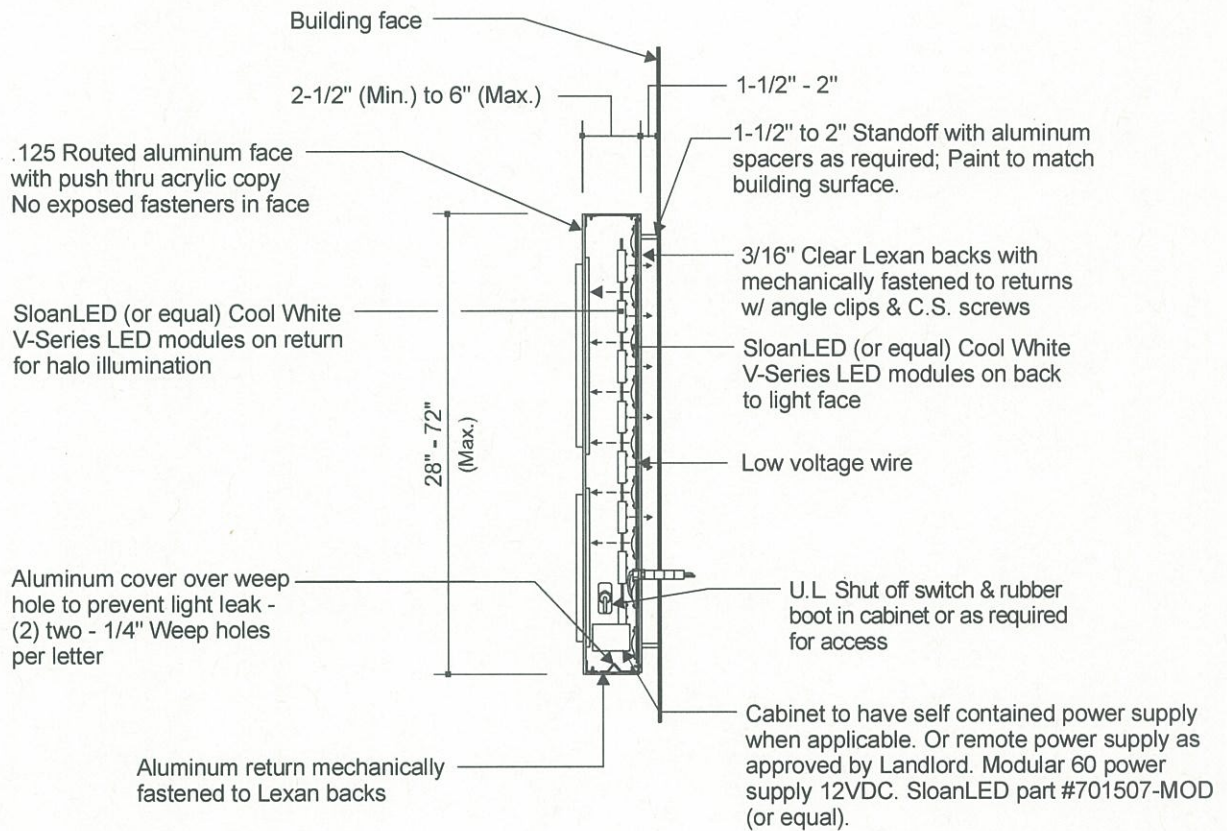
Section Detail
Logo With Face & Halo Illumination

Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

**SIGN TYPE A
Double Line Text**



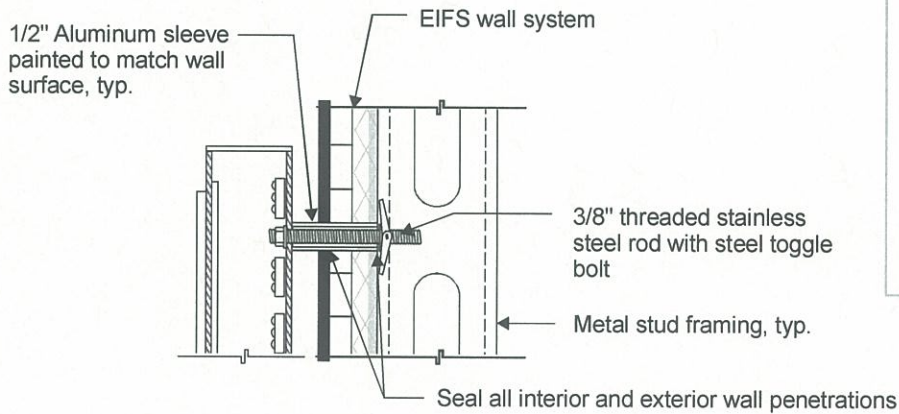
Logo with Face / Halo Illumination
(Shape Varies)



Section Detail
Logo With Face & Halo Illumination

Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

Typical Mounting Details



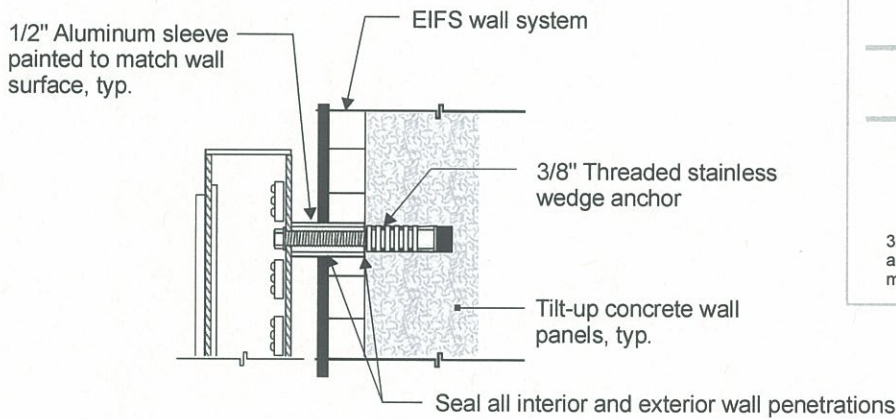
Stud Framed Wall

Hollow Wall Anchor Sign Attachment to Structural Exterior Wall



3/8" Dia. all thread stainless steel rod with Zinc plated steel toggle bolt "Wings". Bolt length to be determined as required per wall construction.

Letter Mounting Detail At EIFS Over Metal Stud Framing



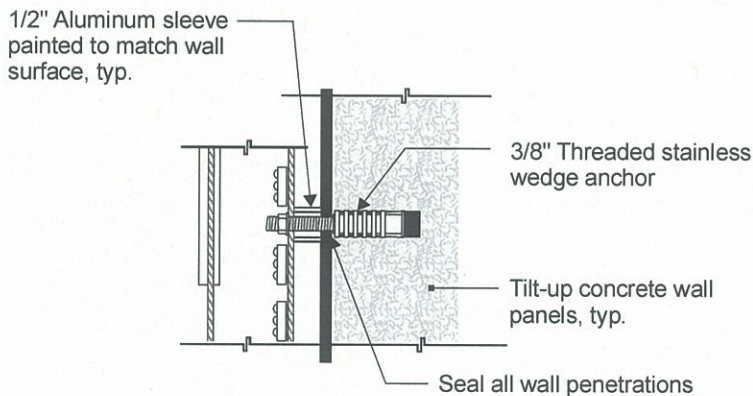
Masonry Wall

Expansion Sign Attachment to Masonry Constructed Wall



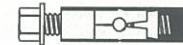
3/8" Dia. Stainless steel wedge anchor sign attachment to concrete, brick, rock and stone masonry wall installations

Letter Mounting Detail At EIFS Over Tilt-up Concrete Wall



Masonry Wall

Expansion Sign Attachment to Masonry Constructed Wall



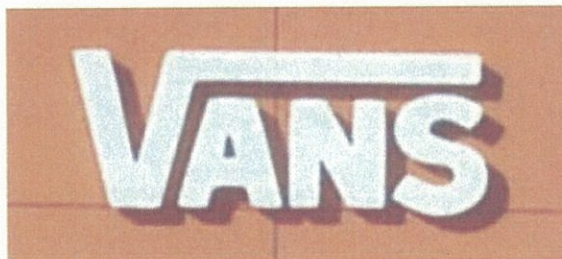
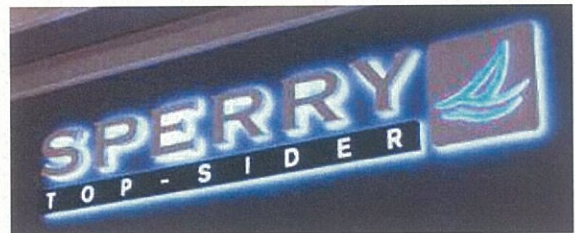
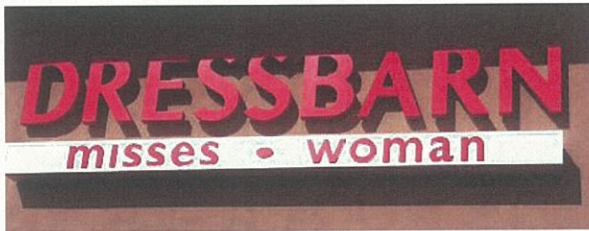
3/8" Dia. Stainless steel wedge anchor sign attachment to concrete, brick, rock and stone masonry wall installations

Letter Raceway Detail At Tilt-up Concrete Wall

Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

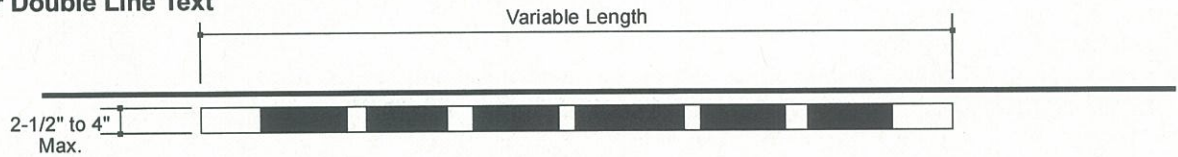
Sign Type B: INDIVIDUAL REVERSE CHANNEL HALO LIT LETTERS WITH LED ILLUMINATION.

- a. Individual letters shall be U.L. Rated, have a minimum depth of 2-1/2" (4" max.) and shall be pinned off wall 1-1/2" with blind anchor attachments. Letters shall be fabricated from .090 thick aluminum. All seams shall have continuous welds and be filled.
- b. Letters & Logos shall be clear coated natural metal (ex: Bronze, Brushed Alum. Etc) or Tenant's corporate color with Landlord approval.
- c. Tenant signs to be centered architecturally on façade generally between prominent architectural elements such as columns, in front of Tenant's space. Exact location to be determined by Landlord at time of install.
- d. Lighting: Individual pinned-off, reverse channel letters shall be back lit with SloanLED (or equal) cool white V-series LED modules for halo lighting with 2-1/2" min. to 4" max. returns.. The sign's electrical components: wiring, transformer, etc. should be fully waterproof even when mounted on the interior side of the wall.
- e. Length & Height: The length and height of individual Tenant signs on internal storefronts shall not exceed what is described in either East Wing or West Wing Signs previously.
- f. Area: notwithstanding the above criteria, no sign shall exceed County of Riverside criteria.
- g. Bolts, connectors, sleeves, etc. shall be non-ferrous materials.
- h. All penetrations thru walls to be watertight.
- i. Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at expansion locations.



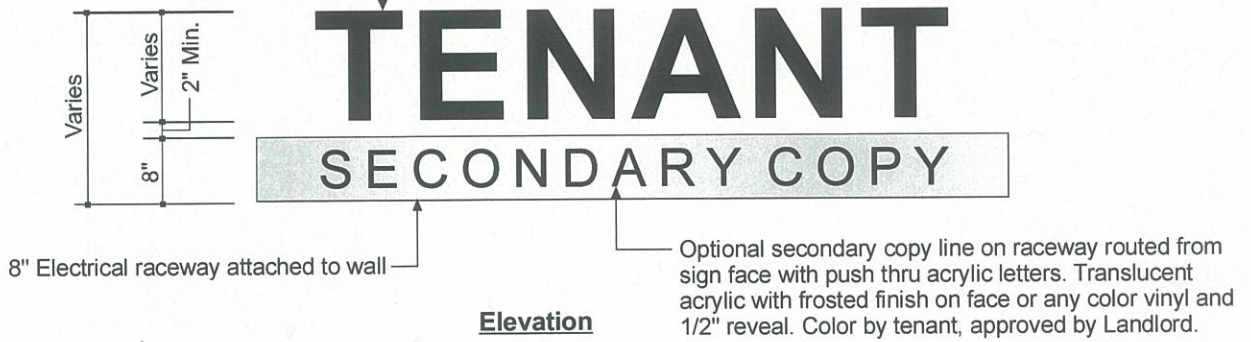
Sign Type B

SIGN TYPE B
Single or Double Line Text

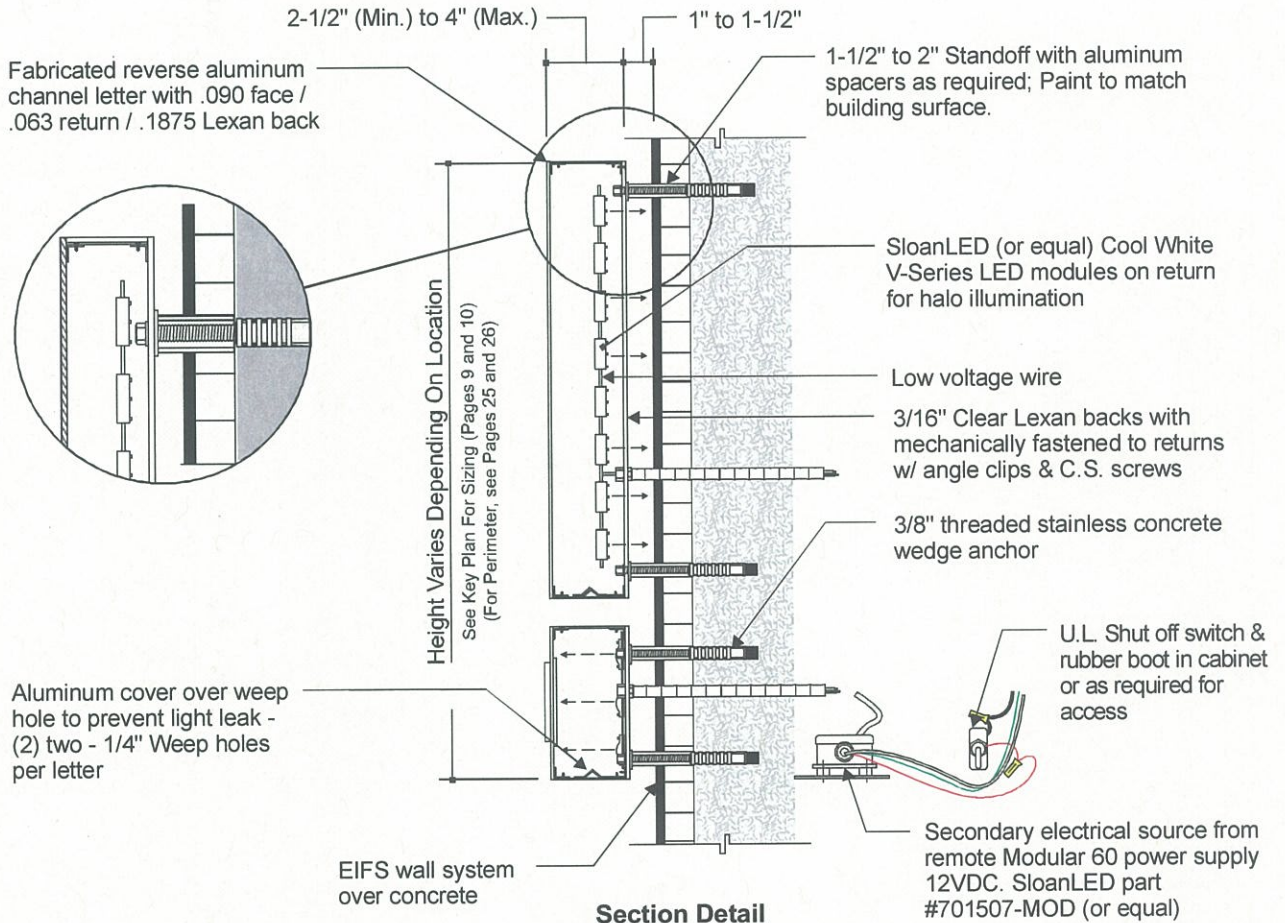


Plan View

Fabricated aluminum, reverse-channel letter forms with halo illumination. (See key plan pages 9 and 10 for Storefront sign sizing, and Key Plan pages 25 and 26 for Perimeter sign sizing).



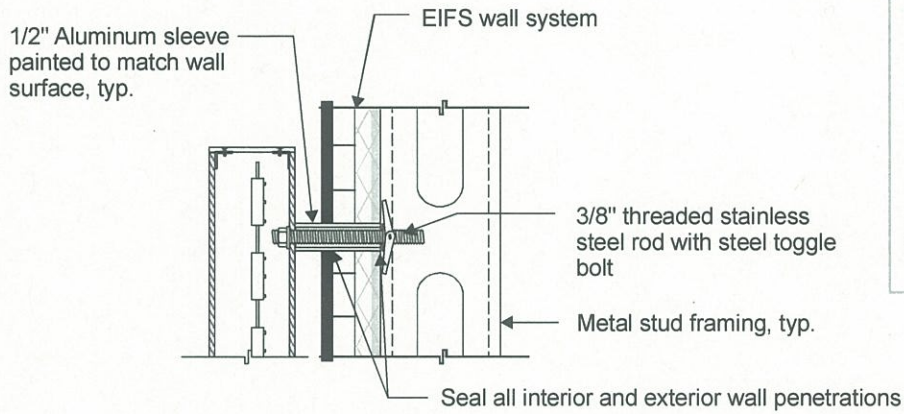
Elevation



Section Detail

Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

Typical Mounting Details

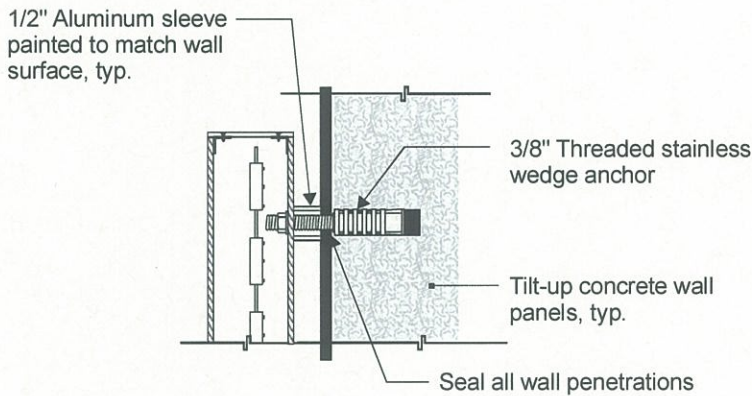


Letter Mounting Detail At EIFS Over Metal Stud Framing

Stud Framed Wall
Hollow Wall Anchor Sign Attachment to Structural Exterior Wall



3/8" Dia. all thread stainless steel rod with Zinc plated steel toggle bolt "Wings". Bolt length to be determined as required per wall construction.



Letter Mounting Detail At Tilt-up Concrete Wall

Masonry Wall

Expansion Sign Attachment to Masonry Constructed Wall



3/8" Dia. Stainless steel wedge anchor sign attachment to concrete, brick, rock and stone masonry wall installations

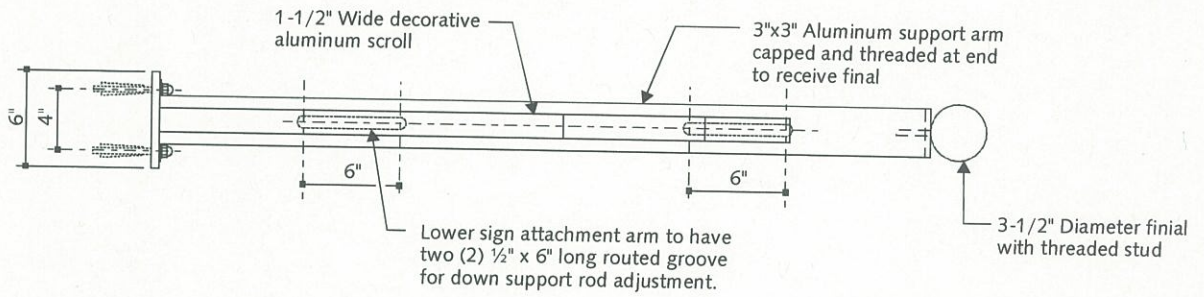
SECONDARY STOREFRONT SIGNAGE - BLADE SIGN MOUNTED ABOVE STOREFRONT ENTRY DOORS

The Tenant is required to submit shop drawings detailing materials, dimensions, styles, spacing sections, letter height, width, and depth, PMS colors and typestyles for a double-faced "Blade Sign".

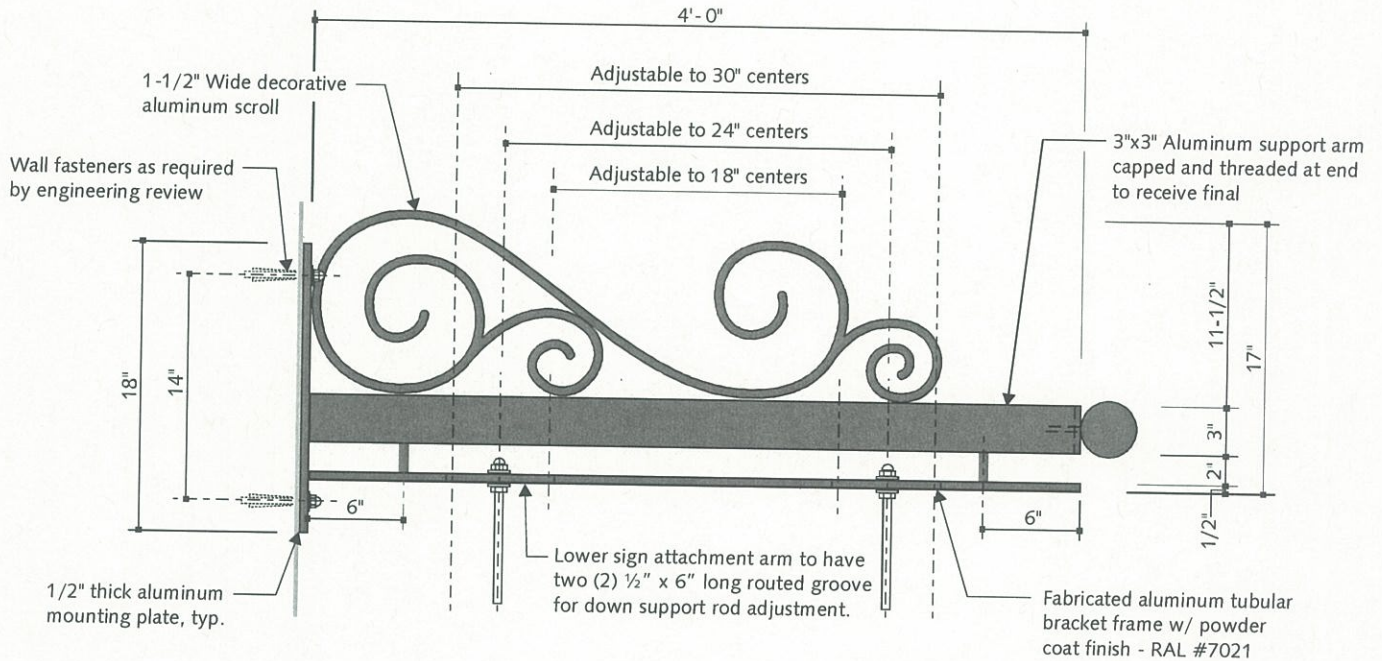
- (1) The purpose of the blade signs is to identify the store entrance to shoppers along pedestrian paths.
- (2) The size of the sign shall be limited to 6 square feet per sign face. Maximum height of the sign panel is 2'-0". Maximum width is 3'-0". The thickness of the sign background must be at least 1". All letters on blade sign to be dimensional (minimum ¼"). Aluminum and plastic surfaces to be painted and shall be primed with two coats of primer. No vinyl letters permitted.
- (3) The shape of the blade signs will differ from Tenant to Tenant but the support bracket (staff) will be uniform as defined herein. Each Tenant's sign should be specifically designed to complement their individual style, emphasizing their corporate identity and/or product. If Tenant has a store in another Premium Outlet center, Tenant is encouraged to utilize same blade sign design.
- (4) Painted dimensional letters mounted to blade panel are required, to give interest and variety.



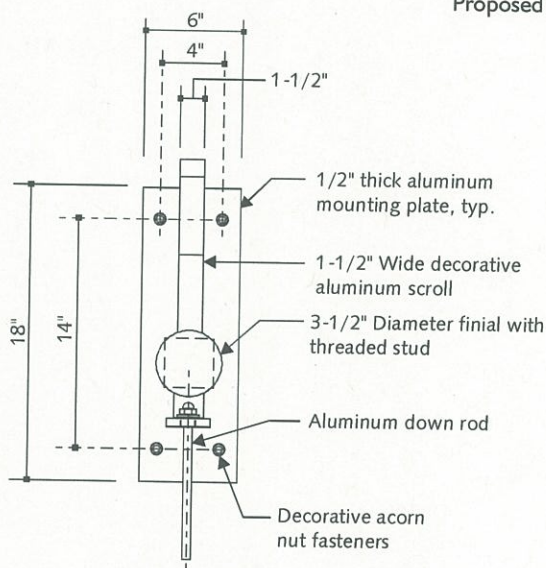
West Wing Tenant Bracket To Match Existing



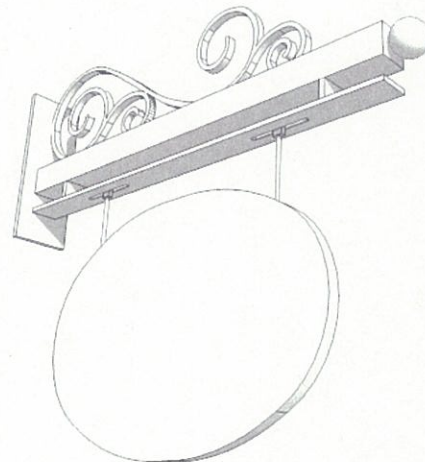
Proposed Blade Sign Wall Bracket - Top Elevation

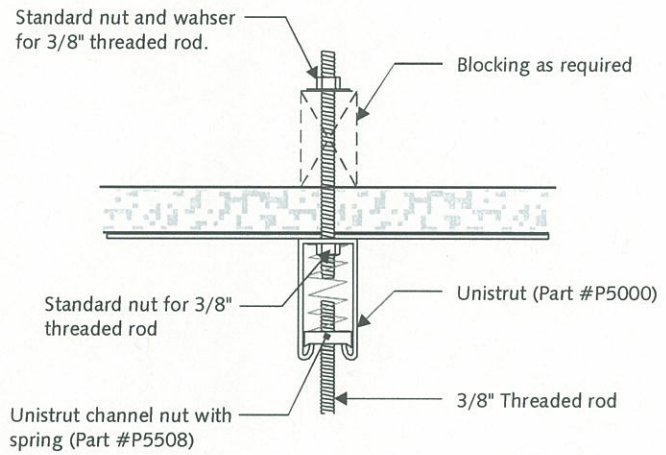
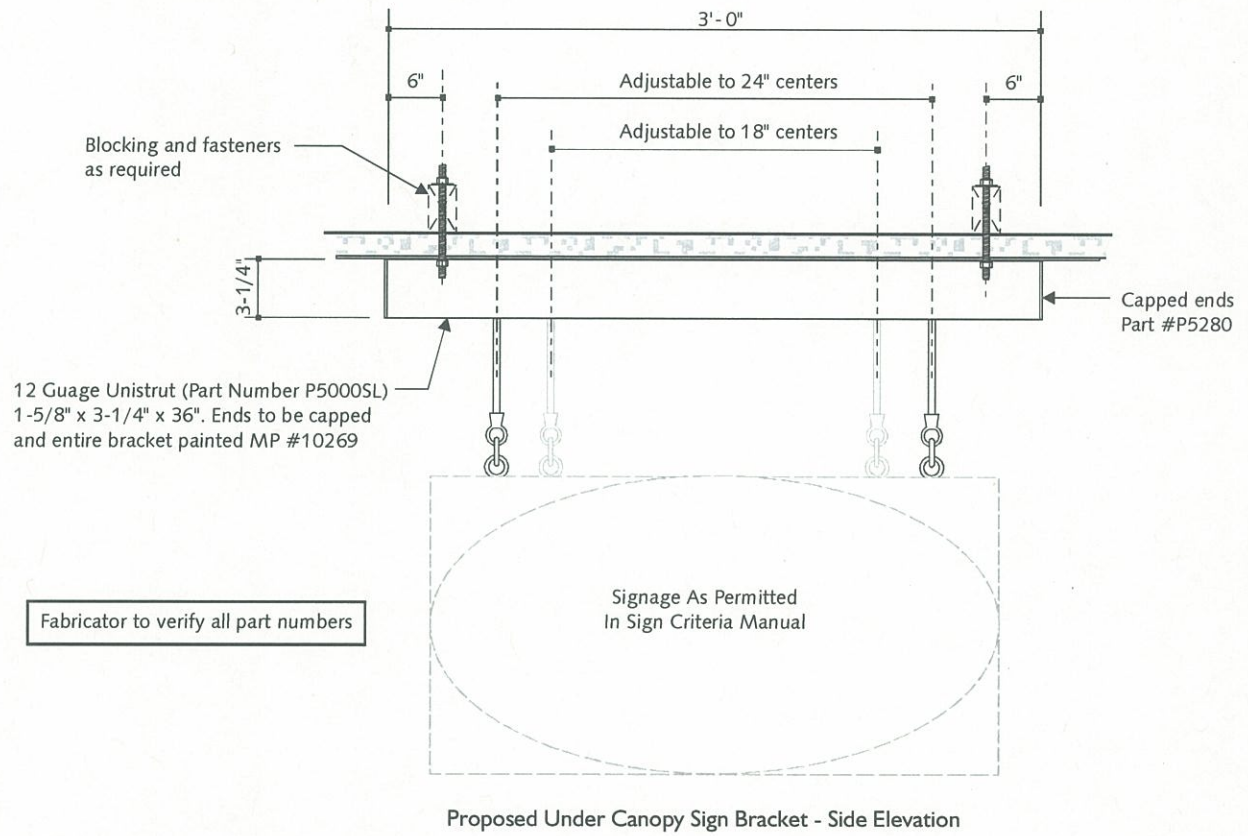
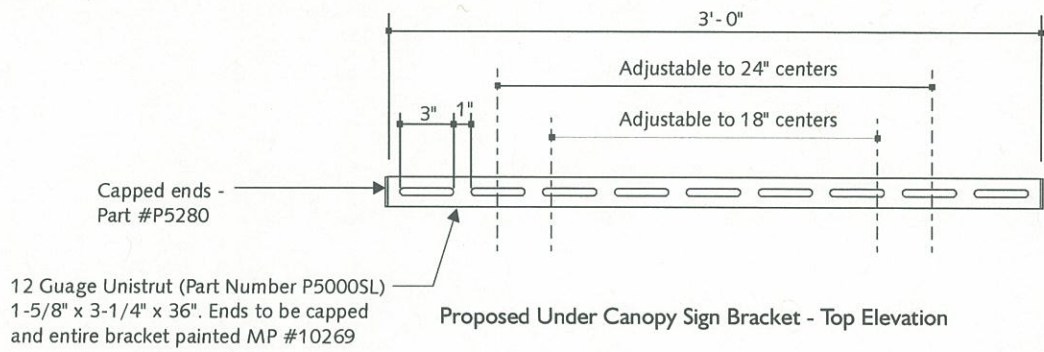


Proposed Blade Sign Wall Bracket - Side Elevation



Proposed Blade Sign Wall Bracket - Front Elevation

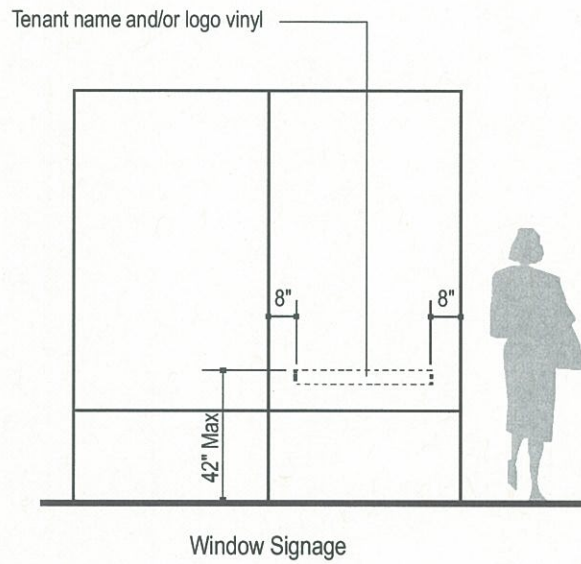
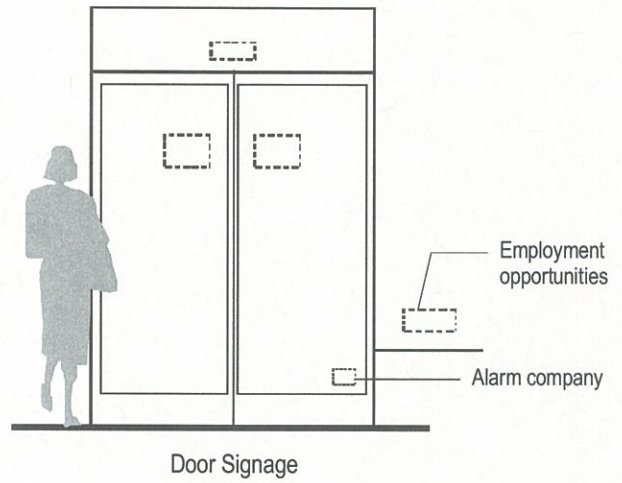
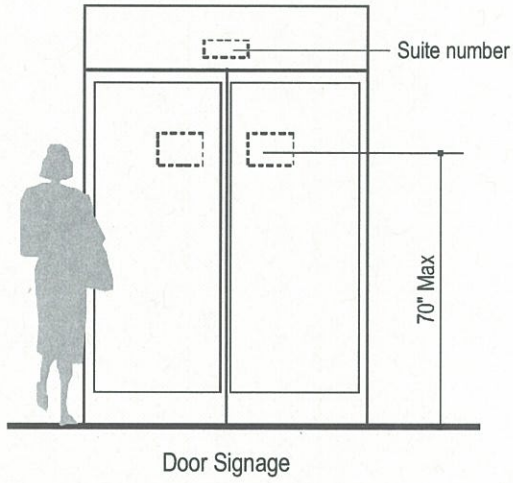




ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

- a. For the purpose of store identification, the Tenant may propose to the Landlord a design layout of Tenant name and/or logo in white or black Vinyl Die-Cut Graphics or another color as per Landlord's approval for placement on the inside of entry doors. Each door is permitted one (1) square foot of Vinyl Die-Cut Sign area. The area must be centered 70" from grade or as otherwise directed due to door configurations.
- b. For the purpose of additional store identification, the Tenant may also propose to the Landlord a design layout of store name in black or white Vinyl Die-Cut Graphics or another color, as per Landlord's approval, for placement on the inside of every other (alternating) display window. The maximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of 8" inward toward the window's center from the vertical edges of the window and may not exceed 42" above grade.
- c. Permanent store signage as part of window background display is limited to one (1) square foot of sign area per one (1) lineal foot of store frontage.
- d. Tenant supplied "Help Wanted" signs are prohibited.
- e. "Help Wanted" and other standard information signs as deemed necessary by Landlord, are provided by Landlord and shall be affixed to the inside left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
- f. Standard information signage icons such as no food, drink, smoking, store hours, etc. shall be provided by Landlord only. Facebook, Twitter, Foursquare shall be provided by Landlord at tenant request and tenant expense.
- g. Credit Card or check acceptance signs or logos placed on storefront display windows or doors are strictly prohibited.
- h. Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
- i. Handicap access is permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
- j. The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.

Tenant Name and/or Logo Vinyl



FOOD COURT SIGNAGE - FOOD USE TENANTS ONLY

1. GENERAL SIGN CRITERIA

- a. Tenants shall provide at their expense a primary sign to be mounted on the standard sign frame located at each Tenant's soffit along the primary circulation aisle.
- b. All Food Court signs (size, design, type, color, method of illumination) are subject to Landlord's approval based on aesthetics and relationship to neighboring tenant signs.
- c. The information content on the signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
- d. No signage promoting brand name consumer goods or national products will be accepted (i.e. Drink Coke, etc.).
- e. Tenants are encouraged to be creative with the designs of their signs. In addition to the established trade name of the store, icons or other graphic devices may be used to enhance the sign.

If exposed neon is used for icons or other graphic devices, it must be backed by a flat cut out metal background that follows the shape of the graphic.
- f. LED illuminated letters with Face / Halo illumination or combination.
- g. No projection above or below the designated sign zone will be permitted.
- h. No temporary signs of any nature will be accepted.
- i. Exposed raceways (unless a part of the sign design), junction boxes or conduit are prohibited.
- j. No photo transparency illuminated boxes are permitted unless integrated with the main menu board.
- k. Electrical power, conduit and junction box to be provided by Tenant back to Tenant's panel.

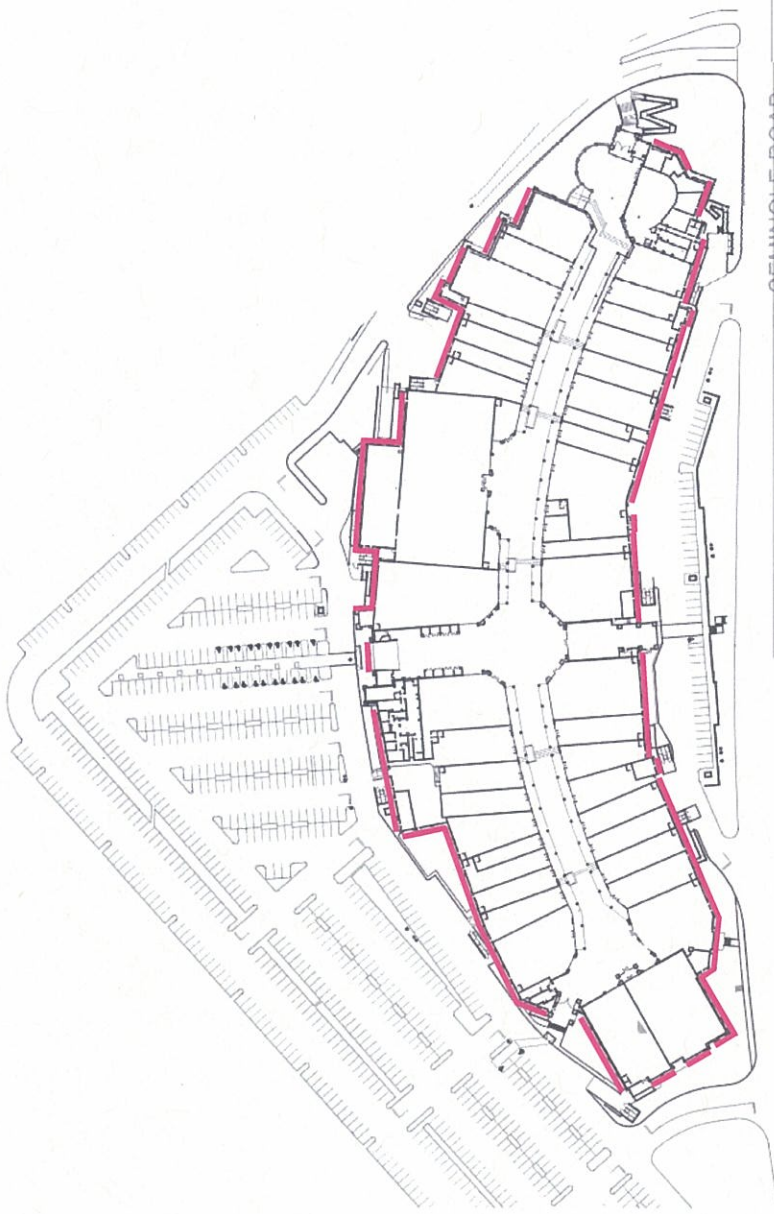
2. MENU BOARDS

Sign boards displaying items and prices shall be innovative and professionally executed.

- a. Proposed location and design of menu boards shall be included in Tenant's signage submittal and are subject to the Landlord's Approval.
- b. Permanent information shall be silk-screened, etched, painted or mounted to a baseboard of metal, wood, plastic laminate, acrylic or glass. Flimsy or fragile materials are not permitted.
- c. Hand-written changeable information is not permitted.
- d. Internally illuminated menu boards are acceptable if they have a black face with white (reversed) lettering. Design of this type of menu board is subject to Landlord approval.
- e. Chalkboards as use for menu boards are not permitted.
- f. The following board types are strictly prohibited:
 - Plastic, rubber or felt "channel" type boards with individual interchangeable plastic letters.
 - Menu boards available through national food and beverage companies advertising products.

Exterior Signage Schedule

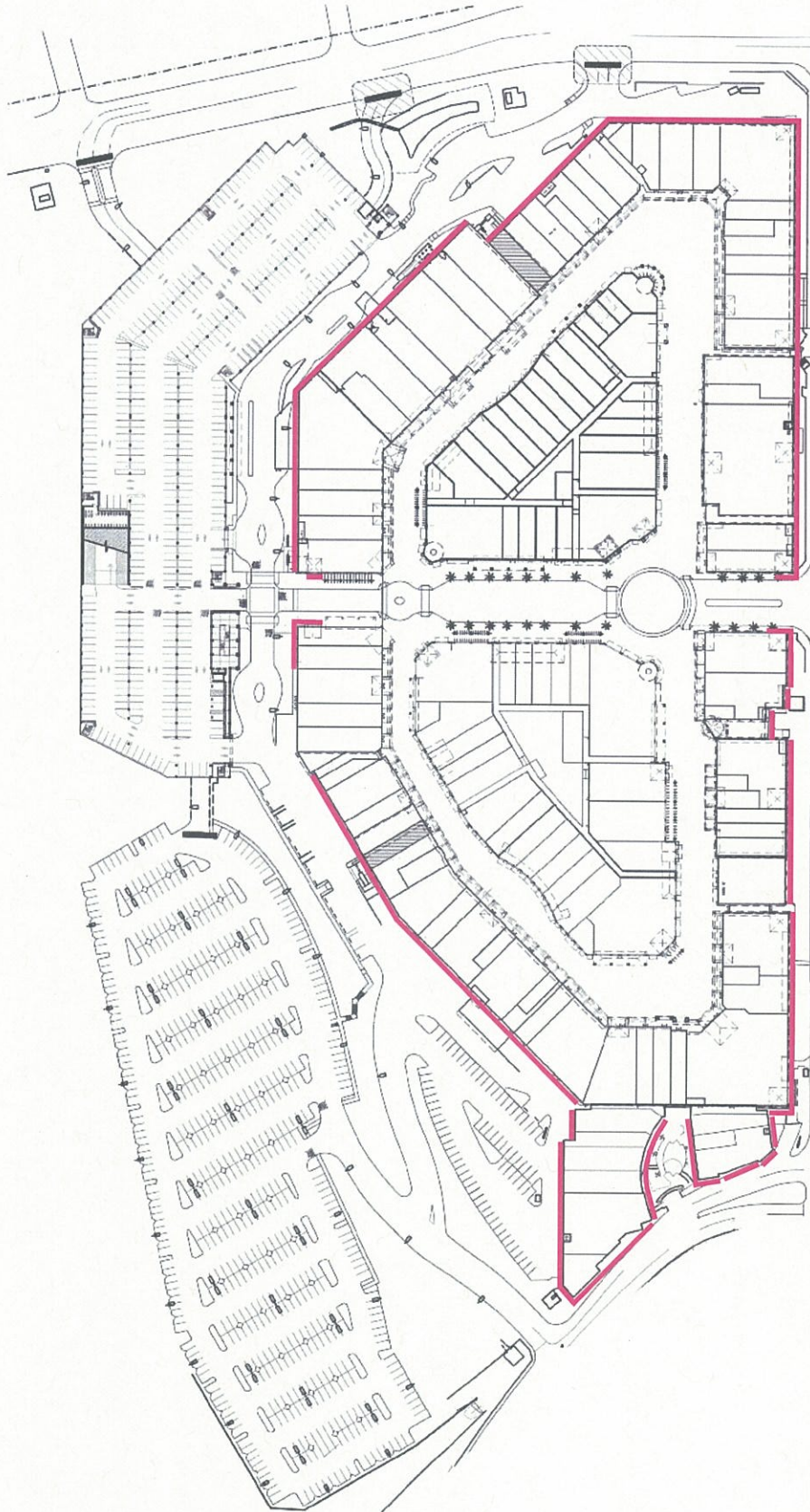
West Wing



Signage Type C
 30" High Single Line Letters
 36" Max. Assembly Height with Secondary Copy
 Reverse Channel Letters with halo illumination

Signage Type A
 Cabinet Size Varies: 30" to 72" Tall cabinet
 maximum at any mounting location where
 conditions permit and as approved by
 Landlord

Exterior Signage Schedule East Wing



Signage Type C
 30" High Single Line Letters
 36" Max. Assembly Height with Secondary Copy
 Reverse Channel Letters with halo illumination

Signage Type A
 Cabinet Size Varies: 30" to 72" Tall cabinet
 maximum at any mounting location where
 conditions permit and as approved by
 Landlord

EXTERIOR PERIMETER SIGNAGE

1. GENERAL SIGN CRITERIA

- a. An additional exterior wall sign shall be permitted to specific tenants solely at the Landlord's discretion for perimeter signage on the exterior of the Center per the County of Riverside's sign codes.
- b. Square footage for Tenant wall signs shall be based on the maximum sign lengths and letter heights as defined in the following paragraphs and exhibits.
- c. Subject to Landlord review and County of Riverside approval, specific Tenant locations (such as towers or corner spaces at ends of buildings) with more than one frontage and/or entry may be allowed one sign on each frontage provided architectural treatments at each location can accommodate a sign. If additional signs are allowed, signs located on adjacent building elevations shall be similar in length, letter height, method of illumination and color.
- d. The Landlord shall select each Tenant for the specific sign locations.
- e. All signs (size, design, type and color) are subject to Landlord's approval, based on aesthetic and relationship to neighboring Tenant signs.
- f. Signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
 - (1) **Tenant shall display their established registered trade name(s) only.**
 - (2) Registered trademarks and logos are not permitted.
- g. **No temporary signs of any nature will be accepted.**
- h. No projections above or below each designated sign zone will be permitted.
- i. Contractor/Tenant shall submit an application for sign approval per the County of Riverside, prior to fabrication of sign. Upon approval, the County of Riverside Building and Safety Department will issue sign/electrical permits. The County will not issue an approval for sign plans without the Landlord's stamped approval. The contractor must provide the General Manager with a copy of the County of Riverside issued sign permit and a stamped set of drawings reflecting both the Landlord's and the County's approvals prior to sign installation.
- j. The Indio office of the County of Riverside is poised to issue sign permits as well as the Riverside office of the County of Riverside. Information and permit forms can be accessed through www.tlma.co.riverside.ca.us, or by calling 760-863-8377.
- k. In some cases, exterior weatherproof raceways are required to cover any exposed electrical components above rooflines and roof membrane penetrations must be sealed. Penetration/raceway sealing must be coordinated with Landlord's roofing contractor to preserve roof warranty. Check with mall management for contact info.

Sign Type C: PERIMETER SIGN TYPE

- a. Perimeter signs to be installed during non-business hours.
- b. All Tenant's perimeter identification signage shall be of the following type: Type A (Combination cabinet with face/halo lit Logos / Logos with text) or B (Halo lit channel pin mounted letters).
 - (1) Type: Individual letters shall be 2-1/2" to 4" reverse channel halo lit aluminum letters, pin mounted to wall with blind anchor attachments and a 1-1/2" stand-off.
 - (2) Color: Letters shall be clear coated natural metal or Tenant's corporate color with Landlord approval.
 - (3) Lighting: Individual pinned-off, reverse channel letters shall be back lit with SloanLED (or equal) cool white V-series LED modules for halo lighting with 2-1/2" min. to 4" max. returns. The sign's electrical components: wiring, transformer, etc. should be fully waterproof even when mounted on the interior side of the wall. 120 volt perimeter sign circuits
 - (4) Size: Sign shall have a maximum letter height of 30" for single line copy and 36" for double line copy but cannot exceed the square footage allowable by the County of Riverside Sign Ordinance in overall size. Logos and/or Logos with text may be 30" to 72" depending on location, architectural conditions and Landlord approval.
 - (5) Sign area for individual signs per the County of Riverside Sign Ordinance and 2013 variance.
 - (6) Location: Tenant signs to be centered vertically within the sign area and installed per Landlords discretion.
 - (7) Length: The length of an exterior Tenant sign shall be dictated by the signage area as defined in the County of Riverside Sign Ordinance, and 2013 variance to the Master Sign Plan for Dessert Hills.
 - (8) Electrical power, conduit and junction box to each signage area is solely Tenant's responsibility. Tenant to extend power to sign where required.
 - (9) All sign mounts to be attached by pin-mounting. Mounts consist of 1/16" to 1/4" "all-thread" or galvanized heavy duty deck screws with 3/8" I.D. to 1/2" I.D. aluminum or PVC spacer sleeve for rigidity. **No "L" clips will be allowed.** All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and patched to match adjacent finish. Spacers must be painted to match building color. **Contact Desert Hills Premium Outlets' Center Management office for building paint colors and manufacturer.**

Sign contractor shall provide Landlord with Certificate of Insurance as previously outlined in this criteria, showing evidence of worker's compensation and public liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs.

All other information previously included herein for storefront signs may also apply to perimeter signs.

SPECIFIC SIGNAGE CRITERIA

1. Service/Delivery Signage

The Landlord shall furnish and install suite number to be located on the rear door of tenants suite. The sign shall be positioned on the door at a typical location in a material, size and color determined by Landlord.

2. Temporary Signage

a. Temporary Promotional Signage on Exterior of Store.

- i. No temporary promotional exterior store identification signage is allowed.
- ii. Exterior banners for promotional purposes are prohibited inside the store.
- iii. "A-frame" poster holder or other types of freestanding signs may not be outside of the Lease Line at any time. The Lease Line is defined as the boundary between storefront glazing and entrance doors and common areas.
- iv. No merchandise shall be placed outside of Lease Line.

Temporary Promotional Signage Inside Store Only.

- i. All temporary signage must be submitted to the General Manager for review and approval of Promotional Sign Variance.
- ii. Each variance shall be limited to two (2) weeks, and upon expiration may be renewed once with proof of supporting advertising (4-week maximum).
- iii. The total area of promotional signage is limited to one (1) square foot per lineal foot of store frontage.
- iv. All temporary promotional signage must be professionally produced. Handmade or personal computer graphic signs are prohibited.
- v. Promotional signs affixed in any manner to storefront windows or entry doors are prohibited. Such signs intended to be visible through storefront windows may be temporarily suspended with aircraft cable or monofilament no closer than twelve (12") inches from the inside of window. The Landlord reserves the right to remove any promotional material that is visible through the storefront windows which is deemed to be inconsistent with the quality level of the Center.
- vi. Fabric of lightweight posters must be weighted. Curled sign materials are not permitted.
- vii. All interior banners shall be considered "Temporary Promotional Signage" and as such, be subject to all rules governing same. The area of interior banners may not exceed one (1) square foot per lineal foot of storefront. In no case may an interior banner be hung closer to the storefront than half the distance from the furthest back wall of the store, and may not be suspended with the lower edge less than eight (8') feet above the floor.

3. Prohibited Signs

- a. Signs constituting a traffic hazard.
No persons shall install or cause to be installed or maintain any sign which simulates or imitates in size, color, lettering, or design, any traffic sign or signal, or which makes use of the words "Stop", "Look", "Danger" or any other words, phases, symbols or characters in such a manner to interfere with, mislead or confuse traffic.
- b. Immoral or Unlawful Advertising
It shall be unlawful for any person to exhibit, post or display, cause to be exhibited, posted or displayed upon any sign, anything of any obscene, indecent or immoral nature or unlawful activity.
- c. No signs will be permitted in the common area in front of the store. No signs shall be installed, relocated or maintained so as to prevent free ingress to or egress from any door.
- d. Animated, Audible or Moving Signs.
Signs consisting of, or giving the effect of moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or having animated light area are prohibited.
- e. Off-Premise Signs.
Any sign installed for the purpose of advertising a project, event, person or subject occurring off the Center property is prohibited unless approved in writing by the General Manager.
- f. Vehicle Signs.
Signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify or provide direction to a use or activity not related to its lawful making of deliveries of merchandise or service, are prohibited.
- g. Light Bulb Strings and Exposed Tubing.
Storefront display lighting (other than temporary, decorative holiday lighting) which consist of unshielded light bulbs, open, exposed neon or gaseous light tubing are prohibited. An exception hereto may be granted by Landlord with prior written approval when the display is an integral part of the design character of the activity to which it relates.
- h. Credit Card/Telecheck/Security Signage.
Vendor provided adhesive signs are prohibited on any entry doors or display windows.
- i. Lettering painted directly on the building facade will not be permitted except as defined in these criteria.
- j. Unprofessional hand-lettered signs are prohibited in the public view from the storefront. Absolutely no signs are permitted to be taped to the storefront on any visible surface.
- k. Inventory Liquidation Signs.
"Going Out of Business", "Bankruptcy Sale", "Closing This Store", "Lost Our Lease", etc. signs are strictly prohibited.
- l. Flyers.
Distribution of flyers, for any purpose, outside of Tenant's leased premises unless specifically authorized by Landlord is prohibited.
- m. Neon or Internally Illuminated Signs.
Unless specifically approved by the Landlord, neon or internally illuminated signage is prohibited inside stores.

PLOT PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a master signage program for an existing outdoor outlet shopping center located on 75 gross acres (Desert Hills Premium Outlets).

10. EVERY. 2 PPA - SIGN CATEGORY RECOMMND

This plot plan is a permit authorizing the following sign category(ies):

- Free Standing
- Directional
- For Sale, Lease or Rent
- Subdivision, On-Site
- Affixed to Building
- On-Site Identification
- Temporary Political
- Subdivision, Off-Site

10. EVERY. 3 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in

PLOT PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - HOLD HARMLESS (cont.) RECOMMND

connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 4 PPA - CONFORM TO EXHIBIT RECOMMND

The development of the premises shall conform substantially with that as shown on Plot Plan No. 25356 Exhibit S dated 5/8/13.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit. The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In non-residential applications, separate building permits may include a permit for the structure (Shell building), signs, grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etcà

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s)

PLOT PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.) RECOMMND

from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - ARTICLE XIX, ORD. 348 RECOMMND

Advertising as approved shall conform with the provisions of Article XIX, Riverside County Ordinance No. 348, with special reference to Sections 19.4 through 19.8 as applied to the sign category authorized under this plot plan.

10.PLANNING. 2 PPA - BUILDING PERMIT REQUIRED RECOMMND

Prior to the installation of the advertising device or structure, a building permit shall be obtained from the Riverside County Department of Building and Safety.

10.PLANNING. 4 PPA - HOOD/DIRECT LIGHTING RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly on adjoining property or public right-of-way.

10.PLANNING. 5 PPA - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes. The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A , unless otherwise amended by these conditions of approval.

10.PLANNING. 6 PPA - COMPLY WITH ORD. 655 RECOMMND

All lighting shall comply with any applicable provisions of Riverside County Ordinance No. 655.

PLOT PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

10. GENERAL CONDITIONS

10.PLANNING. 7 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions
of this permit,
b) is found to have been obtained by fraud or perjured
testimony, or
c) is found to be detrimental to the public health, safety
or general welfare, or is a public nuisance, this permit
shall be subject to the revocation procedures.

10.PLANNING. 8 PPA - OFFSITE SIGNS PROHIBITED RECOMMND

Any off-site signs associated with this project is
prohibited.

10.PLANNING. 9 PPA - SIGN PERMITS CONSISTENCY RECOMMND

All new sign permits must be consistent with this approved
Riverside County sign program and technical standards set
forth by the outlet's design management team, or approved
by the Riverside County Plannig Department.

10.PLANNING. 10 PPA - MOBILE UNFIXED SIGNS RECOMMND

All unfixed mobile signs located within the shopping center
shall advertize operational information concerning the
shopping center only. Any other form of advertising on
these signs is prohibited.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE RECOMMND

This approval shall be used within two (2) years from the
date of approval on October 21, 2013; otherwise, the plot
plan shall be null and void. Notwithstanding the
foregoing, the applicant or a successor-in-interest may,
prior to its expiration, request an extension of time in
which to use the plot plan.

If an extension is granted, the total time allowed for use
of the plot plan shall not exceed a period of five years,
calculated from the date of approval. The term "use" shall
mean the beginning of substantial construction of the use
that is authorized, which construction must thereafter be

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08:02

Riverside County LMS
CONDITIONS OF APPROVAL

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PLOT PLAN:ADMINISTRATIVE Case #: PP25356

Parcel: 519-110-040

20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1

PPA - EXPIRATION DATE (cont.)

RECOMMND

pursued diligently to completion, or the actual occupancy of existing buildings or land under the terms of the authorized use.

PLOT PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is a master signage program for an existing outdoor outlet shopping center located on 75 groos acres (Desert Hills Premium Outlets).

10. EVERY. 2 PPA - SIGN CATEGORY RECOMMND

This plot plan is a permit authorizing the following sign category(ies):

- | | |
|---|--|
| <input checked="" type="checkbox"/> Free Standing | <input checked="" type="checkbox"/> Affixed to Building |
| <input checked="" type="checkbox"/> Directional | <input checked="" type="checkbox"/> On-Site Identification |
| <input type="checkbox"/> For Sale, Lease or Rent | <input type="checkbox"/> Temporary Political |
| <input type="checkbox"/> Subdivision, On-Site | <input type="checkbox"/> Subdivision, Off-Site |

10. EVERY. 3 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in

PLOT PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

10. GENERAL CONDITIONS

10. EVERY. 3 PPA - HOLD HARMLESS (cont.) RECOMMND

connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 4 PPA - CONFORM TO EXHIBIT RECOMMND

The development of the premises shall conform substantially with that as shown on Plot Plan No. 25357, Exhibit S dated 5/8/13 and Exhibit SP 9/10/13.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILDING & SAFETY PLNCK RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit. The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In non- residential applications, separate building permits may include a permit for the structure (Shell building), signs, grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etc

PLOT PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

10. GENERAL CONDITIONS

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - ARTICLE XIX, ORD. 348 RECOMMND

Advertising as approved shall conform with the provisions of Article XIX, Riverside County Ordinance No. 348, with special reference to Sections 19.4 through 19.8 as applied to the sign category authorized under this plot plan.

10.PLANNING. 2 PPA - BUILDING PERMIT REQUIRED RECOMMND

Prior to the installation of the advertising device or structure, a building permit shall be obtained from the Riverside County Department of Building and Safety.

10.PLANNING. 4 PPA - HOOD/DIRECT LIGHTING RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly on adjoining property or public right-of-way.

10.PLANNING. 5 PPA - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes. The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A , unless otherwise amended by these conditions of approval.

10.PLANNING. 6 PPA - COMPLY WITH ORD. 655 RECOMMND

All lighting shall comply with any applicable provisions of Riverside County Ordinance No. 655.

10.PLANNING. 7 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

PLOT PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

10. GENERAL CONDITIONS

10.PLANNING. 8 PPA - OFFSITE SIGNS PROHIBITED RECOMMND

Any off-site signs associated with this project is prohibited.

10.PLANNING. 9 PPA - SIGN PERMITS CONSISTENCY RECOMMND

All new sign permits must be consistent with this approved Riverside County sign program and technical standards set forth by the outlet's design management team, or approved by the Riverside County Planning Department.

10.PLANNING. 10 PPA - MOBILE UNFIXED SIGNS RECOMMND

All unfixed mobile signs located within the shopping center shall advertize operational information concerning the shopping center only. Any other form of advertising on these signs is prohibited.

TRANS DEPARTMENT

10.TRANS. 1 USE - SIGN STRUCTURES RECOMMND

The footings and the sign structures shall be placed outside of County road right-of-way and restricted use area for sight distance.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE RECOMMND

This approval shall be used within two (2) years from the date of approval on October 21, 2013; otherwise, the plot plan shall be null and void. Notwithstanding the foregoing, the applicant or a successor-in-interest may, prior to its expiration, request an extension of time in which to use the plot plan.

If an extension is granted, the total time allowed for use of the plot plan shall not exceed a period of five years, calculated from the date of approval. The term "use" shall mean the beginning of substantial construction of the use that is authorized, which construction must thereafter be pursued diligently to completion, or the actual occupancy of existing buildings or land under the terms of the authorized use.

09/11/13
08:02

Riverside County LMS
CONDITIONS OF APPROVAL

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PLOT PLAN:ADMINISTRATIVE Case #: PP25357

Parcel: 519-110-041

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 1 USE - SIGN STRUCTURES

RECOMMND

The footings and the sign structures shall be placed
outside of County road right-of-way and restricted use area
for sight distance.

90. PRIOR TO BLDG FINAL INSPECTION

TRANS DEPARTMENT

90.TRANS. 1 USE - SIGN STRUCTURES

RECOMMND

The footings and the sign structures shall be placed
outside of County road right-of-way and restricted use area
for sight distance.

VARIANCE Case #: VAR01888

Parcel: 519-110-040

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 VAR - PROJECT DESCRIPTION RECOMMND

The variance proposes to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

10. EVERY. 2 VAR - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the VARIANCE; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the VARIANCE, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 VAR - 90 DAYS TO PROTEST RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the

VARIANCE Case #: VAR01888

Parcel: 519-110-040

10. GENERAL CONDITIONS

10. EVERY. 3 VAR - 90 DAYS TO PROTEST (cont.) RECOMMND

procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this application.

PLANNING DEPARTMENT

10.PLANNING. 1 VAR - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 2 VAR - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 3 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

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Riverside County LMS
CONDITIONS OF APPROVAL

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VARIANCE Case #: VAR01888

Parcel: 519-110-040

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1

VAR - EXPIRATION DATE FOR USE

RECOMMND

This approval shall be used within one (1) year of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within the one (1) year period, which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the one year period, the permittee may request a one (1) year extension of time request in which to use this variance. A maximum of two (2) one-year extension of time requests may be permitted. Should the time period established by any of the extension of time requests lapse, or should both the one-year extensions be obtained and no substantial construction or use of this variance be initiated within three (3) years of the effective date of the issuance of this variance, this variance shall become null and void.

VARIANCE Case #: VAR01889

Parcel: 519-110-041

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 VAR - PROJECT DESCRIPTION RECOMMND

The variance proposes to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

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(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the VARIANCE; and,

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Riverside County LMS
CONDITIONS OF APPROVAL

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VARIANCE Case #: VAR01889

Parcel: 519-110-041

10. GENERAL CONDITIONS

10. EVERY. 3 VAR - 90 DAYS TO PROTEST (cont.) RECOMMND

procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this application.

PLANNING DEPARTMENT

10.PLANNING. 1 VAR - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

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12:40

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 3

VARIANCE Case #: VAR01889

Parcel: 519-110-041

20. PRIOR TO A CERTAIN DATE

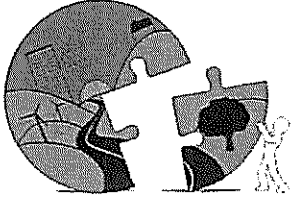
PLANNING DEPARTMENT

20.PLANNING. 1

VAR - EXPIRATION DATE FOR USE

RECOMMND

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RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: FP25356 DATE SUBMITTED: 5/8/13

APPLICATION INFORMATION

Applicant's Name: CPG PARTNERS L.C HOLDINGS LLC E-Mail: DDEVITA@SINBN.COM

Mailing Address: 105 EISENHOWER PKWY
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARREL@ARCHITECTSORANGE.COM

Mailing Address: 144 N ORANGE ST.
ORANGE CA 92866
City State ZIP

Daytime Phone No: (714) 639-9860 Fax No: (714) 639-

Property Owner's Name: CPG PARTNERS L.C HOLDINGS, LLC E-Mail: D

Mailing Address: 105 EISENHOWER PKWY
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

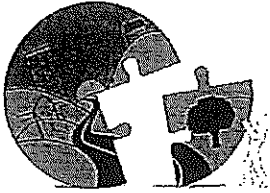
If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

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Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED

CASE NUMBER: PP25357 DATE SUBMITTED: 5/8/13

APPLICATION INFORMATION

Applicant's Name: CPG PARTNERS L.C HOLDINGS LLC E-Mail: DDEVITA@SIMON.COM

Mailing Address: 105 EISENHOWER PKWY
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARRELC.ARCHITECTS@ORANGEARCH.COM

Mailing Address: 144 N ORANGE ST.
ORANGE CA 92664
City State ZIP

Daytime Phone No: (714) 639-9860 Fax No: (714) 639-

Property Owner's Name: CPG PARTNERS LLC HOLDINGS, LLC E-Mail: D

Mailing Address: 105 EISENHOWER PKWY
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

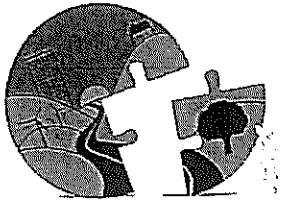
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The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

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Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

PROPOSED LAND USE: ~~SUBRENT APPROVED USE~~: RETAIL SHOPPING CENTER
VARIANCE BEING APPLIED FOR IS SIGNAGE

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: _____

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: VAR 01888 DATE SUBMITTED: 5/8/13

APPLICATION INFORMATION

Applicant's Name: CPG PARTNERS LC E-Mail: DDEVITA@SIMON.COM
HOLDINGS LLC

Mailing Address: 105 EISENHOWER ST
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DAPREL@ARCHITECTSORANGE.COM

Mailing Address: 144 N ORANGE ST
ORANGE CA 92866
City State ZIP

Daytime Phone No: (714) 639-9960 Fax No: (714) 5286

Property Owner's Name: CPG HOLDINGS LC E-Mail: DDEVITA@SIMON.COM
HOLDINGS LLC

Mailing Address: 105 EISENHOWER ST
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

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Palm Desert, California 92211
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APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: _____

General location (nearby or cross streets): North of SEMINDLE DR, South of NA, East of MORONGO TRIBE, West of MILLARD PASS.

Thomas Brothers map, edition year, page number, and coordinates: NA

Project Description: (describe the proposed project in detail)

MASTER SIGN PROGRAM FOR DESERT HILLS PREMIUM OUTLETS. VARIANCE BEING REQUESTED IS FOR AN INCREASE IN THE REAR SIGNAGE ALLOWANCE FROM 5% TO 10% DUE TO THE MAIN FACE OF THE BUILDINGS ALONG SEMINDLE DR. ARE THE BACK/REAR OF THE BUILDINGS.

Related cases filed in conjunction with this application:

THIS IS FOR THE WEST SIDE OF THE RETAIL CENTER THE EAST SIDE IS ON ANOTHER APPLICATION.

Is there a previous application filed on the same site: Yes No

If yes, provide Case No(s). PP 11972 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No NA

If yes, indicate the type of report(s) and provide a copy: _____

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

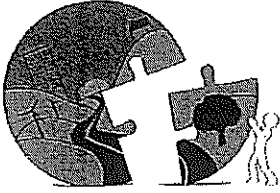
Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No NA

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: _____



Carolyn Syms Luna
Director

RIVERSIDE COUNTY PLANNING DEPARTMENT

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN
- REVISIED PERMIT
- CONDITIONAL USE PERMIT
- PUBLIC USE PERMIT
- TEMPORARY USE PERMIT
- VARIANCE

PROPOSED LAND USE: CURRENT APPROVED USE: RETAIL SHOPPING CENTER
VARIANCE BEING APPLIED FOR IS SIGNAGE

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: _____

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: VAR01889 DATE SUBMITTED: 5/8/2013

APPLICATION INFORMATION

Applicant's Name: CPG PARTNERS LC HOLDINGS LLC E-Mail: DDEVITA@SIMON.COM

Mailing Address: 105 EISENHOWER ST
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARREL@ARCHITECTSORANGE.COM

Mailing Address: 144 N ORANGE ST
ORANGE CA 92866
City State ZIP

Daytime Phone No: (714) 639-9960 Fax No: (714) 5286

Property Owner's Name: CPG HOLDINGS LC HOLDINGS LLC E-Mail: DDEVITA@SIMON.COM

Mailing Address: 105 EISENHOWER ST
ROSELAND NJ 07068
City State ZIP

Daytime Phone No: (973) 403-6810 Fax No: (973) 364-2503

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

APPLICATION FOR LAND USE PROJECT


If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.


All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Danielle DeVita - Authorized Signatory		DESERT HILLS PREMIUM OUTLETS EXPANSION, LLC
PRINTED NAME OF APPLICANT	SIGNATURE OF APPLICANT	By: SPG DEVELOPMENT COMPANY LIMITED PARTNERSHIP, its Agent By: SPG ACQUISITIONS, INC., its general partner

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Danielle DeVita - Authorized Signatory		DESERT HILLS PREMIUM OUTLETS EXPANSION, LLC By: SPG DEVELOPMENT COMPANY LIMITED PARTNERSHIP, its Agent By: SPG ACQUISITIONS, INC., its general partner
PRINTED NAME OF PROPERTY OWNER(S)	SIGNATURE OF PROPERTY OWNER(S)	
PRINTED NAME OF PROPERTY OWNER(S)	SIGNATURE OF PROPERTY OWNER(S)	

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 519-110-041

Section: 7 Township: 36 Range: 2E

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: 39.38 AC

General location (nearby or cross streets): North of SEMINDLE DR, South of NA, East of MORONGO TRIBE, West of MILLARD PASS

Thomas Brothers map, edition year, page number, and coordinates: NA

Project Description: (describe the proposed project in detail)

MASTER SIGN PROGRAM FOR DESERT HILLS PREMIUM OUTLETS. VARIANCE BEING REQUESTED IS FOR AN INCREASE IN THE REAR SIGNAGE ALLOWANCE FROM 5% TO 10% DUE TO THE MAIN FACE OF THE BUILDINGS ALONG SEMINDLE DR. ARE THE BACK/REAR OF THE BUILDINGS.

Related cases filed in conjunction with this application:

THIS IS FOR THE EAST SIDE OF THE RETAIL CENTER THE WEST SIDE IS ON ANOTHER APPLICATION.

Is there a previous application filed on the same site: Yes No

If yes, provide Case No(s). PP 23635 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No NA

If yes, indicate the type of report(s) and provide a copy: _____

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No NA

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No NA

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: _____

PROPERTY OWNERS CERTIFICATION FORM

I, Stella Spadafora certify that on September 9, 2013,

The attached property owners list was prepared by Riverside County GIS,

For APN (s) or case numbers PP25356 and PP25357

Company or Individual's Name RCIT - GIS,

Distance buffered 600 Feet

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

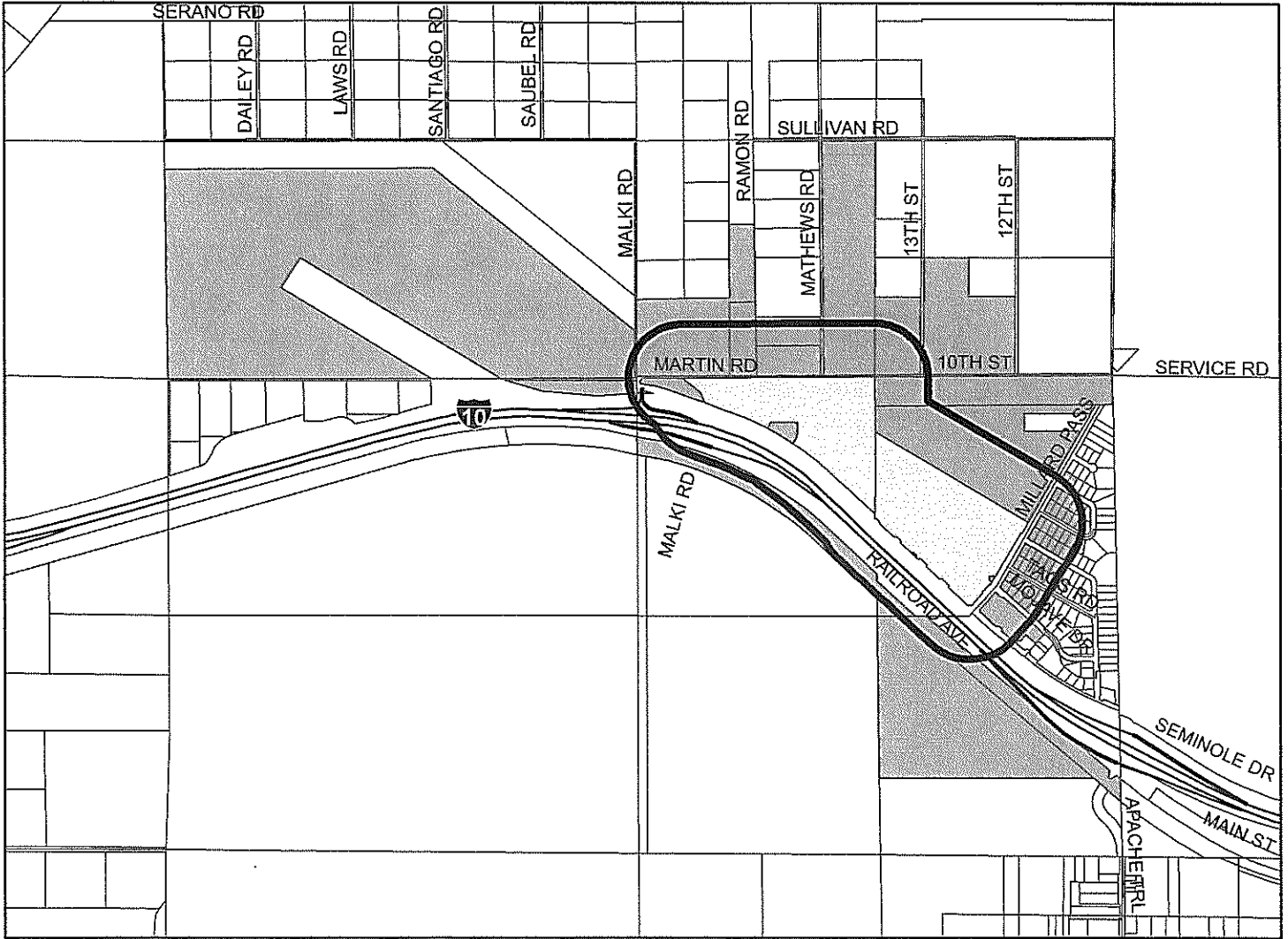
TITLE GIS Analyst Signature : 

ADDRESS: 4080 Lemon Street, 10th Floor

Riverside, CA 92502

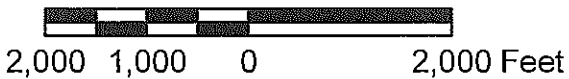
TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-3288

PP25356, PP25357
(600 Feet Radius)



Selected Parcels

519-132-010	519-132-006	519-131-016	519-132-008	519-122-008	519-141-034	519-110-042	519-110-043	519-131-015	519-142-011
519-122-001	519-122-002	519-122-003	519-122-004	519-122-005	519-122-006	519-131-003	519-110-038	519-110-040	519-110-041
519-110-039	519-122-009	519-122-007	519-122-011	519-132-016	519-131-011	519-131-005	519-122-010	519-132-015	519-142-005
519-142-010	519-142-003	519-132-019	519-132-012	519-132-018	519-132-017	519-131-013	519-142-007	519-110-035	519-142-008
519-131-006	519-131-004	519-142-009	519-132-013	519-110-011	519-170-007	519-132-007	519-132-009	519-132-011	519-132-014
519-131-010	519-122-012	519-122-013	519-131-014	519-131-012	519-142-013	519-131-009	519-142-004	519-110-016	519-110-017
519-170-009	519-110-018	519-142-012	519-142-006	519-131-007	519-060-017	519-070-008	519-070-015	519-070-013	519-060-016
519-090-006	519-090-010	532-090-014	532-080-004	519-121-014	519-121-015	519-131-008			



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



ASMT: 519060017, APN: 519060017
USA 519
US DEPT OF INTERIOR
WASHINGTON DC 21401

ASMT: 519110043, APN: 519110043
CABAZON WATER DIST
P O BOX 297
CABAZON CA 92230

ASMT: 519070013, APN: 519070013
GERALDINE IBANEZ, ETAL
BUREAU OF INDIAN AFFAIRS US DEPT INTERIC
P O BOX 2245
PALM SPRINGS CA 92262

ASMT: 519121015, APN: 519121015
ZACHARY GARCIA
67632 S NATOMA
CATHEDRAL CY CA 92234

ASMT: 519110016, APN: 519110016
SOUTHERN CALIFORNIA GAS CO
C/O TAX DEPT
101 ASH ST NO HW07
SAN DIEGO CA 92101

ASMT: 519122007, APN: 519122007
DAVID ROMBERG
PMB 372
35555 SPUR HWY
SOLDOTNA AR 99669

ASMT: 519110035, APN: 519110035
SYSTEM CAPITAL REAL PROP CORP, ETAL
ONE MCDONALDS PLAZA
OAK BROOK IL 60523

ASMT: 519122008, APN: 519122008
BRANDON MITLO
48922 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519110039, APN: 519110039
CHEVRON USA INC
C/O PROP TAX DEPT
P O BOX 1392
BAKERSFIELD CA 93302

ASMT: 519122009, APN: 519122009
BRIAN LEE, ETAL
5233 MARYLAND AVE
LA CRESCENTA CA 92230

ASMT: 519110040, APN: 519110040
CHELSEA GCA REALTY PARTNERSHIP
3001 S CRODDY WAY
SANTA ANA CA 92704

ASMT: 519122010, APN: 519122010
KYUNGHI NICOLLE, ETAL
26231 FIR AVE
MORENO VALLEY CA 92555

ASMT: 519110041, APN: 519110041
CHELSEA GCA REALTY PARTNERSHIP
C/O CHRISTY LESNY
P O BOX 6120
INDIANAPOLIS IN 46206

ASMT: 519122011, APN: 519122011
DONA AUKERMAN
417 N 3RD ST
BANNING CA 92220

ASMT: 519122012, APN: 519122012
ROBERTO HERNANDEZ
11 W REDLANDS BLV STE C
REDLANDS CA 92373

ASMT: 519131008, APN: 519131008
ZAIDA DIAZ
P O BOX 799
CABAZON CA 92230

ASMT: 519122013, APN: 519122013
ROBERTO HUITRON
22418 FARRAGUT AVE
MORENO VALLEY CA 92553

ASMT: 519131009, APN: 519131009
SHARON MILLAGE
48857 MAUMEE LN
CABAZON CA 92230

ASMT: 519131003, APN: 519131003
CHARTER MANAGEMENT SYSTEMS INC
P O BOX 697
BANNING CA 92220

ASMT: 519131010, APN: 519131010
ROBERT STMARIE
P O BOX 559
CABAZON CA 92230

ASMT: 519131004, APN: 519131004
ORLANDO SAMEQ, ETAL
48917 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519131011, APN: 519131011
HECTOR CARDONA
13353 APACHE TR
CABAZON, CA. 92230

ASMT: 519131005, APN: 519131005
JAMES DOOLEN
48905 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519131012, APN: 519131012
SILVIA RODRIGUEZ, ETAL
13361 APACHE TR
CABAZON, CA. 92230

ASMT: 519131006, APN: 519131006
MONA RODRIGUEZ
48893 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519131013, APN: 519131013
MARK MRAZ
P O BOX 1514
RANCHO MIRAGE CA 92270

ASMT: 519131007, APN: 519131007
TONI PETERS MORENO
48881 MAUMEE LN
CABAZON, CA. 92230

ASMT: 519131014, APN: 519131014
JUNE BULLOCK, ETAL
3800 W WILSON ST SP 149
BANNING CA 92220



ASMT: 519131015, APN: 519131015
ROSA FONSECA, ETAL
13385 APACHE TR
CABAZON, CA. 92230

ASMT: 519132013, APN: 519132013
DIANE NORMAN, ETAL
13344 APACHE TR
CABAZON CA 92230

ASMT: 519131016, APN: 519131016
ROSARIO FONSECA, ETAL
13393 APACHE TR
CABAZON, CA. 92230

ASMT: 519132014, APN: 519132014
RICHARD ESPINOZA
13350 APACHE TR
CABAZON, CA. 92230

ASMT: 519132006, APN: 519132006
ANITA BEARBOWER
P O BOX 224
CABAZON CA 92230

ASMT: 519132015, APN: 519132015
JESSE SLUDER
351 SOUTH K ST
OXNARD CA 93030

ASMT: 519132007, APN: 519132007
BETTY LOVE, ETAL
951 S 12TH ST
BANNING CA 92230

ASMT: 519132016, APN: 519132016
DONNA THOMAS
22530 COUNTRY CREST DR
MORENO VALLEY CA 92557

ASMT: 519132008, APN: 519132008
TIAN HE, ETAL
48852 TAOS RD
CABAZON, CA. 92230

ASMT: 519132017, APN: 519132017
LUIS QUIROZ
13374 APACHE TR
CABAZON CA 92230

ASMT: 519132010, APN: 519132010
LASHUNDA SMITH, ETAL
48828 TAOS RD
CABAZON, CA. 92230

ASMT: 519132018, APN: 519132018
LUCY SANCHEZ
P O BOX 237
CABAZON CA 92230

ASMT: 519132012, APN: 519132012
LILY WATAK DAVIS
48796 TAOS RD
CABAZON, CA. 92230

ASMT: 519132019, APN: 519132019
MARLENE POWELL, ETAL
11737 MCCONNEL CT
YUCAIPA CA 92399

ASMT: 519141034, APN: 519141034
 CABAZON CO STORES
 1500 QUAIL ST STE 100
 NEWPORT BEACH CA 92660

ASMT: 519142010, APN: 519142010
 JEWEL SMITH
 10891 MARIAN DR
 GARDEN GROVE CA 92840

ASMT: 519142003, APN: 519142003
 JOYCE COSENTINO
 48885 TAOS RD
 CABAZON CA 92230

ASMT: 519142011, APN: 519142011
 CHARLES FLOOD
 48812 MOJAVE DR
 CABAZON, CA. 92230

ASMT: 519142004, APN: 519142004
 SMITH CHOI
 1805 S 2ND ST # A
 ALHAMBRA CA 91801

ASMT: 519142012, APN: 519142012
 STEVEN CRAIG
 1 OCEAN CREST
 NEWPORT COAST CA 92657

ASMT: 519142006, APN: 519142006
 THOMAS RITCHIE
 32876 MARIE DR
 LAKE ELSINORE CA 92530

ASMT: 519142013, APN: 519142013
 SFR 2012 1 US WEST
 135 N LOS RHODES AVE 6TH
 PASADENA CA 91101

ASMT: 519142007, APN: 519142007
 MARY BEEDON
 C/O AMALIA CALDERONE
 16646 MONTEGO WAY
 TUSTIN CA 92780

ASMT: 519170007, APN: 519170007
 R R M PROP LTD
 P O BOX 3600
 CORONA CA 92878

ASMT: 519142008, APN: 519142008
 MICHAEL SHIRLEY
 P O BOX 890626
 TEMECULA CA 92589

ASMT: 519170009, APN: 519170009
 SOUTHERN PACIFIC TRANSPORTATION CO
 SOUTHERN PACIFIC TRANSPORTATION CO
 1700 FARNAM ST 10TH FL S
 OMAHA NE 68102

ASMT: 519142009, APN: 519142009
 NORMA ALVAREZ
 8758 S DENKER AVE
 LOS ANGELES CA 90047

ASMT: 532080004, APN: 532080004
 USA MORONGO BAND CAHUILLA MISSION INC
 11581 POTRERO RD
 BANNING CA 92223



ASMT: 532090014, APN: 532090014
USA INDIAN RES 532
UNKNOWN

Chelsea Property Group LLC
Attn: Danielle Devita
105 Eisenhower Parkway
Roseland NJ 07068

Architects Orange
144 N. Orange Street
Orange CA 92866

Chelsea Property Group LLC
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Roseland NJ 07068

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Orange CA 92866

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Roseland NJ 07068

Architects Orange
144 N. Orange Street
Orange CA 92866



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

NOTICE OF EXEMPTION

TO: Office of Planning and Research (OPR) P.O. Box 3044 Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor P. O. Box 1409 Riverside, CA 92502-1409

38686 El Cerrito Road Palm Desert, CA 92201

Project Title/Case No.: Plot Plan No. 25356, Plot Plan No. 25357, Variance No. 1888 and Variance No. 1889

Project Location: In the unincorporated area of Riverside County, more specifically located northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, westerly of Millard Pass

Project Description: To permit a uniform master signage program for an existing outdoor outlet shopping center located on 75 gross acres (Desert Hills Premium Outlets) and a variance to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear face of buildings.

Name of Public Agency Approving Project: Riverside County Planning Department

Project Sponsor: _____

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption (15301.e, 15302.b, 15303.e, 15311.a.)
- Statutory Exemption (_____)
- Other: _____

Reasons why project is exempt: The proposed site is fully developed with an existing commercial shopping center with existing signs. The proposed project footprint is not expanding beyond what is currently existing. The proposed increase in sign area is not significant to create any potential impacts and is consistent with zoning ordinances through the use of variance.

Paul Rull County Contact Person 951-955-0972 Phone Number

Signature Project Planner Title Date

Date Received for Filing and Posting at OPR: _____

Revised: 3/15/10: Y:\Planning Case Files-Riverside office\PP25356\DH-PC-BOS Hearings\DH-PC\PP25356 PP25357 NOE Form.docx

Please charge deposit fee case#: Z ZCFG No.5996 - County Clerk Posting Fee \$50.00
FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

S* REPRINTED * R1308709

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: CHELSEA PROPERTY GROUP LLC \$50.00
paid by: CK 1059
CFG FOR PP25356 AND PP25357
paid towards: CFG05996 CALIF FISH & GAME: DOC FEE
at parcel: 48650 SEMINOLE DR CABA
appl type: CFG3

By _____ Sep 12, 2013 14:23
MGARDNER posting date Sep 12, 2013

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!

Agenda Item No.: 2.2
Supervisory District: Fourth/Fourth
Project Planner: Bahelila Boothe
Director's Hearing: October 21, 2013

PLOT PLAN NO: 25414
Applicant: Cindy and Drew Clark
CEQA Exempt

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is a proposal to permit a Class I Kennel (5-10 Dogs) on 3.29 Acres.

ISSUES OF RELEVANCE:

The proposal has been reviewed by Department of Animal Services. Planning staff has received three (3) letter of opposition for the proposed kennel referencing barking dogs, loose dogs on their property, and fear of being attacked by the dogs.

RECOMMENDATIONS:

APPROVAL of PLOT PLAN NO. 25414, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Riverside County General Plan.
2. The proposed project is consistent with Section 18.45 of Ordinance No. 348, and with all other applicable provisions of Ordinance Nos. 348 and 630.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project has a primary dwelling on the parcel where the Class I Kennel is proposed.
2. The project site is designated Community Development: High Density Residential and Medium Density Residential on The Western Coachella Valley Area Plan.
3. The proposed Class I Kennel is a permitted use in the general plan designation.
4. The proposed Class I Kennel is a permitted use, subject to approval of a plot plan in the Rural Residential (R-1-12,000) zone.
5. The proposed Class I Kennel is consistent with the development standards set forth in the R-1-12,000 zone.

D.M.

6. The proposed Class I Kennel shall obtain and continuously maintain all necessary licenses from the Riverside County Health Department and Department of Animal Services.
7. All kennels are subject to the provisions of County Ordinance No. 630.
8. The minimum lot size for a kennel in an agricultural, residential, rural or open space zone is one acre (gross). The subject property is 3.29 acres.

PLOT PLAN:ADMINISTRATIVE Case #: PP25414

Parcel: 609-040-026

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is proposal to permit a Class I Kennel (5-10) Dogs on a 3.29 acre property.

10. EVERY. 2 PPA - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 PPA - CONFORM TO EXHIBIT RECOMMND

The development of the premises shall conform substantially with that as shown on Plot Plan No. 25414, Exhibit A, dated August 28, 2013.

PLOT PLAN:ADMINISTRATIVE Case #: PP25414

Parcel: 609-040-026

10. GENERAL CONDITIONS

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

The current approval is for a class I kennel facility for personal use only. This approval is based on the applicant stating this kennel facility is not to be used for any commercial use or will be open to the public.

Commercial use includes, but is not limited to the following types of facilities:

1. Boarding/drop off
2. Training
3. Rescue
4. Breeding

As personal use only, and no with access by the general public, this is considered a residential use and exempt from accessibility requirements.

PLANNING DEPARTMENT

10.PLANNING. 1 PPA - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes. The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 2 PPA - COMPLY BUILDING & SAFETY RECOMMND

Compliance with Department of Building and Safety directives and all required permits shall be obtained prior to establishment or continuation of the use.

10.PLANNING. 3 PPA - EXERCISE SPACE/SHELTER RECOMMND

Sufficient exercise space and adequate shelter from the elements shall be provided for all animals maintained.

10.PLANNING. 4 PPA - FOOD/WATER RECOMMND

Water for drinking shall be available at all times and a suitable and sufficient supply of appropriate food shall be maintained on hand and provided at appropriate intervals.

PLOT PLAN:ADMINISTRATIVE Case #: PP25414

Parcel: 609-040-026

10. GENERAL CONDITIONS

10.PLANNING. 5 PPA - FOOD STORAGE/SANITATION RECOMMND

Animal food shall be stored under sanitary conditions and food and water receptacles shall be of a material which can be easily cleaned and disinfected. Each [kennel/cattery] shall contain a water basin for cleaning of food and water receptacles.

10.PLANNING. 6 PPA - ANIMAL CONFINEMENT RECOMMND

All dogs shall be maintained and confined in a house-type enclosure between the hours of 10:00 p.m. and 6:00 a.m., except that up to four dogs may be unconfined on the kennel premises during such hours.

10.PLANNING. 7 PPA - CARETAKER RECOMMND

A caretaker is required to be on the kennel premises on a daily basis.

10.PLANNING. 8 PPA - KENNEL RECOMMND

Dogs shall be not housed or maintained in any area which is less than twenty feet from any property line and no closer than five feet from any structure located on the [kennel/cattery] premises which is used for human habitation, except that where a dwelling house is located on the kennel premises any number of dogs may be taken in to said house for temporary periods. The term dwelling house shall also include a barn, garage, or similar appurtenant structure or outbuilding.

10.PLANNING. 9 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 10 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured

10/04/13
08:17

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 4

PLOT PLAN:ADMINISTRATIVE Case #: PP25414

Parcel: 609-040-026

10. GENERAL CONDITIONS

10.PLANNING. 10 USE - CAUSES FOR REVOCATION (cont.) RECOMMND

testimony, or
c) is found to be detrimental to the public health, safety
or general welfare, or is a public nuisance, this permit
shall be subject to the revocation procedures.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of
approval date; otherwise, it shall become null and void
and of no effect whatsoever. By use is meant the beginning
of substantial construction contemplated by this approval
within a two (2) year period which is thereafter diligently
pursued to completion or of the actual occupancy of
existing buildings or land under the terms of the
authorized use.

Prior to the expiration of the two year period, the
permittee may request a one (1) year extension of time
request in which to use this plot plan. A maximum of three
one-year extension of time requests shall be permitted.
Should the time period established by any of the extension
of time requests lapse, or should all three one-year
extensions be obtained and no substantial construction or
use of this plot plan be initiated within five (5) years of
the effective date of the issuance of this plot plan, this
plot plan shall become null and void.



Department of Animal Services
Robert Miller, Director

Operations Division
Frank Corvino, Deputy Director

Bahelila Boothe, Urban Regional Planner III
Riverside County, Planning Department
P.O. Box 1409
Riverside, CA, 92502

September 16, 2013

RE: Drew and Cindy Clark
78400 Hidden River Road
Bermuda Dunes, CA 92203
Class I Kennel, PP25414


Ms. Boothe,

The Department of Animal Services (DAS) records show several complaints filed against this property. One complaint is regarding too many animals on the property and the other is an ongoing noise complaint regarding excessive barking. Both cases are currently open. The noisy animal complaint will most likely result in a hearing.

I feel our investigation prompted the Clark's to initiate their application for a Class I kennel but currently they are still out of compliance.

Due to the open "Noisy Animal" case currently working its way through the process, DAS cannot recommend nor deny approval of this application at this time.

Respectfully,



Rita Gutierrez
Field Services Commander
Riverside County
Department of Animal Services
951-358-7365

County of Riverside
DEPARTMENT OF ANIMAL SERVICES - Administrative Offices
6851 Van Buren Boulevard, Jurupa Valley, California 92509
(951) 358-7387 □ FAX (951) 358-7300 □ TDD (951) 358-5124

September 13, 2013

Riverside County Planning Department
P O Box 1409
Riverside, CA 92502-1409

Re: Clark property and Class 1 Kennel

This does not directly affect the church, however, we do have people that live in the area addressed in our notice. We hear the dogs are ALWAYS barking, they get loose and invade other peoples property, swim in their pools. Does the R.C.P.D. really want to turn a private property residential area with some million dollar properties and several apartment buildings into an area that no one wants to live and they can't sell their home because no one wants to buy next to a "kennel".

We have heard that people are "afraid" to complain because of fear of retaliation. How would you feel if this happened next door to you? A sad day indeed if you pass this and allow those folks to infringe on the quality of life of those in the area, especially those who have owned and or lived there for many years.

Respectfully,


Ann Rhein
Office Manager
St. John's Lutheran Church
42695 Washington St.
Palm Desert, CA 92211

Craig Bedard

From: Craig Bedard <bedard@dc.rr.com>
Sent: Tuesday, September 10, 2013 3:35 PM
To: 'bboothe@rctlma.org'
Subject: pp25414 clark
Attachments: Email002.jpg

RECEIVED
SEP 16 2013
REGISTRATION
RIVERSIDE COUNTY

Bahelila Boothe

I am in receipt of your pp25414 proposed application from applicants Drew & Cindy Clark. I refer you to the attached complaint # 760-774-6944 DECLARATION OF NOISY ANIMAL PUBLIC NUISANCE. If you require a public hearing in addition to this Declaration then we wish to request one. If our filings of public nuisance will suffice then we shall let those stand. Please advise. We have many neighbors and an adjacent apartment complex that would oppose this application due to the public nuisance which currently exists.

I may be reached at 817 939-6781.

Shannon Bedard
42488 Byron place
Bermuda dunes ca.

.....
PP25414, (Class I Kennel)

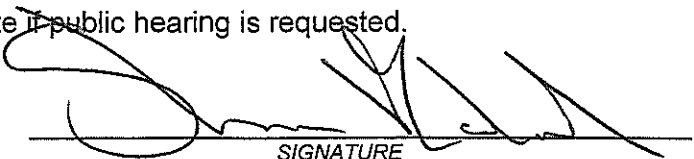
I do not wish a public hearing to be held on this case, but I would like to submit comments in regards to this project. (Please attach comments on separate sheet).

? ?
 I am requesting that a public hearing be held on this case for the following reasons (Comments may be on separate sheet):

sent via E MAIL ALSO
SEE ATTACHED


I understand that I will be notified of the time and date if public hearing is requested.

Shannon Bedard
PRINTED NAME
42 488 Byron place
PRINT STREET ADDRESS


SIGNATURE
BERMUDA DUNES CA
PRINT CITY/STATE/ZIP

RE: APPLICATION PP25414
CINDY & DREW CLARK

the 6 or possibly 7 dogs they have now
bark continuously at all hours of day
and night disturbing surrounding
neighbors. When some of them get loose
they have come into my yard and even
have gone in my pool. I certainly don't
want 10 dogs barking & running loose.

Submitted by
Douglas Doughty


JAMES & SUSAN GRANT
78219 CALICO GLEN DRIVE
BERMUDA DUNES CA 92203

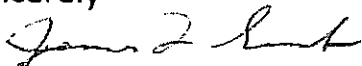
Riverside County Planning Department
PO Box 1409
Riverside CA 92502-1409

Re: PP25414

We are opposed to applicants operating a Dog Kennel on their property. Applicant already has a number of dogs on the property – a recent drive by revealed at least 7 animals-which is in violation of the County Code. We believe the Code allows only 3 dogs per house.

The primary objection to this use is the constant barking. These dogs bark at all hours and we are in the process of reporting this to the County noise abatement office, and Animal Control. This certainly is NOT helping our property values at all.

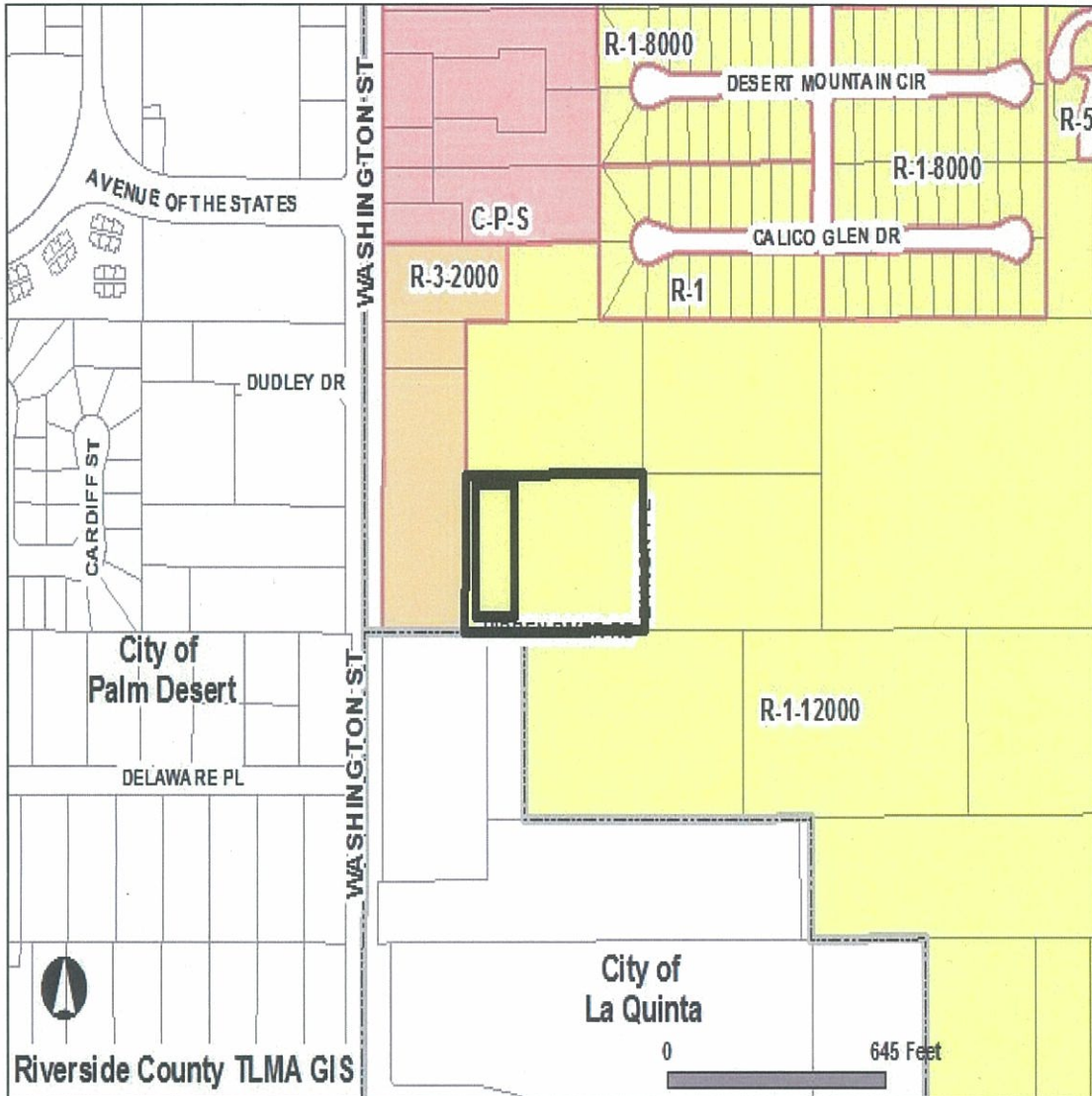
Sincerely



James L Grant

APN#609-500-063-1

ZONING



Selected parcel(s):
609-040-026

ZONING

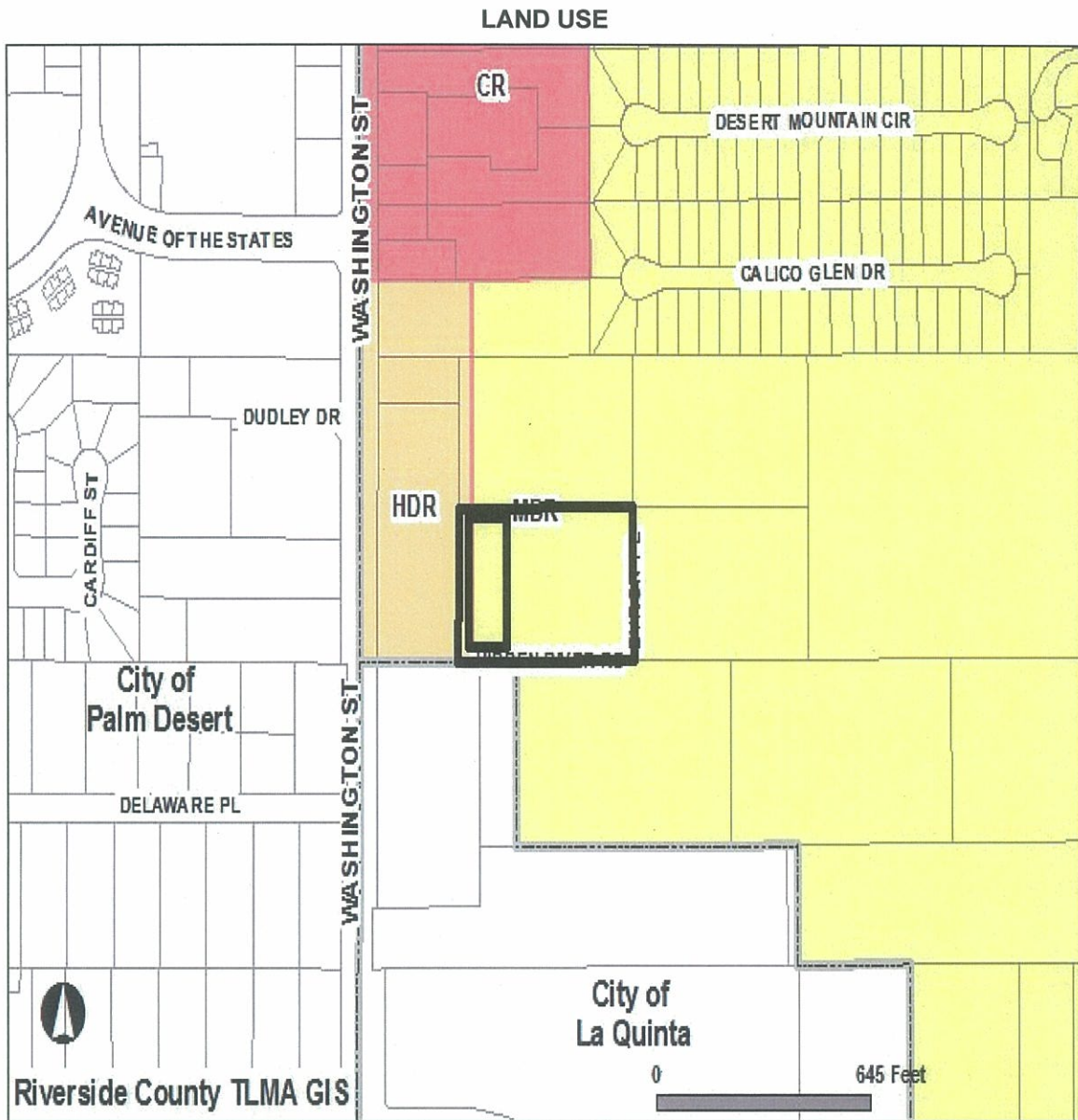
-  SELECTED PARCEL
-  INTERSTATES
-  HIGHWAYS
-  CITY
-  PARCELS
-  ZONING BOUNDARY
-  C-P-S
-  R-1, R-1-12000, R-1-8000
-  R-3-2000
-  R-5

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130923



Selected parcel(s):
609-040-026

LAND USE

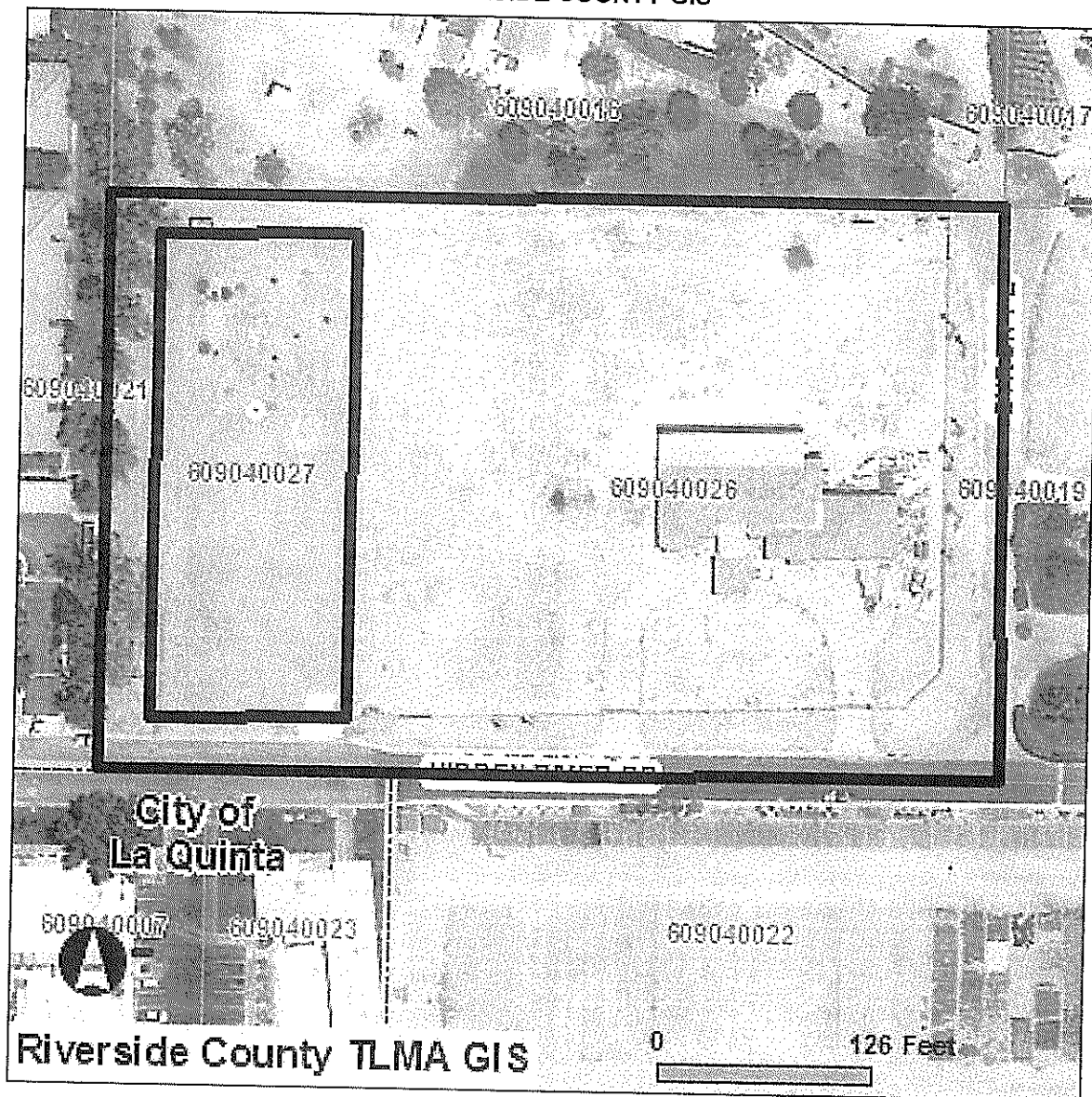
- | | | | |
|-----------------|------------------------|--------------------------------|----------------------------------|
| SELECTED PARCEL | INTERSTATES | HIGHWAYS | CITY |
| PARCELS | CR - COMMERCIAL RETAIL | HDR - HIGH DENSITY RESIDENTIAL | MDR - MEDIUM DENSITY RESIDENTIAL |

IMPORTANT

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RIVERSIDE COUNTY GIS



Selected parcel(s):
609-040-026

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STANDARD WITH PERMITS REPORT

APNs

609-040-026-7

OWNER NAME

NOT AVAILABLE ONLINE

ADDRESS

609-040-026
78400 HIDDEN RIVER RD
INDIO, CA. 92203

MAILING ADDRESS

(SEE OWNER)

(SEE SITUS)

LEGAL DESCRIPTION

RECORDED BOOK/PAGE: PM 60/26
SUBDIVISION NAME: PM 12558
LOT/PARCEL: 3, BLOCK: NOT AVAILABLE
, Por. TRACT NUMBER: NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 3.29 ACRES

PROPERTY CHARACTERISTICS

WOOD FRAME, 4967 SQFT., 5 BDRM/ 3.25 BATH, 1 STORY, ATTACHED GARAGE(1705 SQ. FT), CONST'D 2006 TILE, ROOF, CENTRAL HEATING, CENTRAL COOLING, POOL

THOMAS BROS. MAPS PAGE/GRID

PAGE: 819 GRID: F5

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY
CITY SPHERE: PALM DESERT
ANNEXATION DATE: OCT. 25, 2007
LAFCO CASE #: 2006-89-4
PROPOSALS: NOT APPLICABLE

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT 2011 (ORD. 813)

JOHN BENOIT, DISTRICT 4

SUPERVISORIAL DISTRICT (2001 BOUNDARIES)

ROY WILSON, DISTRICT 4

TOWNSHIP/RANGE

T5SR7E SEC 18

ELEVATION RANGE

120/132 FEET

PREVIOUS APN

NO DATA AVAILABLE

PLANNING

LAND USE DESIGNATIONS

HDR
MDR

SANTA ROSA ESCARPMENT BOUNDARY

NOT IN THE SANTA ROSA ESCARPMENT BOUNDARY

AREA PLAN (RCIP)

WESTERN COACHELLA VALLEY

COMMUNITY ADVISORY COUNCILS

BERMUDA DUNES (CC)

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

R-1-12000

ZONING DISTRICTS AND ZONING AREAS

BERMUDA DUNES DISTRICT

ZONING OVERLAYS

IN OR PARTIALLY WITHIN THE BERMUDA DUNES NEIGHBORHOOD PRESERVATION OVERLAY

NOT IN AN HISTORIC PRESERVATION DISTRICT

SPECIFIC PLANS

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE

NOT IN AN AGRICULTURAL PRESERVE

REDEVELOPMENT AREAS

NOT IN A REDEVELOPMENT AREA

AIRPORT INFLUENCE AREAS

BERMUDA DUNES

AIRPORT COMPATIBILITY ZONES

BERMUDA DUNES ZONE E

ENVIRONMENTAL

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA

NOT IN A CONSERVATION AREA

CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS

NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP

NOT IN A CELL GROUP

WRMSHCP CELL NUMBER

NOT IN A CELL

HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEWPROCESS)

NONE

VEGETATION (2005)

NO DATA AVAILABLE

FIRE

HIGH FIRE AREA (ORD. 787)

NOT IN A HIGH FIRE AREA

FIRE RESPONSIBILITY AREA

NOT IN A FIRE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP FEE AREA (ORD. 875)

WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

WRMSHCP FEE AREA (ORD. 810)

NOT WITHIN THE WESTERN RIVERSIDE COUNTY MSHCP FEE AREA

ROAD & BRIDGE DISTRICT

NOT IN A DISTRICT

EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)

IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION.
In EAST

WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)

NOT WITHIN THE WESTERN TUMF FEE AREA

DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)

WESTERN COACHELLA VALLEY

SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)

NOT WITHIN AN SKR FEE AREA.

DEVELOPMENT AGREEMENTS

NOT IN A DEVELOPMENT AGREEMENT AREA

TRANSPORTATION

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY
NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY

ROAD BOOK PAGE
207B

TRANSPORTATION AGREEMENTS
NOT IN A TRANSPORTATION AGREEMENT

CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS
NOT IN A CETAP CORRIDOR.

HYDROLOGY

FLOOD PLAIN REVIEW
NOT REQUIRED

WATER DISTRICT
CVWD

FLOOD CONTROL DISTRICT
COACHELLA VALLEY WATER DISTRICT

WATERSHED
WHITEWATER

GEOLOGIC

FAULT ZONE
NOT IN A FAULT ZONE

FAULTS
NOT WITHIN A 1/2 MILE OF A FAULT

LIQUEFACTION POTENTIAL
MODERATE

SUBSIDENCE
SUSCEPTIBLE

PALEONTOLOGICAL SENSITIVITY
LOW POTENTIAL.
FOLLOWING A LITERATURE SEARCH, RECORDS CHECK AND A FIELD SURVEY, AREAS MAY BE DETERMINED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST AS HAVING LOW POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES SUBJECT TO ADVERSE IMPACTS.

MISCELLANEOUS

SCHOOL DISTRICT
DESERT SANDS UNIFIED

COMMUNITIES
BERMUDA DUNES

COUNTY SERVICE AREA
NOT IN A COUNTY SERVICE AREA.

LIGHTING (ORD. 655)
ZONE B, 41.76 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT
045205

FARMLAND
OTHER LANDS
URBAN-BUILT UP LAND

075004

- CITRUS PEST CONTROL 2
- COACH VAL CO WTR STORM WTR UNIT
- COACHELLA VAL JT BLO HIGH
- COACHELLA VALLEY COUNTY WATER
- COACHELLA VALLEY PUBLIC CEMETERY
- COACHELLA VALLEY REC AND PARK
- COACHELLA VALLEY RESOURCE CONSER
- COUNTY FREE LIBRARY
- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE RESOURCE MGMT DIST
- CSA 152
- CV MOSQ & VECTOR CONTROL
- CVC WTR IMP DST 1 DEBT SV
- DESERT COMMUNITY COLLEGE
- DESERT SANDS UNIFIED SCHOOL
- GENERAL
- GENERAL PURPOSE
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- SUPERVISORIAL ROAD DISTRICT 4

SPECIAL NOTES

PLEASE REFER TO ORDINANCE 457.96 FOR COACHELLA VALLEY AGRICULTURAL GRADING EXEMPTIONS.

BUILDING PERMITS

Case #	Description	Status
BAS130004	DETACHED PRIVATE GARAGE 30 X 80	FINAL
BHR050287	1 HOUR GRADING INSPECTION	FINAL
BMP130006	CONST NPDES DETACHED GARAGE	FINAL
BRS054752	DWLG WATTACHED GARAGE 5043 SQ FT	FINAL
BRS054752	DWLG WATTACHED GARAGE 5043 SQ FT	FINAL
BSP130283	POOL, SPA AND GAS LINE TO FIRE PIT	ISSUED
BWL130453	BLOCK WALL TO POOL EQUIPMENT CO STANDARD	ISSUED
BXX045050	PERIMETER GARDEN WALL 360'X6'	FINAL
BXX064433	GARDEN WALL 609X6 W/12 PILASTERS 1X1X6	FINAL

ENVIRONMENTAL HEALTH PERMITS

Case #	Description	Status
EHS053080	PLAN REVIEW	APPLIED
EHW051124	NEW INDIVIDUAL WELL	APPLIED

PLANNING PERMITS

Case #	Description	Status
COC05608	CERP. PARCEL AS LEGAL DISCRPTIONS	APPROVED
GZ07697	ORD AMD 348.4636 TO EST PROPERTY MAINT STANDARDS	APPROVED
MT070070	COC05608	PAID
PP25119	2400 SQ FT RV GARAGE	APPROVED

REPORT PRINTED ON...Tue Aug 13 09:06:26 2013
Version 130624