

# PLANNING DEPARTMENT

Carolyn Syms Luna Director

1:30 P.M. OCTOBER 21, 2013

# AGENDA RIVERSIDE COUNTY PLANNING DEPARTMENT DIRECTOR'S HEARING

DESERT PERMIT ASSISTANCE CENTER 77588 El Duna Court, Suite H Palm Desert, CA 92211

**NOTE:** Please be aware that the indicated staff recommendation shown below for each item may differ from that presented to the Planning Director during the public hearing.

If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Planning Director. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s).

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Mary Stark at (951) 955-7436 or E-mail at <a href="mailto:mcstark@rctlma.org">mcstark@rctlma.org</a>. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

- 1.0 CONSENT CALENDAR:
  - 1.1 **NONE**
- 2.0 PUBLIC HEARINGS: 1:30 p.m. or as soon as possible thereafter.
  - PLOT PLAN NO. 25356, PLOT PLAN NO. 25357, VARIANCE NO. 1888 and VARIANCE NO. 1889 CEQA Exempt Applicant: Chelsea Property Group LLC Engineer/Representative: Architects Orange Fifth/Fifth Supervisorial District Pass and Desert Zoning District The Pass Area Plan: Community Development: Commercial Retail (CD: CR) Location: Northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, westerly of Millard Pass 75.2 Gross Acres Zoning: Scenic Highway Commercial (C-P-S) REQUEST: To permit a uniform master signage program for an existing outdoor outlet shopping center located on 75 gross acres (Desert Hills Premium Outlets) and variance to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear face of buildings. Project Planner, Paul Rull at (951) 955-0972 or email <a href="mailto:prull@rctlma.org">prull@rctlma.org</a>. (Quasi-judicial)

DIRECTOR'S HEARING OCTOBER 21, 2013

PLOT PLAN NO. 25414 - CEQA Exempt - Applicant: Cindy and Drew Clark – Fourth/Fourth Supervisorial District – Location: Southerly Avenue 42 and easterly of Washington Street - REQUEST: The Plot Plan is a proposal for a Class I Kennel on 3.29 Acres. Project Planner, Bahelila Boothe at (951) 955-8703 or email <a href="mailto:bboothe@rctlma.org">bboothe@rctlma.org</a>. (Quasi-judicial)

#### 3.0 PUBLIC COMMENTS:

Agenda Item No.: 2 · 1

Area Plan: The Pass

Zoning District: Pass and Desert Supervisorial District: Fifth/Fifth

Project Planner: Paul Rull

Directors Hearing: October 21, 2013

PLOT PLAN NO. 25356, 25357 VARIANCE NO. 1888, 1889

**CEQA Exempt** 

Applicant: Chelsea Property Group Engineer/Rep: Architects Orange

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

#### PROJECT DESCRIPTION AND LOCATION:

**PLOT PLAN NO. 25356** and **PLOT PLAN NO. 25357** proposes a uniform master signage program for the existing Desert Hills Premium Outlets outdoor shopping center including wall signs, pylon signs, monument signs, garage parking signs, identification signs, hanging signs, directory and direction signs located on 75 gross acres.

VARIANCE NO. 1888 and VARIANCE NO. 1889 proposes to exceed the maximum sign face surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

The proposed project is located within the existing Desert Hills Premium Outlets shopping center. The proposed master signage program intends on consolidating all signs for both east and west wings of the shopping center and providing a uniformed sign design theme. The program includes pylon signs, monument signs, garage parking signs, directory and directional signs, wall tenant signs, and identification signs that will be required to follow consistent design, color, and coverage scheme.

The applicant is also seeking an increase in the signage area for tenant wall signs for the rear of the building from 5% to 10% of the surface area of the rear face building through the use of a variance.

Project is located northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, and westerly of Millard Pass.

#### **POTENTIAL ISSUES**

Desert Hills Premium Outlets was originally approved by Riverside County through PP11972 on May 3, 1998, for an outdoor outlet shopping center. The County has processed approximately 80 on-site signs over the years for the east and west wings of the shopping center, including tenant wall signs located on the rear of the commercial buildings. These signs were permitted under Ordinance No. 348 Section 19.4.b.1.c which states that the surface area of the sign shall not exceed 5% of the surface area of the rear face of the building. The proposed variances are to modify property development standards pertaining to the size of the rear wall building sign in accordance with Section 19.4.e.

The applicant has expressed concerns with the lack of advertising exposure from the 5% restriction for rear wall signs:

- Deficiency in sign exposure along Seminole Road and Millard Pass,
- Stores reverse frontage orientation with backs of stores facing Seminole Road resulting in minimal sign exposure towards the I-10 freeway,
- Building design and orientation driven by close proximity of fault lines and fault setback lines
  which required buildings to be located as close as possible to Seminole Road and Millar Pass.
  The orientation and design of the building layout was also necessary to provide a safe protected
  area for shopping from the high winds of the Coachella Valley. The buildings act as a natural
  windbreak, and by having the store fronts facing inwards, it reduces the impacts to the stores
  and shoppers,

- The requested 10% wall sign area is consistent with several wall signs permitted by the County in the adjacent shopping center to the east. The Cabazon Outlets shopping center have store fronts facing Seminole Road, and as such, are permitted 10% in tenant wall sign area.
- The requested 10% wall sign area is consistent with Section 19.4.e through the use of a variance. Section 19.4.e allows for front and rear wall building signs to be 10% of the surface area of the building face for projects located along scenic corridors designated within the Eastern and Western Coachella Valley Community Plans. Although the project is not located within the Eastern or Western Coachella Valley Community Plans (approximately 4 miles east from the Western Coachella Plan boundary), it is located next to the I-10 freeway, which is a State eligible scenic highway, and it is still located in the greater Coachella Valley vicinity. Approval of the variance would mean that the project would share the same privileges of other similarly zoned Scenic Highway Commercial (C-P-S) properties within Eastern and Western Coachella Valley Community Plan in having a maximum of 10% wall sign area. Furthermore, the basis for the variance is predicated upon the special circumstances that exist for the property such that its location and surrounding area restrict the advertising privileges enjoy by other properties in the vicinity i.e. in the nearby Western and Eastern Coachella Community Plan Areas. The nearest commercial designated property within the Western Coachella Valley Community Plan is located at the intersection of I-10 freeway and Haugen-Lehmann Way approximately 8 miles from the project. The physical makeup of this property does not exhibit any unique characteristics or special considerations that would be deemed suitable to allow for an increase in surface signage area on the rear of buildings, yet it is permitted by right to have signage to up to 10% surface area of the rear of the building because of its location within the community plan. The proposed project, with all of its physical site constraints, is seeking the same privileges offered to properties in the vicinity through approval of a variance.

Due to these special circumstances, the signs at Desert Hills Premium Outlets are deprived of privileges enjoyed by other properties i.e. Cabazon Outlets which is similarly zoned Scenic Highway Commercial (C-P-S) and properties within the Eastern and Western Coachella Valley Community Plans. Desert Hills Premium Outlets and Cabazon Outlets shopping centers are located on Seminole Road, however due to topographical and seismic engineering restrictions, Desert Hills Premium Outlets had to design their buildings to face inwards, thus losing advertising exposure towards Seminole Road and the I-10 freeway, compared to Cabazon Outlets whose storefronts face towards Seminole Road and are allowed 10% wall sign area. Desert Hills Premium Outlets is located approximately 4 miles away from the Western Coachella Valley Community Plan boundary, which would have permitted the request of 10% wall sign area without the use of a variance. Based on the fact that the project's location 4 miles away from the Western Coachella Valley Community Plan boundary deprives the project of privileges enjoyed by those properties also zoned C-P-S located within the community's plan boundary.

#### **SUMMARY OF FINDINGS:**

1. Existing General Plan Land Use (EX.#5):

Community Development: Commercial Retail (CD: CR)

2. Surrounding General Plan Land Use (EX.#5):

Rural: Rural Desert (R: RD), Rural: Rural Residential (R: RR), Community Development: Commercial Retail (CD: CR), Community Development: Medium Density Residential (CD: MDR), Community Development: Light Industrial (CD: LI) City of Banning, Areas subject to Indian Jurisdiction

3. Existing Zoning (EX.#2): Scenic Highway Commercial (C-P-S)

4. Surrounding Zoning (EX.#2):: Controlled Development Areas (W-2), Controlled

Development Areas-10 acre minimum (W-2-10), Rural Residential-5 acre minimum (R-R-5), Scenic Highway Commercial (C-P-S), Manufacturing-

Service Commercial (M-SC), City of Banning

5. Existing Land Use (EX.#1): Outdoor commercial shopping center

6. Surrounding Land Use (EX.#1): Commercial shopping center, single family

residences on large lots, single family residences

on small lots, vacant

7. Project Data: Total Acreage: 75 gross acres

8. Environmental Concerns: CEQA Exempt (Section 15301.e, 15302.b,

15303.e, 15311.a)

#### **RECOMMENDATIONS:**

<u>APPROVAL</u> of VARIANCE NO. 1888 and VARIANCE NO. 1889, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report; and,

<u>APPROVAL</u> of PLOT PLAN NO. 25356 and PLOT PLAN NO. 25357, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

**FINDINGS:** The following findings are in addition to those incorporated in the summary of findings which is incorporated herein by reference.

- 1. The project site is designated Community Development: Commercial Retail (CD: CR) (0.25 0.35 FAR) in the Pass Area Plan.
- 2. The project site is surrounded by properties which are designated Rural: Rural Desert (R: RD), Rural: Rural Residential (R: RR), Community Development: Commercial Retail (CD: CR), Community Development: Medium Density Residential (CD: MDR), Community Development: Light Industrial (CD: LI) City of Banning, Areas subject to Indian Jurisdiction
- 3. The project site is located within the Cabazon Policy Area, however these policies do not apply to the project as the proposed signs are considered a minor development and an accessory to the existing shopping center.
- 4. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
- 5. On-site advertising signs and sign programs are permitted, provided that a plot plan application is submitted and approved pursuant to the provisions of Section 18.30 (Plot Plans) of Ordinance No. 348.
- 6. The proposed sign program is consistent with the development standards set forth in the Scenic Highway Commercial (C-P-S) zone and Section 19.4 (On-Site Advertising Structures and Signs). The proposed wall sign area of 10% of the surface area of the rear face of the building is consistent with the basis of findings outlined in Section 18.27 Variances. Special circumstances exist on the subject property which deprives the project of privileges enjoyed by other properties

in the vicinity such as the Cabazon Outlets shopping center directly east of the project. Due to topographical and seismic engineering restrictions, and high winds, Desert Hills Premium Outlets had to design their shops and buildings facing inwards to protect their customers, thus losing advertising exposure towards Seminole Road and the I-10 freeway, compared to Cabazon Outlets whose storefronts face towards Seminole Road and are allowed 10% wall sign area. Approval of the project will create a more uniformed sign design theme for the shopping center, as well as increasing business advertising exposure by expanding sign area maximums to a level consistent with existing adjacent uses.

- 7. The proposed project is consistent with Section 19.4.e through the use of a variance. Section 19.4.e allows for front and rear wall building signs to be 10% of the surface area of the building face for projects located along scenic corridors designated within the Eastern and Western Coachella Valley Community Plans. Although the project is not located within the Eastern or Western Coachella Valley Community Plans (approximately 4 miles from the boundary), it is located next to the I-10 freeway, which is a State eligible scenic highway, and it is still located in the greater Coachella Valley vicinity. Approval of the variance would mean that the project would share the same privileges of other similarly zoned Scenic Highway Commercial (C-P-S) properties within Eastern and Western Coachella Valley Community Plan in having a maximum of 10% wall sign area.
- 8. The project site is surrounded by properties which are zoned Controlled Development Areas (W-2), Controlled Development Areas-10 acre minimum (W-2-10), Rural Residential-5 acre minimum (R-R-5), Scenic Highway Commercial (C-P-S), Manufacturing-Service Commercial (M-SC), and the City of Banning.
- Commercial uses have been constructed on site and are operating in the project vicinity. There is
  also a mixture of large and small lot residences as well as vacant land surrounding the project
  site.
- 10. This project is not located within a Criteria Area of the Coachella Valley Multiple Species Habitat Conservation Plan.
- 11. The project is exempt from CEQA under Section 15301.e Existing Facilities, 15302.b Replacement or Reconstruction, 15303.e New Construction or Conversion of Small Structures, and 15311.a Accessory Structures.

#### **CONCLUSIONS:**

- 1. The proposed project is in conformance with the Community Development: Commercial Retail (CD: CR) (0.25 0.35 FAR) Land Use Designation, and with all other elements of the Riverside County General Plan.
- 2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
- 3. The proposed project is consistent with the On-Site Advertising Structures and Signs section of Ordinance No. 348.
- 4. The proposed project is consistent with the Section 18.27 (Variances) of Ordinance No. 348.

## PLOT PLAN NO. 25356, PLOT PLAN NO. 25357, VARIANCE NO. 1888, VARIANCE NO. 1889 Directors Hearing October 21, 2013 Page 5 of 5

- 5. The public's health, safety, and general welfare are protected through project design.
- 6. The proposed project is clearly compatible with the present and future logical development of the area.
- 7. The proposed project will not have a significant effect on the environment.
- 8. The proposed project will not preclude reserve design for the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).

#### **INFORMATIONAL ITEMS:**

- 1. As of this writing, no letters, in support or opposition have been received.
- 2. The project site is <u>not</u> located within:
  - a. Tribal Land:
  - b. A Specific Plan;
  - c. A Historic Preservation District;
  - d. An Airport Influence Area;
  - e. An MSHCP Criteria Cell;
  - f. A Flood Area; or
- 3. The project site is located within:
  - a. The boundaries of the Pass Area Plan;
  - b. West Desert Municipal Advisory Committees;
  - c. The boundaries of the Cabazon Policy Area:
  - d. A High Fire Area:
  - e. Banning Unified School District;
  - f. An area of moderate liquefaction;
  - g. An area of low potential for paleontological sensitivity;
  - h. An area of moderate liquefaction potential;
  - i. San Andrea fault zone;
- 4. The subject site is currently designated as Assessor's Parcel Numbers: 519-110-040 and 519-110-041

Y:\Planning Case Files-Riverside office\PP25356\DH-PC-BOS Hearings\DH-PC\PP25356 PP25357 staff report 10-21-13.docx Date Revised: 09/13/13



#### PP25356, PP25357, VAR1888, VAR1889 LAND USE MAP

## **Selected parcel(s):** 519-110-040 519-110-041

#### \*IMPORTANT\*

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Tue Sep 10 07:16:03 2013 Version 130826

Exhibit #1

## RM SULLIVAN RD MALKIRD S MATHEWS RD S 8 13TH RR 12TH RAMON City of IND Banning 10TH ST SERVICE RD CR MDR MOJA LE DR RAILA OADA VE RD LI 0 Riverside County TLMA GIS

#### PP25356, PP25357, VAR1888, VAR1889 GENERAL PLAN LAND USE MAP

**Selected parcel(s):** 519-110-040 519-110-041

#### \*IMPORTANT\*

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REPORT PRINTED ON...Tue Sep 10 07:14:54 2013 Version 130826

Exhibit #5

#### SULLIVAN RD MALKIRD W-2 S ST 8 13TH MATHEWS 12TH RAMON City of W-2 Banning W-2 W-2 W-2 10TH ST SERVICE RD C-P-S 10 R-R-5 MOJA VE DR RAILROAD AVE C-P-S W-2 W-2-10 M-SC 1,664 Feets , 0 Riverside County TLMA GIS

#### PP25356, PP25357, VAR1888, VAR1889 ZONING MAP

**Selected parcel(s):** 519-110-040 519-110-041

#### \*IMPORTANT\*

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Exhibit #2



September 12, 2013

Mr. Paul Rull, Contract Planner Riverside County Planning Department 4080 Lemon Street, 12th Floor Riverside, CA 92501

Re: Desert Hills Premium Outlets – Application Numbers PP25356 & PP25357 - Variance Justification

Dear Mr. Rull.

I am writing in response to your request regarding the justification for the variance to the allowable area of tenant and center identification and advertising wall signs for Desert Hills Premium Outlets, Cabazon, CA.. A Signage Masterplan Application is currently in process that incorporates this variance request for these parcels. The basis of the variance request is to modify County of Riverside Ordinance No. 348, Article XIX Advertising Regulations, Section 19.4b, Item 2.C which is a follows;

"Rear Wall of a Building - The surface area of the sign shall not exceed 5% of the surface area of the rear face of the building".

This variance request is to allow an increase to 10% of the wall surface area for signs on the rear wall of the buildings. This variance request is for plot plan numbers PP25356 and PP25357. Justifications for this request are as follows:

1. The building placement on both parcels was driven by the close proximity of fault lines and fault setbacks that occur on both sites. This unique site constraint required buildings to be located as close as possible to Seminole and Millard.

The unique site planning used at Desert Hills Premium Outlets creates a pedestrian oriented "promenade" with outlet stores "fronting" both sides of the promenade. This arrangement of buildings creates the best shopping environment for guests, while allowing the greatest number of retail suites to occur along the shortest walking path. This planning layout results in buildings with, what is defined by County of Riverside Ordinance as, their "backs" being exposed to the major street Seminole and minor street Millard Pass.

2. The additional sign area requested in this variance submission is not greater than the signage allowed on other adjacent projects fronting onto Seminole. Therefore, granting this variance will allow the project the same level of signage fronting onto public streets as adjacent projects.

To conclude, these variances should be granted because of special circumstances applicable to Desert Hills Premium Outlets, including but not limited to, its configuration, topography, location and surroundings – all of which are criteria on which variances are to be granted under the express terms of the ordinance.

Sincerely.

Architects Orange

Darrel Hebenstreit, Partner September 12, 2013

## Architects Orange

144 North Orange Street Orange, California 92866 Ph 714.639-9860 Fax 714.639-5286 E-mail: architectsorange.com



## **SIGN TABULATIONS**

#### **EAST SIDE**

Sign Type	Number
Food Court Identity –Tower Mounted	1
Food court Tenant Identity/ ATM	1
Pylon Identity	1
Pedestrian Directional –ATM/Restrooms	2
Pedestrian Directory	6
Pedestrian Directional- Village sign	5
Pedestrian Wayfinding	1
Center Identity	3
Pedestrian Wayfinding Gatway-Overhead	1
Auto-Directional – Ground Mounted	2
Auto-Directional Monument	2
Pedestrian Directional Village Entry	1
Auto Directional Sign – Wall Mounted	1
Pedestrian Wayfinding -Wall Mounted	6
Vehicular Gateway Overhead Archway	3
Information Sign Blade	1



## PARKING GARAGE

Sign Type	Number
Center Identity -Wall Mounted	2
Vehicular Entry Directional- Wall Mounted	7
Car Counter Display	5
Vehicular Gateway-Ground Mounted overhead arch	1
Vehicular Entry Directional wall mounted blade	4
Pedestrian Directional-wall mounted	1
Valet Sign	1
Valet Sign- column mounted blade	



## WEST SIDE

Sign Type	<u>Number</u>	
Pedestrian Crossing/wayfinding ground mount	ed	2
Monument Identity		
Food Court Identity-tower mounted		ļ
Food Court Identity-wall mounted		]
Food Court Tenant Wall Sign		2
Pedestrian Directional- village sign		4
Center Identity –wall sign		2
Pedestrian Directory		3
Pedestrian Wayfinding		2
Pedestrian Wayfinding-wall mounted		3
Monument Identity		]
Pylon Identity (if no monument is installed)		]
Customer Information Sign		2
Vehicular Directional Sign		1

WEST MASTER SIGN PROGRAM TABULATIONS — LANDLORD SITE AND WALL SIGNS WEST MASTER SIGN PROGRAM TABULATIONS — WALL SIGNS

SHEET INDEX:

OVERALL SITE WEST LANDLORD SIGNAGE

WS0.01

TITLE SHEET

OVERALL SITE WEST LANDLORD SIGNAGE

WEST LANDLORD SIGNAGE DETAILS

WEST LANDLORD SIGNAGE DETAILS
WEST SITE PLAN BUILDINGS 5, 6 & 7
WEST SITE PLAN BUILDINGS 3 & 4

WA0.01

WA1.01 WA1.02 WA1.03 WA1.04

WS0.03

IGNAGE ELEVATIONS BUILDING 4, 5, 6 &

IGNAGE ELEVATIONS BUILDING 4 IGNAGE ELEVATIONS BUILDING 6 GNAGE ELEVATIONS BUILDING 3 & 6

IGNAGE ELEVATIONS BUILDING 3

WA1.05 WA1.06 WA1.07

WA1.08 WA1.09 WA1.10 WS2.01

IGNAGE ELEVATIONS BUILDING 3, 6 & 7 IGNAGE ELEVATIONS BUILDING 3, 6 & 7 IGNAGE ELEVATIONS BUILDING 5 & 7

WEST MASTER SIGN PROGRAM

48650 Seminole Dr.

AO PROJECT #2006-039

Cabazon, CA

Desert Hills Premium Outlet



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EMPORARY PROMENADE SIGNS / TEMPORARY PROMENADE BANNERS

ENANT ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

ENANT WALL SIGN EXAMPLES TYPE "A"

IGNAGE ELEVATIONS BUILDING 4

IGNAGE ELEVATIONS BUILDING 4

ENANT WALL SIGN EXAMPLES TYPE "B"

SHEET

WA0.00

PLANNER: P. RULL CASE #: PP25356 DATED: 9/19/13 EXHIBIT: S

## $\underline{\mathit{WEST}}$ - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS

0	LANDLORD DIRECTIONAL SIGN
	LANDLORD ADVERTISING SIGN

Sign /			,	
Item	Sign		Sign Dimensions	
Number	Туре	Sign Description	(w x h)	Sign Area (sf)
		Retail Buildings	and Site	
WL35A		Pedestrian Crossing/Wayfinding Sign - Ground Mounted	N/A	N/A
WL35B	Ŏ	Pedestrian Crossing/Wayfinding Sign - Ground Mounted	N/A	N/A
WL36		Monument Identity Sign	7'-2" x 11'-2" x 12'-0" high	80 sf / face. 2 faces total
WL37	Not U	sed		
WL38	Not U	sed		
WL39A	0	Food Court Identity - Tower Mounted	10'-0" x 12'-0"	120 sf
WL39B	Ŏ	Food Court Identity - Wall Mounted	10'-0" x 12'-0"	120 sf
WL40	ΙĎ	Food Court Tenant Wall Signs	6'-0" x 10'-0"	60 sf
WL41A	<u> </u>	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL41B	Ĭ	Center Identity - Tower Mounted	6'-5" × 18'-5"	118 sf
WL42A	Ī	Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL42B	Ħ	Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL42C		Pedestrian Directory	3'-7" x 4'-5"	16 sf / face. 2 Faces Total
WL43	l	Pedestrian Wayfinding	N/A	N/A
WL44	Not U	<u> </u>		
WL45		Pedestrian Wayfinding - Wall Mounted	N/A	N/A
WL46	Ħ	Monument Identity Sign	7'-2" x 11'-2" x 12'-0" high	80 sf / face. 2 faces total
WL47	7	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL48	lŏ	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
WL49	Ιŏ	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL50	Not U	The state of the s		
WL51	0	Pedestrian Wayfinding	N/A	N/A
WL52	Ιŏ	Pedestrian Wayfinding - Wall Mounted	4'-3" x 21'-10"	93 sf
WL53	Ιň	Center Identity - Tower Mounted	6'-5" x 18'-5"	118 sf
WL54	15	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL55	Ť	Pedestrian Directional - Villa Sign	4'-3" x 21'-10"	93 sf
WL56	Not U			
WL57	П	Pylon / Identity Sign	8'-9" x 17'-0" x 40'-0" high	149 sf/face. 2 Faces Total
WL58	ᅥᆏ	Customer Information Sign	1'-6" x 10'-0"	<b>1</b> 5 sf
WL59	ΙŎ	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL60	lŏ	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL61	Ιŏ	Customer Information Sign	1'-6" x 10'-0"	15 sf
WL62	Ιŏ	Vehicular Directional Sign	8'-0" x 8'-0"	64 sf

## **WEST** - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
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WL41A	4	WA1.01	68FT <sup>2</sup>	ENTRY	PEDESTRIAN DIRECTIONAL	93.UF1
	•	14/44 04		ENTRY		prob4(-0);
W2	4	WA1.01	52FT²	ENTRY	-	
W3	4	WA1.01	} <sup>‡</sup>			egy i i irkumuu Adjuunkuuuun kAAshaAsAAAAsuuuniAsuu
WL39B	4	WA1.01		PUBLIC	FOOD COURT IDENTITY	120.0FT <sup>2</sup>
WL40	4	WA1.01	150FT <sup>2</sup>	PUBLIC	FOOD COURT TENANTS	60.0FT <sup>2</sup>
, , , , , , , , , , , , , , , , , , ,			The second section of the second section of the second section of the second section of the second section sec	Angendra de este e commune de expressión como de execu-	A. v.,	
WL39A	4	WA1.01	76FT <sup>2</sup>	PUBLIC	FOOD COURT IDENTITY	120.0FT <sup>2</sup>
	•		I worked the minimum of the secret in minimum of the second on the secret and the second and the	Assessed in proceedings of the Section of the Secti		
W8	4	WA1.01	The second secon	432	JONES NEW YORK	28.9FT <sup>2</sup>
W9	4	WA1.01	202572	430	ED HARDY	28.9FT <sup>2</sup>
W10	4	WA1.01	282FT²	428	KASPER	14.5FT <sup>2</sup>
W11	4	WA1.01	vol. 1	426	DKNY	20.6FT <sup>2</sup>
					And the second s	
W12	4	WA1.01		424	NINE WEST	21.9FT <sup>2</sup>
W13	4	WA1.01	172FT <sup>2</sup>	420	BOSE OUTLET STORE	24.8FT <sup>2</sup>
W14	4	WA1.01		419	FRAGRANCE OUTLET	26.7FT <sup>2</sup>
				410	ECCO	23.8FT <sup>2</sup>
W15	4	WA1.01		418		Z.3.01 1
W16	4	WA1.01		414	TOMMY HILFIGER	43.5FT <sup>2</sup>
W17	4	WA1.01	2.40572	414 414	Olatial urribude	TO+011
W18	4	WA1.01	340FT <sup>2</sup>	ţ	SUNGLASS HUT	32.7FT <sup>2</sup>
W19	4	WA1.01		411	CLAIRE'S	11.8FT <sup>2</sup>
W20	4	WA1.01	1	410	THE LUGGAGE FACTORY	21.3FT <sup>2</sup>
W21	4	WA1.01		408		Z 1.J
W22	4	WA1.01		400	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	
W23	4	WA1.01	88FT²	400	GAP OUTLET	25.5FT <sup>2</sup>
			3	1 400	CAROUTIET	18.8FT²
W24	4	WA1.01	76FT <sup>2</sup>	\$ 400	GAP OUTLET	TO'OI
W25	4-5	WA1.01	132FT <sup>2</sup>	800	POLO RALPH LAUREN CHILDREN	45.0FT <sup>2</sup>
44 ZJ	7 2	*********		a and representations of the medium ordinary and		5-5-5-5-5-5-5-5-5-5-5-5-5-5-5-5-5-5-5-
W26	5	WA1.02	76FT <sup>2</sup>	500	ANN TAYLOR FACTORY STORE	52.5FT <sup>2</sup>
					AAA N. kark paman maman Aaa Aagaa maman Aaa Aa	000
W27	5	WA1.02		500	ANN TAYLOR FACTORY STORE	28.9FT <sup>2</sup>
W28	5	WA1.02	156FT <sup>2</sup>	500		4.000
W29	5	WA1.02	1	502	TRUE REIGION BRAND JEANS	16.0FT <sup>2</sup>

#### <u>WEST</u> - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
			the things of the first terms where we are the windows of the mean and the contract of			
W30	5	WA1.02		504	NAUTICA	22.0FT <sup>2</sup>
W31	5	WA1.02		508	-	_
W32	5	WA1.02	288FT²	508	SPLENDID-ELLA MOSS	15.4FT <sup>2</sup>
W33	5	WA1.02		510	VOLCOM	37.5FT <sup>2</sup>
W34	5	WA1.02		512		29.0FT <sup>2</sup>
W35	5	WA1.02		514	7 FOR ALL MANKIND	17.1FT <sup>2</sup>
W36	5	WA1.02	158FT²	518	US POLO ASSN.	40.9FT <sup>2</sup>
W37	5	WA1.02	And the second s	518	-	-
				930-7-1 hir 1354 majorii i i i i i i i i i i i i i i i i i i	And comparison and state of the control of the cont	
W38	5	WA1.02		520	COLDWATER CREEK OUTLET	46.8FT <sup>2</sup>
W39	5	WA1.02	120FT²	520	•	-
				- > < /	1	
W40	5	WA1.02	26FT <sup>2</sup>	520	100 mm/s (100 mm/s) (1	e de la le projetica y habitante è professiona quantitati de la consecución del la consecución del la consecución de la consecución de la consecución de la consecución de la consecución del la consecución de la
				en materiare de compete ambles estate conserve e servicio e e sese	and the state of t	h
W41	7	WA1.02	46FT <sup>2</sup>	720	-	-
					***************************************	29.5 A. C. Sanna An An S. C. Announce of the control of the contro
W42	7	WA1.02	78 <b>FT</b> ²	720	LAST CALL BY NEIMAN MARCUS	35.0FT <sup>2</sup>
			the commendation of the co	**************************************	3	
W43	7	WA1.02		720	-	_
W44	7	WA1.02	114FT <sup>2</sup>	720	-	_
					\$	
WL55	7-6	WA1.02	74FT <sup>2</sup>	ENTRY	PEDESTRIAN DIRECTIONAL	93.0FT <sup>2</sup>
				% 5.4. A		
WL45	7-6	WA1.02	26FT <sup>2</sup>	В.О.Н.	PEDESTRIAN WAYFINDING	N/A
					de a residencia de proprio de proprio de la companio del la companio de la companio del la companio de la companio del la companio de la companio de la companio de la companio de la companio del la companio del la co	
W45	6	WA1.03	72FT <sup>2</sup>	626		-
	<del>-</del>			· · · · · · · · · · · · · · · · · · ·		
W46	6	WA1.03		626	VANS OUTLET	21,0FT <sup>2</sup>
W47	6	WA1.03	172FT²	626	CONTRACTOR	
W48	6	WA1.03		624	CHICO'S	29.0FT <sup>2</sup>
	_		·		A	
W49	6	WA1.03		622	GYMBOREE	18.2FT <sup>2</sup>
W50	6	WA1.03	and the second to	620	BOSTONIAN CLARKS	30.7FT <sup>2</sup>
W51	6	WA1.03	***************************************	618	PERFUMANIA	18.7FT <sup>2</sup>
W52	6	WA1.03	294FT <sup>2</sup>	616	DIESEL	16.5FT <sup>2</sup>
W53	6	WA1.03	-	614	UGG	10.8FT <sup>2</sup>
W54	6	WA1.03	seption means	612	WILLIAM RAST	19.0FT <sup>2</sup>
	_			~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		
WS5	6	WA1.03		610	VAN HEUSEN	23.6FT <sup>2</sup>
<del></del>			4-01		**************************************	,01
W56	6	WA1.03	172FT <sup>2</sup>	600	<b>-</b>	_

#### **WEST** - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
W58	6	WA1.03	72FT <sup>2</sup>	600	BASS	20.6FT <sup>2</sup>
	•		· · · · · · · · · · · · · · · · · · ·	>>***		20.01
W59	6	WA1.03	, and was the first weak two terms are not we was the arrange first the first weak the same and the first fi	600		
W60	6	WA1.03	22257	600	-	<u> </u>
W61	6	WA1.03	222FT²	600	- And the second	***************************************
WL52	6	WA1.03		B.O.H.	PEDESTRIAN WAYFINDING	N/A
			,			
W63	6	WA1.03	30FT <sup>2</sup>	B.O.H.		***************************************
WL54	6-3	WA1.04	198FT <sup>2</sup>	ENTRY	PEDESTRIAN DIRECTIONAL	93.0FT <sup>2</sup>
	_			CANAL MARKATAN AND AND AND AND AND AND AND AND AND A		260m \ 164.mm mm
W65	3	WA1.04	30FT <sup>2</sup>	В.О.Н.	-	
W66	3	WA1.04		300		
W67	3	WA1.04	220FT <sup>2</sup>	300	Co. A challen reference and support or support and a series of the serie	<del></del>
W68	3	WA1.04		300	-	_
W69	3	WA1.04		300		**************************************
				"Person" sammeng (Mga sammen delpas signim per a Mga Nelpa spa a pass, sa	\$\$\frac{1}{2}\frac{1}{	milyanid franklard recommended of the same declarate declarate declarate de electric declarate declarate de electric de el
W70	3	WA1.04	72FT <sup>2</sup>	300	LEVI'S OUTLET STORE	47.1FT <sup>2</sup>
W71	3	WA1.04		300	LEVI'5 OUTLET STORE	27.5FT <sup>2</sup>
W72	3	WA1.04	82FT²	300	**************************************	-
14/70	2	W/A4 O4	* FOET?	204		
W73	3	WA1.04	58FT <sup>2</sup>	304		<u></u>
W74	3	WA1.04	48FT²	304	CRABTREE & EVELYN	30.0FT <sup>2</sup>
			" sa az az sa mesan se mesan se az az az az ez ez ez ez en ez en elemente en elemente en elemente en elemente e	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		9-32/1-25/4(com-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1
W75	3	WA1.04	76FT²	306	-	
W76	3	WA1.04	/bF1-	306		_
W77	3	WA1.04	76FT²	306	OFF 5TH-SAKS FIFTH AVENUE	73.3FT²
VV / /	3	WA1.04	/0Г1-	סטכ	OFF SIN-SANS FIFTIN AVENUE	/3.311
W78	3	WA1.04	705-7	306	•	
W79	3	WA1.04	72FT²	306		_
	_					~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
W80	3	WA1.04	48FT <sup>2</sup>	320	SOLSTICE SUNGLASS OUTLET	34.5FT <sup>2</sup>
W81	3	WA1.04	48FT <sup>2</sup>	320	SOLSTICE SUNGLASS OUTLET	20.3FT <sup>2</sup>
W82	3	WA1.04		322	ALDO	16.6FT <sup>2</sup>
W83	3	WA1.04	_	324	SAMSONITE	24.3F <b>T</b> <sup>2</sup>
W84	3	WA1.04	172FT <sup>2</sup>	325	LUCKY BRAND	33.5FT <sup>2</sup>
W85	3	WA1.04	***************************************	326	L'OCCITANE	32.0F <b>T</b> <sup>2</sup>

## $\underline{\mathit{WEST}}$ - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

IGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA	
	,		and the second s	330	No. 1984 (1974) 1985) 1987 - 1988 - 1		
W86	<i>3</i>	WA1.05	1	330	J-CREW	34.8FT <sup>2</sup>	
W87	3	WA1.05	236FT²		SKETCHERS	39.3FT <sup>2</sup>	
W88	3	WA1.05	: : : : : : : : : : : : : : : : : : :	336 338	JREICHENS		
W89	3	WA1.05	s B	330	high ann sh ann an shainn an maillean Ann an Anhain An Ann an Ann an Ann an An An Ann an Ann an An Ann an	System of the Column Section S	
W90	3	WA1.05	man paga paga aga ana aga ang man paga paga ana ang aga aga aga aga aga aga aga	338	KENNITH COLE NEW YORK	21.0FT <sup>2</sup>	
W91	3	WA1.05	144FT <sup>2</sup>	338	KENNITH COLE NEW YORK	34.7FT <sup>2</sup>	
W92	3	WA1.05	90 III II I	338	A major man h hamana majaga man man man haman man haman hama		
			*	A Company of the Comp	- 19-19-MINIMBARAN MARINAY SIGAANI SIGAANI SIGAANI SIGAANI SIMA SIMA SIMA SIMA SIMA SIMA SIMA SIM	A CONTRACTOR OF THE PROPERTY O	
W93	3	WA1.06	98FT <sup>2</sup>	338		<u> </u>	
W94	3	WA1.06	9851-	338	PANNES CO. S. C. Marian Manuscrick (Co. S. C.		
				,	of white the second		
W95	3	WA1.06	100FT²	338			
W96	3	WA1.06	TOO! I	338	A SANDAR AND	-	
			, maara ahaa mada ahaa mada ahaa ahaa ahaa aha		Company of the compan		
W97	3	WA1.06	96FT²	338			
W100	3	WA1.06		330		makada mahada kun dinaga na sasa ay na munika ka ka ka ka ka ka	
	2	WA1.06	168FT <sup>2</sup>	336	The state of the s	_	
W98	3	WA1.06		336		-	
W99	3			330		-	
W101	<b>V101</b> 3	WA1.06	WA1.06		. 330	Security (1995) September 2000 (1995) September 1990 (1995) Septem	
W102	3	3 WA1.06	46FT <sup>2</sup>	330	the standard of the standard o	-	
*****	•		1 mm p - g - n n m m n n - e - e - e - e - e - e - e - e - e				
W103	3	WA1.06	FOFT?	В.О.Н.	-	-	
W104		WA1.06	58FT²	в.О.Н.	e consequencia e cons		
				4	ti ayanna Massay ining Massay ining Massay in an		
W105	3	WA1.06	58FT²	В.О.Н.			
W106	3	WA1.06	JOI 1	<b>B.O.H.</b>		N	
	. <u>-</u>	1444 65		326			
W107		WA1.06		325	The state of the s	-	
W108		WA1.06		324		-	
W109	, v.,,,	WA1.06	rounder 14	323	$\cdots = (Q + 1)(Q $		
W110		WA1.06	man A	323	garan managangan sa sambiyang paramapan sa daga ajaqamada sa managyas san sa sa milkana sa sa managan sa sa sa ###	-	
W111	. 3	WA1.06	)	323	Section 1999 to the second section 1999 to the section		
W112	2 3	WA1.06	1 2	306	900 to 100 to		
W113		WA1.06	154FI <sup></sup>	В.О.Н.	**************************************	-	
	_		the second section of the second section is the second section to the second section s				
W114	<b>3</b>	WA1.06	j	306	rande jaga aya cakana e mane kasa camaman kasa aya caya camama e terge a camen mane kasa aya camama kasa a cam		
W115		WA1.06	144FT <sup>2</sup>	306	graph of the control		
W116		WA1.06	5	306	-		

#### <u>WEST</u> - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
			2		800 800	
W117	3	WA1.06	102FT²	306(BEYOND)	-	_
W118	3	WA1.06	TOZI   	306(BEYOND)	Complete Microsoft Chiliconne (11 colors a homologum material and the second of the second se	
111111	_	1444 00	·	1		***************************************
W119	3	WA1.06	220572	306(BEYOND)		<b>146</b>
W120 W121	3 3	WA1.06 WA1.06	220FT <sup>2</sup>	306(BEYOND) 306(BEYOND)	OFF FTH CAVE FIFTH AMPAILE	- 44 25T2
WIZI	3	WA1.00	; ( Сполеминую меть оты ымыслятьськи ыс	200(BEYOND)	OFF 5TH-SAKS FIFTH AVENUE	41.3FT <sup>2</sup>
W122	3	WA1.06	96FT²	В.О.Н.	•	-
			to an a waxay a a a a a a a a a a a a a a a a a a	·		
W123	3	WA1.07		300		_
W124	3	WA1.07	160FT <sup>2</sup>	300	-	-
W125	3	WA1.07	: : : :	300	\$20-039h	_
14400	2	14444 07	**************************************	v inne a consisse men en a sandonnemen a a a a a	arangan kangan akang 19 jil addilik jang jil addilik an pinak kanamathan pama pamamini kanang paliman an ang a	e contrator contrator con to the contrator con
W126	3	WA1.07	48FT <sup>2</sup>	В.О.Н.		-
WL49	3-6	WA1.07	304FT <sup>2</sup>	ENTRY	PEDESTRIAN DIRECTIONAL	93.0FT <sup>2</sup>
	30	77711.07	The state of the the state of t	**************************************		
WL58	3-6	WA1.07	304FT <sup>2</sup>	ENTRY	CUSTOMER INFO. SIGN	15.0FT <sup>2</sup>
			Emiliar el existe el se existe specifica aci are es any miles an ale se especific de se secreta se se	2 f. pr. p. p. 10 symmu i magazigas 2 m. m. myanagam. 14 s. 10 s. 1	\$	maging graphigammamab 5 delevers on master 5 to 6 to minimage.
WL59	<i>3-6</i>	WA1.07	304FT <sup>2</sup>	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15,0FT <sup>2</sup>
						······································
WL60	<i>3-6</i>	WA1.04	198FT <sup>2</sup>	ENTRY	<u>CUSTOMER INFO. SIGN</u>	15.0FT <sup>2</sup>
WL60	3-6	WA1.04	198FT²	ENTRY	CUSTOMER INFO. SIGN	15.0FT <sup>2</sup>
***	30	****	(	eljeer 14,114 m. m. 14 januar 1 m. m. 14,24 januar 1		15.01
WL48	6	WA1.07	32FT <sup>2</sup>	В.О.Н.	PEDESTRIAN WAYFINDING	N/A
			The second secon	\$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$ \$	(1)	en e
W128	6	WA1.07		В.О.Н.		-
W129	6	WA1.07	134FT <sup>2</sup>	В.О.Н.	VAN HEUSEN	38.1FT <sup>2</sup>
W130	6	WA1.07		B.O.H.	-	<b></b>
W131	6	WA1.07	! } • • • • • • • • • • • • • • • • • • •	В.О.Н.	mannon terrori (NAAA) Annon menerata mannon menerata menerata terrori terrori terrori terrori terrori terrori	-
W132	6	14/41 07	28FT²	607	DOONEY P DOUBLE	7
W13Z	ь	WA1.07	<b>28F1</b> -	607	DOONEY & BOURKE	
W133	6	WA1.07		607	am a spanna a mah, an 1956 am anh amand and an an amanda A. An anh ahang akka 1, a an an 1972 A.	<u>.</u>
W134	6	WA1.07	100FT <sup>2</sup>	607	DOONEY & BOURKE	18.8FT <sup>2</sup>
				· ************************************		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
W135	6	WA1.07	50FT <sup>2</sup>	607		
W136	6	WA1.07	50FT <sup>2</sup>	В.О.Н.	DOONEY & BOURKE	18.8FT <sup>2</sup>
14/407	_	14/44 07		CO7		, , , . , , , ,
W137 W138	6 6	WA1.07	78FT <sup>2</sup>	607	u haliggen tan tan in man in Appa an a tata in derlykta ta wat et tradition fally pyloter i tata et tata i i manimety kijo minimem i t ♣	- home many to the state of the
AATQQ	D	WA1.07	: :	607	-	

#### <u>WEST</u> - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

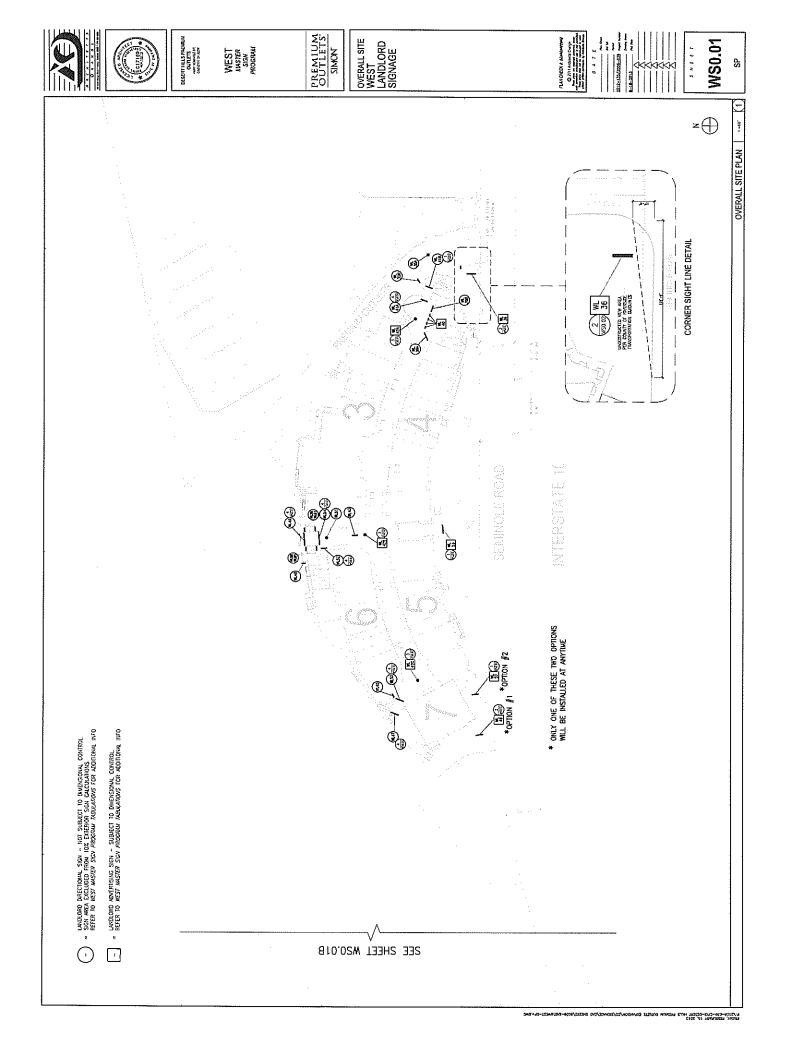
SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
W139	6	WA1.07	201 - 16, 100 - 100, 100 - 200 - 100	616	1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-	entingen in the contract of th
W140	6	WA1.07		616	3. Parameter annual resum — vancaning — vancaning — vancaning over 100 miles (100 miles	_
W141	6	WA1.07		618	- 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1 - 1	maddinf (frinchische Strömbische Laborinis in promine and promine and pro-
W142	6	WA1.07	351FT <sup>2</sup>	620	UGG	28.1FT <sup>2</sup>
W143	6	WA1.07		620	- And the Control of	_
W144	6	WA1.07		622	*** \$100 O 100 O 1	
W145	6	WA1.07		624		e e e e e e e e e e e e e e e e e e e
W146	6	WA1.07	244FT <sup>2</sup>	626	-	,,,,
W147	6	WA1.07		626	VANS OUTLET	23.3FT <sup>2</sup>
W148	6	WA1.07	T. S.	626		<u></u>
W149	6	WA1.07		В.О.Н.		
WL47	6-7	WA1.07	74FT <sup>2</sup>	ENTRY	PEDESTRIAN DIRECTIONAL	93.0FT <sup>2</sup>
W150	7	WA1.08		720		_
W151	7	WA1.08	269FT <sup>2</sup>	720	LAST CALL BY NEIMAN MARCUS	43.0FT <sup>2</sup>
W152	7	WA1.08		720		-
W153	7	WA1.08		720	\$100 pt \$100 p	· · · · · · · · · · · · · · · · · · ·
W154	7	WA1.08		720	_	_
W155	7	WA1.08		720		
W156	7	WA1.08	74FT <sup>2</sup>	720	VANS OUTLET	16.3FT <sup>2</sup>
W157	7	WA1.08	74FT <sup>2</sup>	720	LAST CALL BY NEIMAN MARCUS	34.8FT <sup>2</sup>
W158	7	WA1.08	50FT <sup>2</sup>	720		-
				and the state of t		and and de Period Annels of the Period State of the State
W159	7	WA1.08	42FT <sup>2</sup>	720	- Committee of the Comm	Land Company of the test of the state of the
W160	7	WA1.08	86FT²	720		
W162	7	WA1.08	99.	720	LAST CALL BY NEIMAN MARCUS	34.8FT <sup>2</sup>
W163	5	WA1.08	7 <b>6</b> FT²	В.О.Н.		<u></u>
W164	5	WA1.08	/ <b>U</b> I (	В.О.Н.	-	_
W165	5	WA1.08	72FT <sup>2</sup>	520	EDDIE BAUER	44.2FT <sup>2</sup>
W166	5	WA1.08		520		-
W167	5	WA1.08	200	518	TAG HEUER	35.5FT <sup>2</sup>
W168	5	WA1.08	242FT <sup>2</sup>	518		
W169	5	WA1.08	To de accompany	518	JOCKEY	28.1FT <sup>2</sup>
W170	5	WA1.08	- Arranda	514	UGG	28.1FT <sup>2</sup>

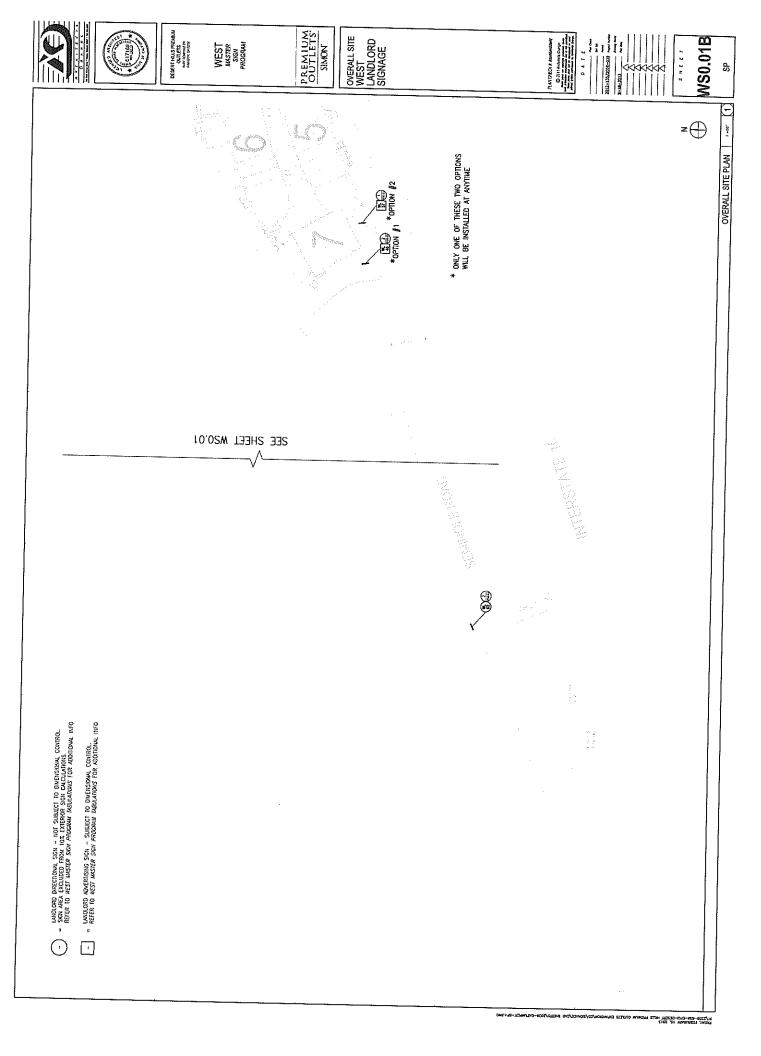
## ${\it WEST}$ - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

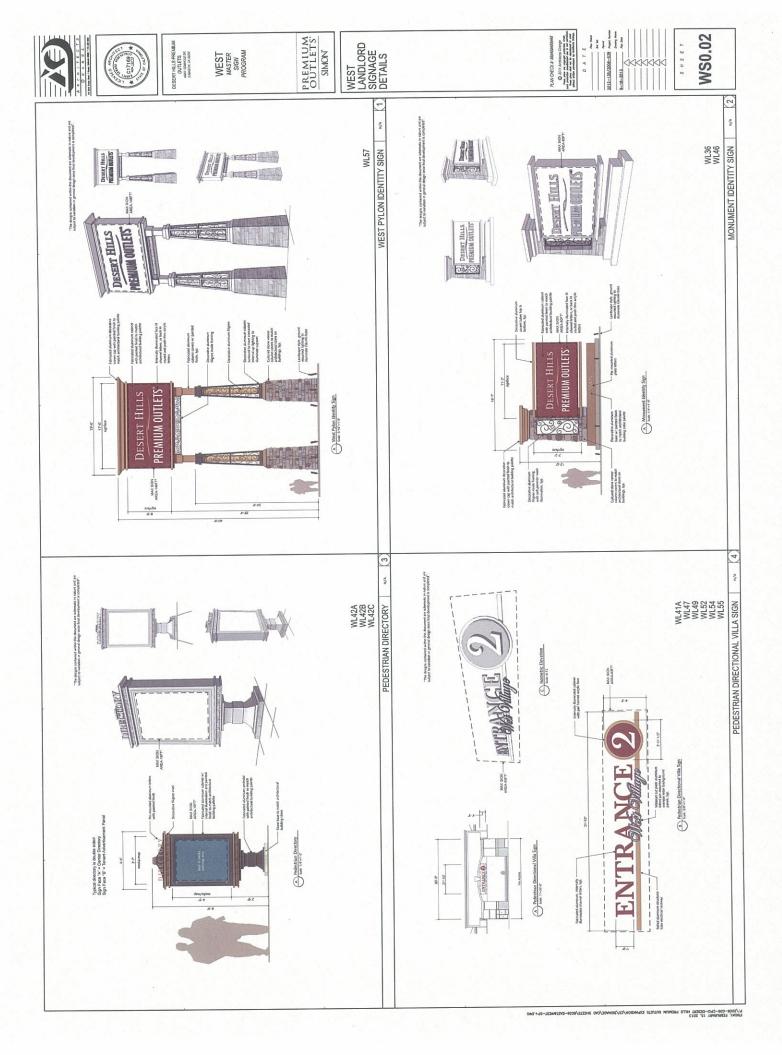
SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
W171	5	WA1.08		512	and and the support of the first continued to the first continued to the support of the support	
W172	5	WA1.08	141FT <sup>2</sup>	512		
W173	5	WA1.08	47 <b>1</b> 11	506	VOLCOM	34.6FT <sup>2</sup>
	-	177,12.00		200	79-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1	
W174	5	WA1.08	56FT <sup>2</sup>	506	NAUTICA	18.3FT <sup>2</sup>
W175	5	WA1.08	<b>44</b> FT <sup>2</sup>	504	TOD'S	9.6FT <sup>2</sup>
W176	5	WA1.08		504		
W177	5	WA1.08		502		
W178	5	WA1.08	172FT²	500	POLO RALPH LAUREN CHILDREN	45.0FT <sup>2</sup>
W179	5	WA1.08	1,4,1	500	ANN TAYLOR FACTORY CTORE	
W180	5	WA1.08		500	ANN TAYLOR FACTORY STORE	28.9FT <sup>2</sup>
	J	77712.00		<b>300</b>		
WL53	5-4	WA1.09	116FT <sup>2</sup>	800	<u>CENTER IDENTITY</u>	110 AFT?
		(			<u>CLIVIER IDENTITY</u>	118.0FT <sup>2</sup>
W182	4	WA1.09		400	VANS OUTLET	2.C AFT?
W183	4	WA1.09	164FT²	400	GAP OUTLET	36.0FT <sup>2</sup>
W184	4	WA1.09		400	LEVI'S OUTLET STORE	26.7FT <sup>2</sup>
W185	4	WA1.09		408	TOMMY HILFIGER	47.1FT <sup>2</sup>
		:.			J. J	36.8FT <sup>2</sup>
W186	4	WA1.09	56FT <sup>2</sup>	414		
			e en verste man met te en met en met en men met en men met en sen en met met met en met met met en met met met	*** **** ***** *** *** *** *** *** ***		
W187	4	WA1.09	(	414	-	**************************************
W188	4	WA1.09	154FT <sup>2</sup>	414	-	_
W189	4	WA1.09		418	-	
				for framework 100 to		
W190	4	WA1.09		420	BOSE OUTLET STORE	20.8FT <sup>2</sup>
W191	4	WA1.09	126F <b>T²</b>	420	NINE WEST	35.0FT <sup>2</sup>
W192	4	WA1.09		424	ECCO	15.8FT <sup>2</sup>
W193	4	WA1.09		A > C	2744.5.5	
W194	4	WA1.09	130FT <sup>2</sup>	426		
W195	4	WA1.09	TOUT I	426	TRUE RELIGION BRAND JEANS	45.3FT <sup>2</sup>
**155	7	WAL.US		428	J-CREW	42.0FT <sup>2</sup>
W196	4	WA1.09	50FT <sup>2</sup>	420		50000 Samuel 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
	·		JOI 1	430		
W197	4	WA1.09	en e	430		
W198	4	WA1.09	82FT <sup>2</sup>	432	ED HABBY	- 20 07
		i	··· <u>1</u>	<b>TJ</b> Z	ED HARDY	39.9FT <sup>2</sup>
W199	4	WA1.09		В.О.Н.	JONES NEW YORK	20 55-7
W200	4	WA1.09	160FT <sup>2</sup>	436	JONES INEW TURK	29,5FT <sup>2</sup>
				750	-	-

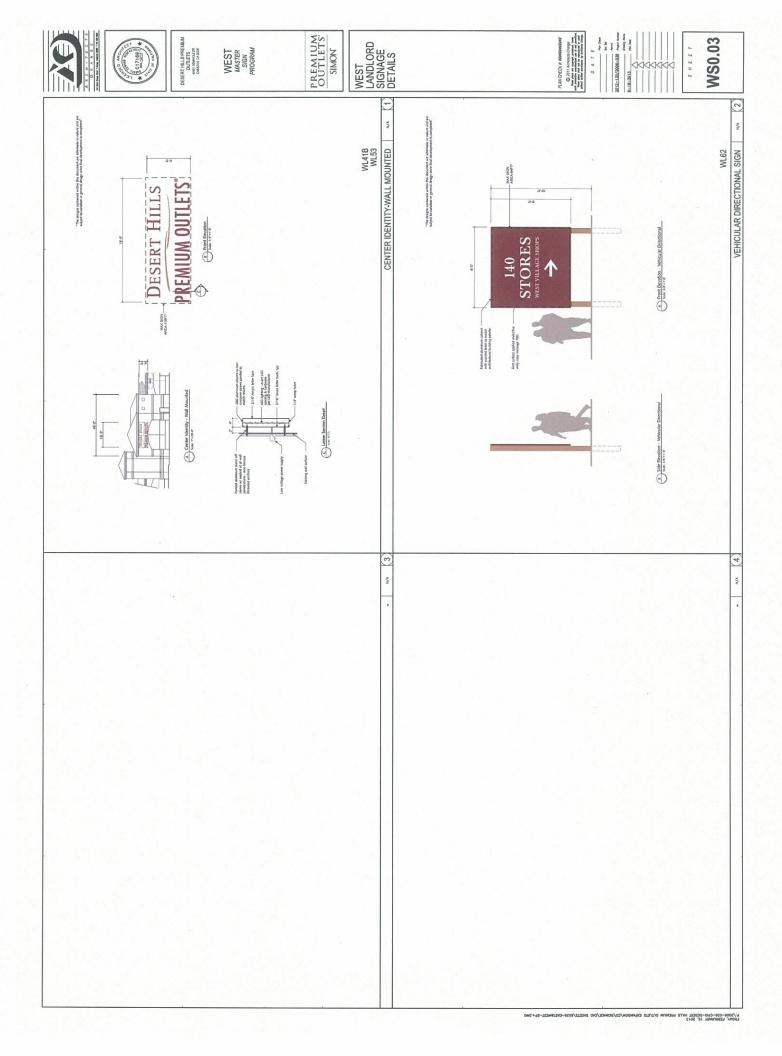
#### WEST - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
W202	4	WA1.09	SOFT <sup>2</sup>	440		
W203	4	WA1.10	50FT <sup>2</sup>	440		
W204	4	WA1.10	126FT <sup>2</sup>	442		10 N 1 N 1 N 1 N 1 N 1 N 1 N 1 N 1 N 1 N
W205	4	WA1.10	12011	444		-
W206	4	WA1.10	52FT²	ENTRY	a VVIII/NE E Verba Verbus e frefa e ferme forde men a makin hamme d'a comme a comme e force a comme	-
W207	4	WA1.10	3211	ENTRY	## ###################################	
WL41B	4	WA1.10	68FT <sup>2</sup>	ENTRY	CENTER IDENTITY	80.0FT <sup>2</sup>
W209	4	WA1.10	68FT²	<b>ENTRY</b>	-	







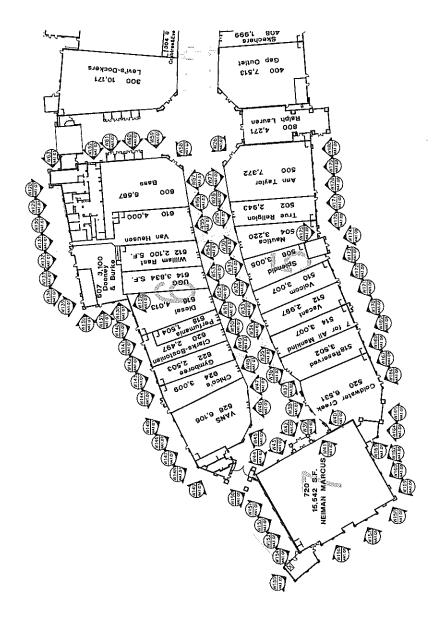




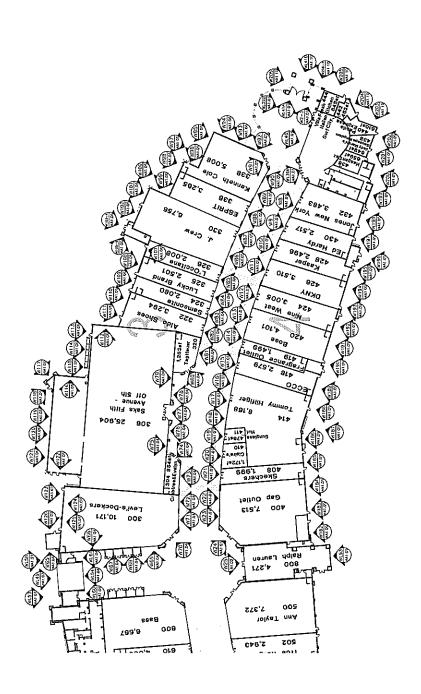
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SITE PLAN - BUILDINGS 5, 6 & 7



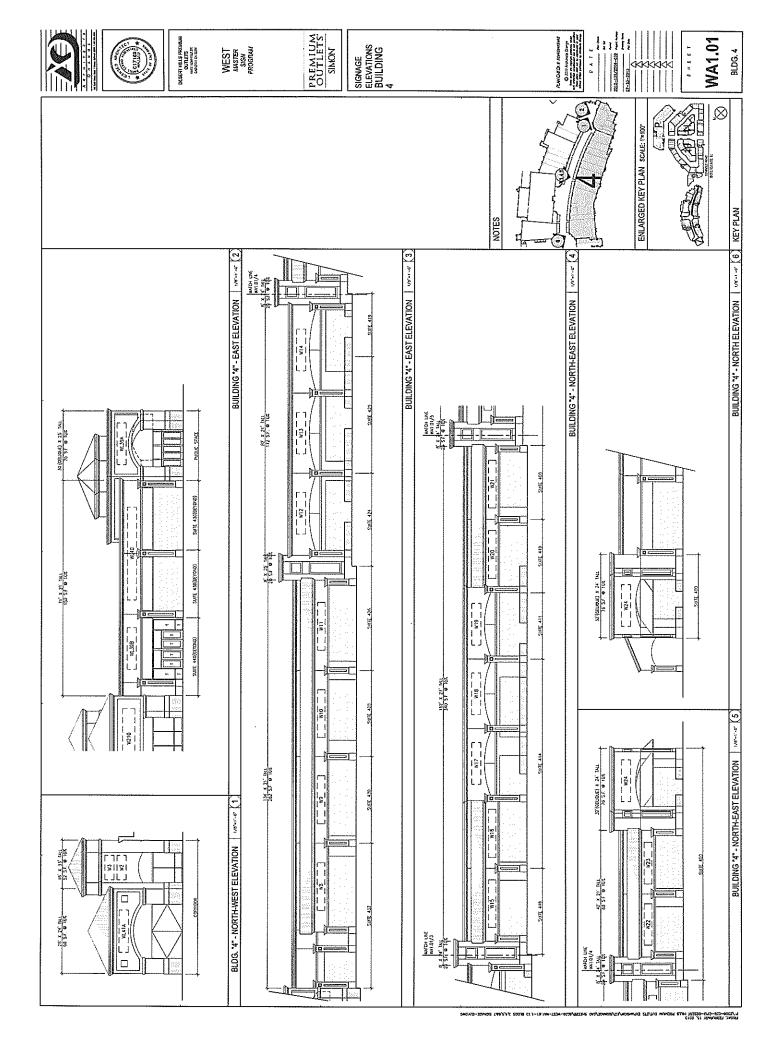
SITE PLAN - BUILDINGS 3 & 4

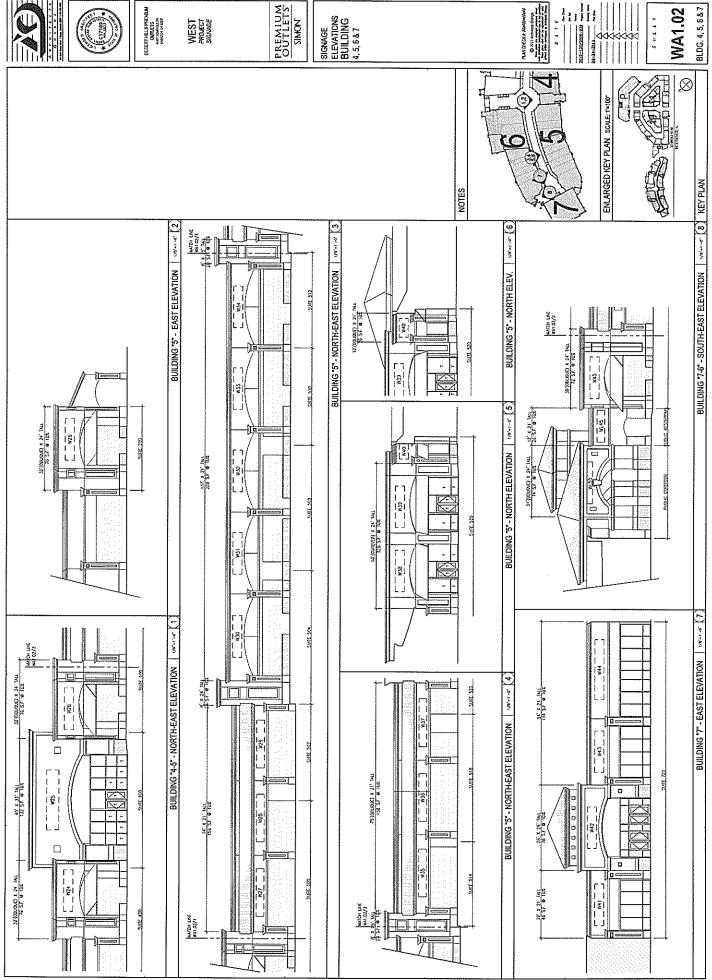


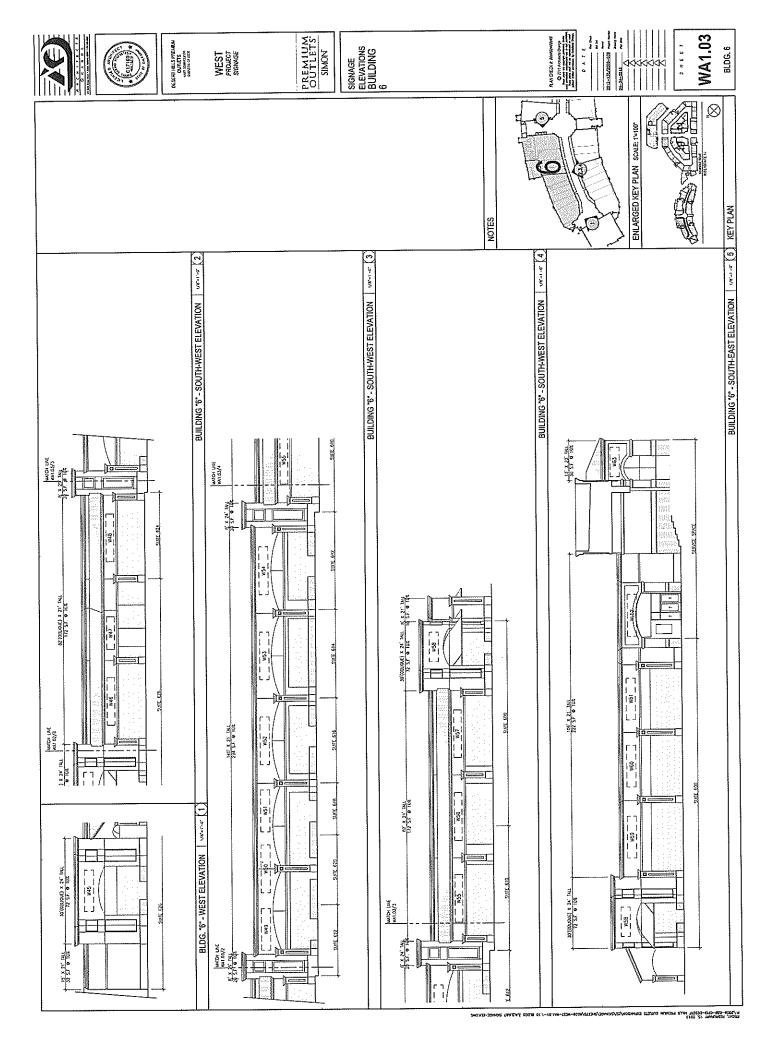
PREMIUM OUTLETS' SIMON

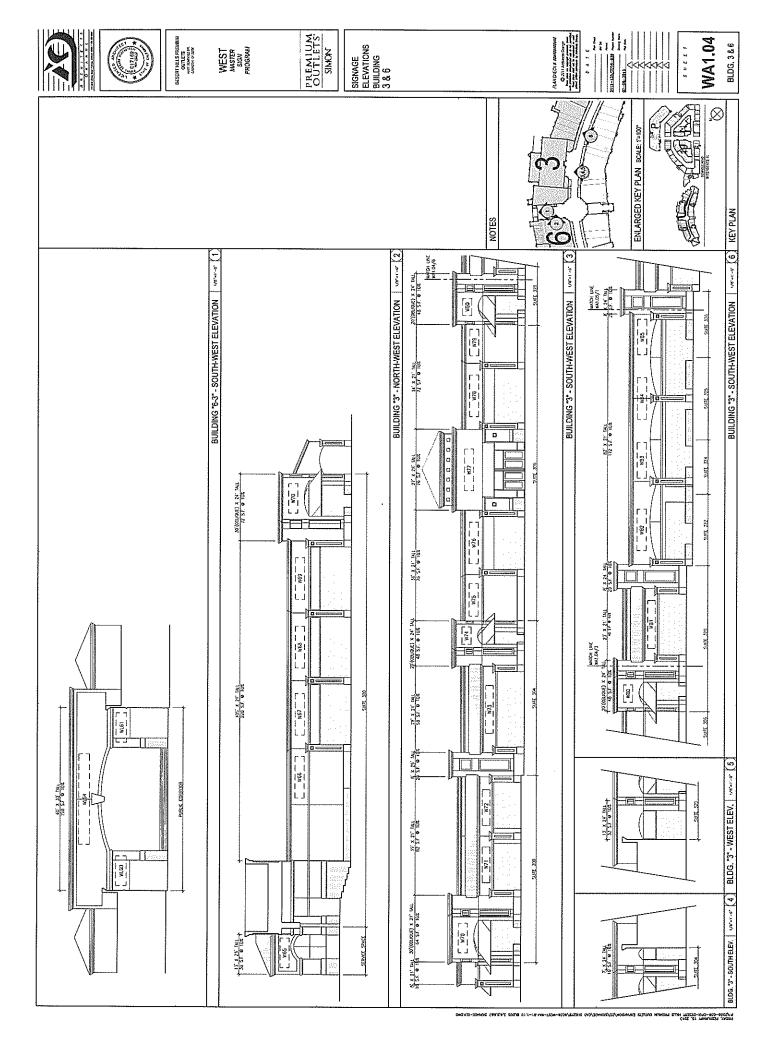
WEST SITE PLAN BUILDINGS 3 & 4

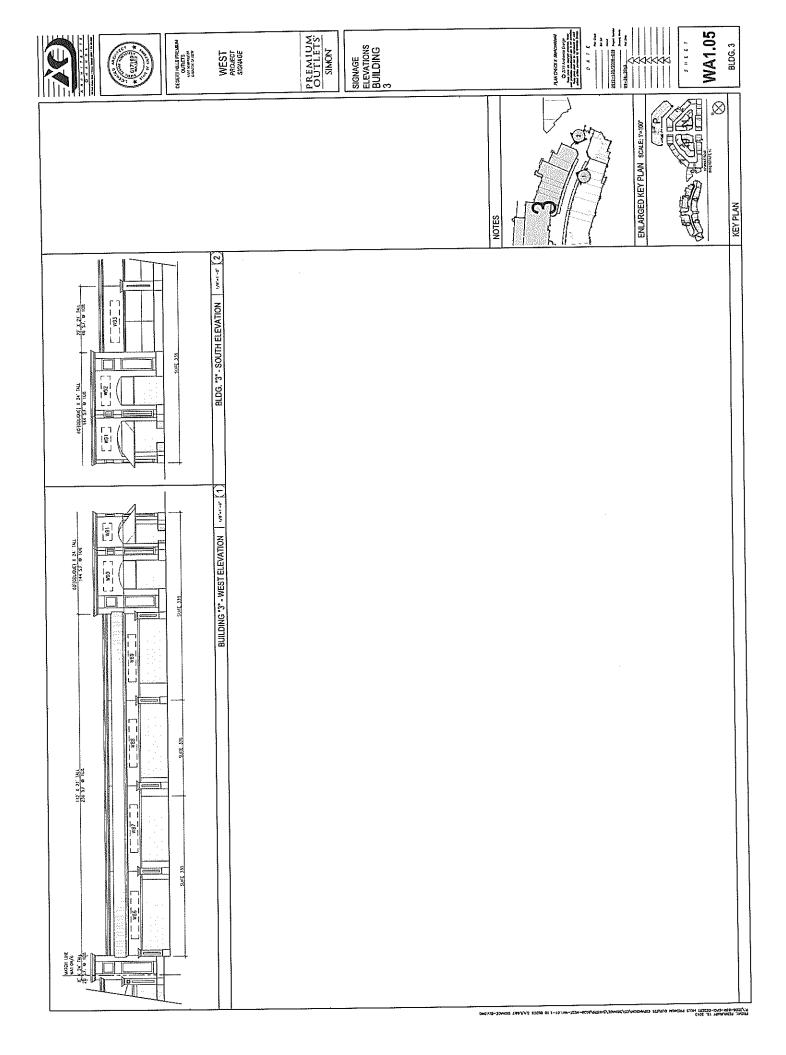
WEST MASTER SIGN PROGRAM

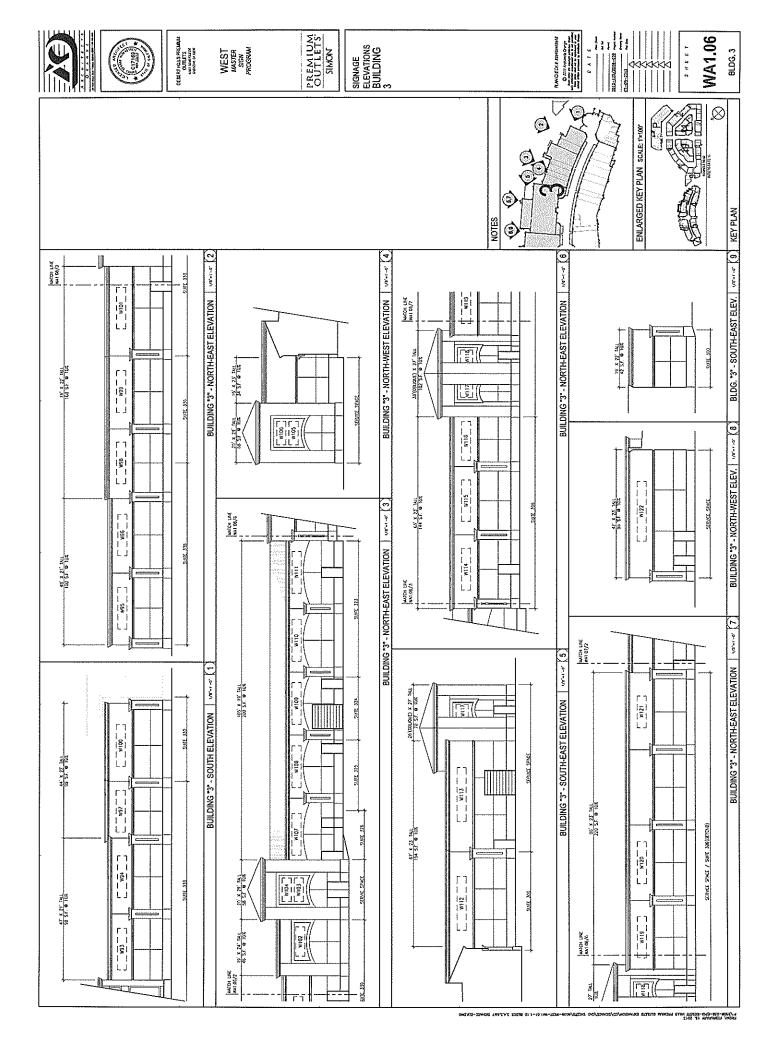


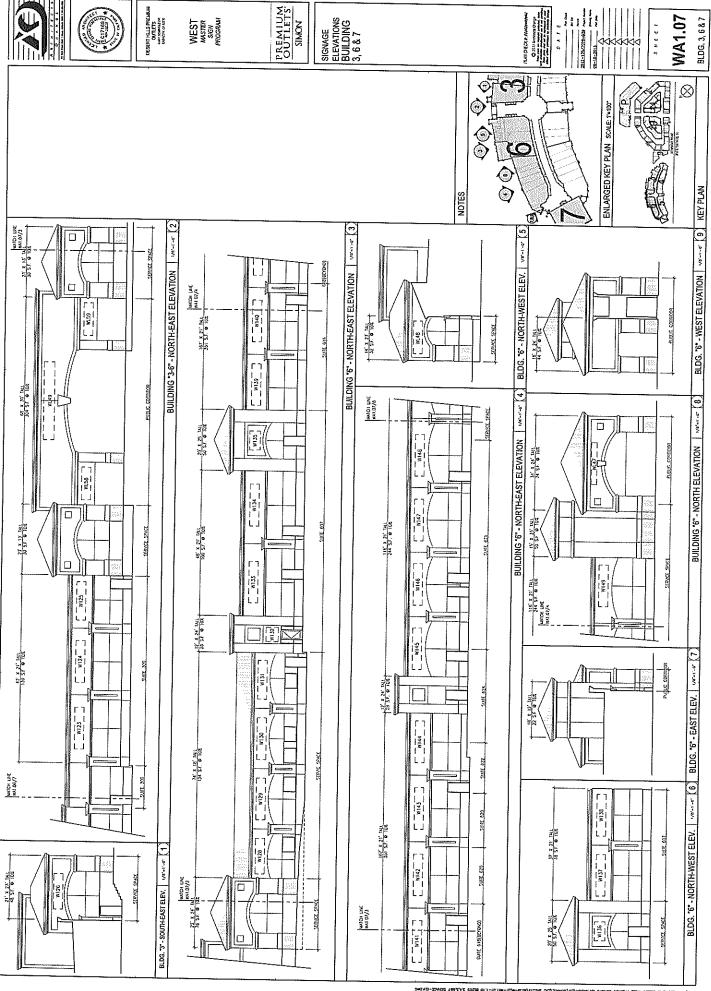


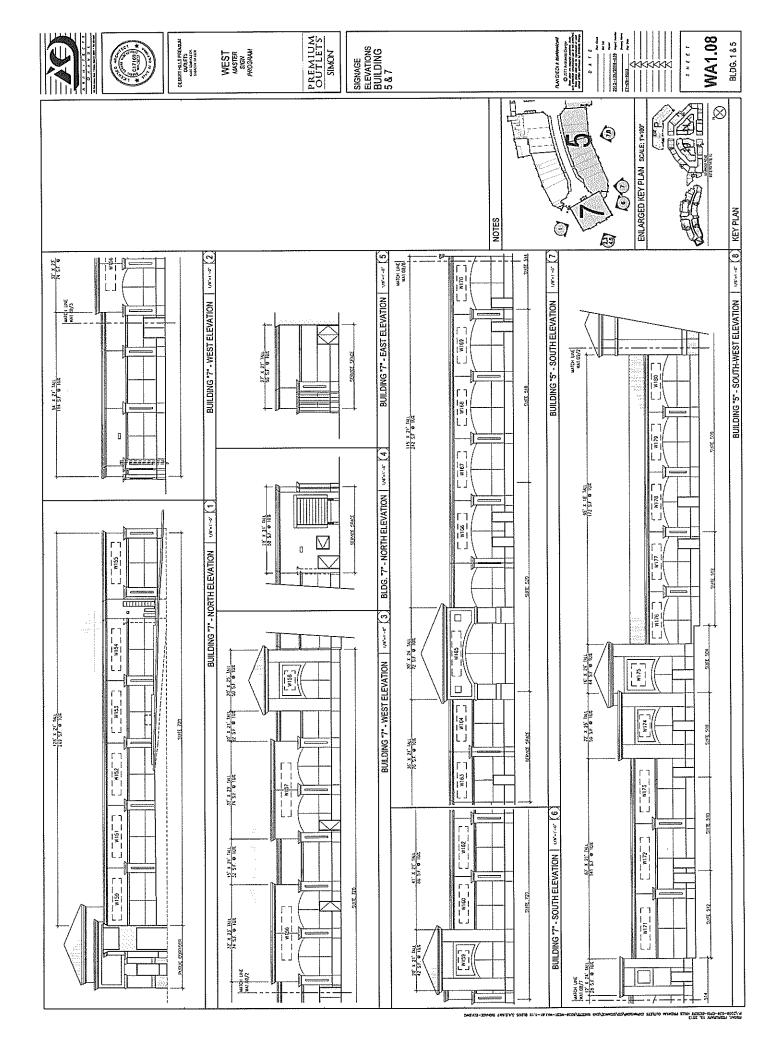


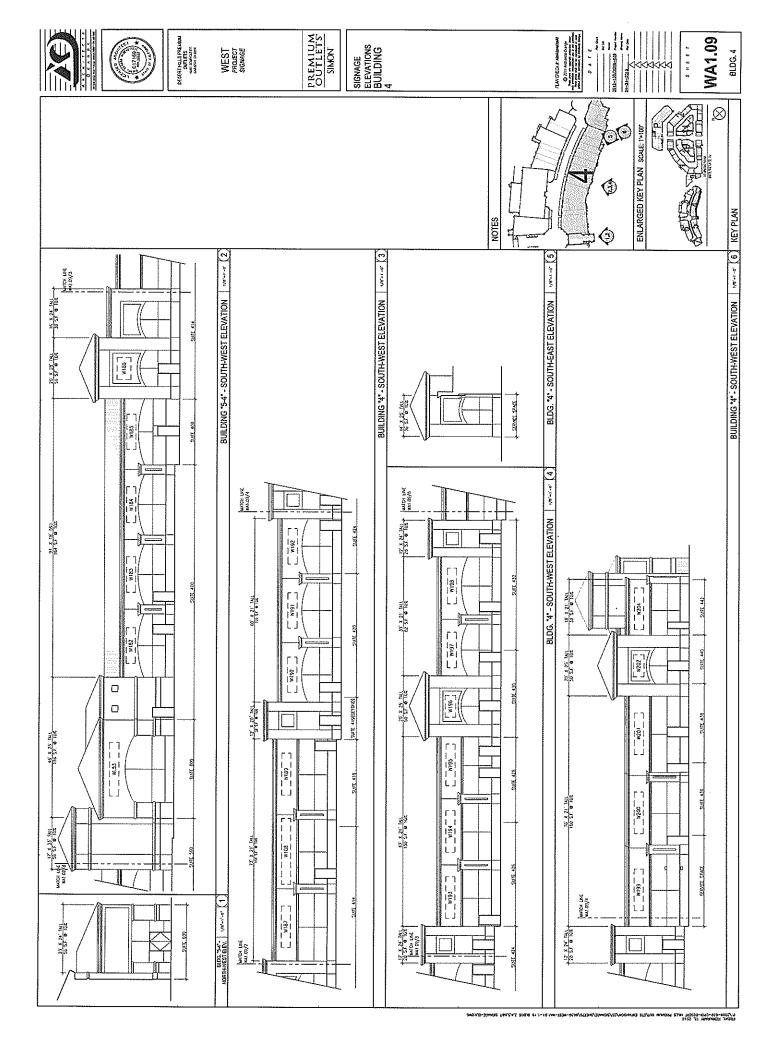


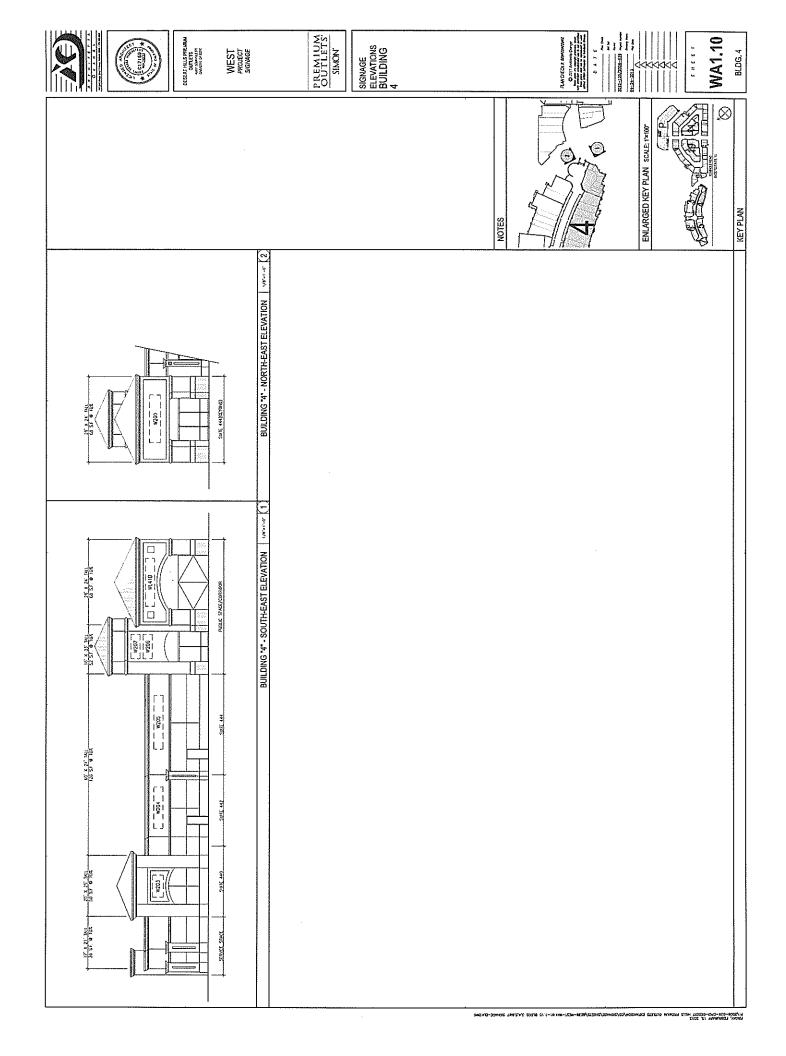
















DESERT HILLS PREMIUM
OUTLETS
HARV SEARCLE DE
CARACINE ON 18700

WEST MASTER SIGN PROGRAM

TENANT WALL SIGN EXAMPLES TYPE "A"

PREMIUM OUTLETS' SIMON'

125 Routed aluminum face with push thru actylic copy No exposed fasterers in face. Cabinet to have face and hais lighting effect by StoanLED (or equal) Cool White V-Series LED modules.

SIGN TYPE A Double Line Text

0807

(New) Se. - 15.

Text





spacers as required, Paint to match building surface.

2-172" (Min.) to 6" (Max.)

Building face

Logo with Face / Halo Illumination (Shape Varies)

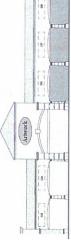
—3/10" Clear Lexan backs with mechanically fastened to returns W angle clips & C.S. screwe —StoarLED (or equal) Cool White V-Series LED modules on back to light face

StoanLED (or equal) Cool White V-Series LED modules on return for halo illumination

— U.L. Shut off switch & rubber boot in cabinet or as required for access

Aluminum cover over weep-hole to prevent light leak -(2) two - 1/4" Weep holes per letter

Sign Type A



Signage Type A - Examples

Note: Al Bols, Connectors, Steeves, Electrical Concults, Etc. to be Non-Ferrous. All penetrations than all-up concrete wall panel to be variede on sign. All illumination to be view lighting without any hotopols' on surfaces.

Section Detail Logo With Face & Halo Illumination

Aluminum return mechanically fastened to Lexan backs

D A T E Per Dead 2012-135/2006-039 Proper Income 2016-2013 Properties Properti

© 2011 Architects Crange
have pleas an engrytt prinsing, tour
and promiting anotherined are in or, promited.
There pleas that not be reprotent to said
pitted pitters permisses by Anhelia Despin

Sign Type B

- Secondary electrical source from remote Modular 60 power supply 12VDC, StoanLED part #701507-MOD (or equal)

Section Detail

EIFS wall system over concrete

Aluminum cover over weep -hole to prevent light leak-(2) two - 14t\* Weep holes per letter

Note: All Bolts, Connectors, Seeves, Electrical Cond waterfight, LEDs are not to be visible on sign.

P./2008-029-CPGI-DESERT HILLS PREMIUM OUTLETS EXP



DESERT HILLS PREMUM
OUTLETS
Have examine or
CAMATIN ON REEN

WEST MASTER SIGN PROGRAM

TENANT WALL SIGN EXAMPLES TYPE "B"

PREMIUM OUTLETS' SIMON

Length & Height. The length and height of individual Tenant signs on internal storefronts shall not exceed what is described in either <u>East Wing or West Wing Signs</u> previously.

f. Area: notwithstanding the above orteria, no sign shall exceed County of Riverside criteria.

Optional secondary copy line on receivary routed from agit face with puth thir arcylic letters. Translucent acrylic with floated first on face or any color viny and 1/2" reveal. Celor by tenant, approved by Landlord.

Elevation

2-1/2" (Min.) to 4" (Max.)

Fabricated reverse aluminum – channel letter with .090 face / .063 return / .1875 Lexan back

SECONDARY COPY

ENANT

11 to 1-1/2 to 2" Standolf with aluminum spacers as required; Paint to match building surface.

— Low voltage wire

— 3/16" Clear Lexan backs with
mechanically fistened to returns
w/ angle clips & C.S. screws

SioanLED (or equal) Cool White V.Series LED modules on return for halo illumination

Fabricated aluminum, reverse-chemie jetter forms with halo likumination (See key plain pages 9 and 10 for Storeifont sign sking, and Key Plain pages 25 and 26 for Perimeter sign sking).

7-5-1/2 to 4

Sign TYPE B Single or Double Line Text

g. Bolts; connectors; sleeves, etc. shall be non-ferrous materials.

h. All penetrations thru walls to be watertight.

Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at expansion locations.

d. Lighting: Individual pinned-off, reverse channel letters shall be back it with StanLED (or equal) cool with V-bankel LED modules for hislo lighting with 2-1/2 min. bt 4" max, returns. The sign's electrical components: whing, transformer, ets. should be fully waterproof even when mounted of the inhance side of the wall.

o. Torant signs to be contered architecturally on liquide generally between prominent architectural elements such as columns, in front of Tenant's space. Exact location to be determined by Landio at time of install:

b. Lettere & Logos shall be clear coated natural metal (ex: Bronze, Brushed Alum. Etc) or Tenant's coporate color with Landlord approval.

Sign Typ • B: INDIVIDUAL REVERSE CHANNEL HALO LIT LETTERS WITH LED ILLUMINATION.

a. in dividual letters shall be U.L. Rated, have a minimum depth of 2-1/2" (4" max.) and shall be princed of well. In I.Z. with bitter and/or attachents, Letter shall be fabricated from .050 third autimum. At same stars shall be weed sand to filled.

अर्ग्यस्त्रियः

WS2.02

TENANT WALL SIGN EXAMPLES TYPE "B"

0 A T E Au Oct 2012-135/2006-039 Provided Provid

© 2011 Architects Crange
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and protein essekholds in a net penden.
New piens and set he reprotest or set
selver eiths permises by Anhhelt Drays.





DESERT HILLS PREMIUM
OUTLETS
HORN SUMPLE ON
CAMADOL ON 1929

SECONDARY STOREFRONT SIGNAGE - BLADE SIGN MOUNTED ABOVE STOREFRONT ENTRY DOORS The Tenant is required to submit shop drawings detailing materials, dimensions, styles, spacing sections, letter height, width, and depth, PMS colors and typestyles for a double-faced Talade Spirit. The purpose of the blade signs is to identify the store entrance to shoppers along pedest paths.

WEST MASTER SIGN PROGRAM

(2) The size of the sign shall be limited to 8 square feet per sign face. Intachum height of the sign panel is 2°Cf. Machinum width is 3°Cf. The Bicherse for sign be befound must be at least 1°f. All letters on to blace sign to be dirensional (infinum 1°C). Aurithum and plastic surfaces to be painted and shall be printed with two coals of printer. No with letters permitted.

PREMIUM OUTLETS' SIMON'

TENANT BLADE SIGN EXAMPLES

(3) The shape of the blade signs will differ from Tereant but free any but the support brancker (start) visit be a but home as destands breached designed to complement their includes at sign, explanation the exposure leaving and/or product. Treater has a signer and/or product. Treater has a signer on another Permium Outel center, Tereat is encouraged to differ earne blade sign design.



West Wing Tenant Bracket To Match Existing



Lower sign attachment arm to have two (2) N\* x 6" long routed groove for closen parcount road adjustment

Inder Canopy Sign Bracket - Top Elevation

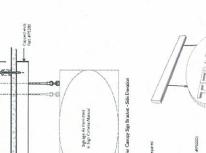
12 Ouge United (Part Number P20005))
1-5/8' x 3-1/4' x 36' Ends to be copped
and on the bracket painted AAP #10269

Capped ends - Nart #P5280

Booking and fastene as required

Adjustable to 18" centers

d Blade Sign Wall Bracket - Top Els Adjustable to 30" centers



12 Cuage Unistrat (Part Number P2000S) 1-4/10" x 3-1/4" x 36". Ends to be capped and en bre bracket painted MP #10209

THE SERVICE OF THE PARTY OF THE

Standard nut for 3,95"-threaded rod

Standard nut and vertice for 3VS' threaded rod.







### - Committee of the control of the co

DEBERTHELIS PREMIAN

OUTETS

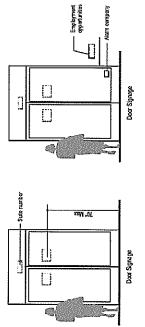
VIET REMOVE OF 1122

WEST MASTER SIGN PROGRAM

# ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

- a For the purpose of store identification, the Tenant may propose to the Landlord a design layout of ferant name and/or logo in white or bask Viryl De-Cut Graphics or arrother color as per Landlord's approval for placement on the inside of onby doors. Each ocor is permitted one (1) agains foot of Viryl De-Cut Signature in the area must be conterned /0" from grade or as otherwise directed due to door configurations.
- b. For the purpose of additional store identification, the Tenant may also propose to the Landlord a deagn layout of store name in black or white Vinyl Die-Cut Graphics or another color, as per Landlords a permut, for potentent of the lineate of every other (sitenating) display window. The naximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of 8" inward loward the window's center from the ventral edges of the window and may not exceed 42" above ginde.
- Permanent store algnage as part of window bookground daplay is limited to one (1) square foot of sign area per one (1) lineal foot of store frontage.
- d. Tenant supplied "Help Wanted" signs are prohibited
- e. "Help Warsted" and other standard information signs as doesned recessary by Landford, are provided by Landford, are provided by Landford and shall be affixed to the inside lett cope of the window immedately adjacent to the eight of early doors and no higher than 46" above grace. Such signage shall only be permitted to be affixed with bear studion only.
- Sundard information signage froms such as no food, drink, smoking, stare hours, qts. shall be
  provided by Landland only, Fazerbook, Twitter, Foursquare shall be provided by Landland at tenant
  request and tenant expense.
- Credit Card or check acceptance signs or logos placed on storefront display windows or doors are stretly prohibited.
- Alarm company atickers shall be limited to one per entry door and be located only at the extreme tower right corner of the glass area on the door
- Handrap access is permitted and shall be placed according to ADA or local junisdiction under the supervision and approval of the Landlood.
- The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional

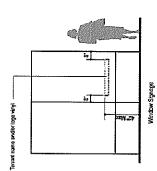
Tenant Name and/or Logo Vinyi



TENANT DOOR / STOREFRONT SIGNAGE

PREMIUM OUTLETS

SIMON



TENANT ENTRY DOOR / STOREFRONT WINDOW SIGNAGE

WS2.04

SHEET

e/Cido-Gra-Cro-Croix Hete winem Cristie Ecrmico/Cid/ Lidow: Ledwinem 13, 2013

20 A 1 E 20 D 1 E 20

PAMOEOUS MAN

\$





DESERT HILLS PREMIUM
OUTLETS
AURO STANKEL DE.
CARAZON CA 17270

WEST MASTER SIGN PROGRAM

TUBE FRAME

TEMPORARY PROMENADE SIGNS/ BANNERS

PREMIUM OUTLETS: SIMON

CUTTING RIBBON

RECEPTION

© 2011 Architects Crange
has peror an experit petents, their
sale printing analysis as an persist.
Their period and not be reprotest to see
print priting personne by Architects Compa-

P-16-2013

NOTE:
ALL TEMPORARY PROMENADE SIGNS ARE PROVIDED AND INSTALLED BY THE
DESTERIES HILLS P.O. ADMINISTRATION TEAM, SIGNS MAY CONTAIN SEASONAL
OR SPECIAL EVENT INFORMATION.

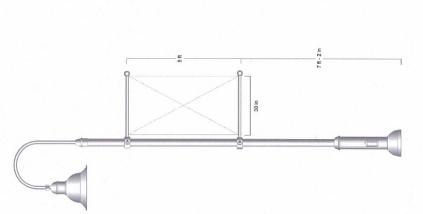
SHEET

TEMPORARY PROMENADE SIGNS



TEMPORARY PROMENADE BANNERS (2)







## EAST MASTER SIGN PROGRAM Desert Hills Premium Outlet 48650 Seminole Dr.

AO PROJECT #2006-039 Cabazon, CA

SHEET INDEX:

EAST MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS EAST MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

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EAST LANDLORD SIGNAGE DETAILS

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SIGNAGE ELEVATIONS PARKING STRUCTURE SIGNAGE ELEVATIONS BUILDING 1 & 9 IGNAGE ELEVATIONS BUILDING 1 & 9 SIGNAGE ELEVATIONS BUILDING 1 EA1.13 EA1.14

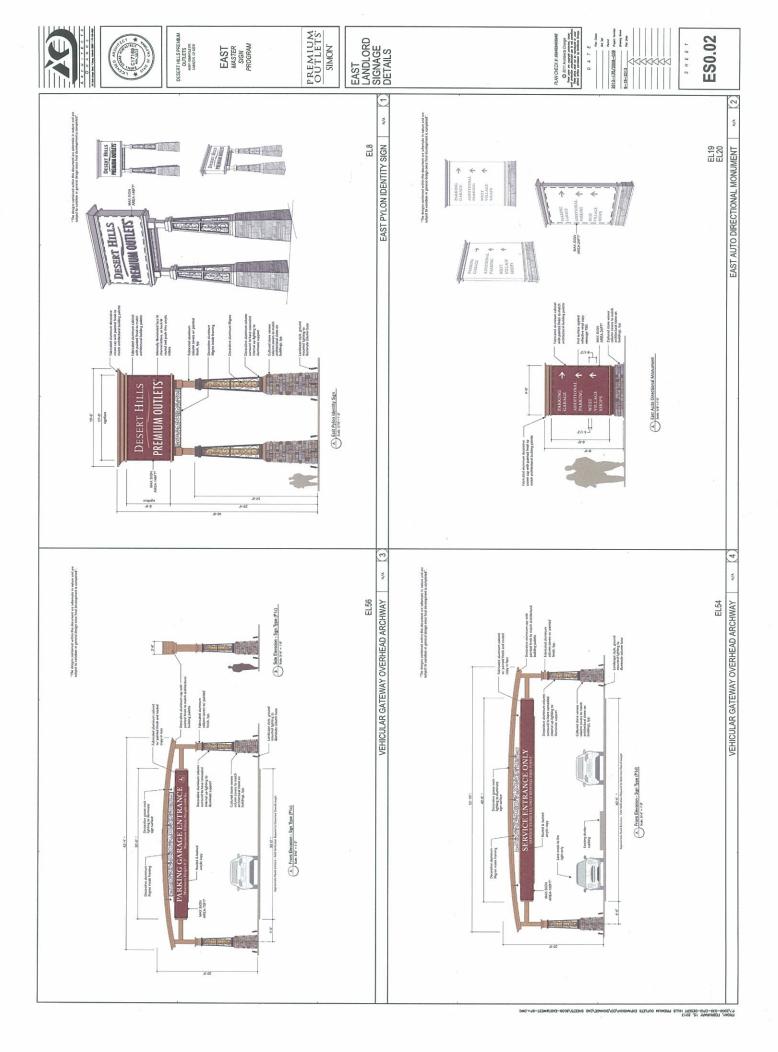
SIGNAGE ELEVATIONS PARKING STRUCTURE SIGNAGE ELEVATIONS PARKING STRUCTURI TENANT WALL SIGN EXAMPLES TYPE "A" EA1.15 EA1.16 EA1.17 EA1,18

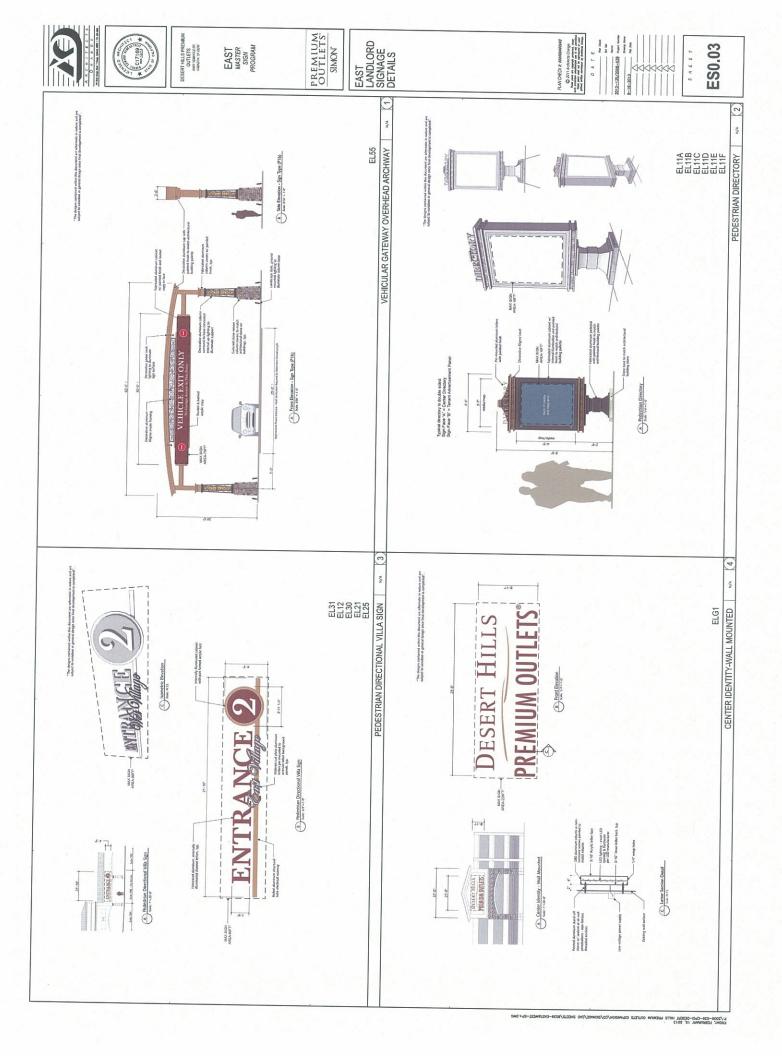
ENANT ENTRY DOOR/STOREFRONT WINDOW SIGNAGE TENANT WALL SIGN EXAMPLES TYPE "B" ENANT BLADE SIGNS EXAMPLES ES2.01

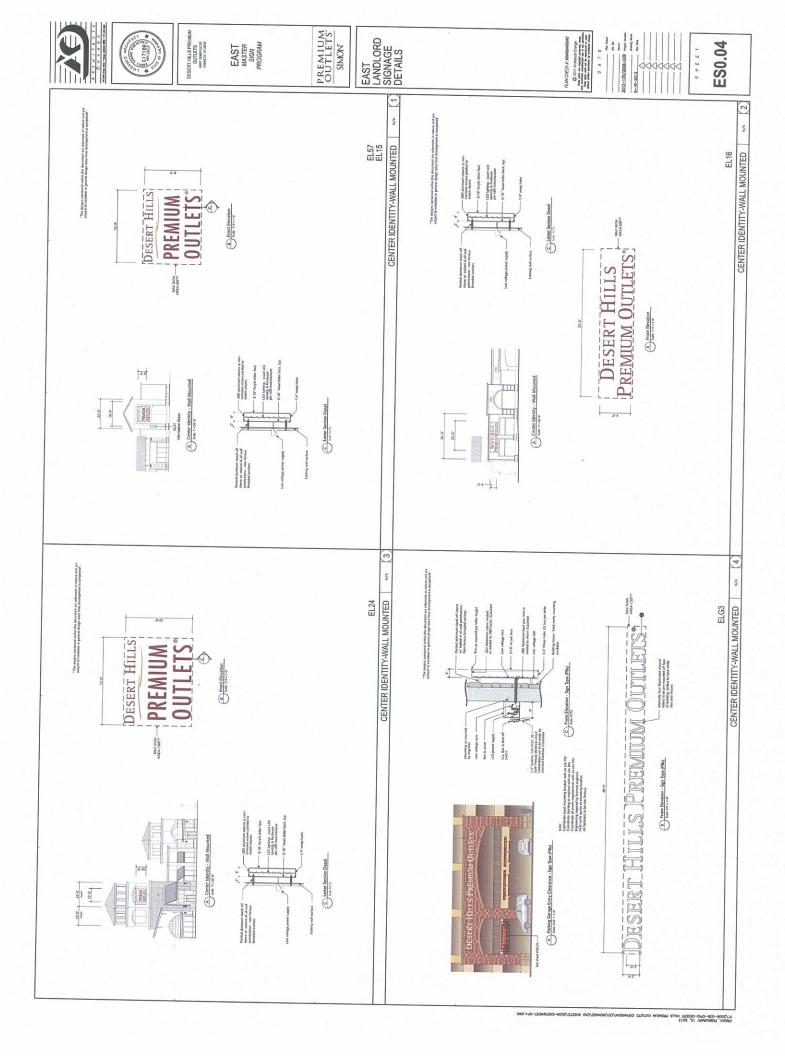
EMPORARY PROMENADE SIGNS / TEMPORARY PROMENADE BANNE

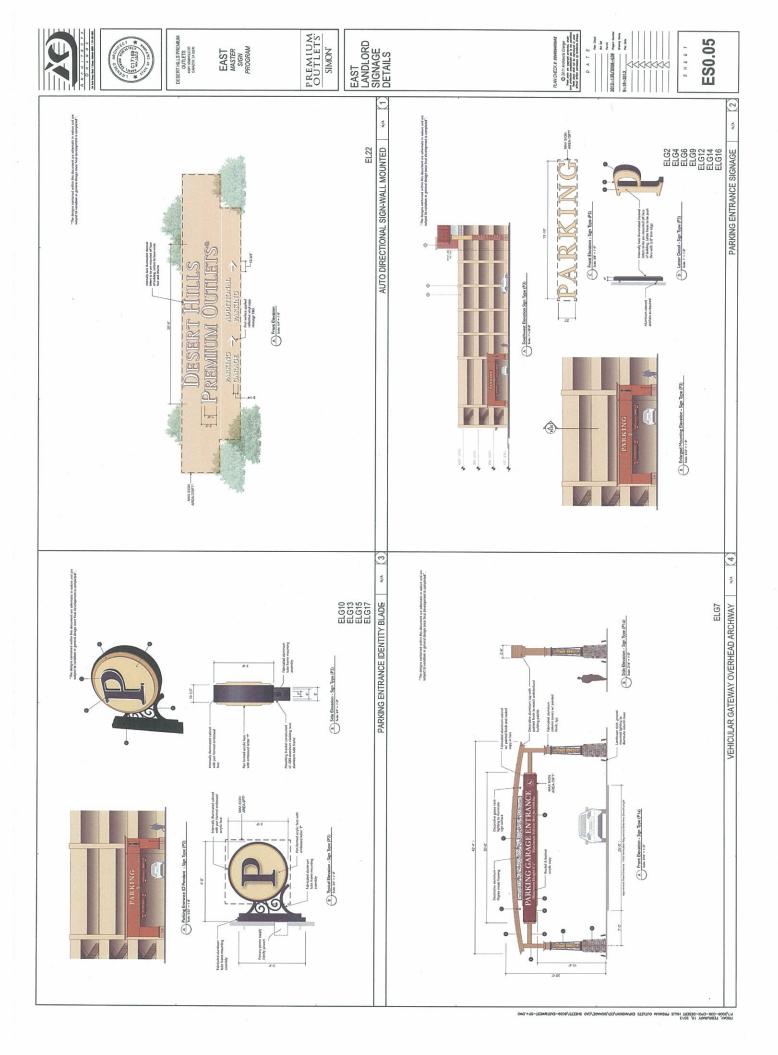
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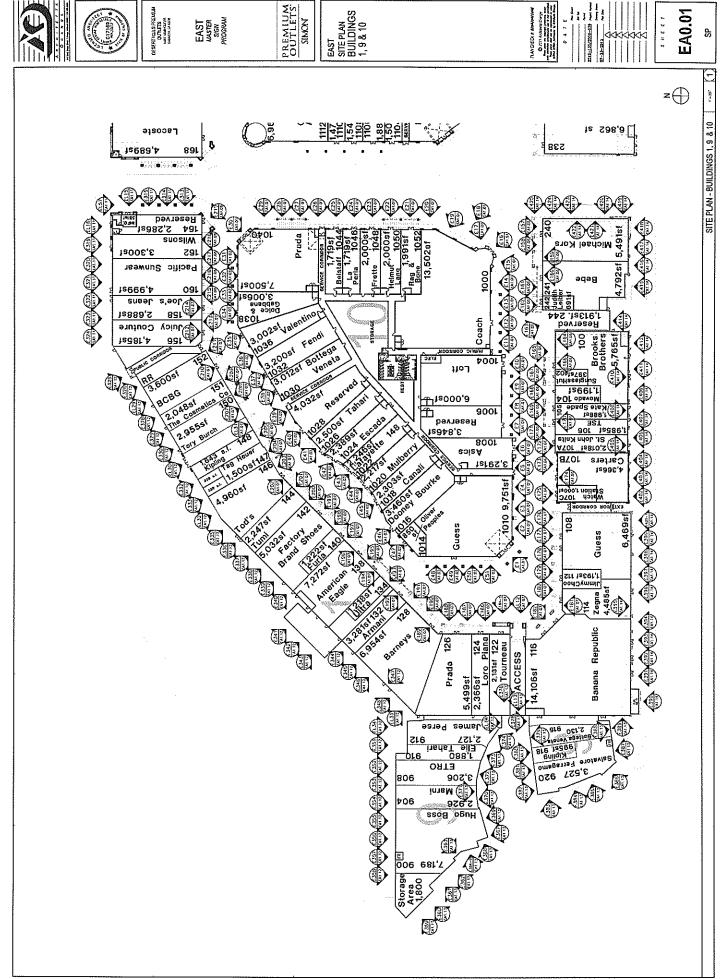
PLANNER: P. RULL DATED: 9/19/13

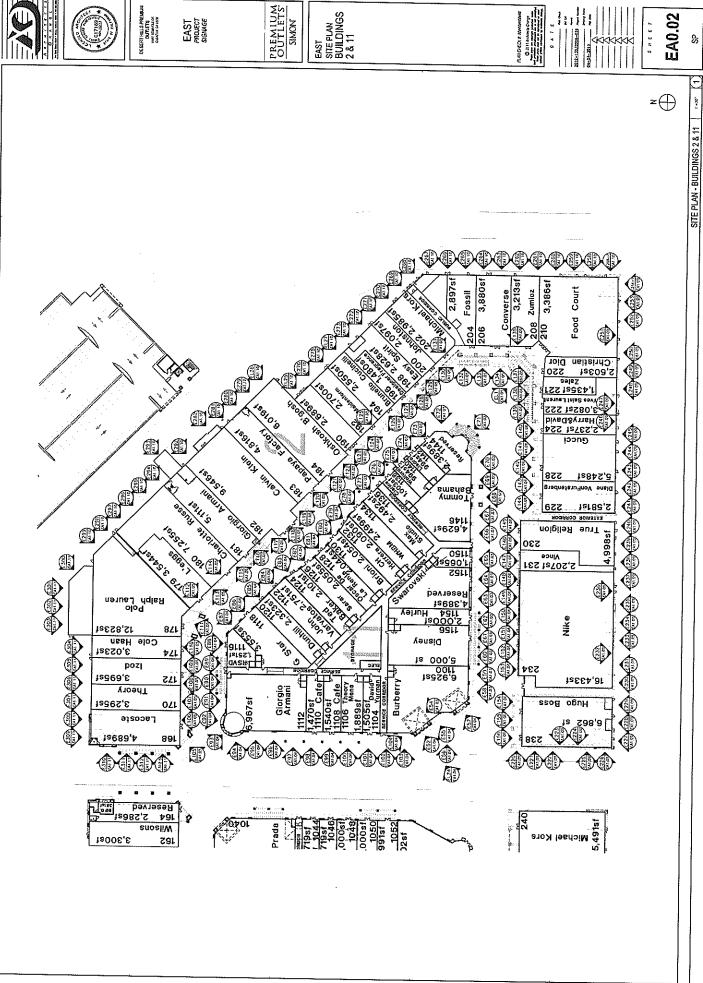


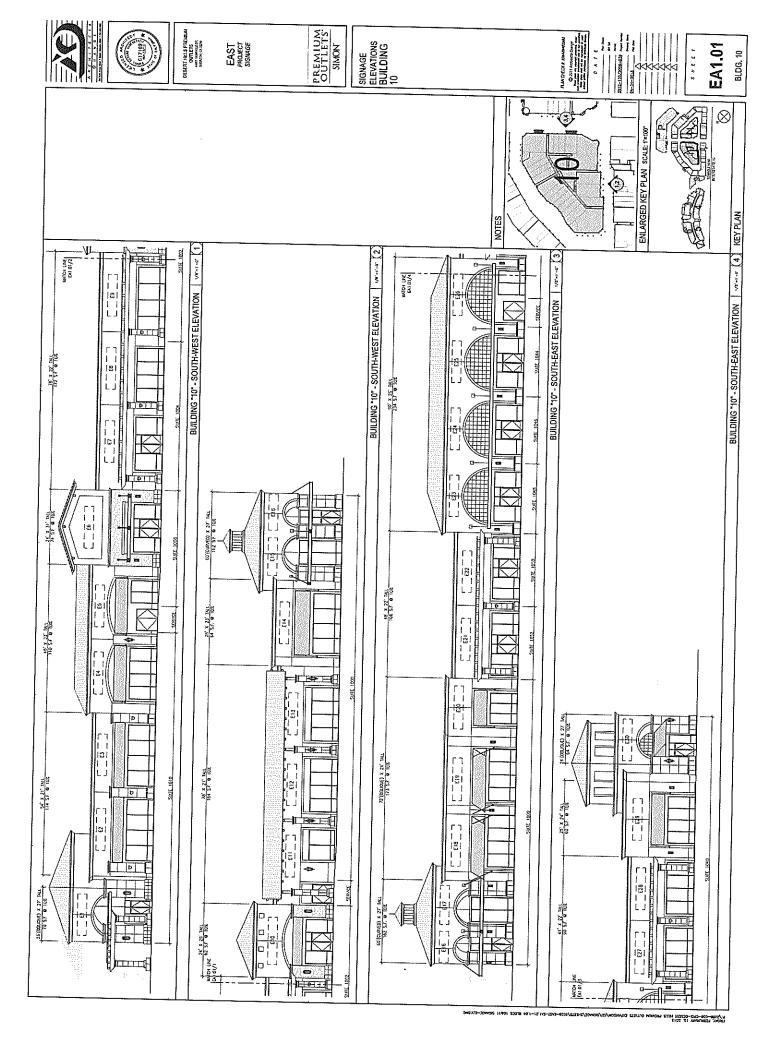


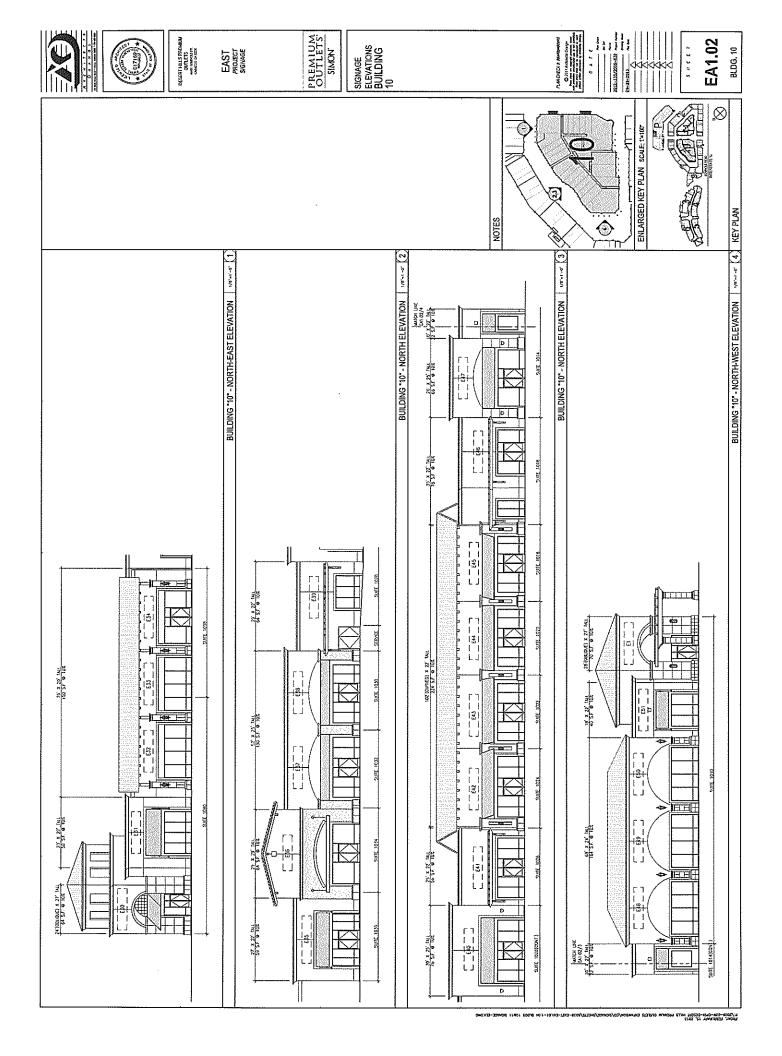


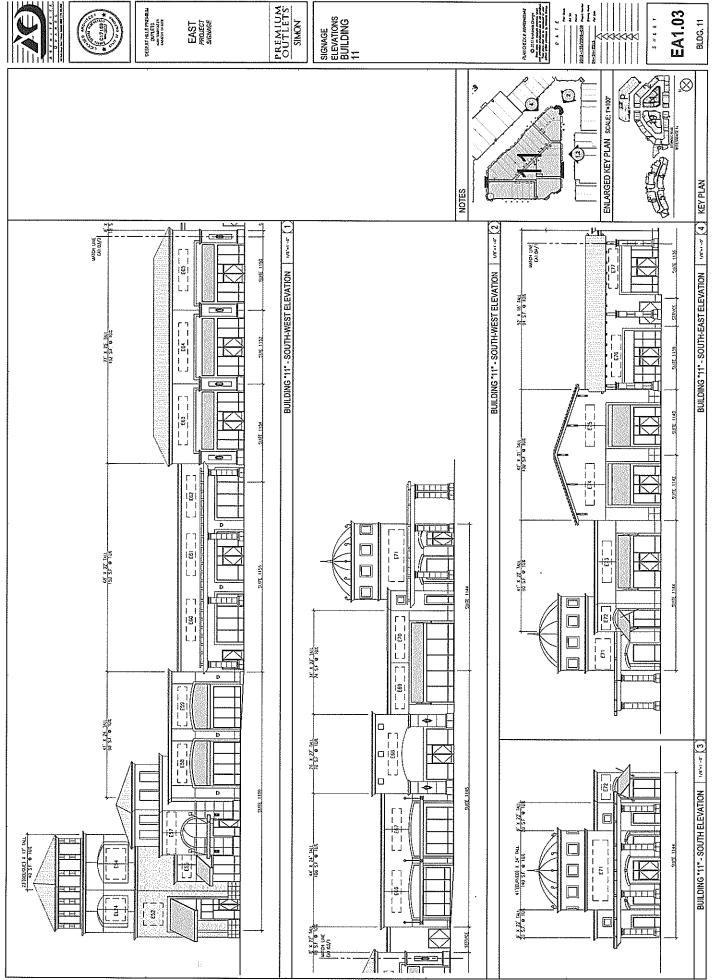


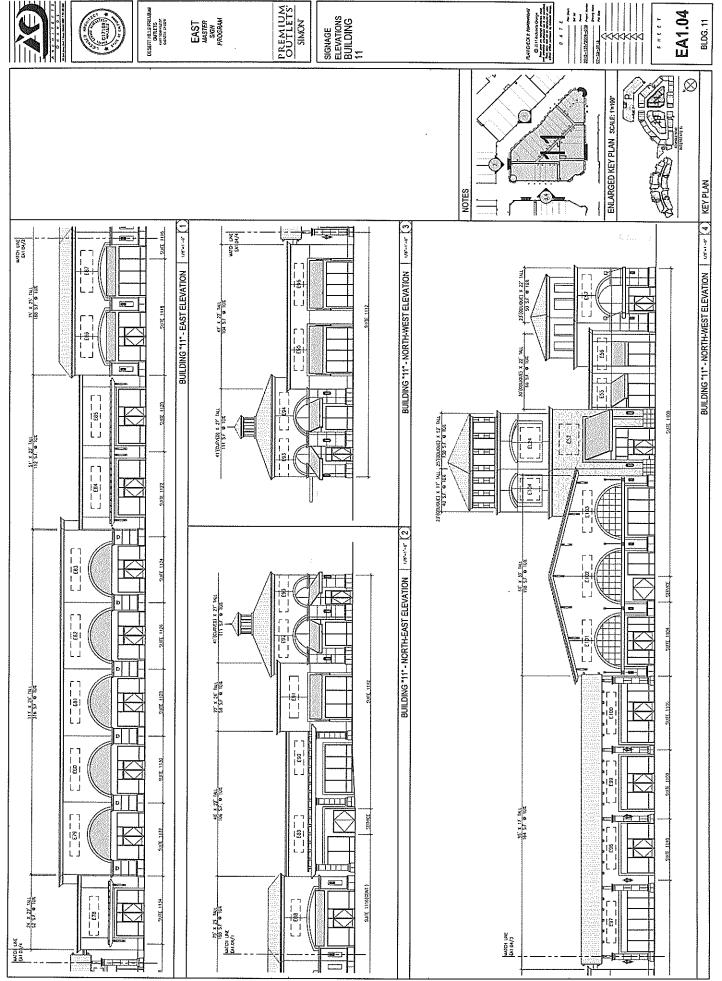


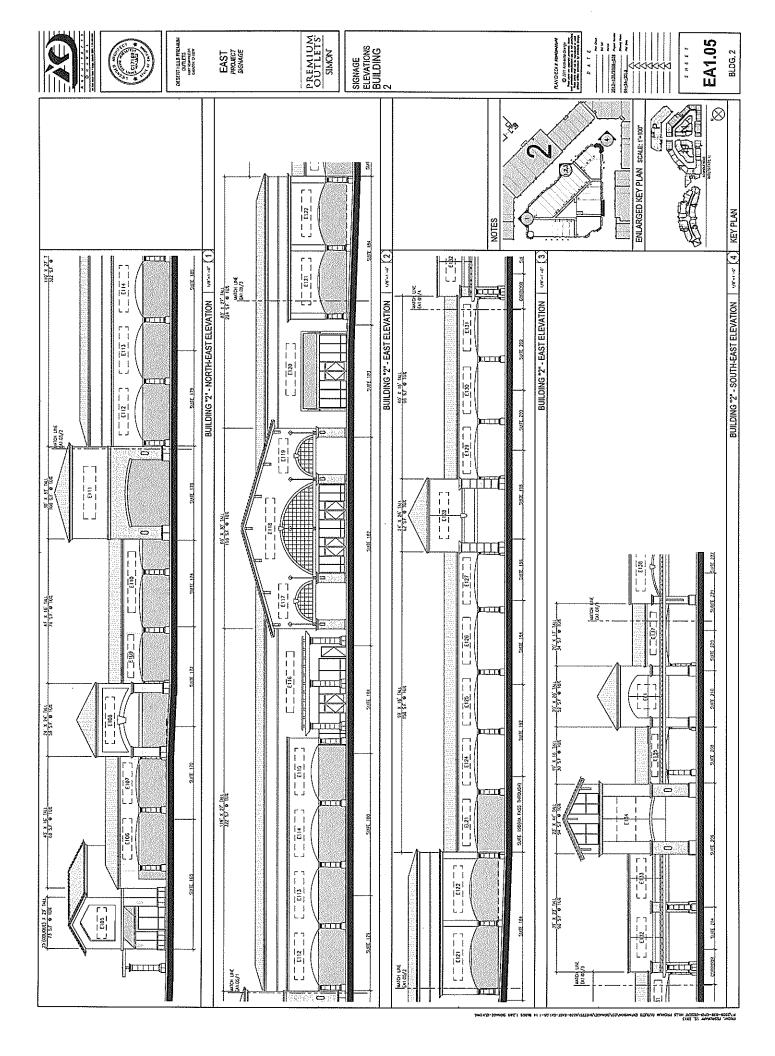












#### <u>EAST</u> - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS

0	LANDLORD DIRECTIONAL SIGN
	LANDLORD ADVERTISING SIGN

Sign /			Sign Dimensions	
Item	Sign	Si . D-contation	(w x h)	Sign Area (sf)
Number	Туре	Sign Description	4	Jigi, Ai Ca (J)
		Retail Buildings	and Site	
EL1	0	Food Court Identity - Tower Mounted	10'-0" x 12'-0"	120 sf
EL2	Not Us	ed		
EL3		Food Court Tenant Identity / ATM Sign	3'-0" x 6'-0"	18 sf
EL4	Not Us	ed		
ELS	Not Us	ed		
EL6	Not Us	ed		
EL7	Not Us	sed		
EL8		Pylon / Identity Sign	8'-9" x 17'-0" x 40'-0" high	
EL9		Pedestrian Directional - ATM / Restrooms	N/A	N/A
EL10	Ō	Pedestrian Directional - ATM / Restrooms	N/A	N/A
EL11A		Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11B		Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11C		Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11D		Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11E		Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL11F		Pedestrian Directory	3'-7" x 4'-5"	16 sf/face. 2 Faces Total
EL12		Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL13	Ŏ	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL14	Ō	Pedestrian Wayfinding	N/A	N/A
EL15	Ŏ	Center Identity	8'-5" x 10'-9"	90 sf
EL16	10	Center Identity	4'-6" x 22'-0"	99 sf
EL17	Ŏ	Pedestrian Wayfinding Gateway - Overhead Arch	5'-0" x 5'-0" x 20'-0" high	75 sf
EL18A	TÕ	Auto directional - ground mounted	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL18B	TÕ	Auto directional - ground mounted	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL19	ŤŎ	Auto directional monument	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL20	TÕ	Auto directional monument	4'-0" x 6'-0" x 8'-0" high	24 sf/face. 2 Faces total
EL21	Ō	Pedestrian Directional Villa Entry	4'-3" x 21'-10"	93 sf
EL22	TŌ	Auto Directional Sign - Wall Mounted	9'-0" x 42'-0"	376 sf
EL23	Not U	The state of the s		
EL24		Center Identity	10'-0" x 13'-0"	130 sf
EL25	10	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL26	TŎ	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL27	Ŏ	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL28	Not U	A CONTRACTOR OF THE CONTRACTOR		
EL29	0	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL30	TŎ	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf
EL31	ΙŎ	Pedestrian Directional - Villa Sign	8'-0" x 12'-0"	96 sf

#### **EAST** - MASTER SIGN PROGRAM TABULATIONS - LANDLORD SITE AND WALL SIGNS

Sign / Item Number		Sign Description Retail Buildings and	Sign Dimensions (w x h) d Site Cont.	Sign Area (sf)
EL32	0	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL33	0	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL34	0	Pedestrian Wayfinding - Wall Mounted	N/A	N/A
EL35-53	Not U	sed		
EL54	0	Vehicular Gateway Overhead Archway	2'-6" x 40'-8" x 20'-0" high	100 sf
EL55	0	Vehicular Gateway Overhead Archway	2'-6" x 30'-0" x 20'-0" high	75 sf
EL56	0	Vehicular Gateway Overhead Archway	2'-6" x 30'-0" x 20'-0" high	75 sf
EL57	0	Information Sign Blade	3'-0" x 3'-0"	9 sf

	Parking Garage									
ELG1		Center Identity - Wall Mounted	8'-11" x 25'-8"	229 sf						
ELG2	0	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf						
ELG3		Center Identity - Wall Mounted	2'-6" x 48'-0"	120 sf						
ELG4	0	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf						
ELG5	0	Car Counter Display Panel	2'-0" x 4'-0"	8 sf						
ELG6		Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf						
ELG7	0	Vehicular Gateway - Ground Mounter Overhead Arch	21-6" x 30'-0" x 20'-0" high	75 sf						
ELG8	0	Car Counter Display Panel	2'-0" x 4'-0"	8 sf						
ELG9	0	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf						
ELG10	0	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf						
ELG11		Pedestrian Directional - Wall Mounted	2'-0" x 20'-0"	40 sf						
ELG12	0	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf						
ELG13	0	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf						
ELG14	0	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf						
ELG15	0	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf						
ELG16	0	Vehicular Entry Directional - Wall Mounted	1'-10" x 13'-10"	25 sf						
ELG17	0	Vehicular Entry Directional - Wall Mounted Blade	3'-0" x 3'-0"	9 sf						
ELG18	0	Car Counter Display Panel	2'-0" x 4'-0"	8 sf						
ELG19	0	Car Counter Display Panel	2'-0" x 4'-0"	8 sf						
ELG20	0	Car Counter Display Panel	2'-0" x 4'-0"	8 sf						
ELG21	0	Valet Sign	2'-6" x 20'-0"	50 sf						
ELG22	0	Valet Sign - Column Mounted Blade	3'-0" x 3'-0"	9 sf						

#### ${\it \underline{EAST}}$ - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
<b>E1</b>	10	EA1.01	70FT <sup>2</sup>	1010	**************************************	a dan sama tan bi dadah dada dada dada dada da ay bahan an a
	10	2712.02	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~		04 Malard Codard A ката с поточно советительного по того в там мониция у суступция у суступу у суступу суступу С	A STATE OF THE PROPERTY OF THE
E2	10	EA1.01	The second secon	1010	Property angles of a security of a set announcement and an entire and annother the second transform the second security is a set of the second	angly dynamic continues in continue of continue of provide dynamics and continue of the
E3	10	EA1.01	114FT <sup>2</sup>	1010		-
			in a marka a a a a a a a a a a a a a a a a a a	NAME OF THE PARTY	01/44 mg 14/44/48/49/11-11-11-11-11-11-11-11-11-11-11-11-11-	3-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1
E4	10	EA1.01		1010	Machine on Solid (Astro)(1994) (1992) on the properties of properties of the contract of the c	
<b>E5</b>	10	EA1.01	110FT <sup>2</sup>	1008	(A) medili sebih dibendibindi debih mbawa mena mena mena anakana ampuna ampuna ampuna ampuna apan apan apan apa 	
				a mara a ara a ann mar mar an ann an Airean	MA 525-minimum minimum	an international desiration and an anti-
E6	10	EA1.01	74FT <sup>2</sup>	1008	<b>4</b>	-
			2 million of the H of the of the one to the order of the other other of the other oth	WELVEL TO THE PROPERTY AND REPORT OF THE PROPERTY OF THE PROPE	արարական ինչ ուղջում անականից իրա փիրի ինչ «Մարդում» անդարարարարարարան և որաստանի արարարարարարարան և տարարարար «Հայաստանում էր ողջում անականից հայանի հայաստանում էր անագարարարարան անագարարան հայաստանի անձայան հայաստանի ան	ne ee e e de marche de 1811 de 2000 <b>e eu c</b> ambio de la marche de este magne 1810 e de de de eu de cambio de eu d
E7	10	EA1.01	and and a control of the control of	1004	7 ( M × 1 ( 1 × 1 × 1 × 1 × 1 × 1 × 1 × 1 × 1	-
E8	10	EA1.01	172FT <sup>2</sup>	1004		-
E9	10	EA1.01		1002		
			g mark mana oka mark mark 1855 mark mark mark shi mark shi		1987 - 1987 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 - 1988 -	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~
E10	10	EA1.01	62FT <sup>2</sup>	1002	•• • • • • • • • • • • • • • • • • • •	-
				Alfabara Marka	nt VAMA (Yun ba) Vannaman a manaman manaman manaman a magasa Panasa a nga 2 aga 2 aga 2 aga 2 aga 2 aga 2 aga 2	
E11	10	EA1.01	s pour train for	1000	## 1 **********************************	_
E12	10	EA1.01	164FT <sup>2</sup>	1000	COACH	32.5FT <sup>2</sup>
E13	10	EA1.01		1000		-
				- or falls - consistence and a superior superior and a superior and a superior and a superior and a superior a	АЛУУ-ЛИА АЧ 5-6-7 гг <sup>3</sup> ентин Антинин Қазанияның тапататта тапатта тақу таба-Қаз тапанул пенан тара қ. таула	
E14	10	EA1.01	64FT <sup>2</sup>	1000	### (#. 14 m. 14 m	
F4 P	4.0	544.04			etin da mara bara i i i isan mata i i i i i i i i i i i i i i i i i i	\$
E15	10	EA1.01	4.C2.CT2	1000		- 
E16 E17	10 10	EA1.01 EA1.01	162FT <sup>2</sup>	1000	СОАСН	32.5FT <sup>2</sup>
E1/	10	EA1.01		1000	### / *********************************	
E18	10	EA1.01		1000	P 1 (2005) P 2 (2000) P 2 (2005)	ann an gailtean de an Agailtean de an dean dean dean de a de
E19	10	EA1.01	173FT²	1000		
E20	10	EA1.01	1/5/1	1000	/w' ll ( Para , fan 5) N	
LLO	10	L, 12.01		ewasigni dalamana pomovolora (construira).	ՀՀՀ-Հայագրության այն գերադի վերադի հետ եր ըն <b>հի</b> գերա Կուս և հատատում գիտ եր են են կեսքի է է եր եր հրակարիա (վ	
E21	10	EA1.01		1052	\$400,995,54444444444444444444444444444444	
E22	10	EA1.01	106FT <sup>2</sup>	1050	na tekana a mumuu muuduta afaa tekan tekan tekan atakuu tekan tekkamuu ata amama atakuu taki tun ka fan ƙasum ha •	_
					addination that a familiar and an annian and dimensional and an antiantial and a contrast and are also an anti-	
E23	10	EA1.01		1048	Ker (de gan name hand hadan hadan) de de kalami de de Kalamin de kanan de kanan de kanan de kanan de kanan de k 	_
E24	10	EA1.01	22.4	1046	DOLCE & GABBANA	27.1FT <sup>2</sup>
E25	10	EA1.01	23 <b>4</b> FT <sup>2</sup>	1044	te també (18 tota 19 de sem notation en la de Novembre de marier en moto de 19 de lemma Sastemanne de trasmund -	
E26	10	EA1.01	of congress	1040		-
		:		ne en version de la company	h 1997;	
E27	10	EA1.01	90FT²	1040	իրերում է ում Քնածիուսու է ու Վաստուսու է է իրա է ա Մերուսա հայտնական համական և և հայիստերի Քամ Կին հիմի և Նա Քա 	
E28	10	EA1.01	JUF1-	1040	-	-
E29	10	EA1.01	60FT <sup>2</sup>	1040	· · · · · · · · · · · · · · · · · · ·	

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
			. Martin and an artist of the second of the	TWO SERVICES AND THE SE	The control of the co	The second substitute of the second s
E30	10	EA1.02	64FT <sup>2</sup>	1040		
<b>E3</b> 1	10	EA1.02	50FT <sup>2</sup>	1040	\$\$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	
E2T	10	EA1.02	JUP I	1040	Minde Administration Anna Anna Anna Anna Anna Anna Anna An	## ## PA N SHIPP 1 1 100 100 100 100 100 100 100 100 1
E32	10	EA1.02		1040	HO's additional time Hamman (mpc) 2005 (2001 (Addigm) comment) Visible Monagement in the series, the serve communities series.	
E33	10	EA1.02	150FT²	1038	ere a tenni ma mar a ereneramiske skantelisk (skaltelisk) e skalteliske stopen (1980) (ske-telisk) arbeitet emme e ema 📫	th 1 / 1 Total According A (Paglidy) at a da Accordina ang an ay a
E34	10	EA1.02		1038	Манического чето столого с чето мененицу посто с усту — что усуду, що тур у у у (т (т ф т у удууну тур тур тур ■	
			· ****	Service and Consideration and assessment continuous process.	VV Nobel Market and a control of the	
E35	10	EA1.02	59FT <sup>2</sup>	1036	trame on may to low met list or later such at local methods of the local of the loc	
F26	10	E41.02	84FT <sup>2</sup>	1004	and any constraint summanded to the collection of the constraint of the collection o	
E36	10	EA1.02	8411	1034		<u> </u>
E37	10	EA1.02	***************************************	1032	(Middleware) engag serang berengga a s <mark>reman</mark> an a sangga a **********************************	-/
E38	10	EA1.02	130FT²	1030	HMM-report 86-7% (AAAA) — Ghalish hart	(a, v. )
		•		and a second commence and a second a second and a second	A Bagapayan Bakka apakatigan Bara daliinga aram ara ara ara arawan ara a ara ara arawan araman ana	a y y diga a saranning a syrora a syronomiconomonomon Me angana a situ a susumum
E39	10	EA1.02	64FT <sup>2</sup>	1028		-
		,	ing ang agaggggggggggggggggggggggggggggg		dikibenismoon miib uumuuroo o moo oo o	iii oo ay ii oo ahaa ahaa ahaa ahaa ahaa ahaa aha
E40	10	EA1.02	76FT <sup>2</sup>	1028	•••  NAMOO OO GAALAA AA A	
E41	10	EA1.02	56FT <sup>2</sup>	1026	Andrews A. S. Sameran Anna and	
E41	10	EA1.02	30F[-	TUZO	· Ober (III) III - Contra Cont	-
E42	10	EA1.02		1024	) (v = 1-5) ;	
E43	10	EA1.02	22457	1022	1. \$24.5 \$2, \$1.5 \$2, \$2.5 \$2.5 \$2.5 \$2.5 \$2.5 \$2.5 \$2.5 \$2.5	-
E44	10	EA1.02	224FT <sup>2</sup>	1020	**************************************	-
E45	10	EA1.02	V	1018	**************************************	-
		:		errollen er en	18 Selled F. P. Part F. J. W. F. War for a new Peterson Behavior by Some Some Supplemental Systems and Some Some Some Sources for the	
E46	10	EA1.02	78FT <sup>2</sup>	1016	With the second	
E47	10	EA1.02	66FT <sup>2</sup>	1014		**************************************
E4/	10	EA1.02	ODFI-	<b>1014</b>	XX = 19 ± 6 − 10 − 10 − 10 − 10 − 10 − 10 − 10 −	The state of the s
E48	10	EA1.02	*** ** ** ** ** ** ** ** ** ** ** ** **	1010	♥	-
E49	10	EA1.02	164FT²	1010	######################################	
E50	10	EA1.02		1010		-
				An internal control of the second control of	Alan and Maria Assument Maria Phy Vol. And office I an analytic Annua Villegian and African and African and an annua and a sum	2
E51	10	EA1.02	40FT <sup>2</sup>	1010	<b>44</b>	-
EEG	11	EA1.04		1100	DIIDDENNY	1F AFT?
E52 EL24	11 11	EA1.04 EA1.04	130FT <sup>2</sup>	1100 1100	BURBERRY CENTER IDENTITY	15.4FT <sup>2</sup> 130.0FT <sup>2</sup>
LLET	11	L/11.04		TTOO	y to the N to the still distribution and the still of the	TOVOLL
E54	11	EA1.03	40FT <sup>2</sup>	1100	-	-
				\$		
E55	11	EA1.04	66FT²	1100	*** **********************************	-
E56	11	EA1.04	OUI I	1100	-	-

SIGN#	BLDG#	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
				uner 1986 ou 14 de manor de nome a 2011 amb de secondo de 15 a comb		
E57	11	EA1.04	50FT <sup>2</sup>	1100	###	
				and the second of the second o	Baris, 25 from 25 provide Alexander Association Marcollecture and the contract of the contract	×× = 0 - NGC (200
E58	11	EA1.03	98FT²	1100	### ##################################	<b></b>
E59	11	EA1.03		1100		•
E60	11	EA1.03		11FC	PANA SAN MINIMINATURE SAN ARIAN ARIAN ARIAN ARIAN ARIAN SAN ARIAN SAN SAN SAN SAN SAN SAN SAN SAN SAN S	The second section of the section of th
E61	11	EA1.03	150FT²	1156 1156	**************************************	-
E62	11	EA1.03	13011	1156	HURLEY	11.3FT <sup>2</sup>
LU2	11	LA1.05		1130	11011LL1	11.361
E63	11	EA1.03	m mineral special special special mean special means and special special special special mean management and special s	1154	Mikelemel some forene værere er en sæner er en værer er mærer (n. elmenne han a græge er spaghammanna am amman ##	
E64	11	EA1.03	192FT²	1152		-
<b>E6</b> 5	11	EA1.03	-	1150	—	-
					AV 1	
E66	11	EA1.03	40.cet7	1146		-
E67	11	EA1.03	106FT²	1146	######################################	A STATE OF THE STA
				**************************************	h	
E68	11	EA1.03	70FT <sup>2</sup>	1146		_
					999	
E69	11	EA1.03	7/CT <sup>2</sup>	1146	The second secon	
E70	11	EA1.03	74FT²	1144	-	-
				maggadanaya ayaman a saabaaya ayabay aya ayaayayaaya		~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~ ~
E71	11	EA1.03	140FT²	1144	**************************************	-
E72	11	EA1.03	90FT²	1144		-
E73	11	EA1.03		1144	***************************************	-
			,			
E74	11	EA1.03	130FT <sup>2</sup>	1142	<b>4</b>	-
E75	11	EA1.03	.,	1140	• • • • • • • • • • • • • • • • • • •	-
F36	4.5	E44.03			ettettääMenettetta valtataa valtainin kunnitaksiinin mistä Valmanin tulkinnin nämäinniksi että kaita.	\$ 150 mm phyloria (m. 111 mm)
E76	11	EA1.03	94FT²	1138	W	-
E77	11	EA1.03		1136		
E70	11	EA1.04	согт2	1124	**************************************	
E78	11	EA1.04	52FT²	1134		-
E79	11	EA1.04		1132	VV 5 5 1 % 5 4 mm 1 m 1 m 1 m 1 m 1 m 1 m 1 m 1 m 1	an a communitari de la companio de la constantina del constantina de la constantina del constantina de la constantina de la constantina del constantin
E80	11	EA1.04		1130		
E81	11	EA1.04	316FT²	1128	g sante chese contra contr ————————————————————————————————————	
E82	11	EA1.04	320(1	1126		
E83	11	EA1.04		1124	##	
			***************************************			
E84	11	EA1.04		1122		_
E85	11	EA1.04	112FT <sup>2</sup>	1120		-

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
E8 <b>6</b>	11	EA1.04		1118	Na Sandra Mi's Affresson i spyrosylven i i i i i i i i i i i i i i i i i i i	ettiin symmineteeliseksekseksekseksekseksekseksekseksekseks
E87	11	EA1.04	188FT²	1118		
E88	11	EA1.04		1116		
E89	11	EA1.04	and the state that the state state and safe and the the state at the safe and the safe and the safe and the same safe.	1116	**************************************	***
E90	11	EA1.04 EA1.04	106FT <sup>2</sup>	5 ************************************		
E90	11	EA1.04		1112	**************************************	
E91	11	EA1.04	58FT <sup>2</sup>	1112		-
E92	4.4	E44.04		goddin o ddigol y co'r ar allon o ddol y brob o ddi y brob o ddigol y contra	**************************************	tanggi fant delp by te de den dy tillighigher til finde er er er er elf dyreigen ge
E92	11 11	EA1.04 EA1.04	111FT²	1112 1112	**************************************	
	11		TTTL1_			-
E94	11	EA1.04		1112		-
E95	11	EA1.04	decreases of a firm decrease who also the decrease of an incining on an index an incidence of	1112	######################################	
E96	11	EA1.04	104FT²	1112	70 A A A A A A A A A A A A A A A A A A A	
			,		CONTRACTOR STANDARD AND STANDARD AND STANDARD STANDARD STANDARD STANDARD STANDARD STANDARD STANDARD STANDARD S	
E97	11	EA1.04		1112		-
E98	11	EA1.04	164FT <sup>2</sup>	1110		
E99	11	EA1.04		<b>1</b> 10 <b>8</b>	Entertain to the second	-
E100	11	EA1.04		1106	**************************************	- Control of the mark of the total of the control o
E101	11	EA1.04		1104		
E102	11	EA1.04	198FT²	1100	2011 12 1 1 1 2 1 2 1 2 1 2 1 2 1 2 2 2 2	
E103	11	EA1.04		1100	-	
E404	4.4	544.04		4400	**************************************	
E104	11	EA1.04	40FT²	1100		***
E105	2	EA1.05	73FT²	168	LACOSTE	46.3FT <sup>2</sup>
E106	2	EA1 0E		1.69	THE STATE OF THE S	an na kanana an anan kanan an
E108	2	EA1.05 EA1.05	68FT²	168 <b>17</b> 0	THEORY	33.8FT <sup>2</sup>
LIU	2	LAI.UJ		1/0	INLONI	33,011
E108	2	EA1.05	58FT²	172		-
E109	2	EA1.05		172	IZOD	19.6FT <sup>2</sup>
E110	2	EA1.05	76FT²	174	COLE HAAN	19.3FT <sup>2</sup>
	~	EMT.UJ		<b>1</b> /7	COLL IIIANI	±3,311
E111	2	EA1.05	100FT²	178	POLO RALPH LAUREN	94.9FT <sup>2</sup>

SIGN#	BLDG #	SHEET#	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
			and the second of the second o	to the contradict whose sections are the makes to an about		response and the second of
E112	2	EA1.05	_	179	\$	-
E113	2	EA1.05		179	W-1WHIIIIII	-
E114	2	EA1.05	322FT <sup>2</sup>	180	CHARLOTTE RUSSE	34.6FT <sup>2</sup>
E115	2	EA1.05		180	***	_
E116	2	EA1.05		181	GIORGIO ARMANI	33.0FT <sup>2</sup>
E117	2	EA1.05		182		
E118	2	EA1.05	198FT²	182	CALVIN KLEIN	60.9FT <sup>2</sup>
E119	2	EA1.05	and the second s	182		]
	_				the street and the street of t	
E120	2	EA1.05		183	PAPAYA	37.7FT <sup>2</sup>
E121	2	EA1.05	224FT <sup>2</sup>	184	**************************************	-
E122	2	EA1.05		184	OSHKOSH B'GOSH	63.3FT <sup>2</sup>
EL21	2	EA1.05		VIA	PEDESTRIAN DIRECTIONAL	93.0FT <sup>2</sup>
E <b>124</b>	2	EA1.05		192	-	-
E125	2	EA1.05	158FT²	192	MAIDENFORM	49.0FT <sup>2</sup>
E126	2	EA1.05		194	BRUNELLO CUCINELLI	56.9FT <sup>2</sup>
E127	2	EA1.05		196	DESIGNER FRAGRANCES	32.9FT <sup>2</sup>
E430	2	544.05				······································
E128	2	EA1.05	62FT <sup>2</sup>	198	EASY SPIRIT	33.5FT <sup>2</sup>
E129	2	EA1.05		198		- 1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1-1
E130	2	EA1.05	96FT²	200	JOHNSTON & MURPHY	30.3FT <sup>2</sup>
E131	2	EA1.05		202	MICHAEL KORS	25.2FT <sup>2</sup>
					25	
E132	2	EA1. <b>0</b> 5	90FT²	204	FOSSILE	28.3FT <sup>2</sup>
E133	2	EA1.05		206	CONVERSE	52.3FT <sup>2</sup>
E134	2	EA1.05	94FT <sup>2</sup>	206	mana hayi Agama Manamana an hiji ka aykana a a a ana ana ana ana ana atau da da Agay Aga hayin kana a aya a aya aya aya aya aya aya aya	terrin të domini të min man man të dhën mi krit mad min rë mi
						\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \
E135	2	EA1.05	30FT²	208	ZUMIES	31.2FT <sup>2</sup>
EL1	2	EA1.05	52FT <sup>2</sup>	210	FOOD COURT IDENTITY	37.5FT²
		:		**************************************	an ban yan berana anamana kashan beka (Pekgan SS) baga Panaman yanggapangay yang ang esgeriye yang esgeriye ya	
E137	2	EA1.05	34FT²	220	-	The state of the s
E138	2	EA1.06	AVX	221	ZALES	36,8FT²
E139	2	EA1.06	106FT <sup>2</sup>	222	YVES SAINT LAURENT	37.0FT <sup>2</sup>
2133	4	FU1.00		444	IVES SAINT LAUNEINT	37,011
E140	2	EA1.06		224	HARRY & DAVID	52.8FT <sup>2</sup>
E141	2	EA1.06	74FT <sup>2</sup>	228		-
	4	2711.00		44U		

IGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
y				ganife dedicares es e esse supplicable followers service esses	GUCCI	39.4FT <sup>2</sup>
E142	2 EA1.	EA1.06	64FT <sup>2</sup>	228	GUCCI	JJ.411
-4.0	2	EA1.06	To the second control of the control	229	DIANE VON FURSTENBERG	24.0FT <sup>2</sup>
E143	2	EA1.06 EA1.06	76FT <sup>2</sup>	229		-
E144	2	EA1.00	1	250- Xe	$ \left( \lambda_{pqqqqqqqqqqqqqqqqqqqqqqqqqqqqqqqqqqqq$	Suggestion to the second secon
E14S	2	EA1.06		230		
E146	2	EA1.06	72FT²	230		-
	, -					
E147	2	EA1.06	56FT <sup>2</sup>	231	VINCE	14.0FT <sup>2</sup>
			Control of the contro	**************************************	anger var vir Nobele province of America June and America var alforested a sum bake of a formal province of a minimum by season of	
E148	2	EA1.06	68FT²	232		
E149	2	EA1.06	}	232	and the state of t	
-4	2	EA1 OF	50FT <sup>2</sup>	232	ara a ngu tahinganinga a na rahamanana a kara ngunang kalabara na Alijingan mahana nga a sa Ara na mana a na sa mahama mahanaya a sa a man	
E150	2	EA1.06	SUF I		m demblerident verteren itt prekelfer verstuddister prekelfektiologier i en ster en minister ver verteren minister fer verteren men i Medister fer med det	
E151	2	EA1.06	64FT <sup>2</sup>	232	NIKE(5WOO5H)	77.5FT <sup>2</sup>
	2	LA1.00	The second secon	Japan span Santa and and and and and and	, y , , , , , , , , , , , , , , , , , ,	
E152	2	EA1.06	52FT <sup>2</sup>	232	NIKE	77.5FT <sup>2</sup>
	_				magnangant (secretary managers)	
E153	2	EA1.06	36FT <sup>2</sup>	232	a da a cana mpika aya a saya a camamama Aya A A saya ma da maya ka a sama'anna a saya sa a canada ma sa sa	-
					and the state of t	The state of the s
E154	2	EA1.06	74FT <sup>2</sup>	239	The state of the s	
E155	2	EA1.06		238	The second secon	٠ا
-4-6	2	CA1 06	64FT <sup>2</sup>	238		
E156	2	EA1.06			y and the same the suspense of the same the same the same to the s	
E157	1	EA1.06	68FT <sup>2</sup>	240	maka ki ka ka mangan da mana da manan da ga ka ke <mark>ebe</mark> erman mada ka ka manga da ka ka manan da da ka manan da da ka ka ka manan da da ka manan da da ka manan da da ka manan da da ka ka manan da	-
LIJI	_	2,12,00		a references communications see	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
E158	1	EA1.06	400FT2	240	_	
<b>E15</b> 9	1	EA1.06	100FT <sup>2</sup>	240	**************************************	
					an englande en	C4 OFT?
E160	1	EA1.06		241	2B BEBE	61.9FT <sup>2</sup>
E161	1	EA1.06	88FT²	241		20.3FT <sup>2</sup>
E162	1	EA1.06	The state of the s	242	JUDITH LEIBER	20.31 1
F4.00	4	CA4 0C	75FT <sup>2</sup>	244	• Commission of the second sec	5,
E163	1	EA1.06	; / <b>JFI</b>	<b>444</b>	7	
E164	1	EA1.06	, , , , , , , , , , , , , , , , , , ,	100	and the state of t	1975 (1975) (1975) (1975) (1975) (1975) (1975) (1975) (1975) (1975) (1975) (1975) (1975) (1975) (1975) (1975)
E165	1	EA1.06		100		
	•		: : : : : : : : : : : : : : : : : : :			
E166	1	EA1.06	64FT <sup>2</sup>	100	BROOKS BROTHERS	28.4FT <sup>2</sup>
E167	1	EA1.06	D4F1	102	SUNGLASS HUT	22.5FT <sup>2</sup>

IGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
E <b>16</b> 8	1	EA1.06	56FT <sup>2</sup>	104	MOVADO	33.8FT²
E100	7	LAI.UU	}   Weekand # man # # # # # # # # # # # # # # # # # # #		an managan ang dan di Cabri (Ang Sangan) yang gang pangan Amagan dan kanamat menang menjadi (Ang Sangan pangan) (Ang Sangan pa	
E169	1	EA1.06	and the second second many common sections in the name of many con-	105	KATE SPADE NEW YORK	33.3FT <sup>2</sup>
E170	1	EA1.06	64FT²	106	TSE	7.5FT <sup>2</sup>
	_		Communication with a second contract of the s	La conserva e conserva	N N N N N N N N N N N N N N N N N N N	ek soor een een een een een een een een een ee
E171	1	EA1.06	* * * * * * * * * * * * * * * * * * *	106	gaggge v. v. kalanov un gr. v. figa 1 v. g. den en en gemeen a Nysof (pp ye vert vert ye vert av et a ferie former a 6 delight h. Nysof (pp ye vert vert ye ve	-
E172	1	EA1.06	54FT <sup>2</sup>	107A	ST. JOHN	22.2FT <sup>2</sup>
			**************************************	And the second second	100 mm (100 mm) (100	
E173	1	EA1.06		107B		
E174	1	EA1.06	140FT <sup>2</sup>	107B	CARTERS	26.2FT <sup>2</sup>
E175	1	EA1.06		107C	_	
					yaga masaka salak kumu ku salak gumu damumini ka masak salak sa kaga masamini da da salak salak salak salak sa	· · · · · · · · · · · · · · · · · · ·
E176	1	EA1.07	64FT <sup>2</sup>	108		- to 200 h, to 100 h, to 1
E177	1	EA1.07	0461	108	<b>—</b>	-
					A 100 A	
E178	1	EA1.07	62FT <sup>2</sup>	108	GUESS	30.9FT <sup>2</sup>
						,
E179	1	EA1.07	92FT²	112	JIMMY CHOO	30.9FT <sup>2</sup>
E180	1	EA1.07		112	***************************************	
E181	1	EA1.07	\$ : : :	114	ZEGNA	31.0FT <sup>2</sup>
		,		The state of the s		00 ===3
E182	1	EA1.07	72FT <sup>2</sup>	116	BANANA REPUBLIC	89.5FT <sup>2</sup>
		_			3	96.0FT <sup>2</sup>
EL12	1	EA1.07	74FT <sup>2</sup>	VIA	PEDESTRIAN DIRECTIONAL VIA	96.UF1
		544.07		122	TOURNEAU	30,0FT <sup>2</sup>
E184	1	EA1.07	50FT <sup>2</sup>	122	TOURNEAU(CLOCK)	18.8FT <sup>2</sup>
E18S	1	EA1.07			IOONNEAO(CEOCK)	
E186	1	EA1.07		124	LORO PIANA	29.8FT <sup>2</sup>
E187	1	EA1.07	54FT <sup>2</sup>	126		-
E10/	1	LA1.07			<u></u>	
E188	1	EA1.07	70FT <sup>2</sup>	126	PRADA	11.4FT <sup>2</sup>
LIGO	_	2711.07			<u> </u>	
E189	1	EA1.07		128		g a ga a mana hana da da gan damanan da ga ga ga ga mananan da ga ga ga da manan da ga ga ga ga ga ga ga ga ga Bangan da ga
E190	1	EA1.07	94FT²	128	BARNEYS NEW YORK	93.8FT <sup>2</sup>
E191	1	EA1.07		128		**************************************
	_	·· ·=•••			nghan i mangaka muun minaku 1964 sa sa sa sa sa sa manahuka 1986. Makabada ina sa sa manahuma 1963 sa sa sa sa	
E192	1	EA1.07		132	ARMANI	20.8FT <sup>2</sup>
E193	1	EA1.07	130FT <sup>2</sup>	134	ULTRA DIAMONDS	40.0FT <sup>2</sup>
E194	1	EA1.07		138	-	-

SIGN #	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
E195	1	EA1.07		138		-
E196	1	EA1.07	122FT <sup>2</sup>	138	### ### ### ### ######################	
E197	1	EA1.07	12251-	140	FURLA	31.7FT <sup>2</sup>
E198	1	EA1.07		142		
E199	1	EA1.07	62FT <sup>2</sup>	142	FAMOUS FOOTWARE	39.0FT <sup>2</sup>
E200	1	EA1.07		142 .	- 1915 - 1916 -	
E201	1	EA1.07	40057	144	TUMI	22.5FT <sup>2</sup>
E202	1	EA1.07	120FT <sup>2</sup>	146	And in the first of the first o	
E203	1	EA1.07	Annual months of the state of t	146		
E204	1	EA1.07	88FT²	147	TAG HEUER	18.2FT <sup>2</sup>
E205	1	EA1.07	OOL1	148		
E <b>L3</b> 1	1	EA1.07	62FT²	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT <sup>2</sup>
E207	1	EA1.07	OZFI-	150		#
E208	1	EA1.07	56FT <sup>2</sup>	150	TORI BURCH	48.0FT <sup>2</sup>
E209	1	EA1.07		151	THE COSMETIC COMPANY STORE	41.6FT²
E210	1	EA1.07	62FT²	152	BCBGMAXAZRIA	18.9FT²
E211	1	EA1.07		152		
E212	1	EA1.07	82FT²	156	JUICY COUTURE	24.0FT <sup>2</sup>
E213	1	EA1.07		156	The state of the s	odal receive con constant and a cons
E214	1	EA1.07	84FT <sup>2</sup>	158		
E215	1	EA1.08		160	JOE'S JEANS	24.3FT <sup>2</sup>
E216	1	EA1.08	52FT <sup>2</sup>	160	PAC SUN	24.3FT <sup>2</sup>
E217	1	EA1.08		162	_	-
E218	1	EA1.08	70FT <sup>2</sup>	162	WILSONS LEATHER	39.1FT <sup>2</sup>
E219	1	EA1.08	68FT <sup>2</sup>	164	-	The second secon
E220	2	EA1.09	64FT <sup>2</sup>	238		

#### $\underline{\textit{EAST}}$ - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
			Manager of the first of the first and the first of the fi		ymay kumay wy y y r thilliann, rhan il Woham haga maham kilikha my y r thill y r thillian had be delin a share	
E221	2	EA1.09	140FT²	238		
E222	2	EA1.09		238		-
E223	2	EA1.09		238	_	-
E224	2	EA1.09		238	-	-
E225	2	EA1.09		238	authib Veet out outcomes to make out to a sealathing the being population of the comment to be \$1000000000000000000000000000000000000	e de la composition della comp
E226	2	EA1.09	60FT <sup>2</sup>	238	-	-
			; m m · v m m · v m m · v m · v · v · v ·	- 1 - 1 - 2 - 2 - 1 - 2 - 2 - 2 - 2 - 2	A CONTRACTOR CO	**************************************
E227	2	EA1.09	60FT <sup>2</sup>	238		man and the same of the same o
	_			75//	And the state of t	
E228	2	EA1.09	70FT²	238	The state of the s	-
E229	2	EA1.09		238	M	-
		EA1.09				
E230	2		36FT <sup>2</sup>	232	and Againman phylod March Are bolt er charles er en her er er er halve betraden per manne manner er er manner er	
E224	2	544.00				
E231	2	EA1.09	58FT²	232		•
E232	2	EA1.09		232	**************************************	
E233	2	EA1.09	44FT²	232		
E234	2	EA1.09	62FT <sup>2</sup>	232	NIKE(SWOOSH)	77.5F <b>T²</b>
					(A)	
E235	2	EA1.09	44FT <sup>2</sup>	232	*	<b>*</b>
E236	2	EA1.09	58FT²	232	VM	-
E237	2	EA1.09	<b>901.</b>	232	#	-
<b>E23</b> 8	2	EA1.09		231	BURBERRY	15.4FT <sup>2</sup>
E239	<i>2</i>	EA1.09	138FT²	230		
E240	2	EA1.09	of the company	230	ar Nguri manungan manungan mang kata mang kapang kapang kapang kapang kapang kapang kapang kapang kapang kapan Ma	-
					Modes Visual de November Sea - American manuscum	
E241	2	EA1.09	62FT <sup>2</sup>	229	GUCCI	39.4FT <sup>2</sup>
E242	2	EA1.09	w	229	Ра-шуурун Манин о Анган ин тара шуштан айган айган 	<u> </u>
E243	2	A1.09		228	—————————————————————————————————————	-
E244	2	EA1.09	130FT <sup>2</sup>	228	DIANE VON FURSTENBERG	18,4FT <sup>2</sup>
E245	2	EA1.09		228	HARRY & DAVID	52.8FT <sup>2</sup>
					\$2-3\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	<u> </u>
E246	2	EA1.09		224		-
	2	EA1.09	88FT²	222		

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
	_		M			
E248	2	EA1.09	200FT <sup>2</sup>	221		
E249	2	EA1.09		220		<b>■</b>
E250	2	EA1.09		210		7
E251	2	EA1.09		210	MAIDENFORM	33.7FT <sup>2</sup>
E252	2	EA1.09		210		**************************************
E253	2	EA1.09		210		#
E254	2	EA1.09	COET?	210	And the second s	
E255	2	EA1.09	62FT <sup>2</sup>	210	POLO RALPH LAUREN	15.5FT <sup>2</sup>
<b>E25</b> 6	2	EA1 10		210		
,	·	EA1.10	62FT²	/		4F FF-7
E257	2	EA1.10	\$ \$	210	POLO RALPH LAUREN	15.5FT <sup>2</sup>
E258	2	EA1.10		210	Billioteta di diminimi ne necesa memori meneri dena estante en menere menere en engles e gyptes egeneses en en H	gar to b b borning gg/mangaman de barbartes francisco fr
E259	2	EA1.10	70FT²	210		
E233	2	EA1.10		210	-	
E260	2	EA1.10		210		-
E261	2	EA1.10		208	-	_
E262	2	EA1.10		208		-
E263	2	EA1.10	2 A 2 E T 2	206	•	-
E264	2	EA1.10	342FT <sup>2</sup>	206		
E265	2	EA1.10		204		American (A. S. S. Santa Carrier Santa Carri
E266	2	EA1.10		204		_
E267	2	EA1.10		В.О.Н.		-
E268	2	EA1.10	32FT <sup>2</sup>	в.О.Н.		_
E269	2	CA1 10	34FT <sup>2</sup>	BOU	ar i franch fra met ar 1960 i 1960 foto de Samar de Friancia mar i arch Samar demonsi a mar ar fran fran fra de Sa de Sa de mar franca i	A
E2 <b>0</b> 9	2	EA1.10	34r1-	В.О.Н.		-
E270	2	EA1.10		202	AXAXXAQAAAAAAAAAAAAAAAAAAAAAAAAAAAAAAA	
<b>E27</b> 1	2	EA1.10	142FT <sup>2</sup>	202	_	-
E272	2	EA1.10		200	_	-
E273	2	EA1.10	55FT <sup>2</sup>	198	-	**************************************
EL27	2	EA1.10		196	PEDESTRIAN WAYFINDING	N/A
E275		EA1.10	138FT²	194	-	***************************************
E276	2	EA1.10		192		-
EL25	2	EA1.10	34FT²	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT²
	2	EAT.IU	J711	V 1/7	LOLDINGH DAILCHUITAL VIA	

SIGN#	BLDG #	# SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
FLOC	2	EA1 10	11 Sept. Sept. 101 101 101 101 101 101 101 101 101 10	104		
EL26	2	EA1.10	130FT <sup>2</sup>	184	<u>PEDESTRIAN WAYFINDING</u>	N/A
E279	2	EA1.10		184		
E280	2	EA1.10		184		-
E290	2	EA1.10		183	###   ###	-
E291	2	EA1.10	66FT <sup>2</sup>	182		The state of the s
E292	2	EA1.10		182		**************************************
E293	2	EA1.10		181	ري دري دري دري دري دري دري دري دري دري د	-
E294	2	EA1.10	248FT <sup>2</sup>	181	arkka ta majan kunis ku sabajirangka (MARIS san Pina t sp. 19-19 digi Mikuski saspini t ki sabajian anan p digant kota	ann dean dean dean dean dean dean dean d
E295	2	EA1.10	To Company to the Com	180		<u></u>
6233	2	L/11.10	Anne	100		
E296	2	EA1.10	58FT <sup>2</sup>	180		770
E297	2	EA1.10	80FT <sup>2</sup>	179		44
<b>E29</b> 8	2	EA1.10		178	obiem mme \ m = 1	
E299	2	EA1.10	84FT <sup>2</sup>	178		
E300	2	EA1.11		178		***************************************
E301	2	EA1.11	3 0 1	178		_
E302		EA1.11	270FT²	178		
E303	2	EA1.11		178		
E304	2	EA1.11		174	_	-
				e.c.c.c	to Manamana de Sando de Sando de Sando de Carte de Sando de Pala Marie de La cambra de Associado de Carte de C	e a de la composition de la compositio
E305	2	EA1.11	122FT <sup>2</sup>	172	<u> </u>	
E306	2	EA1.11		172	■ The state of th	-
E307	2	EA1.11		170	-	-
E308	2	EA1.11		188	andron A minutes of size of the Philippen is a community by Myrman (Myrman Sec. Sec. Sec. Sec. Sec. Sec. Sec. Sec.	hann i dha na 1 tao da da mad ma ban da da da madad da dan bal da ban bal da manani i i d
E309	2	EA1.11	89FT <sup>2</sup>	188	LACOSTE	46.3FT <sup>2</sup>
E310	2	EA1.11	64FT <sup>2</sup>	188	LACOSTE	46.3FT <sup>2</sup>
E311	2	EA1.11		188		-
E312	2	EA1.11	156FT²	188	. =	-
E312.5	2	EA1.11		188	- N-3	-
E313	1	EA1 11		164	жения столу ставит пистем (Аттурууст с Установ Аттуруу инститичний перен тактов и пистем инститичний и изгазаг	
	1	EA1.11	126572	······		<u> </u>
E314		EA1.11	136FT <sup>2</sup>	164		
E315	1	EA1.11		164	<b>*</b>	

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
EL15	1	EA1.11		В.О.Н.	CENTER IDENTITY	90.1FT <sup>2</sup>
			68FT <sup>2</sup>	в.о.н. В.О.Н.		90.1F1 <sup>2</sup>
EL57(BLADE)	1	EA1.11	The second of the second secon	<b>Β. U. Π.</b>	<u>INFORMATION IDENTITY</u>	9.UF1
EL16	1	EA1.11	75FT <sup>2</sup>	В.О.Н.	<u>CENTER IDENTITY</u>	99.0FT²
E319	1	EA1.11	51FT <sup>2</sup>	164	Amendanian - Assam rang kumunan masa sasar ang mang mananan mana a sara a sasar as ang mananan sara a sasar a	
E213	1	EA1.11	)	104		
E320	1	EA1.11		160		-
E321	1	EA1.11		160	-	-
E323	1	EA1.11	214FT <sup>2</sup>	158	imb ar a commendiarez minimer e manora con estado e mar (1 con e e milimer e e e min esta contrata dos estacos e e e e manorada (1).	
E324	1	EA1.11	10) Engewahl (16)	156		The state of the first and the first and the forest and the first and th
E325	1	54440	34FT <sup>2</sup>	ACCESS		
E325	1	EA1.12	34F1	ACCESS	and the state of t	
E326	1	EA1.12		В.О.Н.	\(\frac{\partial \text{\sigma} \\ \frac{\partial \text{\sigma} \\ \partial \text{\sigma	Padra PPamada qiqimmin Asinghaddan Pimad PP dani Pi Pashimini (1999) ——————————————————————————————————
EL29	1	EA1.12	· · · · · · · · · · · · · · · · · · ·	152	PEDESTRIAN WAYFINDING	N/A
E328	1	EA1.12	226FT <sup>2</sup>	152		•
E329	1	EA1.12	) : :	151		-
E330	1	EA1.12		150	y ag i ngungamgan ji gaya ayyyan i iyo ayyyan ayyun ay i	
EL30	1	EA1.12	65FT <sup>2</sup>	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT <sup>2</sup>
	-					
E332	1	EA1.12		148	eg er seg en eg meg er <del>eg geget e eg geget e gere e</del> r en seg er er en en en eg meg en <del>gegege</del> en ejen fragement et en en ming en immen	en e
E333	1	EA1.12	136FT <sup>2</sup>	147	•	_
EL32	1	EA1.12	*	146	PEDESTRIAN WAYFINDING	N/A
	_	544.40				
E335	1	EA1.12	94FT²	146	_	-
E336	1	EA1.12	: ! !	144	**************************************	•
E337	1	EA1.12	53FT <sup>2</sup>	144		
E338	1	EA1 12		1/17	and the second s	
	1	EA1.12	: ; }	142		_
E339	1	EA1.12	· / 	142		
E340	1	EA1.12	280FT <sup>2</sup>	140	***  ***  ***  ***  ***  ***  ***  ***  ***  *	-
E341	1	EA1.12		138		-
E342	1	EA1.12		138	-	
E343	1	EA1.12		134	T. 2004 - 40-200 - 400 -	
E344	1	EA1.12	n, n, n, n m m m m m m m n, d, m m, d, de de de m n, d' et m m nè et m m nè et m	132	town town the bound the bound of the block of the block of the ment of the bound of	gan a an a an an an an ann an garlandach dha dhaan kandacha A dhaan ka ad d
E345	1	EA1.12	: : :	128	_	-
E346	1	EA1.12	218FT²	128	-	-
E347	1	EA1.12		128		_
E348	1	EA1.12	1 A 1	128	The Assume to advance to 1986 and a color off security production of the party of t	-
	-		:	£	<b>*</b>	September 18 - 18 - 18 - 18 - 18 - 18 - 18 - 18

### ${\it \underline{EAST}}$ - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
EL33	1	EA1.12	35FT <sup>2</sup>	128	PEDESTRIAN WAYFINDING	N/A -
	•	C44 13		912	PEDESTRIAN WAYFINDING	N/A
EL34	9	EA1.12	102FT <sup>2</sup>	910		-
E351	9	EA1.12		J10	white Annual control to the control of the control	AND INDIAN IN THE PARTY AND AND THE RESIDENCE AND
E352	9	EA1.12	. In some for the sign of the	908		espendifferejelisterist imme et skipsimmen men en et skiellemmen men en e
E353	9	EA1.12	**: } \$ \$	908	-	_
E354	9	EA1.12	Ý. 	904	_	***************************************
E355	9	EA1.12	394FT <sup>2</sup>	900	_	
E356	9	EA1.12	, k 5 1	900	-	-
E357	9	EA1.12	1	900	•	-
E358	9	EA1.12		в.о.н.		<u></u>
E359	9	EA1.13	32FT <sup>2</sup>	B.O.H.	-	
E360	9	EA1.13		900		
E361	9	EA1.13	112FT <sup>2</sup>	900	-	-
E362	9	EA1.13	*****	900	Market See and the second seco	
			The companies which a minimum as we consider a minimum as			
E363	9	EA1.13	26FT <sup>2</sup>	900		
	0	E41 12		900		
E364	9	EA1.13	64FT²	900		-
E365	9	EA1.13	( 0461	900	HUGO BOSS	16.9FT <sup>2</sup>
E366	9	EA1.13		j 900		
E367	9	EA1.13	40FT <sup>2</sup>	900		
E368	9	EA1.13	38FT²	900		
E369	9	EA1.13	95FT <sup>2</sup>	900	HUGO BOSS	49.3FT <sup>2</sup>
F330	0	EA1.13	The second secon	900		-
E370	9	EA1.13	74FT <sup>2</sup>	904	MARNI	10.4FT <sup>2</sup>
E371	Э	EM1.13		, )	n ka da Sara Salamman mana sa ara a mangaman mana da Salamman maganina Sa Sara sa magan maja sa mara a mana sa Na sara Sara Salamman mana sa ara a mana mana da Salamman mana sa	
E372	9	EA1.13	**************************************	908	ETRO	9.7FT²
E373	9	EA1.13	154FT <sup>2</sup>	910	ELIE TAHARI	19.3FT²
E374	9	EA1.13		912	JAMES PERSE	13.6FT²
EL14	9	EA1.13	30FT <sup>2</sup>	В.О.Н.	PEDESTRAIN WAYFINDING	N/A
_ <b> 1</b>	-					0.057
E376	1	EA1.13	18FT <sup>2</sup>	122	TOURNEAU(CLOCK)	9.0FT <sup>2</sup>

### **EAST** - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

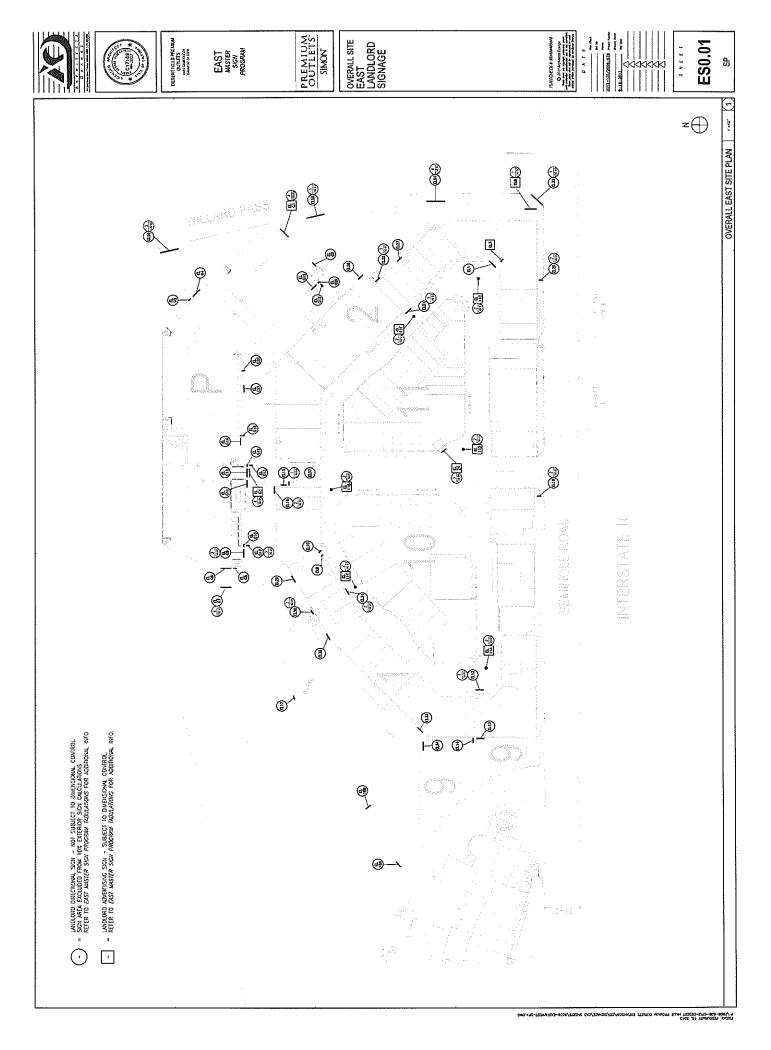
SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
EL13	1	EA1.13	74FT <sup>2</sup>	VIA	PEDESTRIAN DIRECTIONAL VIA	96.0FT <sup>2</sup>
LLAS	_	L/11.15	The man the contract of the co		grand and the state of the stat	
E378	9	EA1.13	32FT <sup>2</sup>	B.O.H.	BOTTEGA VENETA	19.6FT <sup>2</sup>
			] - x < = = = = = = = = = = = = = = = = = =	COLON ACTIONS WAS COME AS CONSIDER VIOLENCE OF SIGN	da	
E379	9	EA1.13		916	a y globar i sylv (globarininami pring) angang sammya man kanadiga mangkir sambanan apagang PBP shira biliphay magkan	etrojijetu nejetjijiju ir krijou krijajuka krijajunisti ir kundunukumunistinistinitus
E380	9	EA1.13	92FT²	918	KIPLING	13.5FT <sup>2</sup>
E381	9	EA1.13		920	The second secon	_
E382	9	EA1.13	60FT <sup>2</sup>	920	SALVADOR FERRAGAMO	67.3FT <sup>2</sup>
			,			
E383	9	EA1.13	50FT <sup>2</sup>	920	SALVADOR FERRAGAMO	67.3FT <sup>2</sup>
F20 <i>1</i>	0	EA4 42		020	, ,	1
E384	9	EA1.13	100FT <sup>2</sup>	920 920	- 	47.9FT <sup>2</sup>
E385	9	EA1.13	t and propriate and an area with the street of the street	920	ELIE TAHARI	47.9F1
E386	9	EA1.13	60FT <sup>2</sup>	920	BOTTEGA VENETA	19.6FT²
L300	9	LAILIS		J20		13.011
E387	9	EA1.13		920	SALVADOR FERRAGAMO	72.6FT <sup>2</sup>
E388	9	EA1.13	118FT²	916	JAMES PERSE	13.8FT <sup>2</sup>
	_					Å
E389	1	EA1.13	60FT <sup>2</sup>	116	BANANA REPUBLIC	45.0FT <sup>2</sup>
			1.0			×
E390	1	EA1.14	74FT <sup>2</sup>	116	YVES SAINT LAURENT	43.1FT <sup>2</sup>
E391	1	EA1.14	48FT <sup>2</sup>	116	BANANA REPUBLIC	50.5FT <sup>2</sup>
				y		degannes a de acameleo des d'aceleo descripcio descripcio de aceleo de de descripció de a de del codo el degan
E392	1	EA1.14	t : 5	116	TOURNEAU	32.3FT <sup>2</sup>
E393	1	EA1.14	128FT²	116	-	<u>.</u>
E394	1	EA1.14		116	COACH	32.5FT <sup>2</sup>
E20 <b>E</b>	4	FA114		117		
E395 E396	1	EA1.14 EA1.14	: : : : : : : : : : : : : : : : : : :	114 112	ZENGA	42.6FT <sup>2</sup>
E396 E397	1	EA1.14 EA1.14	164FT²	112	JUICY COUTURE	16.5FT <sup>2</sup>
E397	1	EA1.14	. IV4FT	108	DKNY	34.0FT <sup>2</sup>
E399	1	EA1.14	**************************************	108		J-101 1
	<b>±</b>	C, 14,44	*		A	3
E400	1	EA1.14	3	108	A ASSECT OFFICE A CONTROL OF A	-
E401	1	EA1.14	62FT²	108	GUESS	30.9FT <sup>2</sup>
				San a de communicación de describido de estado en Sendo	тту, уууу, т, т, туутт штан шашы шарын ттануушаруданы штануушаны шашы жүшаны шашын жүшагүүдө	7
E402	1	EA1.14		107C	•	146
E403	1	EA1.14	128FT²	10 <b>7</b> B		
E404	1	EA1.14	1	107B	-	-

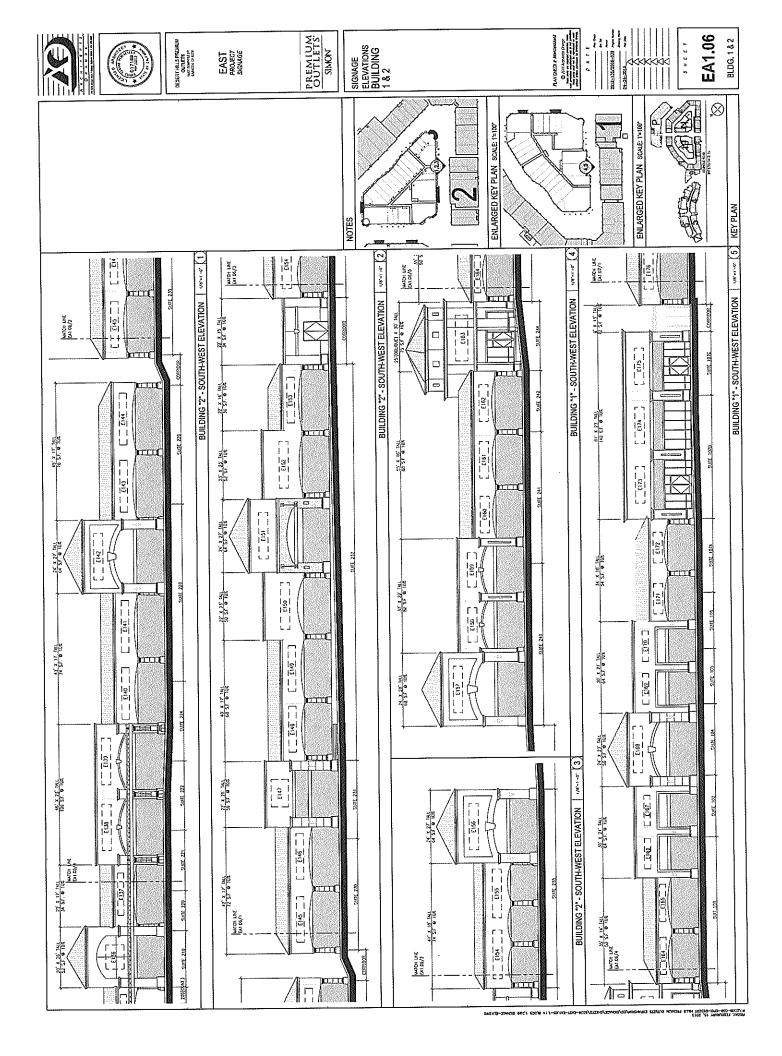
### <u>EAST</u> - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

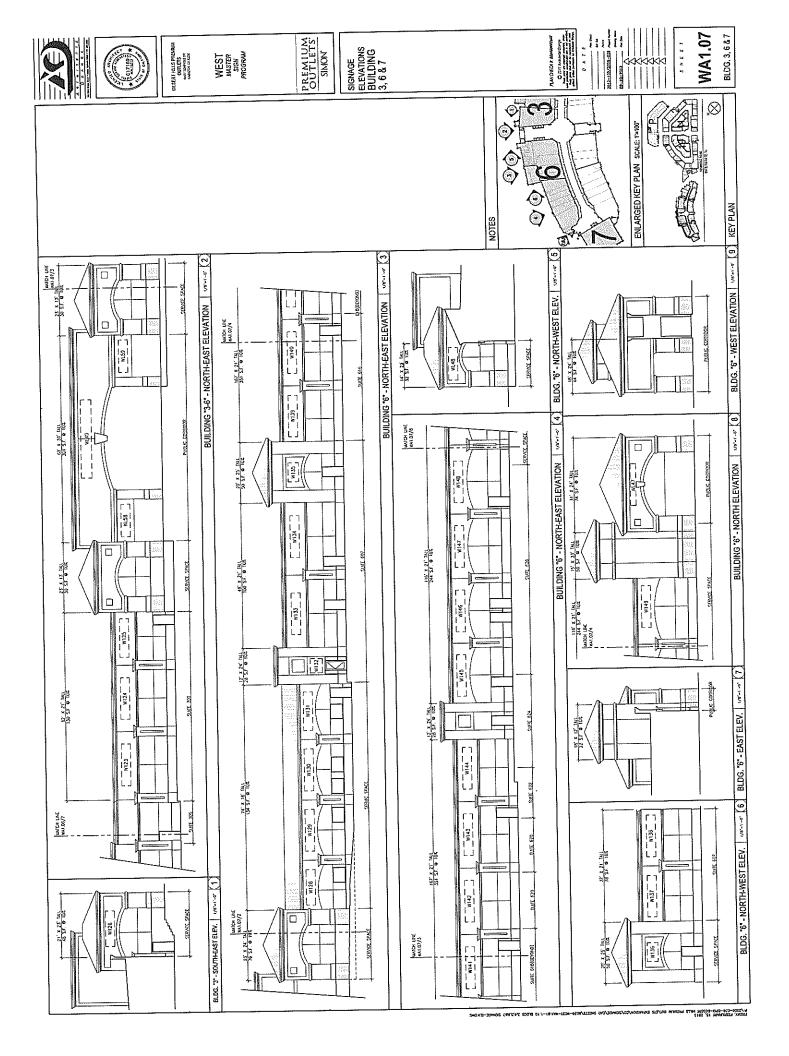
SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE #	TENANT SIGN NAME	SIGN AREA
E405	1	EA1.14	AC 26, 26, 35, 30, 10, 12, 12, 30, 20, 30, 30, 30, 31, 31, 31, 32, 33, 34, 35, 37, 30, 37, 37, 30, 37, 37, 38,	107A	ST. JOHN	29.0FT²
E406	1	EA1.14	52FT <sup>2</sup>	107A	39,39,59,50,50,50,50,50,50,50,50,50,50,50,50,50,	
L-100	-	2712,27	m shah man 44.00 man dan dan minim berser kalim serere berser berser berser berser	annually to a constant of a constant of the little of the little of the constant of the consta		
E4 <b>07</b>	1	EA1.14		106	TSE	7.5FT <sup>2</sup>
E408	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2		68FT²	105	KATE SPADE NEW YORK	38.3FT <sup>2</sup>
				Specifican specific programmy and a second	10 A	
E409	1	EA1.14	58FT²	104	-	<u></u>
E410	1	EA1.14	72FT²	102	MOVADO	19.3FT <sup>2</sup>
E411	1	EA1.14	,	100	-	_
						***************************************
E412	1	EA1.14	52FT <sup>2</sup>	100	BROOKS BROTHERS	66.1FT <sup>2</sup>
				- Compression of the Compression		
E414	1	EA1.14	92FT <sup>2</sup>	244	<u> </u>	
			FOET?	244	DOLCE & CARDANA	32.1FT <sup>2</sup>
E415	1	EA1.14	50FT <sup>2</sup>	241	DOLCE & GABBANA	32.171
E416	1	EA1.14		241	CALVIN KLEIN	25.0FT <sup>2</sup>
E416	1	EA1.14 EA1.14	104FT <sup>2</sup>	241	GIORGIO ARMANI	33.0FT <sup>2</sup>
E41/	1	CA1.14		240	GIONGIO ANVIANI	33.011
<b>E41</b> 8	1	EA1.14	60FT <sup>2</sup>	240		_
E-710	-	2/11.17		<u> </u>	a)	
E419	1	EA1.14	60FT <sup>2</sup>	240		
	_		\$	£		
E420	1	EA1.14		240	_	***
E421	1	EA1.14		240		<u> </u>
E422	1	EA1.14	132FT²	240	-	-
E423	1	EA1.14		240	-	-
E424	1	EA1.14		240		engagagagan agaman nijaman nijaman nijaman nija dababbi kabababa dababab dababab dababab dababbab dababab dababbab dababab dabab dab
E425	1	EA1.14	68FT <sup>2</sup>	240		
ELG9	P	EA1.15	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	<u></u>	<u>VEHICULAR ENTRY DIRECTIONAL</u>	20.0FT <sup>2</sup>
E427	<i>P</i>	EA1.15	540FT?			-
E428	Р	EA1.15	510FT <sup>2</sup>	-	VEWSULAN SUTTON DIRECTIONAL	9.0FT <sup>2</sup>
LG10(BLADE	and the second section of the sectio	EA1.15	e en englande e	-	CAR COUNTER DISPLAY	9.0FT <sup>2</sup>
ELG18	P			£.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	CAR COUNTER DISPLAY	0.011
ELG11	Р	EA1.15	$\sum_{i=1}^{n}  u_{i}(m_{$		PEDESTRIAN DIRECTIONAL	40.0FT <sup>2</sup>
ELG11	P	EA1.15	e des		CENTER IDENTITY	120.0FT <sup>2</sup>
ELG3	ementante processor	EA1.15	608FT <sup>2</sup>		VEHICULAR ENTRY DIRECTIONAL	20.0FT <sup>2</sup>
LG13(BLADE		EA1.15	, <b>, , , , , , , , , , , , , , , , , , </b>	-	VEHICULAR ENTRY DIRECTIONAL	9.0FT <sup>2</sup>

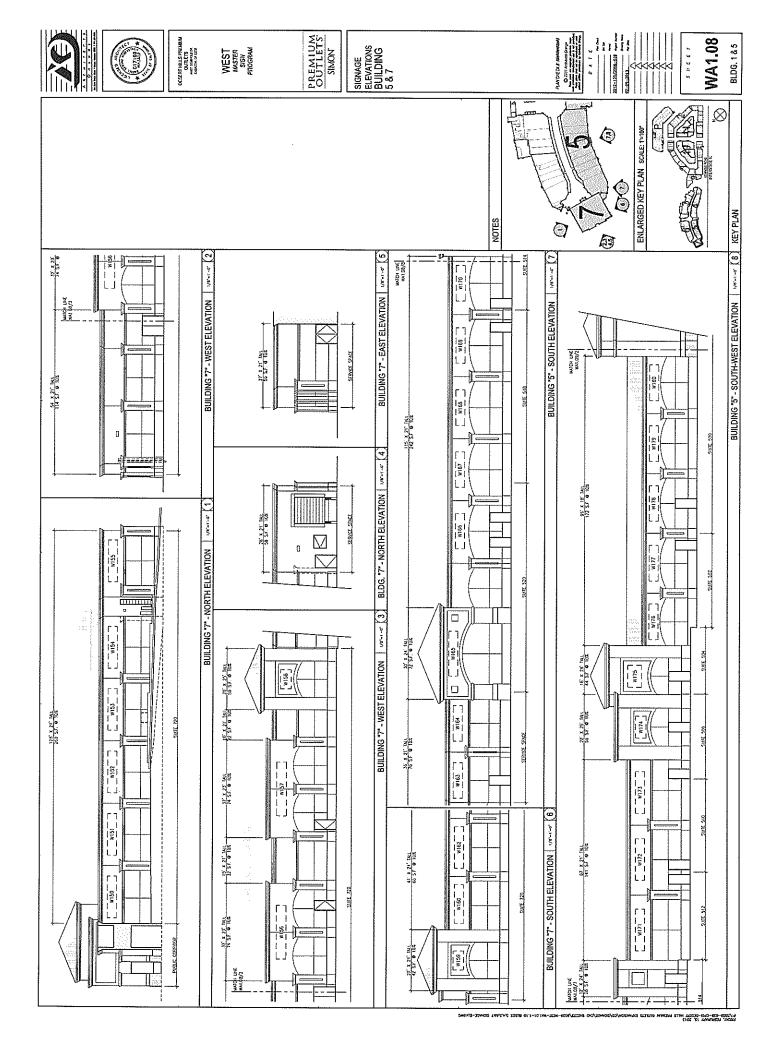
### $\underline{\textit{EAST}}$ - MASTER SIGN PROGRAM TABULATIONS - WALL SIGNS

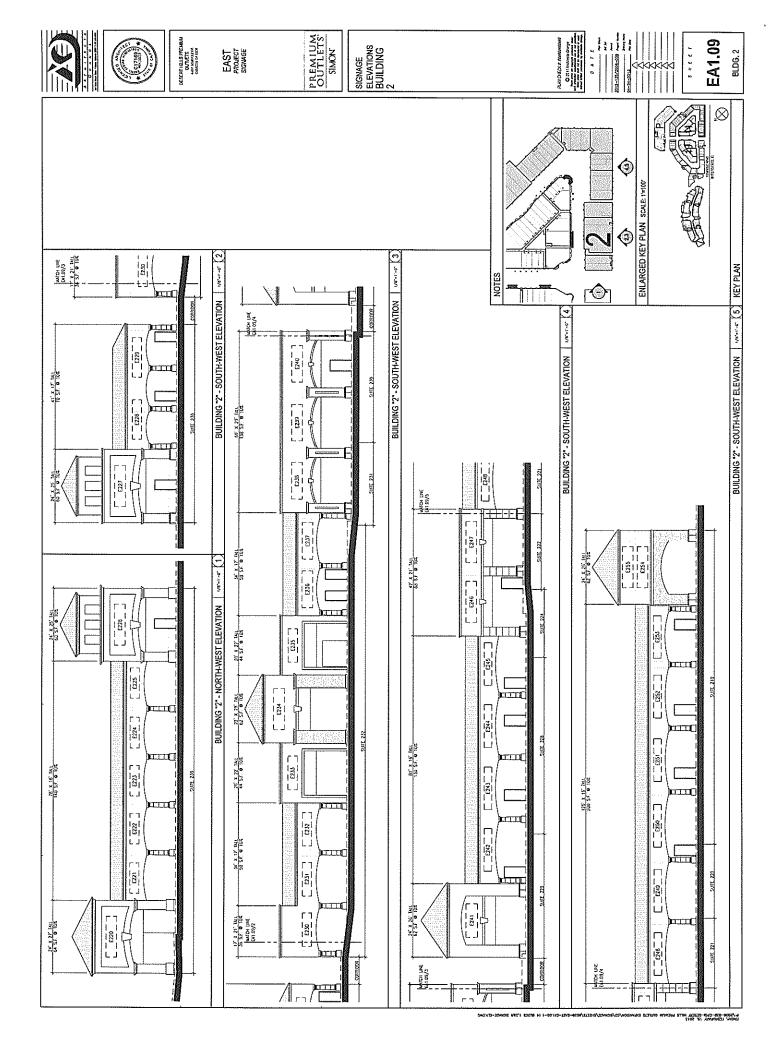
SIGN#	BLDG #	SHEET #	ALLOWABLE AREA	SUITE#	TENANT SIGN NAME	SIGN AREA
ELG14	Ρ	EA1.15		e transcription de la company	VEHICULAR ENTRY DIRECTIONAL	20.0FT <sup>2</sup>
E435	P	EA1.15	000==3	**************************************	-	—
E436	P	EA1.15	896FT²			
ELG15(BLADE)	P	EA1.15			VEHICULAR ENTRY DIRECTIONAL	9.0FT <sup>2</sup>
ELG21	P	EA1.15	ر الله الله الله الله الله الله الله الل	i i Myrajani i i jedinaja je i i a jenjak i i i konajani i i je ni i i i ye	VALET SIGN	50.0FT <sup>2</sup>
ELG22(BLADE)		EA1.15	896FT <sup>2</sup>		VALET BLADE SIGN	9.0FT <sup>2</sup>
ELGZZ(BLADE)	P	EA1.13	Secretarial de la caracteria de la companya de la companya de la caracteria de la caracteri		VALET BLADE SIGIV	9.UF1-
ELG16	P	EA1.16		_	VEHICULAR ENTRY DIRECTIONAL	20.0FT²
E439	P	EA1.16				_
E440	Р	EA1.16	1048FT <sup>2</sup>	_		<u></u>
ELG17(BLADE)	P	EA1.16	1 7 8 8	10.0 0.00 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000 0.000	VEHICULAR ENTRY DIRECTIONAL	9.0FT <sup>2</sup>
ELG20	P			-	CAR COUNTER DISPLAY	8.0FT <sup>2</sup>
E442	P	EA1.16	1	-	-	-
E443	P	EA1.16	•	-	## ##	-
ELG2	P	EA1.16		-	VEHICULAR ENTRY DIRECTIONAL	20.0FT <sup>2</sup>
E445	P	EA1.16	388FT²	-		_
E446	P	EA1.16	30051-	-	-	**************************************
E447	P	EA1.16		-	-	-
E448	P	EA1.16		-	-	-
E449	P	EA1.16	; ; ; ; ;	•		
ELG1	P	EA1.16	160FT²	An estimat e se statut de la estimate de la estimat	<u>CENTER IDENTITY</u>	229.0FT <sup>2</sup>
ELG4	Р	EA1.17		-	VEHICULAR ENTRY DIRECTIONAL	20.0FT <sup>2</sup>
E452	P	EA1.17	148FT²	_	-	-
E453	P	EA1.17	T401.1	-		
ELG5	Р	. <del>-</del>		-	CAR COUNTER DISPLAY	8.0FT <sup>2</sup>
ELG6	P	EA1.18	,	····	VEHICULAR ENTRY DIRECTIONAL	20.0FT <sup>2</sup>
E455	P	EA1.18		-	-	
E456	P	EA1.18	330FT <sup>2</sup>	11 Processor Processor 1 com 2 con 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2		-
ELG8	P		; ! }		CAR COUNTER DISPLAY	8.0FT <sup>2</sup>

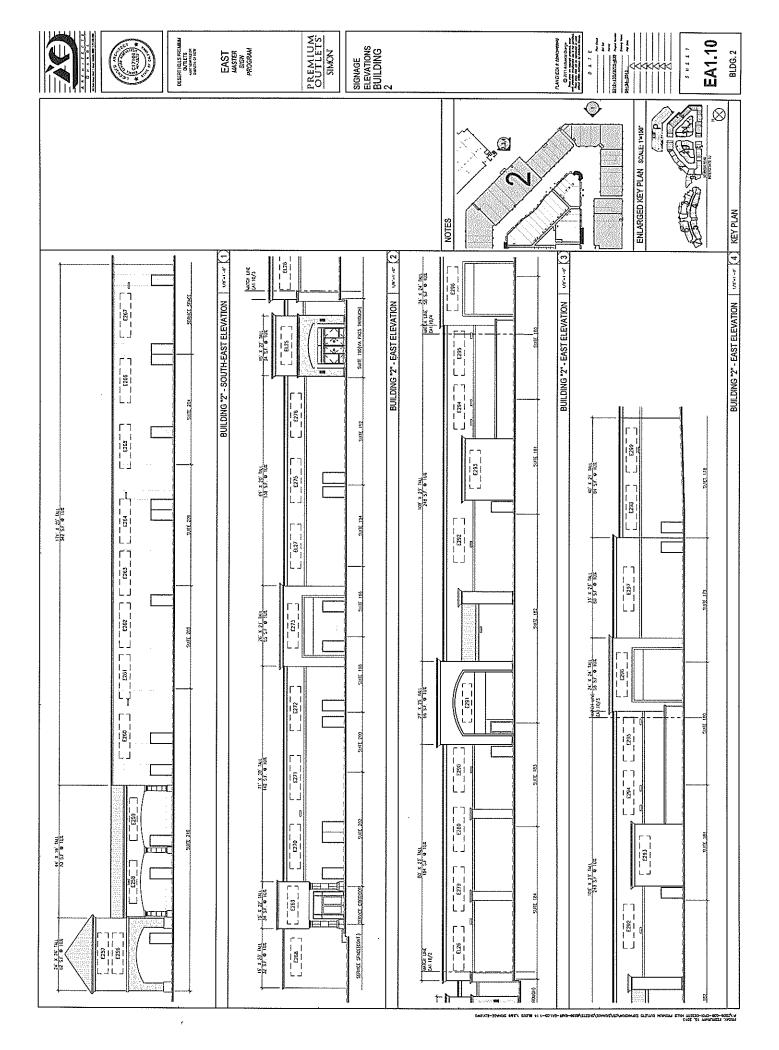


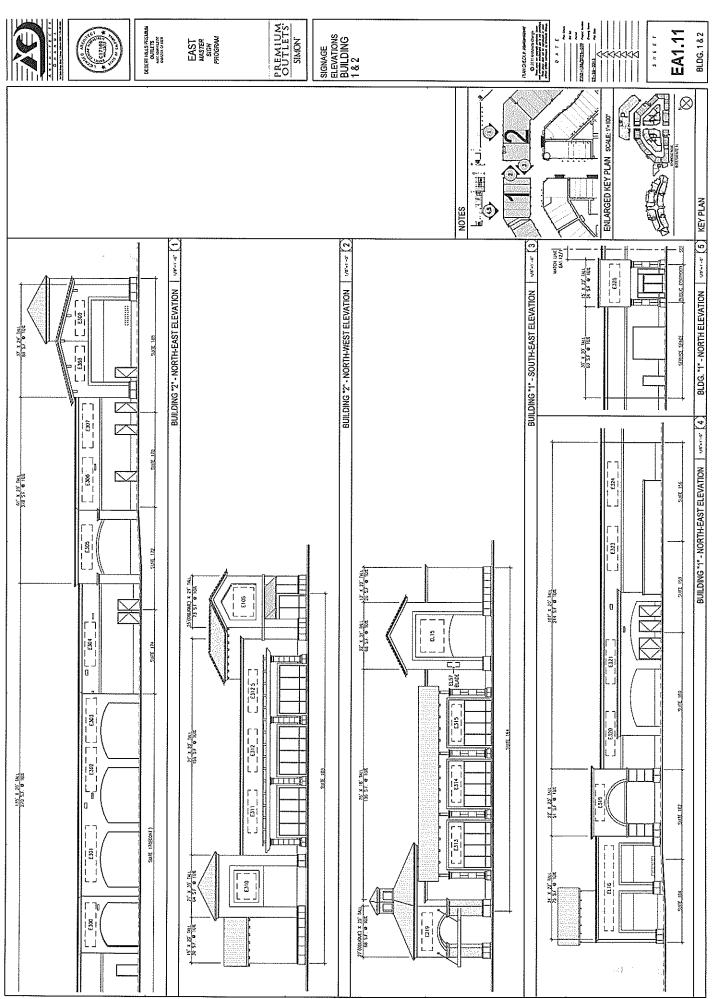


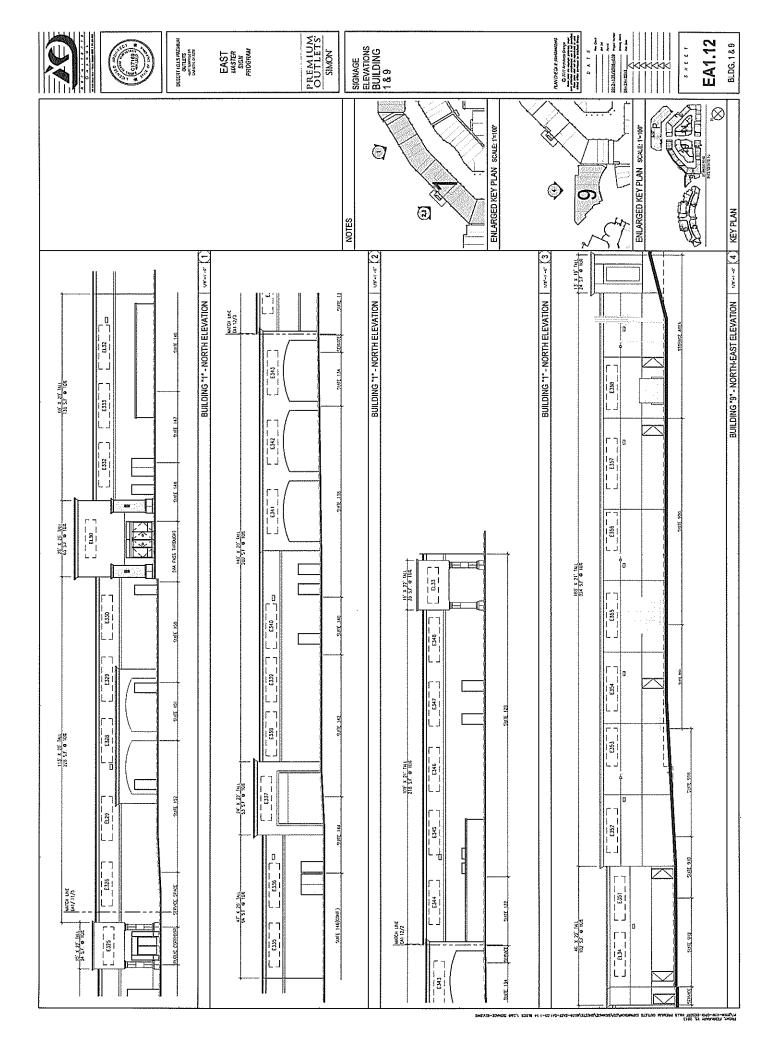


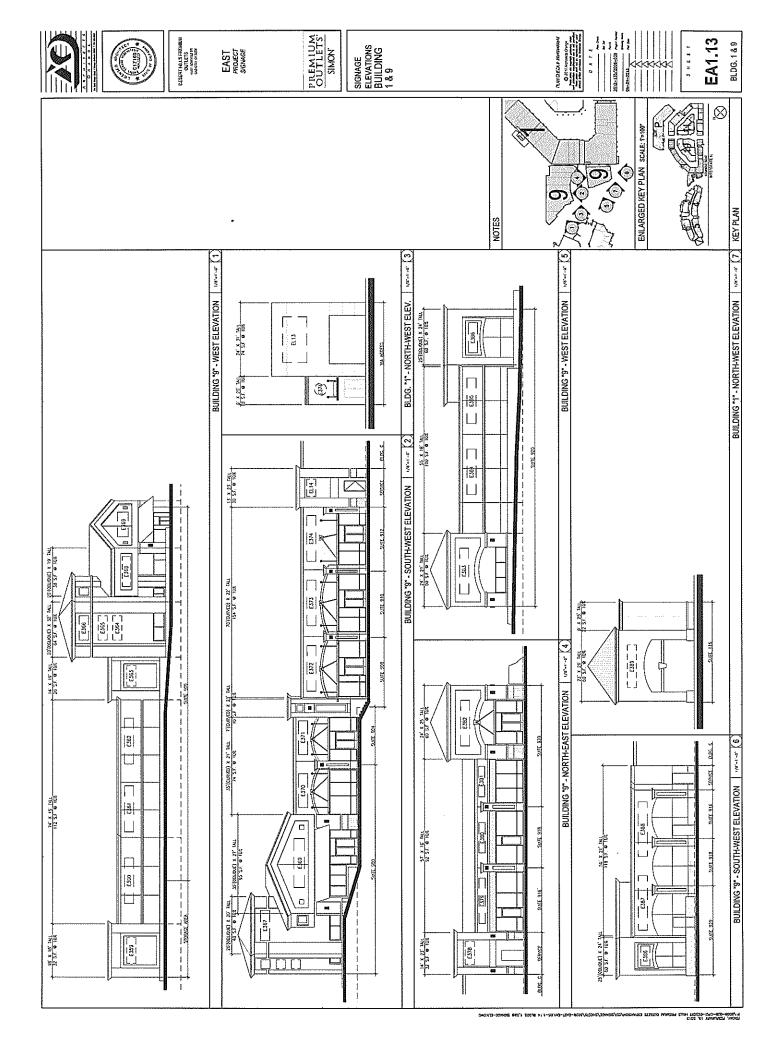


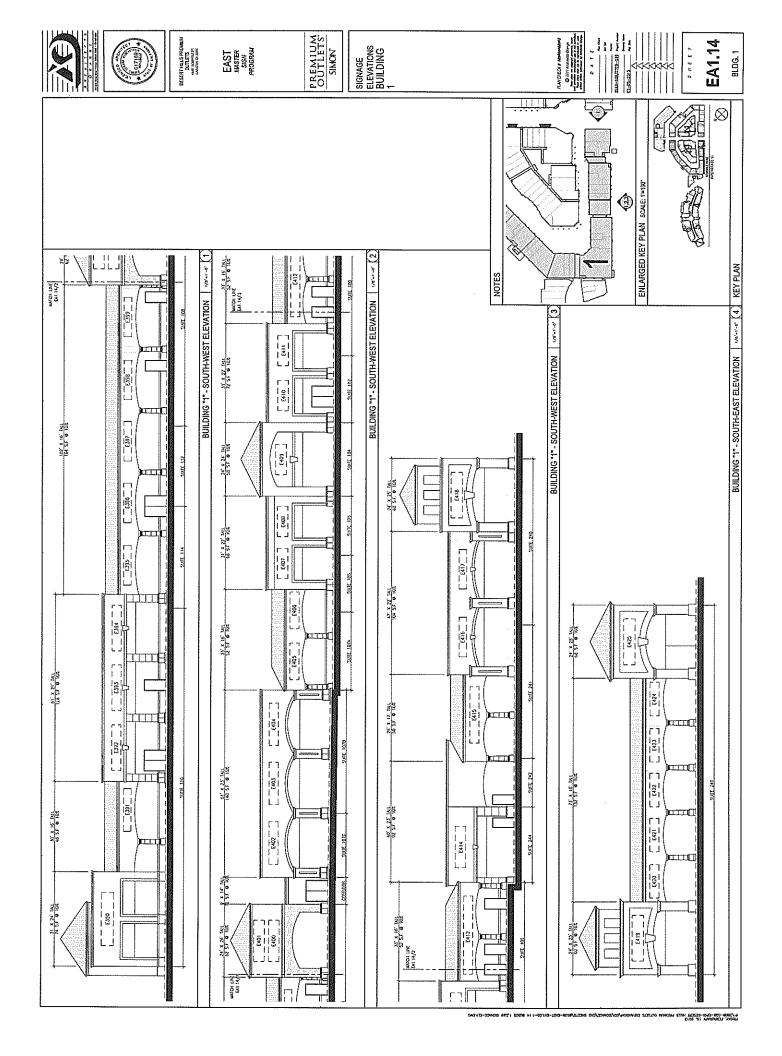


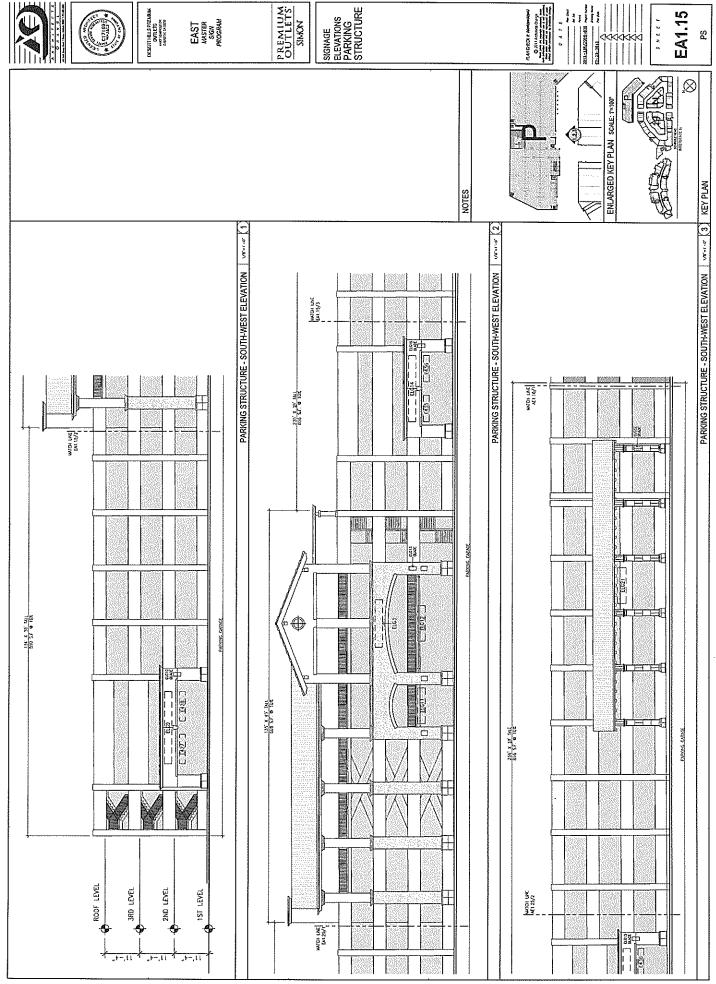


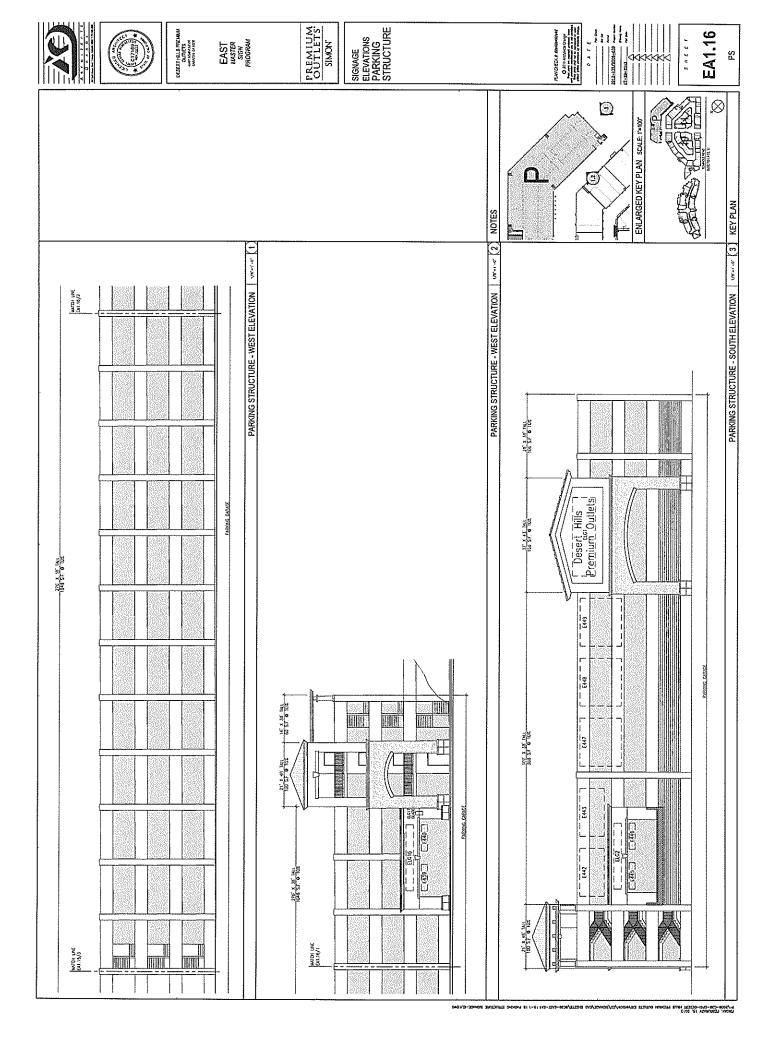


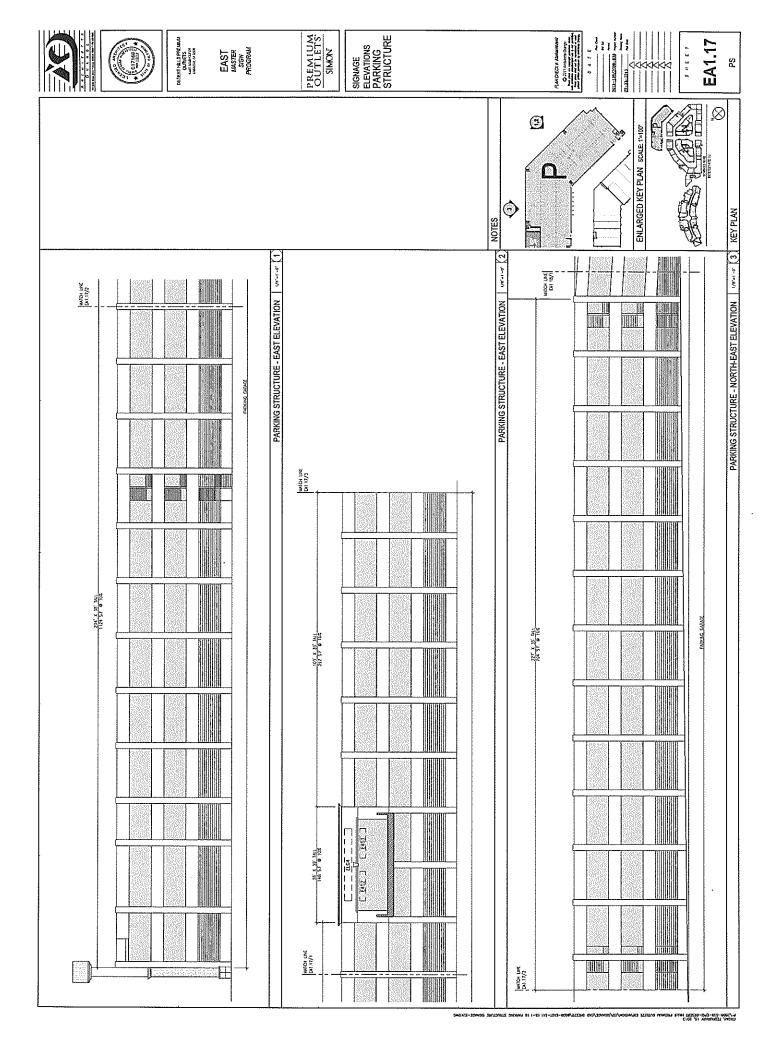


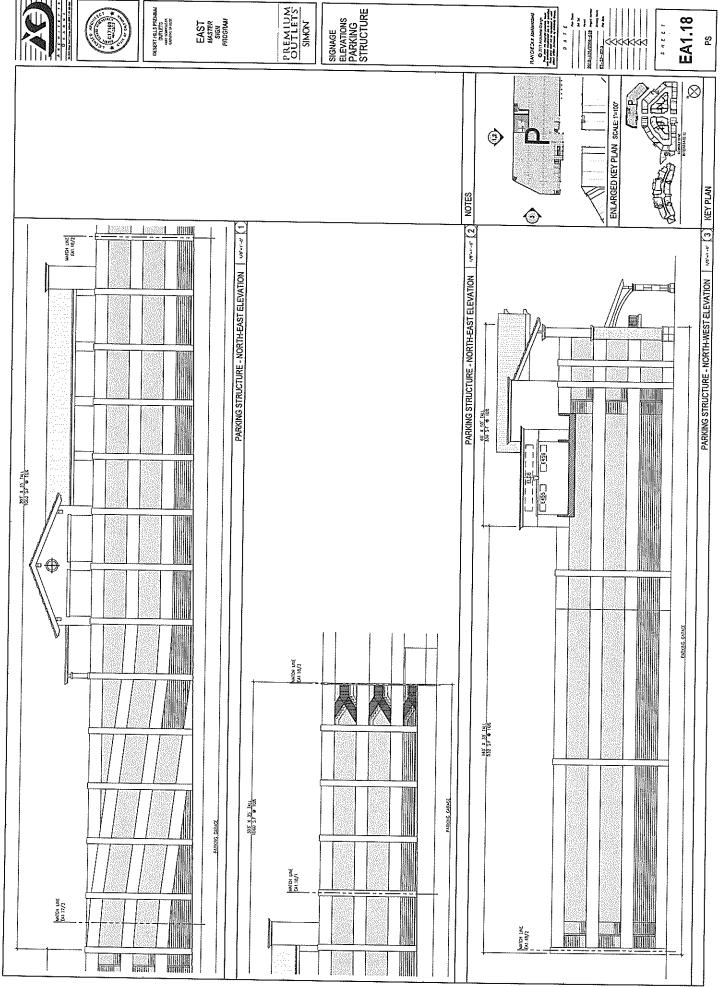












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EAST MASTER SIGN PROGRAM

TENANT WALL SIGN EXAMPLES TYPE "A"

PREMIUM OUTLETS' SIMON

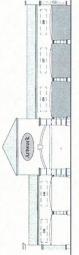


Sign Type A





Sign Type A



Signage Type A - Examples

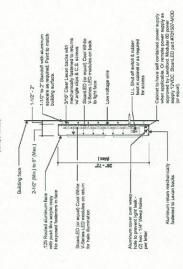
TENANT WALL SIGN EXAMPLES TYPE "A"

N/A

F./2006-039-CPGI-DESERT HILLS PREMIUM OUTLITS EXP

. 125 Routed aluminum face with push thru acrylic copy to exposed stateness in face. Calbinet to have face and halo lighting effect by StoanLED (or equal) Cool White V-Series LED modules. 0807 Text SIGN TYPE A Double Line Text

Logo with Face / Halo Illumination (Shape Varies)



Section Detail Logo With Face & Halo Illumi

Note: All Botts, Computers, Steeves, Electrical Conduits, Elb.; to be Non-Ferrous. All penetrations thru till-up concrete well panel to be waitedgibt. LEDs are not to be visible on sign. All illumination to be even fighting without any hotspots' on surfaces.

EAST MASTER SIGN PROGRAM

Letters & Logos shall be clear costed natural metal (ex: Bronze, Brushed Alum. Etc) or Tenant's coporate codor with Landlord approval.

or . Tenant signs to be centered architecturally on façade generally between prominent architectural elements such as columns, in front of Tenant's space. Exact location to be determined by Land at time of freatil.

— Fabricated aluminum, reverse-cheme letter forms with halo illumination (See key plan pages 9 and 10 for Storefront sign sizing, and Key Plan pages 25 and 26 for Perimeter sign sizing).

And:

Variable Length

SIGN TYPE B Single or Double Line Text

SECONDARY COPY

Elevation

2-1/2" (Min.) to 4" (Max.)

Fabricated reverse aluminum – channel letter with .090 face / .063 return / .1875 Lexan back

FNANH

Sign Type B: INDIVIDUAL REVERSE CHANNEL HALO LIT LETTERS WITH LED ILLUMINATION

a. In dividual letters shall be U.L. Rated, have a minim um depth of 2-1/2" (4" max.) and shall be pinned off well in 1-1/2 with bind and/or datherments. Letter shall be tabricated from .000 bind aluminum. All seams shall have continuous wedes and be filled.

TENANT WALL SIGN EXAMPLES TYPE "B"

SIMON.

PREMIUM OUTLETS:

e. Length & Height: The length and height of Individual Tenant eigns on internal storefronts shall not exceed what is described in either <u>East Wing or West Wing Signs</u> previously. Lighting: Individual pinned-off reverse channel letters shall be back it with StoanLED (or equal)
cool white Vereines LED modules for halo lighting with 7-112" min. Ib 4" mar. returns. The algo's
electrical componentis: white, transformer, etc. should be fully waterproof even when mounted on
the interior side of the wail.

f. Area: notwithstanding the above criteria, no sign shall exceed County of Riverside g. Bolts, connectors, sleeves, etc. shall be non-ferrous materials. Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at expansion locations.

h. All penetrations thru walls to be watertight.

अस्त्रहरू

Low vottage wire

S/16\* Creer Lexan beacks with
mach anrically bastered to return:
Will angle dips & C.S. screws

S/8\* threaded stainless concrete
wedge and thor

Sloan LED (or equal) Cool White WSeries LED modules on return for halo illumination

© 2011 Arthhetis Change has present an aspect potent, that safe present ambitment are and positive. They pies stat safe to repeated a seal althor pittes premises by Arabett Gueya.

Sign Type B

EIFS wall system over concrete

Aluminum cover over weep hole to prevent light leak-(2) two - 1/4" Weep holes per letter

Note: All Bidls, Connectors, Sieeves, Electrical Cond waterfight, LEDs are not to be visible on sign.

| D A T E | D Ook | D

SHEET

TENANT WALL SIGN EXAMPLES TYPE "B" (1)

7 the Dack
2012-135/2008-028 representation
R-16-2013
- representation
R-16-2013
- representation
R-16-2013
- representation

2011 Archiveta Crange
Date pains on expects potent, laur
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PLAV CHECK #: ###

DATE





DESERT HILLS PREMIUM OUTLETS AURE SCHOOL EN. CANADOR CA 1270

SECONDARY STOREFRONT SIGNAGE - BLADE SIGN MOUNTED ABOVE STOREFRONT ENTRY DOORS

EAST MASTER SIGN PROGRAM

PREMIUM OUTLETS: SIMON

TENANT BLADE SIGN EXAMPLES

(2) The eize of the eign shall be limited to 0 equare feet per eign face. Maximum height of the eign panel is 2Cf. Maximum vidth is 2Cf. The thichness for the eight beat theset IT. All letters on blade eight be definedational (inchinum YC). Adminium and plastic surfaces it be painted and shall be primed with two coats of primer. No vinyi letters permitted. The Tenant is required to submit shop drawings detailing materials, dimensions, styles, spacing sections, letter height, width, and depth. PMIS colors and typestyles for a double-faced 'Blade Sign'. The purpose of the blade signs is to identify the store entrance to shoppers along ped paths.

(3) The shape of the blade signs will differ from Ternant to Ternant but the support bracket (staft) will be a been from a detected for the support bracket (staft) will be completed the freed of the support between the freedom at 94%, emphasizing their corporate lecentry and/or partial frament has a since the sinciple of their support of the supp

1-1/2" Wide deci

Adjustable to 18" centers

12 Gugge Unstrut (But Number P50003 1-4/8' x 3-1/4' x 36". Eads to be capped and on the bracket painted ALP #10269

Capped ends - Part #P5280

Capped ends Part #P3280



Standard nut for 3,5° -

FRIDAY, FEBRURARY 15, 2013 P.\2006-039-CPGI-DESERT HILLS PREMIUM OUTLETS EXPA

1/2" thick aluminum mounting plate, typ

Signage As Permitted in Sign Criteria Manual

12 Coding Unistrat (Prit Number PXCCCS) 1-4/6" x 3-1/4" x 36". Ends to be capped and entire bracket painted MP #102GP





SHEET

212-18/723-439 Ave.

TANDEDS FAM









DESCRIPTURES PRESSUA OUTETS OPERATOR DESCRIPTION

SINON

TENANT DOOR / STOREFRONT SIGNAGE

EAST MASTER SIGN PROGRAM

PREMIUM OUTLETS

For the purpose of store identification, the Terant may propose to the Landiord a design layout of Terant rame analysis go in white or back Viryl Dis-Call Graphus or another color as per Landiord's approval for placement on the inside of entry doors. Each door is permitted one (1) square foot of Viryl Dis-Call Signa area. The area must be centered 70° from grade or as otherwise directed due to door configurations.

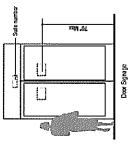
ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

For the purpose of additional store identification, the Tenant may also propose to the Landlord a design and a discontant in black or writte Virth Index.Ut Gaptines or another looks, as per Landlord's appract, for placement on the braske of every other (alternating) display window. The maximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of " inward behald the window's center from the vertical edges of the window and many not exceed 42" above goade.

Permanent store signage as part of window background diaptay is limited to one (1) square foot of sign orea per one (1) lineal foot of store frontage.

Tenant supplied "Help Wanted" signs are prohibited

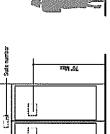
Tenant Name and/or Logo Vinyl

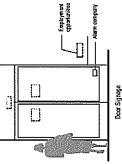


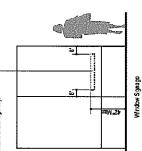
Help Warred" and other standard information signs as deemed necessary by Landsord, are provided by Landsord, are provided by Landsord and shall be affixed to the fractor int edge of the window immedately adjacent to the right of only doors and no higher than 46° above grade. Such signage shall only be permitted to be affixed with cear suction cups.

Credit Card or check acceptance signs or logus placed on storefront display windows or doors are strictly prohibited

Standard information asgnage icons such as no food, drink smoking, stare hours, etc. shall be provided by Landland only Fraecbook, Twitter, Foursquare shall be provided by Landland and instruct research and the provided by Landland and instruct research and the provided by Landland and instruct research and provided.







Venters name and brings viry

The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional

Handidap excess is permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landland. Alarm company clickers shall be limited to one per entry door and be located only at the extreme lower right conner of the glass area on the door

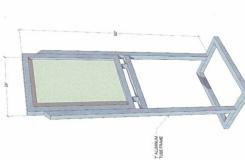
TENANT ENTRY DOOR / STOREFRONT WINDOW SIGNAGE

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2012—136/2008—038 Per Deci 2012—136/2008—038 Per American 2012—136/2008—038 Per American 2012—130/2008—038 Per American 2016—130/2008—048 Per American

N/A

TEMPORARY PROMENADE SIGNS



TEMPORARY PROMENADE SIGNS / BANNERS

PREMIUM OUTLETS' SIMON

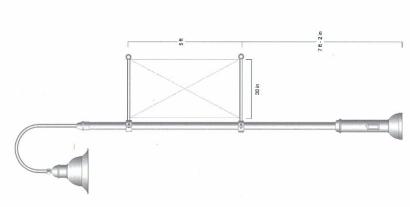
DESERT HILLS PREMIUM
OUTLETS
HAVE REMINED.
CAMAZON ON 12200

EAST MASTER SIGN PROGRAM

100 L/100 L/



NOTE:
ALL TEMPORARY PROMENADE SIGNS ARE PROVIDED AND INSTALLED BY THE DESERTS HILLS P.O. ADMINISTRATION TEAM. SIGNS MAY CONTAIN SEASONAL OR SPECIAL EVENT INFORMATION.





NOTE:
ALL TEMPORARY PROMENADE BANNERS ARE PROVIDED AND INSTALLED BY
THE DESERTS HILLS P.O. ADMINISTRATION TEAM. BANNERS MAY CONTAIN
SEASONAL OR SPECIAL EVENT INFORMATION.

N/A

PROGRAM S GRAPHIC FUNCTIONAL જ IDENTITY DECK PARKING

# DESERT HILLS

# PREMIUM OUTLETS®

PREMIUM SIMON.



CASE #: PP25357
EXHIBIT: SP (sign parking)
DATED: 9/10/13
PLANNER: P. RULL

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Section I - Logo Artwork, Typography, Pictograms & Color Palettes 01.01 Project Logo Artwork / Project Color Palettes / Typography & Pictogram Artwork

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SP1.00	SP1,01

SP1.02 Parking Garage Placement Plans - Level 2

SP1.04 Parking Garage Placement Plans - Level 4 SP1.03 Parking Garage Placement Plans - Level 3

SP1.05 Stairwell #1 Placement Plans - Level 1 thru Level 4

SP1.06 Elev/Escalatori #1 Placement Plans - Level 1 thru Level 4 SP1.07 Stairwell #2 Placement Plans - Level 1 thru Level 4

SP1.09 Elevator #2 Stairwell #4 Placement Plans - Level 1 thru Level 2 SP1.08 Stainwell #3 Placement Plans - Level 1 thru Level 4

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# Section III - Exterior Identity & Way-finding Signage

•	Sign Type: P1a Sign Type: P1a Sign Type: P1a Sign Type: P1b Sign Type: P1c	Sign Type: P2 Sign Type: P2	Sign Type P3	Jype:	Sign Type: P5 Sign Type: P5	Sign Type: P6 Sign Type: P6	Sign Type: P7	Sign Type: P8 Sign Type: P8
6 6	Pavking Entrance Podral Pavking Entrance Podral - Delails Pavking Entrance Podral - Delails Pavking Entrance Podral Parking Entrance Podral Parking Entrance Podral	Parking Identity Pendant Parking Identity Pendant - Details	Parking Enlay Identify Signage - Southwest Elevation Rading Enlay Identify Signage - Southwest Elevation Parking Enlay Identify Signage - West Elevation Parking Enlay Identify Signage - Details Parking Enlay Identify Signage - Details Parking Enlay Identify Signage - East Elevation Parking Enlay Identify Signage - Details Parking Enlay Identify Signage - Details Parking Enlay Identify Signage - Orbitals	Parking Carage Entry Signage Parking Carage Entry Signage - Details Parking Carage Entry Signage - Details	Parking Garage Entry Signage Parking Garage Entry Signage - Details	Parking Garage Entry Signage Parking Garage Entry Signage - Details	Parking Garage Entry Signage	Parking Garage Main Identity Parking Garage Main Identity - Delaifs
	P14.01 P14.03 P14.03 P16.01 P16.01	P2.01	3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3 3	P4.01 P4.02 P4.03	P5.01 P5.02	P6.01 P6.02	P7.01	P8.01 P8.02

Sign Type: PBa

Parking Garage Secondary Identity

P8a.01

Section	Section IV - Interior Identity & Way-finding Signage	ng Signage
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P10.01	Parking Level Identity Signage	Sign Type: P10
P11.01 P11.02	Parking Level Identity Signage Parking Level Identity Signage - Details	Sign Type P11 Sign Type: P11
P12.01	Upper Level Wayfinding Signage	Sign Type: P12
P13.01 P13.02	Escalator Identity Signage Escalator Identity Signage - Details	Sign Type: P13 Sign Type: P13
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P20.01	Overhead Pedestrian Signage	Sign Type: P20
P21.01	Pole Mounted Pedestrian Signage	Sign Type: P21
P22.01	Efectronic Vehicle Counter (by Other)	Sign Type: P22
EP01	Emergency Phone Signage	Sign Type: EP

# General Notes: Graphic Fabrication Notes & Specifications

General fabrication Notes & Specifications

General Fabrication Notes & Specifications General Fabrication Notes & Specifications General Fabrication Notes & Specifications GN.01 GN.02 GN.03

- All aluminum shall conform to aluminum association specifications of hardness and dimensional tolerances.
- Aloninum sheet and plate shall conform to ASTM B 209, Alloy 5000 series for anadized finish, Alloy 5000 series for painted finish. Provide with mill finish for work which will receive a painted finish. ri
- Extruded aluminum shall be Alloy 6063-15. Provide with mill finish for work which will receive a painted finish. mi

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- Unless atherwise specifically approved in writing by the client representative, furnish exact sections, weights and kinds of material specified, using details and dimensions shown. Not all connections are detailed: similar details apply to similar conditions, unless otherwise indicated. Contact the PO/S representative promptly to verify design of members or connections in any situation where design requirements are unclear. 4
- Establish that joint welding procedures are pre-qualified or tested in accordance with American Welding Society (AWS) qualification procedures.
- Welders must be currently certified under American Welding Society (AWS) qualification procedures. w,
- Materials provided shall be free of surface blemishes such as pitting, roller marks, rolled trade names and surface roughness.

### GRAPHICS:

confination of the graphics and signage with the General Contractor, Premium Outlets / Simon and other subcontractors and trades people relative to this work. These coordination efforts will include, but not be limited to, deliveries, work schedules and installation. Storage space at the jobsite is limited and will also require coordination and/or approval material or flished work stored at the jobsite without prior permission may be relocated at contractor's expense. Contractor shall be responsible for

- Contractor shall, within five days of contract execution, provide client representative with a list of electrical requirements and support/bilocking requirements for each element (including approximate weight).
- All products used in the fabrication, joining, finishing or other procedures necessary in the execution of the work shall be used according to the manufacturer's instructions for the use of such products. m
- Mockups and/or samples shall be submitted as requested of each sign type, showing materials, finishes, colors and surface textures. Samples shall be approved during shop drawing phase by PO/S Representative and used later for comparison in the field.
- drawings without deviation. Cut, fit and assemble units with exposed surfaces smooth, sequere and free from cutting mass, shear distortion, burrs, nicks and sharp corners. Shop fabricate, assemble and finish to maximum degree possible. Contractor will adhere to all details and dimensions on ιςi
- 5. There shall be no visible seams or fasteners. All joints and connections shall be finished flush, true and smooth without deflect. Finish wells on exposed surfaces, and spot welds shall be imperceptible in the finished work. No gaps, light leaks, oil-canning or waviness will be acceptable. ø
- Except where indicated otherwise, finish all surfaces smooth. ζ.
- 8. All flat metal sign facing and cladding to be aluminum unless otherwise indicated, and shall be free from pitting, warping, warping, and shall be free from pitting, warping, waviness, bulges, oil-caming or other physical deformities. Minimum material thickness shall be 1.25 inches or as indicated in drawings internal support structure shall be rustproof treated rete or a luminium, as indicated. Where steel and aluminium, as indicated. Where steel and aluminum (dissimilar metals) meet, the metals shall be materially isolated to prevent electrolytic reaction. ထ

- graphics shall be cut/applied true to artwork/typeface and theve clean edges and corners. Letterforms having rounded positive or negative corners, nicked, cut or ragged edges will not be acceptable. Letterforms shall be aligned to maintain a baseline parallel to the sign format and margins shall be maintained as per the design documents.
- illuminated using fixtures and lamps as specified in design doctoments. There shall be no "Hot Soots" or shadows, and light distribution shall be uniform and even. All illuminated signs shall be free of light leaks and all venting shall be light baffled as required. Exterior illumination must be outdoor, weatherproof fixtures, lamps and ballasts/transformers. fntemally illuminated signs shall be
- 11. All illuminated signs shall have access to their interiors for relamping and maintenance. Such service panels shall be concealed, tight fitting, lightproof, waterproof, flush with adjacent lightproof, waterproof. surfaces and secured against vandalism
- 12. All illuminated signs shall use only UL approved and listed, labeled components and the completed sign must bare the UL label.
- 13. Provide disconnects witches for all illuminated signs in accord with electrical code requirements. Locate disconnect(s) on or in signs so they are not visible to the public
- All union fabricator or other labels on all signs shall be concealed from view, with the exception of U.L. Labels.
- building, site, or adjacent objects or elements during installation. Contractor shall be responsible for cleaning up all work areas upon the completion of their work, on a daily Installation of the elements shall be the responsibility of the Contractor. Contractor will be responsible for any damage caused to <u>ي</u>

### PAINT & FINISHES:

- I. All metal surfaces to be painted with acrylic linear polyurethan enamel as manufactured by Matthews Paint Company or equal, to match colors as specified. Two components, acrylic colors as specified. Two components, acrylic aliphate is colors are comparated with ultraviolet (UV) inhibitors and are engineered for exterior graphics and signage components.
- 2. All steel and aluminum surfaces shall be properly treated and primed as required, using Matthews or equal pretreatment, primer and finish paint system must be approved by the PO/S Representative prior to application. All paint finishes shall be guaranteed free from challing, cracking, discoloration, fading or any other defect for a period of five (5) years. Contractor shall be responsible for protecting the finish during and after installation, prior to property. opening of project ď

### INSPECTIONS:

Special inspections shall be performed in accordance with the applicable local building codes by a registered building inspector approved by the PO/S Representative and the Building Department. Inspection or per "permit" requirements shall be required for the following types of work: <u>, :</u>

Placement of compact fill.

 No.
 Description
 Date:

 01
 PCS Review
 65/22/13

 02
 PCS Tecker
 66/24/13

 03
 PCS Review
 67/15/13

- Foundation work.
- Rebar placement and all concrete construction خظن⊡
  - Structural steel field welding including partial
    - and full penetration welds
- E. High strength bolting.
  F. Steel deck welding.
  G. Installation of expansion type bolts.
  H. Metal stud wall construction.
- Replacement of required fireproofing to the Reinforced masonry construction.
  - structural elements of the building. All electrical work.



Project Name

PREMIUM OUTLETS DESERT HILLS

Project Owner:

PREMIUM OUTLETS

SIMON Project Architect:

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General	Fabrication	Notes &	Specificat

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Project	Date	Sale	Drawn By:	Overlead Bys

# INSPECTIONS: (Continued)

- K. All critical attachment points requiring anchors or fasteners.
- L. Prior to and during the placement of concrete
  - around all anchor bolts.
- M. Placement of all concrete as specified

## PERMITS & ENGINEERING:

- 1. The Contractor shall in no way contact any city, county or state official, in regards to the project, until notified, in writing, to do so by the PO/S Representative. Upon notification by the PO/S Representative to proceed with the permitting process, the Contractor shall then proceed to obtain all required permits pertaining to the contract.
- 2. Engineering for all the elements shall be submitted to the 3d Studio by the Contractor at the time of the stop of atwing submittal. All engineering submittals must be sealed and stamped by a licensed engineer in the state of which the project is located.
- Contractor is responsible for all applicable fees associated with permitting.

## WORKING HOURS:

- When the project is a renovation the working hours for the installation portion of the project will be limited to the hours the mall is closed to the public or as otherwise outlined by the PO/5 Representative.
- When the project is new construction the working hours for the installation portion of the work will be BAM. to BPM. or as otherwise outlined by the PO/S Representative.
- 3. All on site working schedules must be submitted to the PO/S Representative in writing for approval prior to beginning the installation work. Failure to do so may result in denied access.

### GENERAL NOTES

All materials and workmanship shall conform to the most recent edition of the building code in the city and state where the work is to be constructed and/or installed. All work shall be performed to the highest professional standards and shall be free of imperfections in material and workmanship and be suitable for its intended use and location. The contractor shall have in-house, broad knowledge, diverse shop and field experience, flexibility, coordination ability, skilled experience, flexibility, coordination ability, skilled cardismen and physical plant necessary to produce quality products quivalent to or superior to similar type products produced by other contractors in the same area of expertise. It is infended that all finished work be of the highest quality to pass eye-level examination and scrutiny by the PO/S Representative. Contractor shall be responsible for all foundations, structural and electrical engineering, compliance with all applicable local, state and national codes and inspections.

- drawing to the 3 d Studio for approval, including required engineering, which shall be sealed by an engineer licensed in the state where the work will be installed. All sign engineering shall be reviewed and approved by the project engineer. Contractor shall incorporate all modifications or corrections to the shop drawings, and resubmit for approval. Once te shop drawings, and resubmit for approval. Confractor may proceed with required submittals, however work shall not commence until submittals have been approved, and papproved, and Contractor receives whiten authorization to proceed from the PO/S Representative.
- 2. The Contractor shall field verify/measure all dimensions and review all site conditions prior to commenting work. Contractor shall review, and coordinate work with, project architectural, structural, location plans and drawings. Contractor shall notify the PO/S Representative in writing of any discrepancies, deviations or inconsistencies in find drawings, specificalions, descriptions, locations or conditions. Where no dimension is indicated, do not attempt to scale dimensions. Contract the PO/S Representative in writing for clarification before proceeding with fig work.

- Specific notes and details on drawings shall take precedence over general notes and typical details.
- Design Loads: Live Loads A) Roaf, 50 PSF Non-reducible B) Stairways, Corridors, Elevator Lobbies On Floor 100 PSF Nonrecurible C) Floor, 150 PSF Non-reducible except for columns.

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All elements shall be engineered to withstand wind and snow load requirements as specified by local, Federal and/or state building codes.

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- 6. The contract structural drawings and specifications represent the finished structure, unless otherwise shown. They do not indicate the method of construction, nor all details of the method of construction, nor all details of fabrication required for the complete structural integrity of the elements, including consideration for static, dynamic and erection loads during handling, erecting and service at the installed locations, nor do they take into consideration the preferred shop practices of the installed locations, nor do they take into the installed locations, nor do they take into expectation the preferred shop practices of the installed locations, and ot they take into perform the complete structural design of the elements and to incorporate all reasonable safely factors necessary to protect the Owner, purple and proporate and contractor against
- All work must be performed in accordance with all federal, state and local safety laws.

### TIME & SCHEDULE:

 Contractor shall submit a detailed working schedule. This detailed schedule shall show all time lines indicating the start and completion dates of shop drawning, submittals, permits, fabrication, shipping and installation. Contract time schedule must be submitted with the signed contract documents to the PO/S Representative.

### FOUNDATIONS

- 1. Contractor shall excavate for foundation concrete to neat, clean lines in undisturbed soil. Contractor shall provide forms where required due to unstable soil conditions, and remove any wood, loose soil, rubbish or other foreign matter from excavation and moisten earth and wood forms immediately before arth and wood forms immediately before lesponsible for insuring that foundations do not damage, interfere with or obstruct public utilities, including but not limited to telephone, gas, electrical, sanitary and storm sewer lines.
- ASTM C 190. Water shall be clean and potable. Aggregates shall conform to ASTM C 33. Concrete shall be mixed in proportions to attain 28-403 compressive strength of not less than 3000 PSI. Perform chuting to avoid segregation of mix. Concrete shall be placed continuously, immediately after mixing, to prevent formation of cold joins. Compact concrete in place by use of vibrators to consolidate. Moisten cure exposed concrete for not less than seven days, or use a non-staining curing compound in freezing weather. Flinish trowel exposed concrete surfaces to smooth, dense surface. Provide positive slope for water runoff to base perimeter. Contractor foundations is responsible for required engineering of foundations.
- 3. Reinforcing steel shall be deformed bars per ASTM A 615, Grade Go, Welded wire shall be per ASTM A 185, cold drawn steel, plain. The Wire shall be Black Annealed, 6 ½ gauge or heavier. Bar supports shall conform to specifications of CRSI "Manual of Standard Practice."
- Foundations shall be extended to a minimum of 48" below finished grade to accommodate for frost protection.

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### DESERT HILLS PREMIUM OUTLETS

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PREMIUM OUTLETS

SIMON

Project Architect



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General Fabrication Notes & Specifications

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## STRUCTURAL STEEL:

- . Fabrication and erection of structural steel framing members shall be in accordance with the latest edition of the AISC "Code of Standard Practice for Steel Buildings and Bridges."
- 2. Unless otherwise specifically approved in writing by PO/S Representative, furnish exact sections, weights and kinds of material specified, using details and dimensions shown. Not all connections are detailed; similar details apply to similar conditions, unless otherwise indicated. Contact PO/S Representative promptity to verify design of members or connections in any situation where design requirements are unclear.
- Establish that joint welding procedures are pre-qualified or tested in accordance with American Welding Society (AWS) qualification procedures.
- Welders must be currently certified under American Welding Society (AWS) qualification procedures.
- 5. Steel shall be delivered in timely fashion, to permit most efficient and economical flow of work. Deliver steel members properly marked for field assembly and evection. Deliver anchor bolts, washers and other anchorage devices to be built into other work in time to avoid delays and permit their proper installation.

- Protect steel and other materials from damage and corrosion. If temporary storage at project site is required, keep steel members off ground, using platforms or pallels, in location easily accessible for inspection.
- Materials provided shall be free of surface blemishes such as pitting, roller marks, rolled trade names and surface roughness.

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- 8. Structural steel members shall conform to ASTM A 36.
- W-8eams and columns shall conform to ASTM. A 572.
- Structural tubing, cold-formed shall conform to ASTM A 500.
- 11. Steel pipe columns shall conform to ASTM A 53.
- 12. Galvanized anchor bolts shall conform to ASTM A 307. Garbon steel, Grade C. Galvanized steel plate washers and nuts shall conform to ASTM A 36.
- 13. High-strength structural bolts shall conform to ASTM A 325, with matching ASTM A 563 nuts and ASTM F 436 washers.
- 14. Carbon steel nuts and boits shall conform to ASTM A 307. Provide hexagonal bolt heads and nuts at all exposed locations.
- 15. Welding electrodes and fluxes shall conform to ASTM Standards for the application.

- 16. Shop fabricate and assemble to maximum degree possible in compliance with requirements of AISC specifications. Cut, fit and assemble units with exposed surfaces smooth, square and free from cutting marks, shear distrotion, burrs and nicks. Tolerances shall be as specified in AISC code unless more stringent requirements are indicated on the drawings. Perform thermal cutting by machine, to greatest extent possible. Plain thermally cut edges which are to be welded.
- 17. Comply with requirements of AWS code for weelding procedures and quality of welds, including appearance. For bulli-up sections, assemble components and weld using procedures which will maintain proper alignment of finished section. Verify that weld sizes, fabrication sequence and equipment to be employed will limit distortions to allowable tolerances. Surface bleed of backside welding on exposed surfaces will not be acceptable. Grind smooth exposed fillet welds ½ inch and larger. Grind flush all butt welds. Dress all exposed welds.
- 18. Accurately mill ends of columns and other members which must transmit loads in Dearing. Make all holes in steel members by means of cutting, drilling or punching at right angles to surface of metal. Do not make or enlarge holes by burning. Provide holes in steel members as required to permit connection of work by others.
- 19. Examine areas and conditions for erection of structural stel and verify that work may properly proceed. Provide temporary support as required including guys, braces, faisework, cribbing or other elements required to secure steel framing against loads equal in intensity to design loads. Remove such temporary support only when permanent connections have been made and steel framing is fully capable of supporting design loads, including any temporary construction loads.

- 20. Erect structural steel in compliance with AISC code and specifications dealing with architecturally exposed structural steel. Set structural members accurately to locations and elevations indicated, within tolerances established in AISC code, before making final connections. Do not use thermal cutting to correct fabrication errors on any major structural member.
- 21. Clean bearing and contact surfaces before assembly. Silghthy roughen concrete and masony surfaces to improve bond. Set base and bearing plates accurately, using metal wedges, shims or setting nuts as required. After tightening anchor bolts and ensuring that shucture is plumb. Grout solidly between plates and bearing surfaces. Comply with manufacturer's instructions for non-shrink gout.
- 22. Use high-strength bolts which comply with requirements of AISC "Specification for Structural Joints Using ASTM A 325 or A 490 Bolts."
- 23. Do not perform welding when ambient temperature is at 0 degrees for below, or when surfaces are wet, exposed to rain, snow or high wind, perform field welding in accordance with AVS "structural Welding. Steel." Tighten and leave in place erection bolts used in field-welded construction. Verify that weld sizes, erection sequence and equipment to be employed will limit distortions to allowable tolerances.
- 24. Do not pour concrete if temperatures are below 32 deg. Fahrenheit and forecasted to be so for an extended period of time.

	STUDIO graphic design services	1765 South Regulest, - Drawber, Ft. 20511 P. 315-884-4255 - P. 415-604-4254
3 0	ST	1755 South, Rouge Av P. \$15-894-4755

Project Name:

DESERT HILLS
PREMIUM OUTLETS

PREMIU

PREMIUM OUTLETS SIMON

Project Architect



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General Fabrication Notes & Specifications

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Section I - Logo Artwork, Typography, Pictograms & Color Palettes

01.01 Project Logo Artwark / Project Color Palettes Typography & Pictogram Artwork

Primary Typography I: Baskerville Medium

# **ABCDEFGHIJKLMNOPORSTUVWXYZ** 0123456789 abcdefghijklmnopqrstuvwxyz

Secondary Typography I: HelveticaNeue LT 65 Medium

# 0123456789 abcdefghijklmnopqrstuvwxyz **ABCDEFGHIJKLMNOPQRSTUVWXYZ**



STUDIO graphic dostgn services

1765 South, Kings Avis - Brandon, R. 3351 P. 813-884-8295 - F. 813-884-8245

Project Name:



PREMIUM OUTLETS

SIMON.

ARCHITECTA

Graphics Specifications & Artwork

Primary Arrow Artwork:

Project Logo Artwork / Color Palettes

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Section II - Exterior & Interior Signage Placement Plans

Elevator #2 Stairwell #4 Placement Plans - Level 1 thru Level 2 Elevator #2 Stairwell #4 Placement Plans - Level 3 thru Level 4 Elev/Escalatorl #1 Placement Plans - Level 1 thru Level 4 Stairweil #1 Placement Plans - Levei 1 thru Level 4 Stairwell #2 Placement Plans - Level 1 thru Level 4 Stairwell #5 Placement Plans - Level 1 thru Level 4 Stairwell #3 Placement Plans - Level 1 thru Level 4 SP1.00 Parking Entry Portal(s) Site Placement Plans
SP1.01 Parking Garage Placement Plans - Level 1
SP1.02 Parking Garage Placement Plans - Level 2
SP1.03 Parking Garage Placement Plans - Level 3
SP1.04 Parking Garage Placement Plans - Level 1 thru Level
SP1.05 Stairwell #1 Placement Plans - Level 1 thru Level
SP1.06 Elev/Escalatorl #1 Placement Plans - Level 1 thru Level
SP1.07 Stairwell #2 Placement Plans - Level 1 thru Level

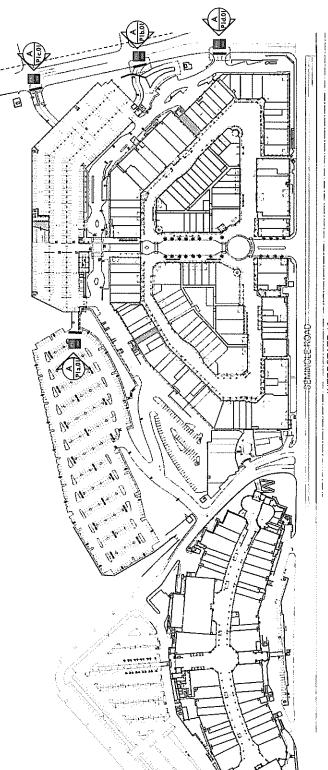


DESERT HILLS PREMIUM OUTLETS

Parking Portal

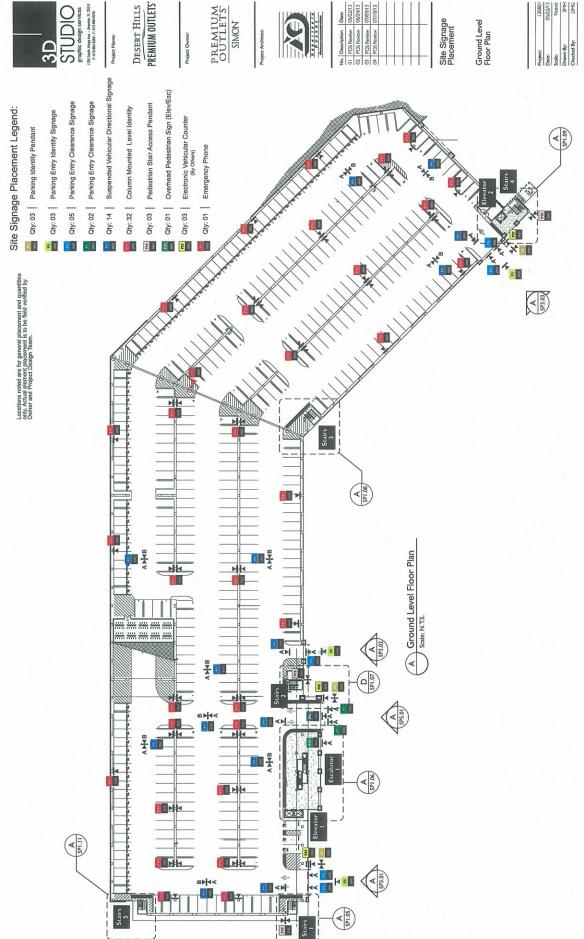
Site Signage Placement Legend:

Gly: 4 | Parking Entry Portal



INTERSTATE 10

A Overall Site Plan



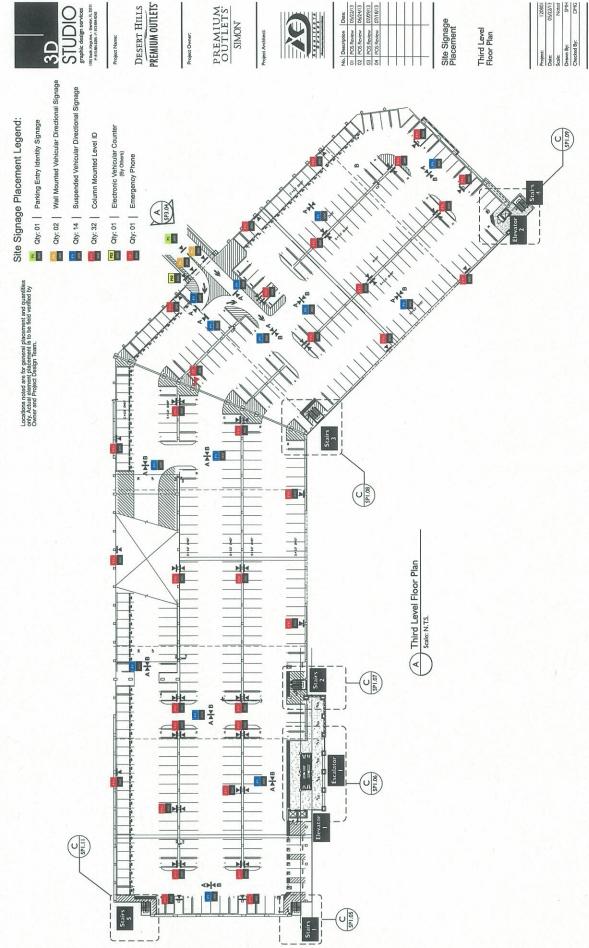




SP1.01



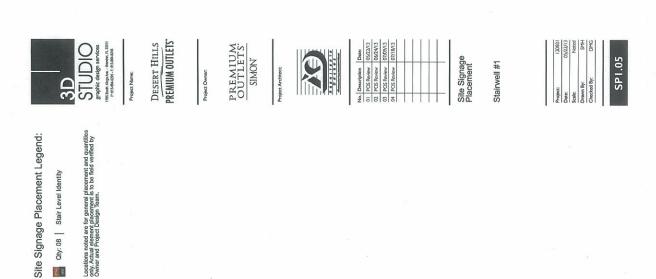
PREMIUM OUTLETS' SIMON



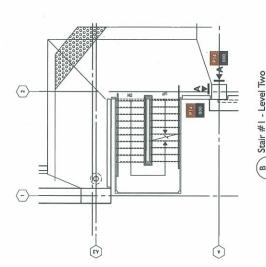
SP1.03



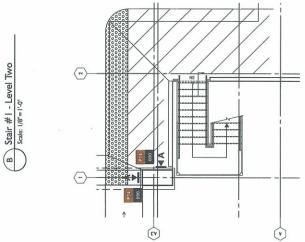




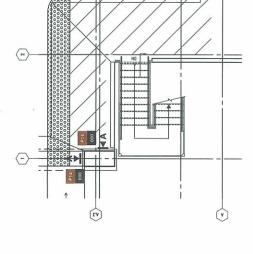
A Stair # I - Level One Scale: 1/8"=1:-0"

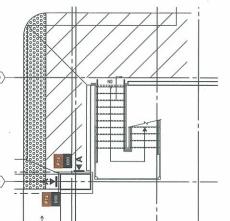


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D Stair # I - Level Four

C Stair #1 - Level Three Scale: 1/8"=1'-0"

PREMIUM OUTLETS" DESERT HILLS

PREMIUM OUTLETS

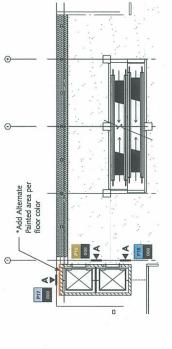
SIMON

\*Add Alternate Painted area per floor color

**⋖**▶

Elev. / Escalator #1

120801	05/22/13	Noted	SMH	DMG
Project:	Date:	icale:	Эгамп Ву:	Checked By:



\*Add Alternate Painted area per floor color

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B Elev. / Escalator #1 - Level Two

A Elev. / Escalator # I - Level One

Qty: 04 | ADA Elevator Fire Signage Qty: 01 | ADA Room Identity

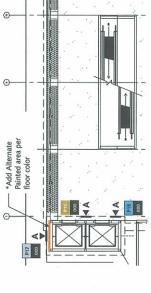
Site Signage Placement Legend:

Qty: 04 | Painted Elevator Level Identity

Qty: 04 | Elevator Level Identity

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.

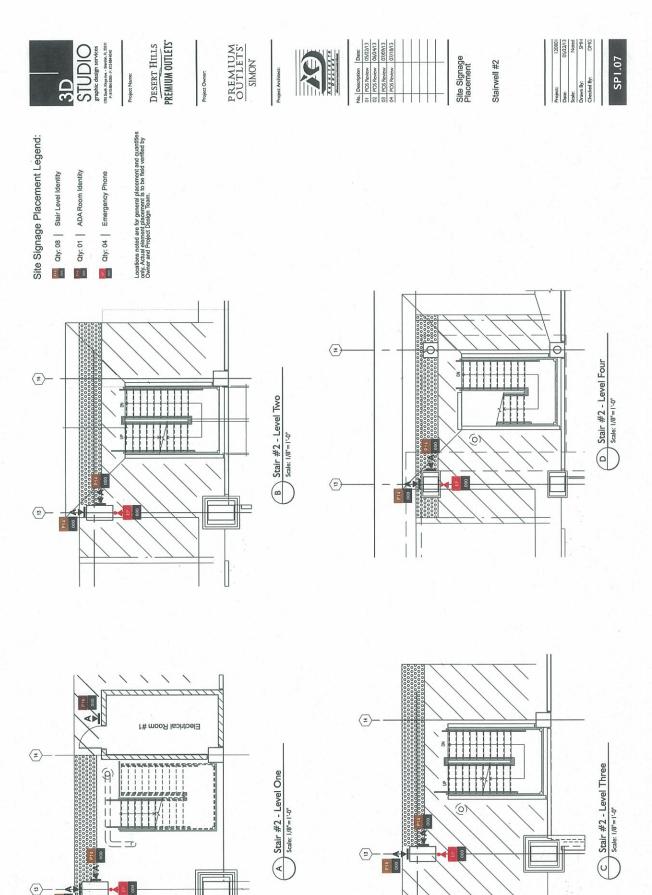
Elev. / Escalator #1 - Level Four

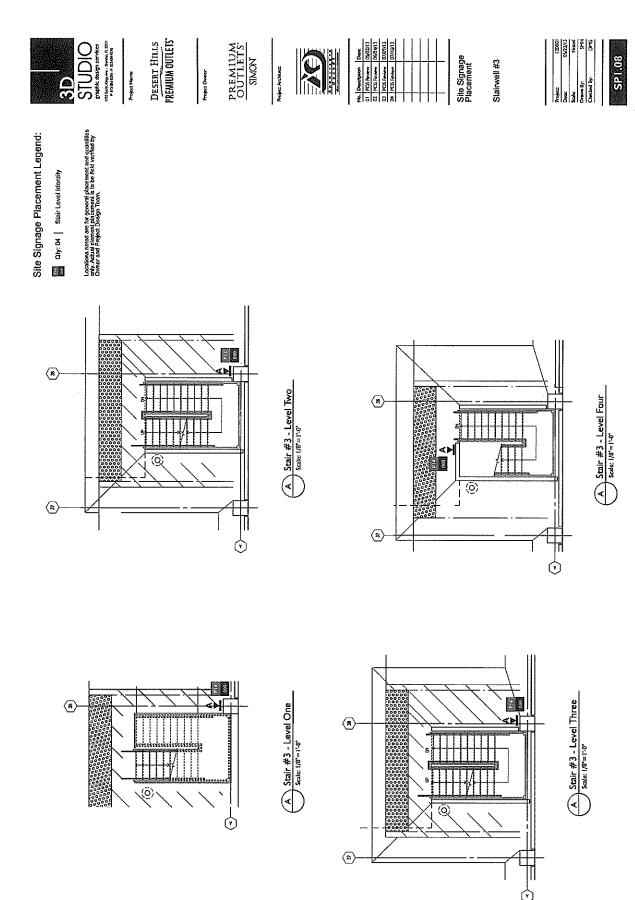


C Elev. / Escalator # I - Level Three

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SP1.06







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STABle design services
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P. ELS-SEAGES - F. ELS-SEAGES

Site Signage Placement Legend:

Qty: 02 | Stairwell Level Identity

Qty: 02 | Elevator Fire Sigange

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DESERT HILLS PREMIUM OUTLETS

Qty: 02 | Painted Elevator Level Identity Qty: 03 | ADA Room Identity

Qty: 02 | Elevator Level Identity

Qty: 02 | Emergency Phone

Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.

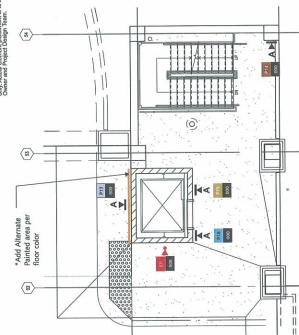
PREMIUM OUTLETS' SIMON

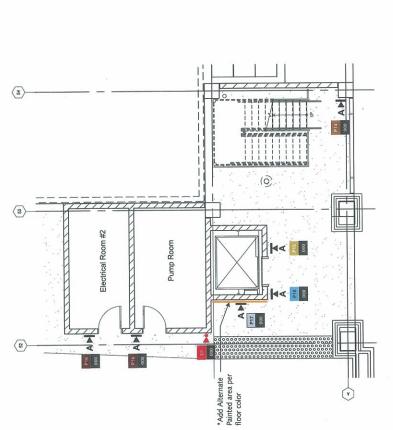
Elevator Core #2 Stairwell #4

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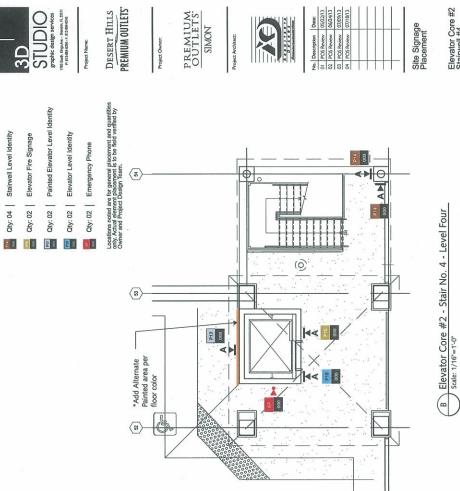


B Elevator Core #2 - Stair No. 4 Section - Level One

B Elevator Core #2 - Stair No. 4 - Level Two

SP1.09





Site Signage Placement Legend:



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Elev. Ctrl. Rm #2

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\*Add Alternate Painted area per floor color

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SP1.10



DESERT HILLS PREMIUM OUTLETS

PREMIUM OUTLETS' SIMON

B Stair #5 - Level Two Scale: 1/16"=1'-0"

Stairwell #5

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMG

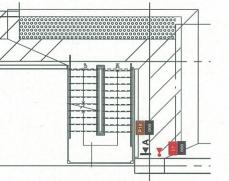
SPI.II

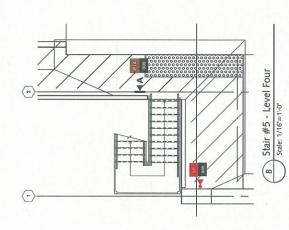
Site Signage Placement Legend:

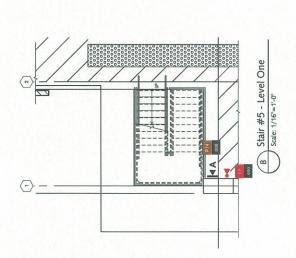
Qty: 04 | Emergency Phone

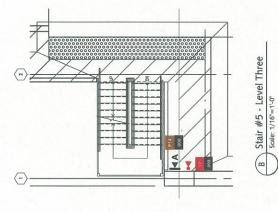
Locations noted are for general placement and quantities only. Actual element placement is to be field verified by Owner and Project Design Team.

Qty: 04 Stair Level Identity









## Section III - Exterior Identity Section III - Exterior Identity & Way-finding Signage

P1a.01	Parking Entrance Portal	Sign Tyne: P1a
P1a.02	Parking Entrance Portal - Details	Sign Type: P1a
P1b.01	Parking Entrance Portal	Sign Type: P1b
P1c.01	Parking Entrance Portal	Sign Type: P1c
P1d.01	Parking Entrance Portal	Sign Type: P1d
P2.01	Parking Identity Pendant	Sign Type: P2
P2.02	Parking Identity Pendant - Details	Sign Type: P2
P3.01	Parking Entry Identity Signage - Southwest Elevation	Sign Type P3
P3.02	Parking Entry Identity Signage - Southwest Elevation	Sign Type: P3
P3.03	Parking Entry Identity Signage - West Elevation	Sign Type: P3
P3.04	Parking Entry Identity Signage - Details	Sign Type: P3
P3.05	Parking Entry Identity Signage - Details	Sign Type: P3
P3.06	Parking Entry Identity Signage - East Elevation	Sign Type: P3
P3.07	Parking Entry Identity Signage - Details	Sign Type: P3
P3.08	Parking Entry Identity Signage - Northwest Elevation	Sign Type: P3
P3.09	Parking Entry Identity Signage - Details	Sign Type: P3
P4.01	Parking Garage Entry Signage	Sign Type: P4
P4.02	Parking Garage Entry Signage - Details	Sign Type: P4
P4.03	Parking Garage Entry Signage - Details	Sign Type: P4
P5.01	Parking Garage Entry Signage	Sign Type: P5
P5.02	Parking Garage Entry Signage - Details	Sign Type: P5
P6.01	Parking Garage Entot Signage	Sign Type: P.
P6.02	Parking Garage Entry Signage - Details	Sign Type: P6
P7.01	Parking Garage Entry Signage	Sign Type: P7
P8 01	Parking Garage Main Identity	Sign Trans
P8.02	Parking Garage Main Identity - Details	Sign Type: P8
P8a 01	Parking Garage Secondary Identity	Cian Tune: D9.
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PREMIUM OUTLETS

SIMON

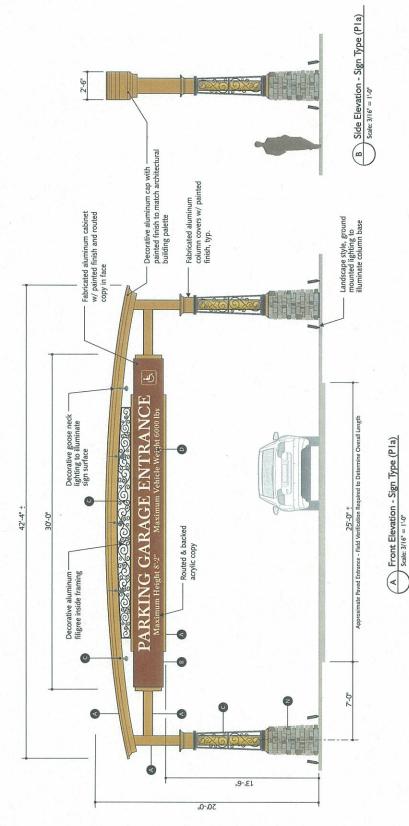
Description	Date:
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POS Review	06/24/13
POS Review	07/18/13

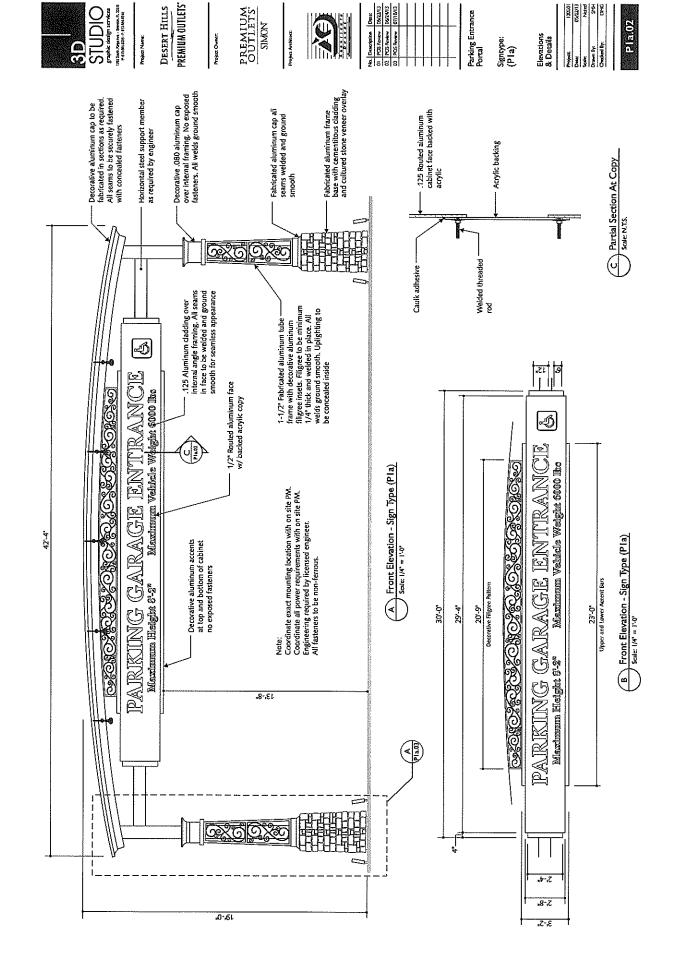
Parking Entrance Portal

Signtype: (P1a)

Elevations

& Details		Date: 05/22/13		
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DESERT HILLS Project Name

PREMIUM OUTLETS

SIMON

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 04/02/13

 02
 PCS Review
 04/04/13

 03
 PCS Review
 07/08/13

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Pla.03

Parking Entrance Portal Elevations & Details Signtype: (P1a)

	. 125 Auminum dadding over internal angle framing	Horizontal steel support member	as required by engineer	Decorative aluminum accents at top and bottom of cabinet - no exposed fasteners
Perding Horitonial Bram Size		13.	.9	

3,-5.

Decorative .080 aluminum cap over internal framing. No exposed fasteners. All welds ground smooth

Main vertical steel support member as required by engineer

.01 Z

1.6

Harizantal steel support member as required by engineer

1-1/2\* Fabricated aluminum tube frame with decorative aluminum filigree insets. Filigree to be minimum 7/4\* thick and welded in place. All weld ground smooth. Uplightling to be concealed inside

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14:-On

Fabricated aluminum frame base with cementitous cladding and cultured stone veneer overlay

Fabricated aluminum cap all seams welded and ground smooth

B Front Elevation - Sign Type (P1a)

A Front Elevation - Sign Type (P1a) 2.-9

4-6" Cultured Slone Veneer

Note:
Coordinate exact mounting location with on site PM.
Coordinate all power requirements with on site PM.
Engineering required by licensed engineer.
All fasteners to be non-ferrous.

Decorative aluminum cap to be fabricated in sections as required. All seams to be securely fastened with concealed fasteners

PREMIUM OUTLETS"

Project Ormer

Project Architect



DESERT HILLS

PREMIUM OUTLETS" Project Owner:

PREMIUM OUTLETS

SIMON

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 06/24/13

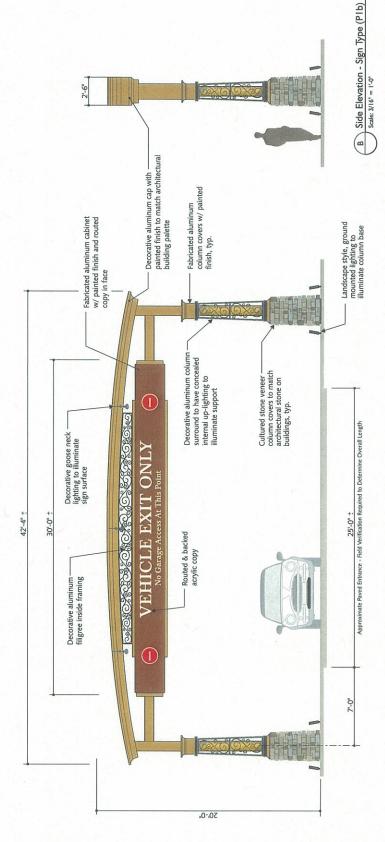
 03
 POS Review
 07/18/13

Parking Entrance Portal

Signtype: (P1b)

A Front Elevation - Sign Type (P1b)

Elevations & Details





PREMIUM OUTLETS" DESERT HILLS

Project Owner:

PREMIUM OUTLETS:

SIMON

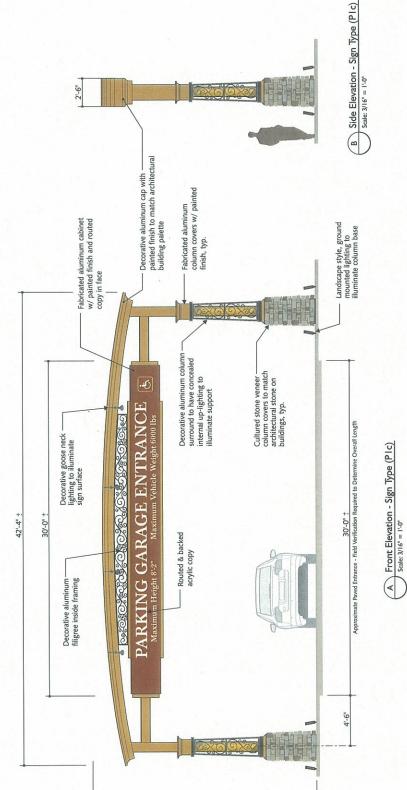
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22	POS Review	06/24/13
83	POS Review	07/18/13
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Parking Entrance Portal

Signtype: (P1c)

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& Details	Project:	Date:

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Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SMI
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PREMIUM OUTLETS" DESERT HILLS

Project Owner:

PREMIUM OUTLETS

SIMON

Project Architect:

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Parking Entrance Portal

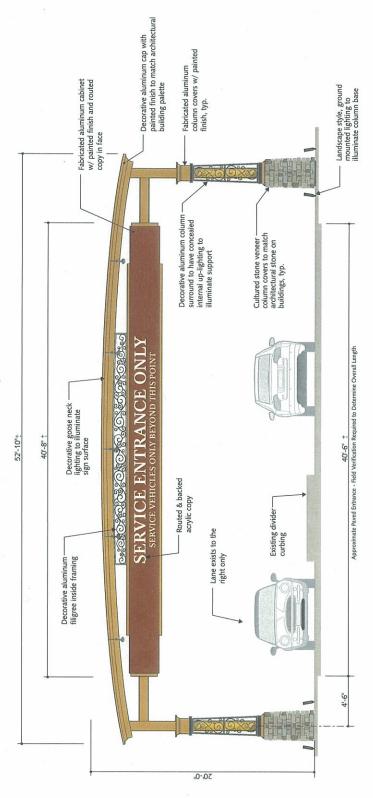
Signtype: (PId)

Elevations & Details

A Front Elevation - Sign Type (P1d) Scale: 3/16" = 1-0"

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ate:	05/22/13
cale:	Noted
rawn By:	SME

& Details	
Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SME
Checked By:	DMG



PREMIUM OUTLETS" DESERT HILLS

Project Owner.

PREMIUM OUTLETS' SIMON

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	001

10-1/2"

A Parking Entrance ID Pendant - Sign Type (P2)

4'-0"

- See sheet P4.01

PARKING

Internally illuminated cabinet with pan formed embossed face

Internally illuminated cabinet with pan formed embossed acrylic face

Fabricated aluminum — tube frame mounting assembly

ion Date:	wa	W	ew 07/18/13			
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Pan formed acrylic face -with embossed letter "P"

3,-0,

6

Primary power supply (Verify power)

3,-4"

Parking Entrance Identity Pendant

Signtype: (P2)

Elevations & Details

Fabricated aluminum tube frame mounting assembly

Mounting bracket constructed of .080 aluminum cladding over aluminum tube frame

Pan formed acrylic face with embossed letter "P"

- Fabricated aluminum tube frame mounting assembly

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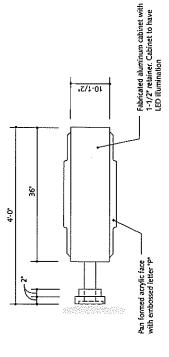
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Checked By:	DMG

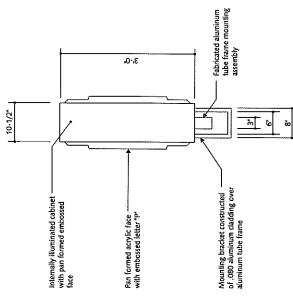
P2.01

B Side Elevation - Sign Type (P2)

B Typical Elevation - Sign Type (P2)







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Visual Opening of Face "EE

Embossed Letter 'P"

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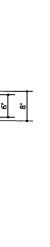
Primary power supply (Verify power)

3,-4.

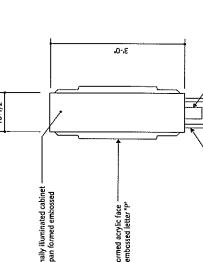
Pan formed acrylic face with embossed letter "P". Letter "P" to have 3/8" perimeter edge border

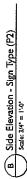
Fabricated aluminum tube frame mounting assembly

Mounting plate



A Front Elevation - Sign Type (P2)







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Note:
Coordinate exact mounting location with on site PM.
Coordinate blocking as required with on site PM.
Coordinate all power requirements with on site PM.
Eighreeing required by licensed engineer.
Field verify access at mounting location.
All fasteners to be non-ferrous.

PREMIUM OUTLETS'

PREMIUM OUTLETS

Project Owner

SIMON.

Project Architect:

Fabricated aluminum cabinet with 1-1/2" retainer. Cabinet to have LED illumination

Mounting bracket constructed — of .080 escutcheon cover over mounting plate

<u>.</u>

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 PCS Review
 07/18/13

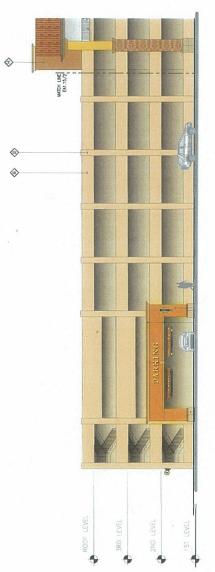
Parking Entrance Identity Pendant

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Elevations & Details	Poper	Ä	Sole	Drawn By:

P2.02



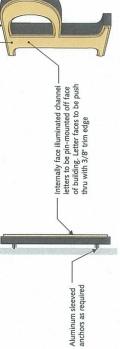


A Scale: 1'=20'0'

A 40.55

## 22"





D Letter Detail - Sign Type (P3)

Enlarged Mounting Elevation - Sign Type (P3)

See sheet P4.01





Project Name:

PREMIUM OUTLETS" DESERT HILLS

PREMIUM OUTLETS

SIMON

Signtype: (P3) Exterior Signage

Parking Garage Elevations

P3.01

PREMIUM OUTLETS" DESERT HILLS

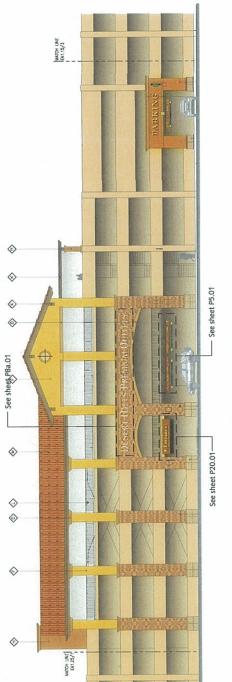
PREMIUM OUTLETS' SIMON

Exterior Signage

Signtype: (P3)

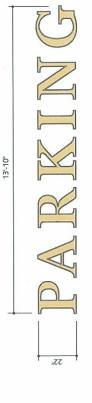
Parking Garage Elevations

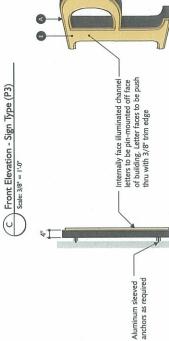
P3.02



A Southwest Elevation (P3)

A POSE





D Letter Detail - Sign Type (P3)

B Enlarged Mounting Elevation - Sign Type (P3)

— See sheet P4.01



DESERT HILLS

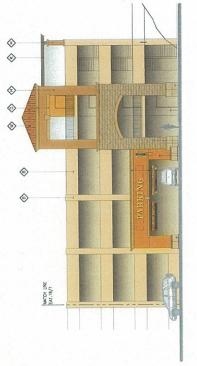
PREMIUM OUTLETS'

PREMIUM OUTLETS' SIMON

Exterior Signage

Signtype: (P3)

Parking Garage Elevations

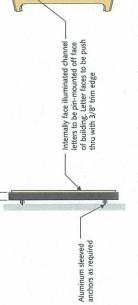


West Elevation (P3)

A SE



Front Elevation - Sign Type (P3)

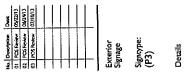


B Enlarged Mounting Elevation - Sign Type (P3)

- See sheet P4.01

D Letter Detail - Sign Type (P3)

P3.03



Note:
Coordinate exact mounting location with on site PM.
Coordinate blocking as required with on site PM.
Coordinate all power requirements with on site PM.
Engineering required by licensed engineer.
Field verify access at mounting location.
All fasteners to be non-ferrous.

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PREMIUM OUTLETS'

DESERT HILLS

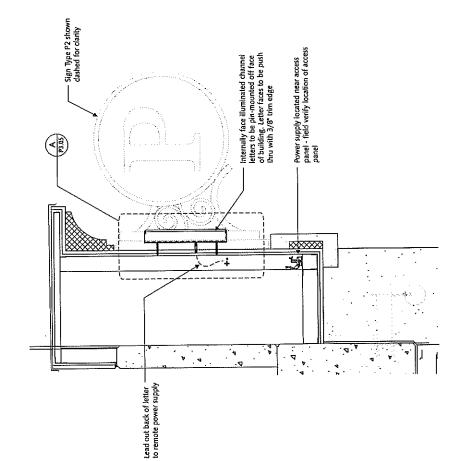
Project Name

PREMIUM OUTLETS

Project Owner:

NOMIS

Project Architect

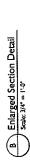


— Internally face illuminated channel letters to be pin-mounted off face of building. Letter faces to be push thru with 3/8" trim edge

Sign Type P2

Sign Type P5

SECOND IEEE



A Section Detail

CROUND LEVEL





- "F" Track trim cap with non-ferrous hardware painled to match returns

B 83.05

LED lighting - exact LED spacing & hardware per LED manufacturer

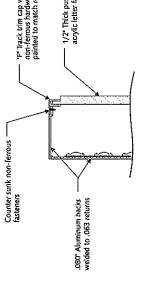
1/2" Thick push thru acrylic letter face

Lead out back of letter — to remote power supply

PREMIUM OUTLETS' SIMON

Project Artiflect.

Note:
Coordinate exact mounting location with on site PM.
Coordinate blocking as required with on site PM.
Coordinate all power requirements with on site PM.
Epigneening required by licensed engineer.
Field verify access at mounting location.
All fasteners to be non-ferrous.



1/4" weep holes at bottom of letters with cover to prevent light leaks

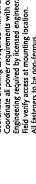
Non-ferrous fasteners with — painted aluminum spacers. Fastener contingent upon mounting condition

.080" Atuminum backs welded to .063 returns

'F" Track trim cap with non-ferrous hardware painted to match returns 1/2" Thick push thru acrylic letter face

B Channel Letter Detail

A Channel Letter Detail (A1)



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Signtype:	<u>B</u>
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DESERT HILLS

Project Name:

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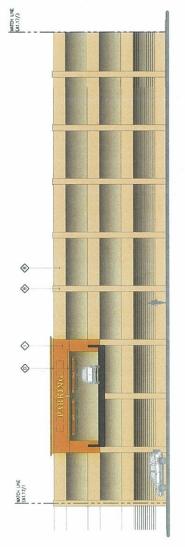
PREMIUM OUTLETS

SIMON

Exterior Signage

Signtype: (P3)

Parking Garage Elevations



A East Elevation (P3)

A A S

13'-10" 22"

C Front Elevation - Sign Type (P3)

See sheet P6.01

 Internally face illuminated channel — letters to be pin-mounted off face of building. Letter faces to be push thru with 3/8" trim edge Aluminum sleeved – anchors as required

D Letter Detail - Sign Type (P3)

B Enlarged Mounting Elevation - Sign Type (P3)

P3.06



Note:
Coordinate exact mounting to location with on site PM.
Coordinate blocking as required with on site PM.
Coordinate all power requirements with on site PM.
Engineening required by licensed engineer.
Field verify access at mounting location.
All fasteners to be non-ferrous.

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B3.01

Project Name:

PREMIUM OUTLETS' DESERT HILLS

Project Owner

PREMIUM OUTLETS

Lead out back of letter to remote power supply

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— Internally face illuminated channel letters to be pin-mounted off face of building. Letter faces to be push thru with 3/8" trim edge

Power supply located near access panel - field verify location of access panel

Exterior Signage

Signtype: (P3)

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Internally face illuminated channel letters to be pin-mounted off face of building, Letter faces to be push thru with 3/8° tim edge				Detail 1.0
pasy (pas)	Mod Leval Local	 scond live!	Gound Level	A Section Detail

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PREMIUM OUTLETS" DESERT HILLS

PREMIUM OUTLETS' SIMON



C Front Elevation - Sign Type (P3)

Exterior Signage

Signtype: (P3)

Parking Garage Elevations

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rroject:	170071
Date:	05/22/13
Scale:	Noted
Drawn By:	SWE

120801	05/22/13	Noted	SMH	d By: DMG
Project:	Date:	icale:	Drawn By:	Checked E

P3.08

Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	SME

⊗ (2) 550 S.F. & 105 0  $\Diamond$ 0 0 140' X 38' TALL 532 S.F. @ 10%

MATCH UNE EA1.18/2

A Northwest Elevation (P3)

A Parity

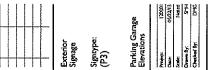
22" See sheet P7.01

13'-10"

— Internally face illuminated channel — letters to be pin-mounted off face of building. Letter faces to be push thru with 3/8" trim edge Aluminum sleeved anchors as required

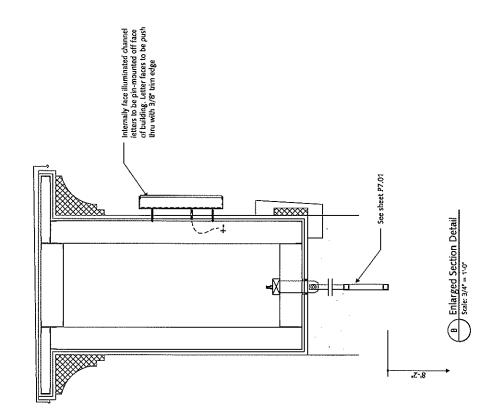
D Letter Detail - Sign Type (P3)

B Enlarged Mounting Elevation - Sign Type (P3)



Note:
Coordinate exact mounting location with on site PM.
Coordinate blocking as required with on site PM.
Coordinate all power requirements with on site PM.
Eigneening required by Grensde deginer.
Field verify access at mounting location.
All fasteners to be non-ferrous.

Internally face illuminated channel letters to be pin-mounted off face of building. Letter faces to be push thru with 3/8\* trim edge





DESERT HILLS PREMIUM OUTLETS Project Plane

Project Owner,

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8,-2"

\*p-111

PREMIUM OUTLETS

Project Architect

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Exterior Signage	

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Scale: 3/16" = 1:0"

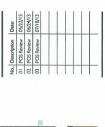
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	Oram By:	Checked By:	P3.0

DESERT HILLS
PREMIUM OUTLETS

PREMIUM OUTLETS

SIMON.

Messages will vary pending final message schedule



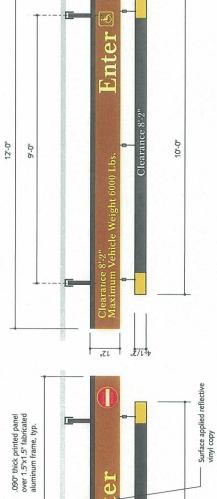
Exterior Signage

Signtype: (P4)

Parking Garage Elevations

A-103

A Parking Garage Entry Clearance - Sign Type (P4)



Do Not End

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12'-0"

Fabricated aluminum —
"U" bracket w/ nonferrous fasteners

Clearance 8'-2'

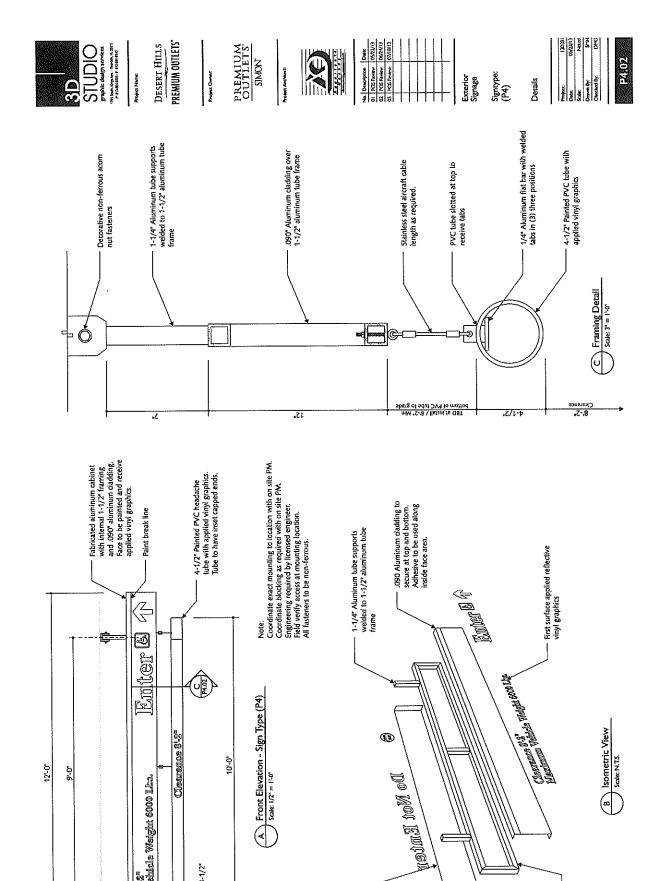
10,-01

C Front Elevation - Sign Type (P4)

B Front Elevation - Sign Type (P4)

Aluminum pipe w/ capped ends & surface applied graphic

P4.01



.090 Aluminum cladding to secure at sides. Adhesive to be used along inside face area.

1-1/2" Aluminum tube framing

Clearance 3'-2" Maximum Veluicle Weight 6000 Lbs.

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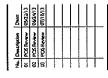
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Sіgпсуре: (Р4) Exterior Signage

Details

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Project	Date	Scale:	Draws By:	Checking By:	

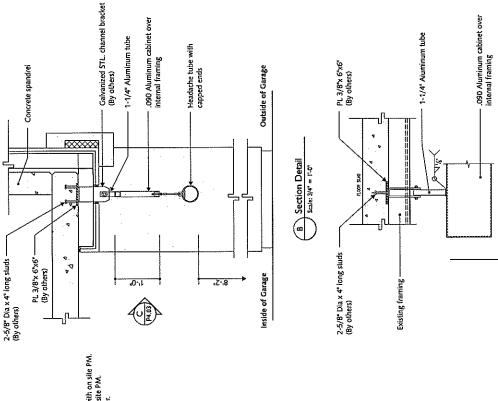
· Face of column or wall

Section Detail

Verify —

C Partial View Scale: 3/4" = 1'-0"

P4,03



PREMIUM OUTLETS

Project Owner

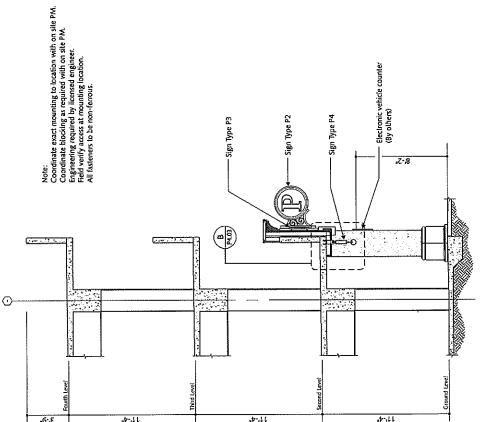
SIMON

Project Architect

PREMIUM OUTLETS" DESERT HILLS

Project Plane:

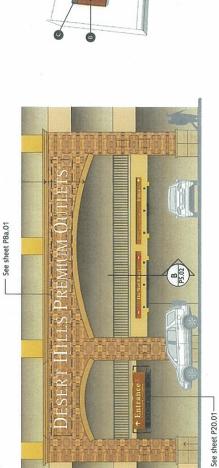
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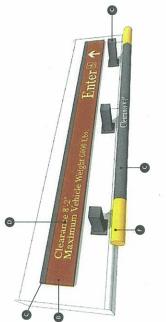


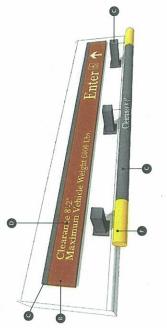
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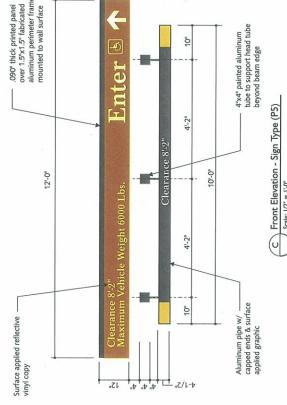
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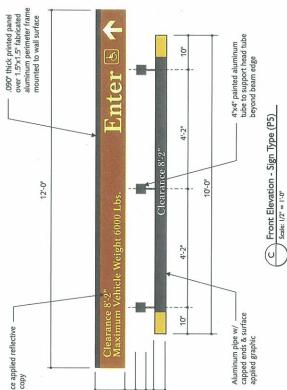






Messages will vary pending final message schedule





10"

4-2"

4'-2"

10"

1/5m

10-01

Clearance 8'-2'

B Front Elevation - Sign Type (P5)
Scale: 1/2" = 1'-0"

4"x4" painted aluminum tube to support head tube beyond beam edge

Aluminum pipe w/ inset capped ends & surface applied graphic

Do Not Enter

15"



Project Name:

PREMIUM OUTLETS DESERT HILLS

PREMIUM OUTLETS

SIMON

- .090" thick printed panel over 1.5"x1.5" fabricated aluminum perimeter frame mounted to wall surface

12'-0"

Surface applied reflective vinyl copy

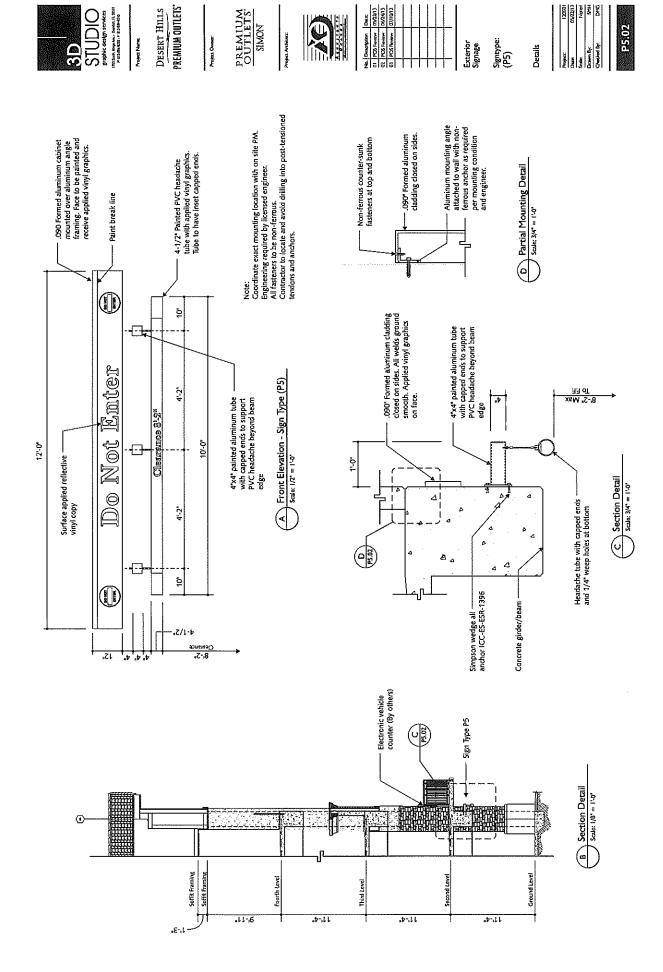
A Parking Garage Entry Clearance - Sign Type (P5)

Exterior

Signage

Signtype: (P5)

Parking Garage Elevations



PREMIUM OUTLETS" DESERT HILLS

PREMIUM OUTLETS

SIMON

Messages will vary pending final message schedule

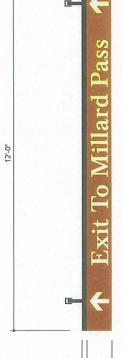
Exterior Signage

Signtype: (P6)

Parking Garage Elevations

(B.02)

A Enlarged Mounting Elevation - Sign Type (P6)



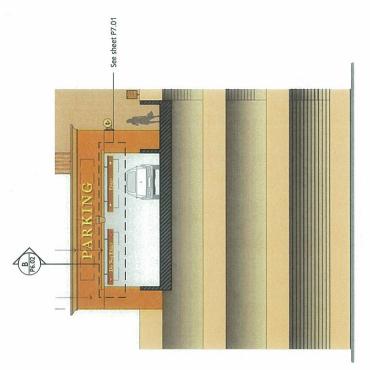
10-11

Scale: 1/2"=1'-0"
Scale: 1/2"=1'-0"

.090" thick printed panel over 1.5"x1.5" fabricated aluminum perimeter frame suspended from above Do Not Enter Surface applied reflective vinyl copy 10-11

B Suspended Vehicular Signage - Sign Type (P6/B)

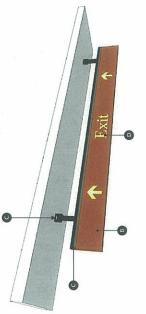
P6.01



A Enlarged Mounting Elevation - Sign Type (P7)



Scale: 1/2"=1:0"



DESERT HILLS
PREMIUM OUTLETS

Project Name:

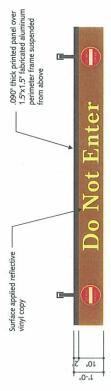
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Messages will vary pending final message schedule

PREMIUM OUTLETS

Project Owner.

SIMON

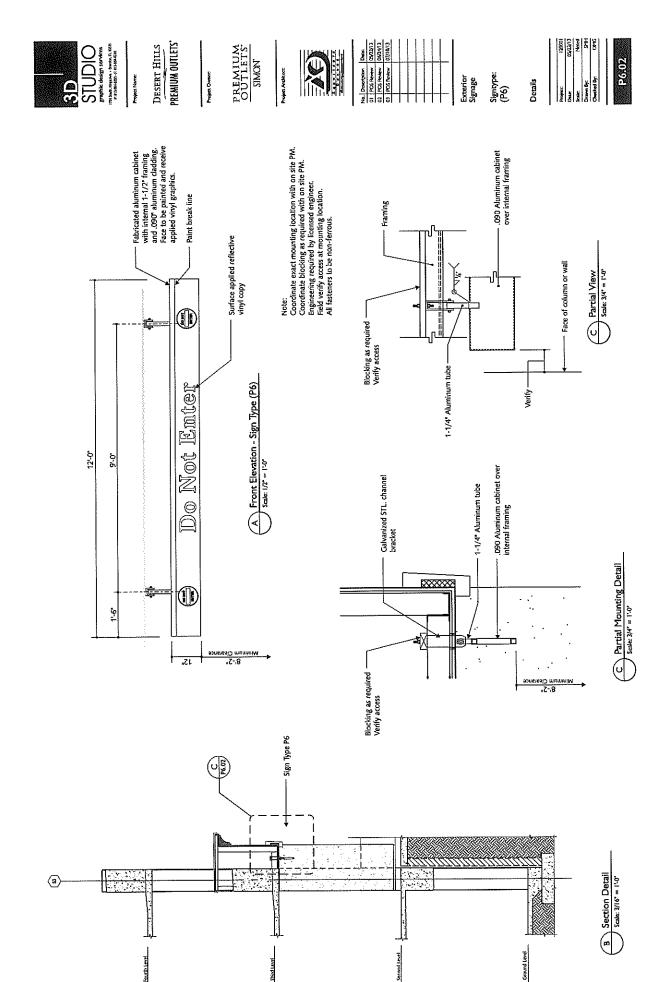


B Suspended Vehicular Signage - Sign Type (P7/B)



Sign Type (P7/B)

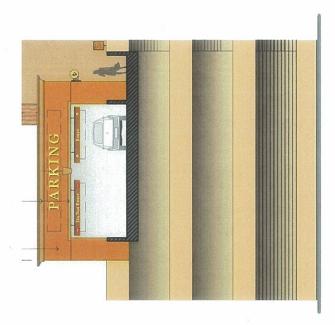
P7.01



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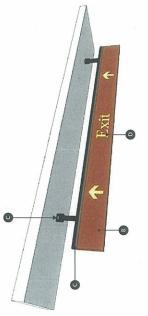
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A Enlarged Mounting Elevation - Sign Type (P7) Scale: 3/32" = 1:0"

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C Suspended Vehicular Signage - Sign Type (P7/A)



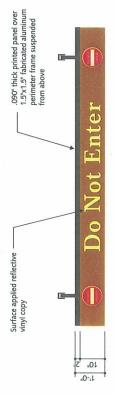
DESERT HILLS PREMIUM OUTLETS

Project Name:

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Messages will vary pending final message schedule

PREMIUM OUTLETS' SIMON



B Suspended Vehicular Signage - Sign Type (P7/B)

Exterior Signage



Sign Type (P7/B)

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Project:	12090
Date:	1/22/20
Scale:	Note
Drawn By:	SM
Checked By:	DMG

PREMIUM OUTLETS" DESERT HILLS

Project Owner.

PREMIUM OUTLETS' SIMON

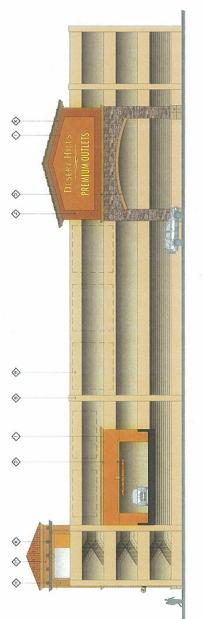
20'-9"

19'-4"

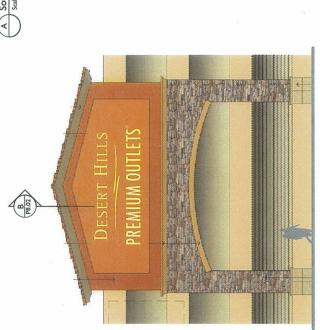
Signtype: (P8)

Parking Garage Elevations

P8.01



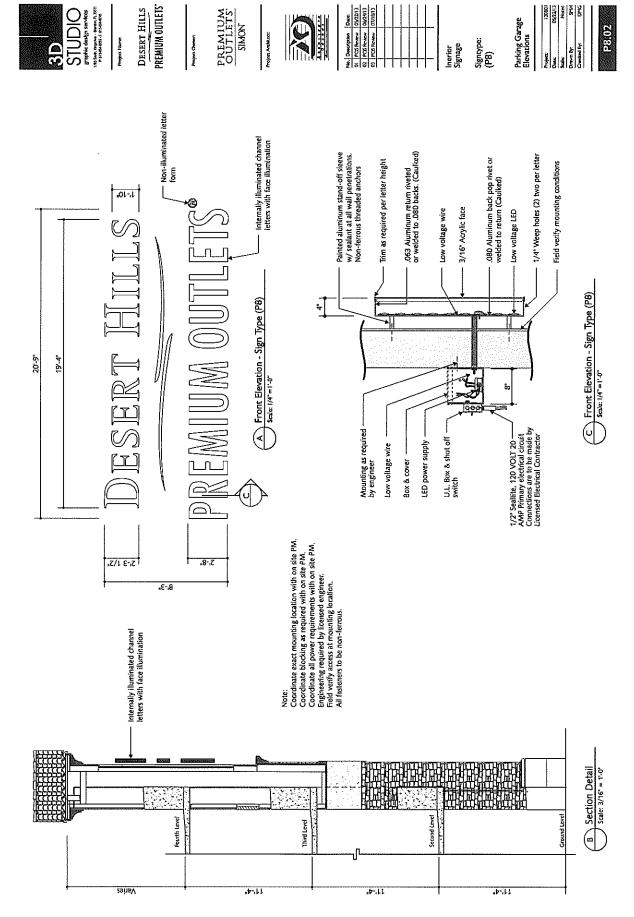
Scale: 1°=20.0°



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B Enlarged Mounting Elevation - Sign Type (P8) Scale: 3/32' = 1.0'

Painted building surface Front Elevation - Sign Type (P8) Internally face illuminated channel — letters to be pin-mounted off face of building. Letters to have white face and returns "Z/1 E-'Z J<sub>1</sub>-8<sub>11</sub>



Painted aluminum stand-off sleeve w/ sealant at all wall penetrations. Non-ferrous threaded anchors

Project Name:

.063 Aluminum return riveted or welded to .080 backs. (Caulked)

Trim as required per letter height

Mounting as required by engineer

Low voltage wire Box & cover

DESERT HILLS PREMIUM OUTLET

DESERT HILLS

PREMIUM OUTLETS"

Low voltage wire 3/16" Acrylic face

U.L. Box & shut off switch LED power supply

.080 Aluminum back pop rivet or welded to return (Caulked)

Low voltage LED

1/2" Sealtite, 120 VOLT 20
AMP Primary electrical circuit
Connections are to be made by
Licensed Electrical Contractor

PREMIUM OUTLETS

SIMON

1/4" Weep holes (2) two per letter

Building Fascia - Field verify mounting condition

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 No.
 Description
 Date:

 01
 POS Review
 05/22/13

 02
 POS Review
 06/24/13

 03
 POS Review
 07/18/13

C Front Elevation - Sign Type (P8a)

A Parking Garage Entry Clearance - Sign Type (P8a)

See sheet P20.01-

Note:
Coordinate exact mounting location with on site PM.
Coordinate blocking as required with on site PM.
Coordinate all power requirements with on site PM.
Engineering required by licensed engineer.
Field verify access at mounting location.
All fasteners to be non-ferrous.

48'-0"

HILLS PREMIUM (OI

B Front Elevation - Sign Type (P8a)

J-0-1Z J--2

Internally face illuminated channel letters to be pin-mounted off face of building. Letters to have white face and returns

Parking Garage Elevations

Signtype: (P8a)

Inerior Signage

P8a.01

# Section IV - Interior Identity & Way-finding Signage

P9.01 P9.02	Interior Wayfinding Signage Interior Wayfinding Signage - Details	Sign Type: P9 Sign Type: P9
P10.01	Parking Level Identity Signage	Sign Type: P10
P11.01 P11.02	Parking Level Identity Signage Parking Level Identity Signage - Details	Sign Type P11 Sign Type: P11
P12.01	Upper Level Wayfinding Signage	Sign Type: P12
P13.01 P13.02	Escalator Identity Signage Escalator Identity Signage - Details	Sign Type: P13 Sign Type: P13
P14,01	Stair Level Identity Signage	Sign Type: P14
P15.01	Lifesafety Signage At Elevator	Sign Type: P15
P16.01	ADA Room Identity Signage	Sign Type: P16,
P17.01	Primary Elevator Identity Signage	Sign Type: P17
P1B.01	Secondary Elevator Identity Signage	Sign Type: P18
P19.01	Stair Entrance Identity Pendant	Sign Type: P19
P20.04	Overhead Pedestrian Signage	Sign Type: P20
P21.01	Pole Mounted Pedestrian Signage	Sign Type: P21
P22.01	Electronic Vehicle Counter (By others)	Sign Type: P22
EP.01	Emergency Phone Signage	Sign Type: EP

Project Name:

DESERT HILLS
PREMIUM OUTLETS

Park

PREMIUM OUTLETS

SIMON.

Messages will vary pending final message schedule

7" tall surface applied copy white 3M #3290 reflective vinyl, typ.

Fabricated aluminum channel frame with .090" plate cladding front and rear, typ.

1 1/2"x 1 1/2" painted — aluminum square tube frame, typ.

B Overhead Vehicular Directional Elevation - Sign Type (P9)

Exit 🖈

Park

10-11

10,-01

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Exit 🖈

↑ Park

Level P3

Exit 🖈

↑ Park

Level P2

Verify mounting height w/ deck contractor 12-18

Interior Signage

↑ Park

Parking Garage Elevations

Exit >

A Overhead Vehicular Directional Mounting Elevation - Sign Type (P9)

P9.01



Fabricated aluminum cabinet with internal 1-1/2" framing and -090" aluminum dadding. Face to be painted and receive applied viryl graphics.

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Paint break line

19

Exit

Park

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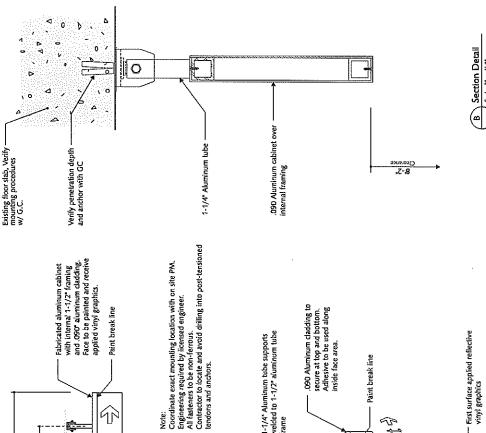
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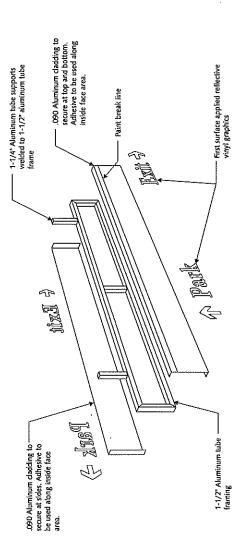
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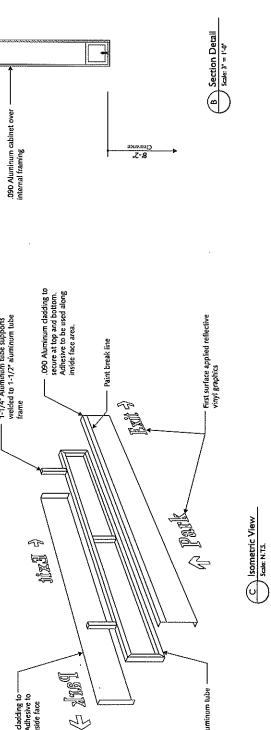
8'-2" Clestance

A Front Elevation - Sign Type (P9)

B. W.







Signtype: (P9)

Details

Interior Signage





Project Name:

PREMIUM OUTLETS' DESERT HILLS

Level P2

Level PI

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P1

Level Identity Mounting Elevation - Sign Type (P10)

SIMON

PREMIUM OUTLETS



Level P4





Level P3



 No.
 Description
 Date:

 01
 POS Review
 05/22/13

 02
 POS Review
 06/24/13

 03
 POS Review
 07/18/13

Panel secured to column surface w/ concrete hammer drive anchors or equal and silicone adhesive. Head of anchor to be painted

. .090" thick aluminum panel with printed background & surface applied reflective vinyl copy, typ.

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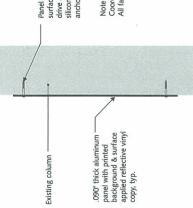
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"Z/1-Z

50<sub>m</sub> 55"

18 19 1/8" Wide outter band

Note: Coordinate exact mounting to location with on site PM. All fasteners to be non-ferrous.



C Side Elevation - Sign Type (P10)



P10.01

Parking Garage Elevations

Signtype: (P10)

Interior Signage

B Level Identity - Sign Type (P10)

– 1/8° aluminum sign panel welded over 3/4° aluminum tube frame. Panel face to be painted and receive surface applied reflective vinyl copy, typ.

PREMIUM OUTLETS"

Project Owner:

PREMIUM OUTLETS' SIMON

Date:	05/22/13	06/24/13	07/18/13			
cription	POS Review	POS Review	POS Review			
No. Der	10	05	03	1		

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2'-2 1/2" 2'-6"

Existing light pole — (by others)

Interior Signage

— 1/8° painted aluminum plate over 1-1/2° square aluminum tube frame w/ surface applied white 3M vinyl #3290 reflective copy

11-11

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Parking Garage Elevations

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ect:	ä	ä	wn By:	cked By:

P11.01

C Plan View - Sign Type (P11) 00 Existing light pole - (by others) "t 1/5" 15,-0.,

A Pole Mounted Level ID - Sign Type (P11)

B Typical Front Elevation - Sign Type (P11)

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STANDARD CONTEST
FIRST AND ADDRESS AND A

Note:
Coordinate exact mounting location with on site PM.
Engineering required by Hierased engineer.
Alf fasteners to be non-ferrous.
Alf hateners to be non-ferrous.
All penetrations to light pole to be sealed.
Alf penetrations must avoid internal wiring.

Project Nume

DESERT HILLS

PREMIUM OUTLETS'

Project Owner

PREMIUM OUTLETS

SIMON

Project Architect

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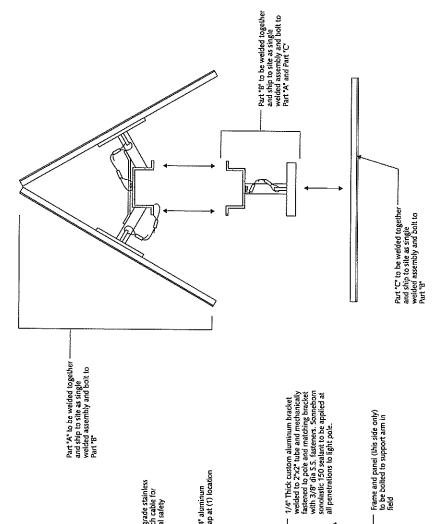


Interior Signage

Signtype: (P11)

Parking Garage Elevations

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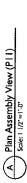
1/4"x1-1/4" aluminum welded strap at (1) location

Existing 5"x5" light pole ——— (field verify pole dimensions before manufacturing

2"x2" square aluminum — tube at (3) locations

Aircraft grade stainless steel catch cable for additional safety

1/8" aluminum sign panel welded over 3/4" aluminum lube frame. Panel face to be painted and receive surface applied reflective vinyl copy, typ.



Frame and panel (this side only) to be bolted to support arm in field

2.6

B Plan Assembly View (P11)



Existing light pole (by others)

ARONITEOTA

Roof Level Signage

Signtype: (P12)

Parking Garage

	120801	05/22/13
Elevations	Project:	Date:

12080	05/22/1	Notes	SME	DMC
Project:	Date:	Scale:	Drawn By:	Checked By:



Existing light pole – (by others) Field verify conditions

Existing light pole —
(by others) Field
verify conditions

- Aluminum mounting tab welded to 1-1/2" tube frame

**a** 

— 1/8" painted aluminum plate over 1-1/2" square aluminum tube frame w/ surface applied white 3M vinyl #3290 reflective copy

— 1/8" Painted aluminum plate over 1-1/2" square aluminum tube frame w/ surface applied white 3M vinyl #3290 reflective copy

PREMIUM OUTLETS" DESERT HILLS

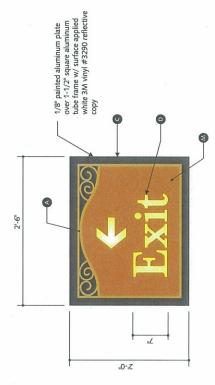
Project Owner:

PREMIUM OUTLETS

C Plan View - Sign Type (P12)

SIMON

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B Pole Mounted Directional - Sign Type (P12)

A Typical Front Elevation - Sign Type (P12)

P12.01

DESERT HILLS
PREMIUM OUTLETS

Project Owner:

PREMIUM OUTLETS' SIMON

Front Elevation - Sign Type (P13)

B Plan View - Sign Type (P13)

ption Date:	eview 05/22	eview 06/24	eview 07/18			
Descrip	POS R	POS R	POS R			
Š	5	05	8			

Escalator Level Identity Signage

Signtype: (P13)

Parking Garage Elevations

120801				
Project:	Date:	Scale:	Drawn By	Charlead

120801	05/22/13	Noted	HWS	DMG
Project:	Date:	Scale:	Drawn By:	Checked By:

P13.01

					l w/ ed finish ive vinyl		
-					- Cut-out aluminum panel w/roll-form contour, painted finish & surface applied reflective vinyl letters and pictogram		ctive
				0	Cut-oul roll-form	•	Individual cut-out reflective
	9		tor	60	8		Individ
6'-4"	9	LEWEL PI	scalator		2		
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vinyl letters		- 4			"Z-'I	4	
vinyl letters		+	и8				
	T			41-0"			Ι.

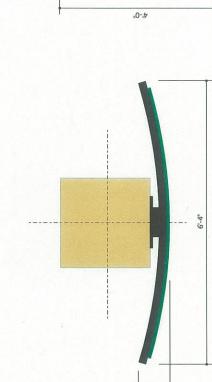


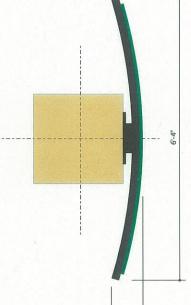
Escalator



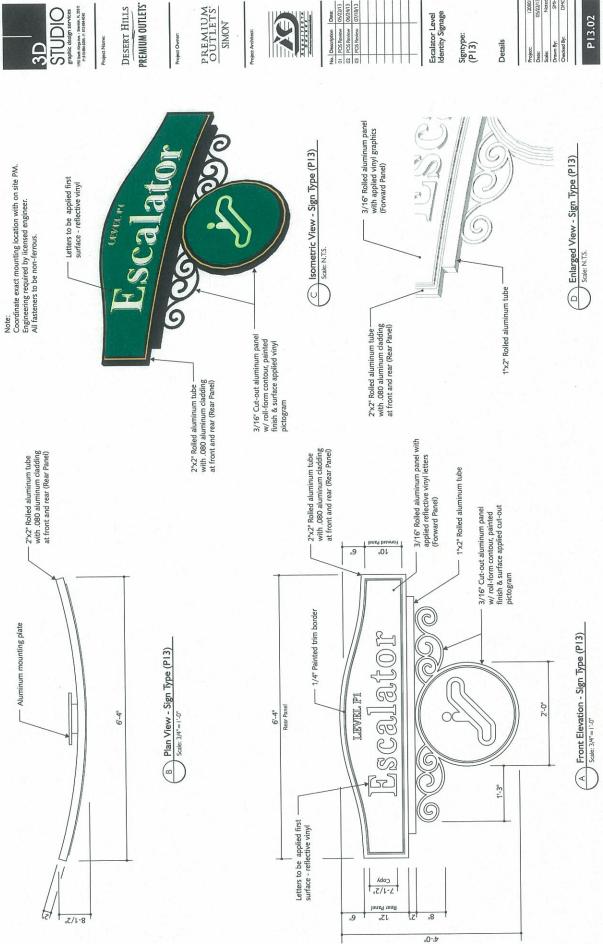


A Escalator Identity Mounting Elevation - Sign Type (P13)





1/2"





SIMON.

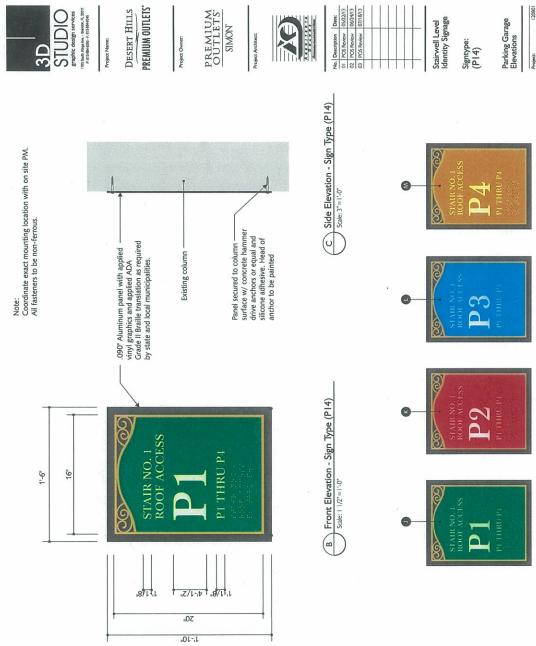
**Escalator Level** Identity Signage

Signtype: (P13)

P13.02



P14.01



PREMIUM OUTLETS"

DESERT HILLS

STAIR NO. 1 ROOF ACCESS

PREMIUM OUTLETS

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SECOND

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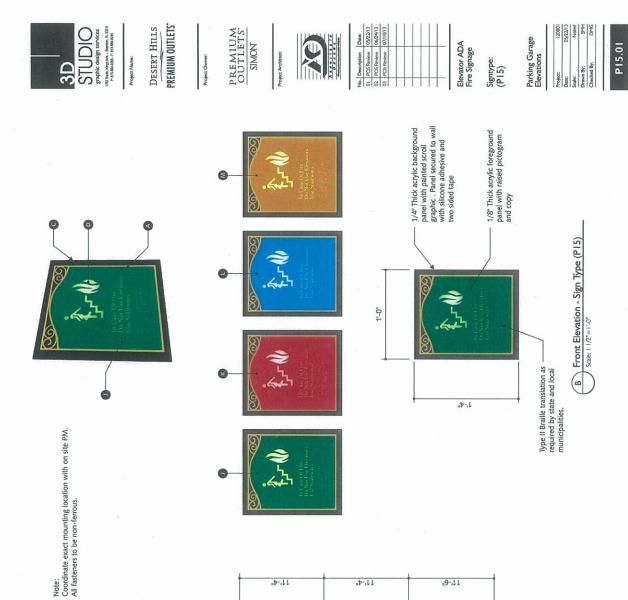
<sub>11</sub>6-19

18-19

THIRD LEVEL SLOPE, TYP

<sub>8</sub>0-,9

FOURTH (ROOF)



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THIND LEVEL

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FOURTH (ROOF)

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SECOND LEVEL

11:-6"

Elevator Core - Sign Type (P15)

120801	05/22/13	Noted	SME	DMG
ject:	H	le:	swn By:	ecked By:

B Front Elevation - Sign Type (P16)

A Misc. Room Identity Mounting Elevation - Sign Type (P16)

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pect:	H	le:	swn By:	arkad Bu



ELEVATOR CONTR( ROOM 1

PUMP ROOM

PREMIUM OUTLETS" DESERT HILLS

Project Owner.

ROOM 1

PREMIUM OUTLETS

Note: Coordinate exact mounting to location with on site PM. All fasteners to be non-ferrous.

15

No. Description Date:	01 POS Review 05/22/13	02 POS Review 06/24/13	03 POS Review 07,				
				1/4" thick acrolic background	panel. Panel secured to wall	with silicone adhesive and	two sided tape

ELEVATOR CONTROL ROOM 1

17/1-9

ADA Room Identity Signage

age
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in Ma
Park

1/8" Thick acrylic foreground panel with raised copy

Type II Braille translation as required by state and local municipalities.

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DESERT HILLS PREMIUM OUTLETS

PREMIUM OUTLETS:

Painted elevator wall surface with over-paint level identification stencil message and color varies each level, typ.

First surface, stencil painted level identification and elevator message

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Elevator **B** 

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17/E E-10

11-2"

Date:	05/22/13	06/24/13	07/18/13				
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Elevator Level Identity Signage

Signtype: (P17)

B Elevator Core - Sign Type (P17)

A Elevator Core - Sign Type (P17)

Parking Garage Elevations

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. .090° thick aluminum panel with printed background & surface applied reflective vinyl copy, typ.

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11.-4"

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50, 22"

11-6"





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Elevations & Detaile

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DESERT HILLS
PREMIUM OUTLETS

Level P4

Level P3

Level P2

Level PI

(a) (a) (b)

FOURTH (ROOF)

LEVEL P1

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Note:
Coordinate exact mounting location with on site PM.
All fasteners to be non-ferrous.
All fasteners to be blind fasteners

11.-411

**●●** ■

THIRD LEVEL

18 16"

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Panel secured to column surface w/ blind fastener and silicone adhesive

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1/8" Wide outter band

120801	05/22/13	Noted	HW5	576
hoject	Date:	cale:	Drawn By:	

Project:	120901
Date:	05/22/13
Scale:	Noted
Drawn By:	HWS
Checked By:	DMG

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B Level Identity - Sign Type (P18)

Elevator Core - Sign Type (P18)

4

<sub>"</sub>0-'8

A Scale: 1'=20.0"

PREMIUM OUTLETS" DESERT HILLS

+

Project Owner:

PREMIUM OUTLETS

SIMON

B Enlarged Mounting Elevation - Sign Type (P19)
Scale: 3/16' = 1:0'

Note:
Coordinate exact mounting location with on site PM.
Coordinate blocking as required with on site PM.
Engineering required by licensed engineer.
All fasteners to be non-ferrous.

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Date	05/22/13	06/24/13	0	_	_	L	
Description	POS Review	POS Review	POS Review				
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Rolled aluminum channel with 1/4" thick aluminum face

Stair Entrance Identity Pendant

1-6"

Painted aluminum face with 1/4" thick acrylic pictogram

Signtype: (P19)

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& Det	

Project:	120901
Date:	05/22/13
Scale:	Noted
Drawn By:	SMH
Checked By:	DMG

P19.01

Scale: 1-1/2" = 1-0"

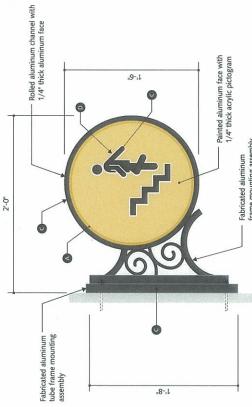
<u>\*</u>9

Fabricated aluminum frame mounting assembly

C Typical Elevation - Sign Type (P19) Fabricated aluminum frame mounting assembly

Painted aluminum face with 1/4" thick acrylic pictogram 11-6 0 0

11-8"



120801	05/22/13	Noted	GMS	
Project:	Date:	cale:	Drawn By:	

Coordinate exact mounting location with on site PM.
Coordinate blocking as required with on site PM.
Egineering required by licensed engineer.
All fasteners to be non-ferrous.

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GMS	awn By:
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P20.01

	STUDIO graphic design services	Sauth, Kings Ave Brandon, Fl. 23511 813-884-8285 - F. 813-884-8245	ject Name:	
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8'-0"

PREMIUM OUTLETS" DESERT HILLS

Project Owner:

Entrance

7,-6"

- See sheet P8a.01

SIMON

B Front Elevation - Sign Type (P20)

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	K

.090" thick printed panel over 1.5"x1.5" fabricated aluminum frame, typ.

Fabricated aluminum -"U" bracket w/ non-ferrous fasteners

A Parking Garage Entry Clearance - Sign Type (P20)

Overhead Pedestrian

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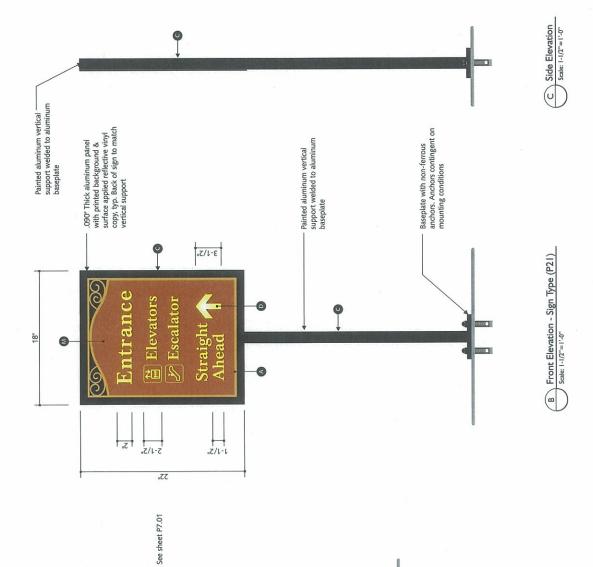


Pole Mounted Pedestrian Sigange

A Enlarged Mounting Elevation - Sign Type (P21) Scale: 3/32' = 1.0'

Coordinate exact mounting location with on site PM. All fasteners to be non-ferrous.

Note:



STUDIO
Symphic design services
: 1785566 (2012)

PREMIUM OUTLETS

SIMON

Project Architect:

DESERT HILLS PREMIUM OUTLETS



Note: Coordinate exact mounting to location with on site PM. All fasteners to be non-ferrous.

1-6" 16 .090" Aluminum panel

Project Name:

PREMIUM OUTLETS DESERT HILLS

Project Owner:

Existing column

Panel secured to column surface w/ blind fastener and silicone adhesive

Logo" thick aluminum panel with printed background & surface applied reflective vinyl copy, typ.

EMERGENCY

50,, 1-10"

PREMIUM OUTLETS' SIMON

Side Elevation - Sign Type (EP1)

Blind fastener as required

A Front Elevation - Sign Type (EP1)

è	Description	Date
5	POS Review	05/2
8	POS Review	06/24
03	POS Review	07/18/
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Emergency Phone Signage

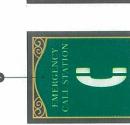
Signtype: (EP)

Parking Garage

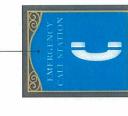
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Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	GMS

Elevations	
Project:	120801
Date:	05/22/13
Scale:	Noted
Drawn By:	GMS
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C









C Emergency Call Station Graphic (EP1)

# DESERT HILLS

# PREMIUM OUTLETS®

Cabazon, California

# Tenant Signage Manual

September 10, 2013

PREMIUM SIMON'S OUTLETS

CASE #: PP25356, PP25357

EXHIBIT: SM (sign manual)

DATED: 9/23/13 PLANNER: P. RULL

### I. General Sign Criteria

### A. INTRODUCTION

This criteria has been developed to guide each Tenant to an imaginative signage solution. The guidelines established herein will ensure that Tenant identification is of consistent quality and is compatible with the architectural character of the Center. Each proposed sign will be evaluated on the design's excellence and compatibility with neighboring signs and the overall character of the Center's signage/graphics. Tenant's signagedepends on location and architectural conditions at the storefronts within the center.

Tenants can select from several signage solutions for their primary storefront and secondary signage depending on location and architectural conditions at the storefronts within the Center.

- 1. Primary Tenant Identification Sign Options for Storefront & Perimeter side of the Center:
  - a. Combination Face/Halo lit logo or logo with text.
  - b. Reverse channel, halo-lit, pin-mounted letters. Tag line in raceway with push thru copy.
- 2. Secondary Tenant Sign Options for Storefront side of the Center:
  - a. Blade Sign.
  - b. Entry door/storefront window signage.

### **B. SUBMITTALS & APPROVALS**

- 1. All Tenant signage is subject to the Landlord's written approval. The Landlord's approval shall be based on the following criteria:
  - a. Design, fabrication and method of installation of all signs shall conform to this sign criteria.
  - b. This sign criteria shall conform with the design standards of the Center and shall be in harmony with adjacent signage conditions.
- 2. The Tenant agrees to conform to the following procedures and submission requirements to secure the Landlord's approval:
  - a. Sign drawings are to be prepared by a reputable state licensed Sign Contractor or as required to be licensed by the County of Riverside. Submit one set of detailed sign design shop drawings to: Simon Property Group.
  - b. Sign drawings must include a min. 1/8" scaled storefront drawing illustrating the proposed sign design and all dimensions as they relate to the storefront elevation of the Tenant's premises.
  - c. Sign drawings must also include a min. 1" = 1'- 0" sign elevation and section through sign indicating construction and attachment methods and illumination details.
  - d. Letters must be accurately dimensioned and spaced.
  - e. Sign colors, paint finishes and types of materials must be submitted with the sign drawings.
  - f. Unless the Landlord has received the above described drawings and information in the quantities set forth above, the Landlord will not approve the Tenant's exterior sign.
- 3. All drawings and samples marked "Revise and Resubmit" must be resubmitted with the required corrections prior to fabrication. Only after all drawings have been marked "Approved" or "Approved As Noted" may the fabricator proceed with fabrication per approved drawings.

The Tenant and Sign Contractor will not be permitted to commence installation of the exterior sign unless all of the following conditions have occurred:

- a. A stamped set of final drawings reflecting the Landlord's approval shall be on file in the Landlord's office.
- b. Sign Contractor/Tenant shall be responsible for the securing of all applicable sign permits required by the Director of Planning and Community Development for the County of Riverside sign ordinance prior to fabrication of the signs. The Landlord's stamped approval is required on all sign plans prior to the application for permits.
- c. The Fabricator must provide to the Landlord a copy of the County of Riverside issued sign permit and a stamped set of drawings reflecting both the Landlord's and the County of Riverside's approvals prior to sign installation.
- d. The Landlord must be notified 48 hours in advance prior to the sign installation. Contact: On-Site Manager.
- e. The Landlord must receive a Certificate of Insurance from the Sign Contractor actually performing the installation.
- 4. The Landlord reserves the right to revise this Signage Criteria in accordance with the County of Riverside's Sign Ordinance for up to thirty (30) days before the Tenant's Rent Commencement date. However, this Signage Criteria may be revised at any time if so required by any governmental agency having jurisdiction over its contents.

General Signage Criteria Page 2

- 5. In the event Tenant changes their exterior sign at any time during the term of their lease, Tenant must comply with any future modifications, revisions or changes which have been made to the Sign Criteria for the Center after the execution of their Lease Agreement.
- The Tenant shall pay for all signs, their installation (including any required electrical connection back to the J-box as well as any secondary j-box required) and all other labor, materials and future maintenance.
- 7. The Tenant and their Sign Contractor are responsible for understanding this Signage Criteria and conforming to its requirements.
- 8. The Tenant shall be ultimately responsible for the fulfillment of all requirements and specifications, including all applicable building and electrical codes.
- 9. All signs shall be reviewed for conformance with this criteria and overall design quality. Approval or disapproval of sign submittals based on aesthetic of design shall remain the sole right of the Landlord.
- 10. Tenant is responsible for the fabrication and installation of the current required blade sign bracket if none exist or older style is currently installed at their space.

### C. FABRICATION & INSTALLATION REQUIREMENTS

The fabrication and installation of all signs shall be subject to the following restrictions:

- 1. All signs mounted on concrete, EFIS or brick clad substrates are to be attached by pin-mounting or as shown on detailed exhibits. Mounts consist of 3/16" to 1/4" 'all-thread' with 3/8" to 1/2" aluminum spacer sleeve for rigidity. Spacers to be painted to match adjacent building wall color.
- All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and patched to match adjacent finish. Spacers must be painted to match building color. No PK housings allowed.
- 3. Ladders, installation equipment and installation crews are not permitted to lean on building, awnings and storefront. All installation equipment must be freestanding type to avoid contact with or damage to building or storefront. Rubber wheeled lifts must have white tires, wheel padding or must roll over planking to prevent marks on paving areas. Vehicles are not permitted on pedestrian streets.
- 4. Tenant's Sign Contractor is required to contact the Tenant Manager or Center Manager at time of installation of signage and at completion so acceptance can be determined.
- 5. Installation crews are responsible for establishing a safety zone around their work area. Crews must possess caution tape and safety cones and utilize these safety devices to secure walkways and doors. Electrical cords cannot be run outside of this zone. Hard hats must be worn at all times.
- 6. Each Tenant, or their Sign Contractor, shall be responsible for the repair of any damage to the building caused by the installation of said Tenant's sign. Particular attention must be paid in and around the access panels into the canopy area. If required, repainting these areas will be back-charged to Tenant.
- 7. The installation Sign Contractor is responsible for removing all debris and cleaning the work area after installation is complete. Sign Contractor shall protect existing wall surfaces and near by awning structures during sign installation.
- 8. The Sign Contractor must check sign to ensure proper illumination.
- 9. Each Tenant shall be responsible for the performance of its Sign Contractor.
- 10. Each Tenant shall be responsible for removal of its sign within three (3) days after vacating site. Removal of the sign shall include the repair of the wall surface back to its original condition and finish painting to nearest panel edge on joint over the entire panel surface if color difference is visible. If Tenant does not repair wall surface to Landlord's satisfaction, Landlord will perform repairs at Tenant's expense.

- 11. Each Tenant shall be responsible for the installation and maintenance of its sign. Should the Tenant's sign require maintenance or repair, Landlord shall give Tenant fifteen (15) days written notice to effect said maintenance or repair. Should Tenant fail to do so, Landlord shall effect said maintenance or repair and Tenant shall reimburse Landlord within ten (10) days of receipt of invoice.
- Tenant to use Landlord approved storefront j-box to wire storefront signage back to designated circuit. If no j-box exists, it is Tenant's responsibility to provide and connect to Landlords time clock.
- 13. Any damage to surrounding walls or surfaces made by signage contractor shall be repaired at their expense. It is strongly recommended that either the Tenant or its sign contractor use Landlord's approved sign contractor for patching, repairing and repainting the storefront sign band:
  Bruin Painting (951) 308-1300. If Tenant chooses to use their sign contractor to patch sign holes and repaint, Landlord reserves the right to review the work, and if said work is not acceptable to Landlord, then hire the above recommend patching and painting contractor at Tenant's expense.
- 14. All U.L. labels to be applied so as to not be visible from pedestrian pathway.
- 15. Interior raceways may be required to conceal wiring and transformers on interior of tenant space if open ceiling condition exists. Field survey conditions.
- 16. In some cases, exterior weatherproof raceways may be required to cover any exposed electrical components above roof-lines. Any roof penetrations must be sealed. Penetrations and raceway sealing must be coordinated with Landlord's roofer to preserve roof warranty. Contact Center Management for roofer's contact information.

### D. NON-CONFORMANCE

- No field installation changes are permitted without first notifying Landlord in writing. If any sign is changed as to placement, location and/or size which differs from approved sign plan, Tenant and/or Sign Contractor will be responsible for repair, change, and/or relocation of sign to proper placement at their expense.
- 2. Any sign that is installed by Tenant which is not in conformance to the approved drawings shall be corrected by Tenant within fifteen (15) days after written notice by Landlord. In the event Tenant's sign is not brought into conformance within said fifteen (15) day period, then Landlord shall have the option to correct non-conforming sign at Tenant's expense.

### E. GUARANTEE

Entire display shall be guaranteed by Sign Contractor for one (1) year from date of installation against defects in material and workmanship. Defective parts shall be replaced without charge.

General Signage Criteria

### F.1 INSURANCE (Existing East and West Wing)

**CPG Partners, L.P.;** are to be named as an Additional Insured on all policies. Premium Outlets Simon, as Certificate Holder, shall be included on all policies as an additional insured/loss payee. Before commencing the work, the Contractor shall procure and maintain at its own expense, until final completion and acceptance of the work, the following minimum insurance forms and with insurance companies acceptable to the Owner:

 Worker's Compensation Insurance for statutory obligations imposed by Worker's Compensation or Occupational Disease Laws, including, where applicable, the United States Longshoremen's and Harbor

Worker's Act, the Federal Employer's Liability Act, and the Jones Act. Employers' Liability insurance shall be

provided with a maximum limit of \$100,000.00 per disease, \$500,000.00 policy limit by disease.

Comprehensive Automobile Liability Insurance with the following minimum limits of liability:
 Bodily Injury Liability \$2,000,000 - Each Occurrence
 Property Damage Liability \$2,000,000 - Each Occurrence

The insurance is to apply to all owned, non-owned and hired automobiles used by the Contractor in the performance of work.

3. General Liability, Contractual Liability and Products/Completed Operations Liability Insurance covering all

operations required to complete the work with the following minimum limits of liability:

Bodily Injury Liability \$2,000,000 - Each Occurrence Property Damage Liability \$2,000,000 - Each Occurrence

The Products/Completed Operations Liability Insurance shall be provided for a period of at least two (2) years after completion of the work.

The Contractual Liability Insurance coverage shall insure the performance of the contractual obligations assumed by the Contractor by acceptance of this order, including specifically, but without limitation, the Indemnification provisions of this agreement.

Excess Liability (Umbrella):

Bodily Injury Liability \$2,000,000 - Each Occurrence Property Damage Liability \$2,000,000 - Each Occurrence

General Signage Criteria Page 5

### F.2 INSURANCE (Expansion 2014 Buildings (Ste #1000 thru Ste #1156)

Dessert Hills Premium Outlets Expansion, LLC, Simon Capital Limited Partnership, SPG Capital Associates Limited Partnership, SPG Capital VII, LLC; are to be named as an Additional Insured on all policies. Premium Outlets Simon, as Certificate Holder, shall be included on all policies as an additional insured/loss payee. Before commencing the work, the Contractor shall procure and maintain at its own expense, until final completion and acceptance of the work, the following minimum insurance forms and with insurance companies acceptable to the Owner:

 Worker's Compensation Insurance for statutory obligations imposed by Worker's Compensation or Occupational Disease Laws, including, where applicable, the United States Longshoremen's and Harbor

Worker's Act, the Federal Employer's Liability Act, and the Jones Act. Employers' Liability insurance shall be

provided with a maximum limit of \$100,000.00 per disease, \$500,000.00 policy limit by disease.

Comprehensive Automobile Liability Insurance with the following minimum limits of liability:
 Bodily Injury Liability \$2,000,000 - Each Occurrence
 Property Damage Liability \$2,000,000 - Each Occurrence

The insurance is to apply to all owned, non-owned and hired automobiles used by the Contractor in the performance of work.

3. General Liability, Contractual Liability and Products/Completed Operations Liability Insurance covering all

operations required to complete the work with the following minimum limits of liability:

Bodily Injury Liability \$2,000,000 - Each Occurrence Property Damage Liability \$2,000,000 - Each Occurrence

The Products/Completed Operations Liability Insurance shall be provided for a period of at least two (2) years after completion of the work.

The Contractual Liability Insurance coverage shall insure the performance of the contractual obligations assumed by the Contractor by acceptance of this order, including specifically, but without limitation, the Indemnification provisions of this agreement.

4. Excess Liability (Umbrella):

Bodily Injury Liability \$2,000,000 - Each Occurrence Property Damage Liability \$2,000,000 - Each Occurrence

### G. Signage Attachment Details

1. All wall penetrations are to be made using one of the approved attachments details as found in this Signage Criteria.

### H. STOREFRONT SIGNAGE

1. All Tenants are to have a storefront sign. Sign shall be located only on the spaces and on the surfaces

specially provided for same on the building elevations. Signage type and size shall be dictated by the building type the Tenant is located in as defined by the Location Key Plan.

General Signage Criteria Page 6

- 2. Square footage for Tenant wall signs shall be based on the maximum sign lengths and letter heights as defined in the following paragraphs and exhibits.
  - (a) Each Tenant to have:
    - · One (1) primary Storefront sign.
    - · One (1) secondary Blade sign.
    - An additional exterior wall sign shall be offered to specific Tenants solely at the Landlord's discretion for perimeter signage on the exterior of the Center.
  - (b) Subject to Landlord and County review and approval, specific Tenant locations (such as towers or corner spaces at ends of buildings) with more than one frontage and/or entry may be allowed one sign on each frontage provided architectural treatments at each location can accommodate a sign. If additional signs are allowed, signs located on adjacent building elevations shall be similar in length, letter height, method of illumination and color. Tenant is responsible for supply and installation of additional j-box where needed.
  - (c) Sign area and location to be determined by Landlord at time of install.
  - (d) Letter height on primary storefront single line signs shall be as defined in the following sections:

### Note:

Consideration for moderate increases to maximum sign or letter heights may be given to Tenants with logotypes which have larger initial capital letters or other unique features.

Specific locations and surrounding architectural treatments can dictate maximum sign height and length, which in some cases may be less than the maximum defined herein.

- 3. All signs (size, design, type and color) are subject to Landlord's approval, based on aesthetic and relationship to neighboring Tenant signs.
- 4. Signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
  - (a) Tenant shall display their established registered trade name(s) only.
  - (b) Registered Trademark Symbols are permitted subject to Landlord review/approval fabrication requirements.
- 5. The colors and type styles of all signs shall be subject to Landlord's approval. Established trade logos and signage are required to be used, providing they conform to the criteria described herein. The color of all lettering and/or sign panels shall be compatible with the building color and provide sufficient contrast with the background color of the building wall on which the sign is located.
- Logo plaque components used in conjunction with individual letters are considered an integral part of the store identity and are included in the calculation of allowable sign area, subject to Landlord's approval.
- 7. No box-type cabinet signs will be permitted unless specifically provided for herein.
- 8. Individual shop address numerals will be provided and installed by the Landlord on the storefront of the Tenant space, and are not included in calculation of allowable for wall signage area.
- 9. No Tenant shall affix or maintain upon any exterior glass or other exterior surface of the storefront, any signs or symbols other than the signs provided for in this criteria. Also refer to the Tenant Handbook Section entitled: Storefront Criteria.
- 10. No temporary signs of any nature will be accepted!

### PRIMARY STOREFRONT SIGNAGE

 Tenant's primary identification sign shall be selected from the following sign types based on the storefront's location and architectural conditions within the center's internal areas.

### **EAST WING STOREFRONT TENANT SIGNS:**

The rate of calculation of these individual signs for the East Wing shall not exceed ten percent (10%) of the surface wall. Allowable size of Tenant's sign must conform to County of Riverside Sign Ordinance. If any conflict arises between Landlord's criteria and the County's ordinance, The County of Riverside's sign ordinance will prevail.

- Maximum letter height on single line signs shall be 24" overall. Minimum letter height on single line signs shall be 18" overall.
- Maximum sign height on double line signs shall be 36" tall. \* Larger signs will be given consideration at "Taller" features of building and for logos at Landlord's discretion.

### **WEST WING STOREFRONT TENANT SIGNS:**

The rate of calculation of these individual signs for the East Wing shall not exceed ten percent (10%) of the surface wall. Allowable size of Tenant's sign must conform to County of Riverside Sign Ordinance. If any conflict arises between Landlord's criteria and the County's ordinance, The County of Riverside's sign ordinance will prevail.

- · Maximum letter height on single line signs shall be 18" tall, minimum letter height shall be 15" tall.
- Maximum sign height on double line signs shall be 28" tall, with a maximum letter height of 18" tall. Larger signs will be given consideration at "Taller" features of building and for logos at Landlords discretion.
- West Wing address 48400 Seminole Drive, Cabazon, CA 92230. Plot Plan Number Pp25356
   VAR Number 01888
   APN Number 519-101-041

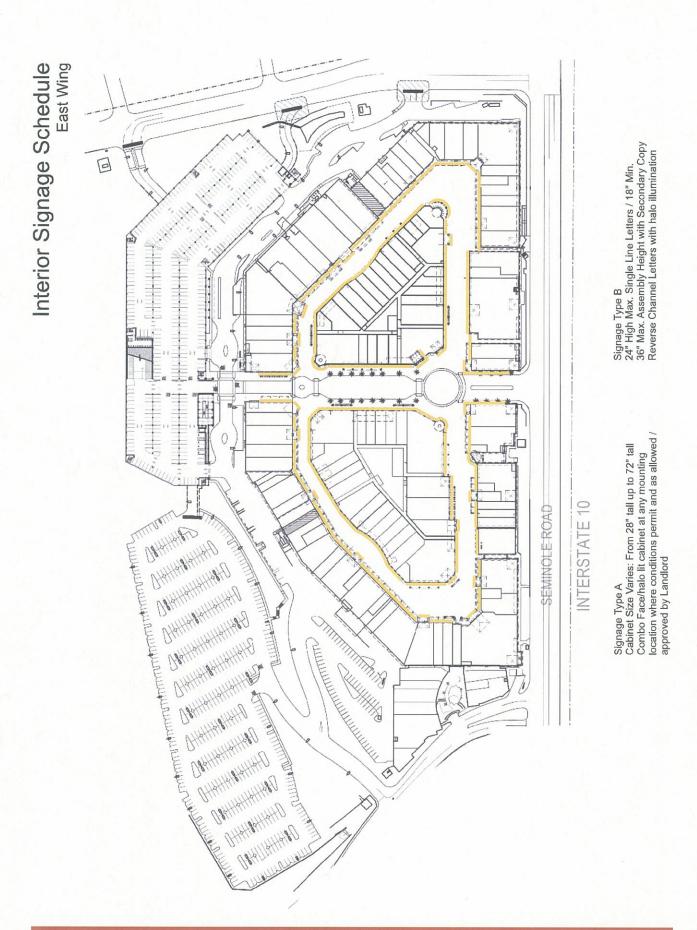
# Interior Signage Schedule West Wing



INTERSTATE 10

Signage Type A
Cabinet Size Varies: From 28" tall up to 72" tall
Combo Face/halo lit cabinet at any mounting
location where conditions permit and as allowed /
approved by Landlord

Signage Type B 18" High Single Line Letters 28" Max. Assembly Height with Secondary Copy Reverse Channel Letters with halo illumination



# Sign Type A: CABINET TYPE SIGNS - COMBINATION OF ROUTED ALUMINUM WITH PUSH-THRU ACRYLIC LETTERS. ALL SIGNS TO HAVE FACE/HALO ILLUMINATION BY MULTI-DIRECTIONAL LEDS.

- a. Fabricated enclosed weather-proofed aluminum box type cabinet with routed face and push thru acrylic copy. Cabinet to have Lexan backing for combination face and halo illumination by multidirectional Sloan LED V-Series Cool White or Colored LED modules (or equal)
- Color of logo box cabinet to be approved by Landlord prior to fabrication and installation.
   Logos/Cabinets shall be contrast in color to wall.
- c. Any copy within the logo box cabinet shall be routed from aluminum logo face with push thru acrylic letters/logo symbol. Copy/symbol shall be translucent acrylic with frosted finish on face or any color vinyl and 1/2" reveal. Color selected by Tenant and approved by Landlord. No glue-on allowed.
- d. Size of logo will vary depending on location, elevation and designated sign band area. See Exhibits A.2 & A.3 for details.
- e. Tenant signs are to be centered on the Tenant's store frontage or between prominent architectural elements, as dictated by Landlord.
- f: Length: The length of the individual Tenant signs on internal storefronts shall be variable. However, the the length shall not exceed ten percent (10%) of wall surface.

Example:

75' store width x 10% multiplier = 7.5 feet of allowable sign length.

- g. Bolts, connectors, sleeves, etc. shall be non-ferrous materials.
- h. All penetrations thru walls to be watertight.
- Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at 2013 Bldg A & B Expansion locations.

**NOTE:** This sign type may be substituted at any elevation for Logos/ Logos with text only. Any lettering that is separate from the logo element must be designed as the correct sign type indicated for that typical elevation sign band.

For questions and availability in reference to individual lighting products specified in these documents, please contact the appropriate supplier identified below:

SloanLED Contact: Mr. John Ward Production Manager (805) 676-3200 iward@sloanled.com

www.sloanled.com

Plastics America Contact: Ms. Carol Gauvin Sales Manager (800) 881-3711 sales@plasticsamerica.com

www.plasticsamerica.com



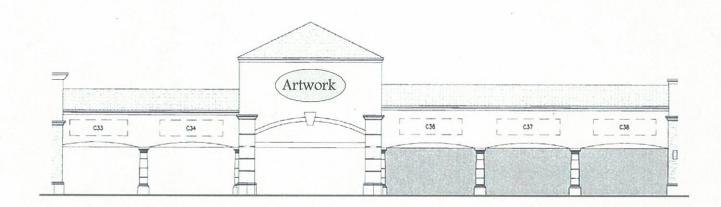


Sign Type A



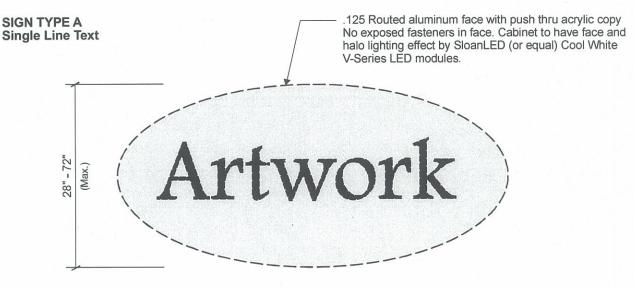


Sign Type A



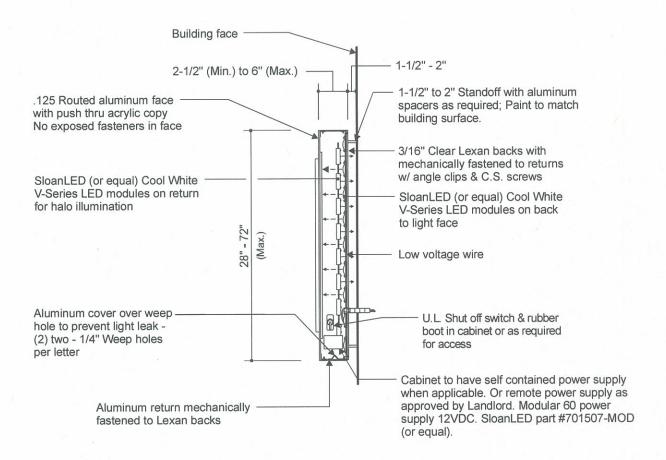
Signage Type A - Examples

Signage mounting height will be determined at the time of installation by Landlord.



### Logo with Face / Halo Illumination

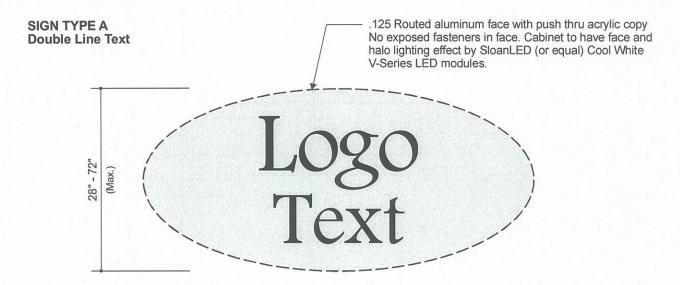
(Shape Varies)



## Section Detail Logo With Face & Halo Illumination

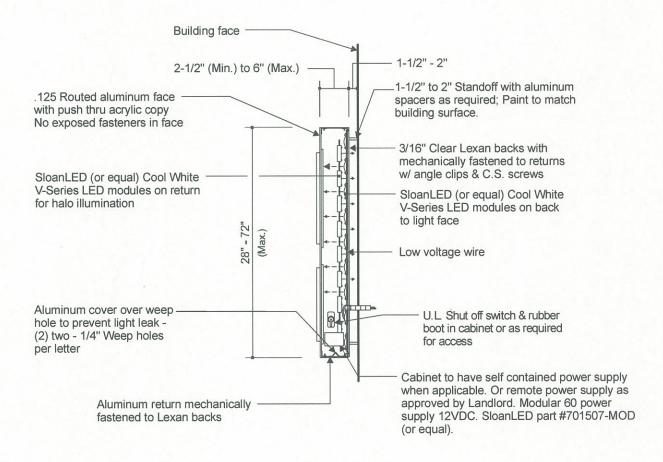
Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

EXHIBIT A.2 - Details Page 13



### Logo with Face / Halo Illumination

(Shape Varies)

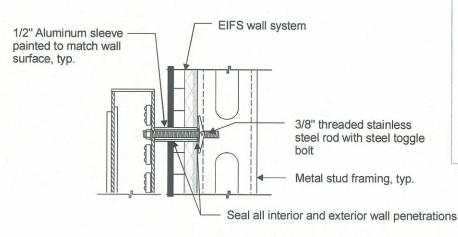


Section Detail
Logo With Face & Halo Illumination

Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

EXHIBIT A.3 - Details Page 14

### **Typical Mounting Details**



### Stud Framed Wall

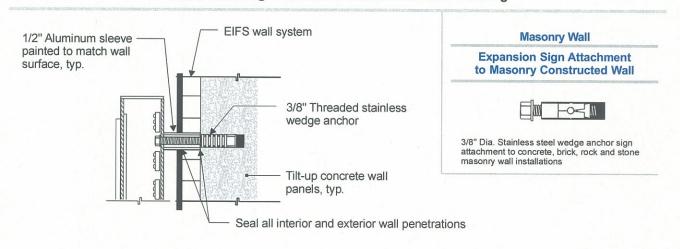
## Hollow Wall Anchor Sign Attachment to Structural Exterior Wall



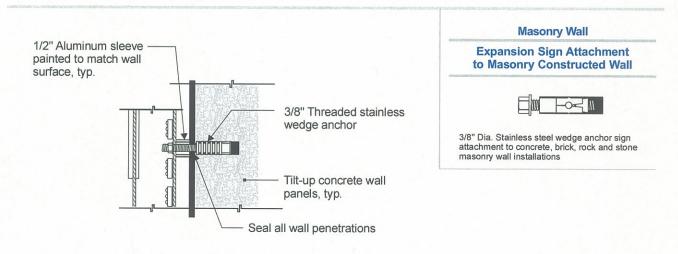
3/8" Dia. all thread stainless steel rod with Zinc plated steel toggle bolt "Wings". Bolt length to be determined as required per wall construction.

Page 15

### Letter Mounting Detail At EIFS Over Metal Stud Framing



### Letter Mounting Detail At EIFS Over Tilt-up Concrete Wall



### Letter Raceway Detail At Tilt-up Concrete Wall

**Note:** All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

#### Sign Type B: INDIVIDUAL REVERSE CHANNEL HALO LIT LETTERS WITH LED ILLUMINATION.

- a. Individual letters shall be U.L. Rated, have a minimum depth of 2-1/2" (4" max.) and shall be pinned off wall 1-1/2" with blind anchor attachments. Letters shall be fabricated from .090 thick aluminum. All seams shall have continuous welds and be filled.
- b. Letters & Logos shall be clear coated natural metal (ex: Bronze, Brushed Alum. Etc) or Tenant's corporate color with Landlord approval.
- c. Tenant signs to be centered architecturally on façade generally between prominent architectural elements such as columns, in front of Tenant's space. Exact location to be determined by Landlord at time of install.
- d. Lighting: Individual pinned-off, reverse channel letters shall be back lit with SloanLED (or equal) cool white V-series LED modules for halo lighting with 2-1/2" min. to 4" max. returns... The sign's electrical components: wiring, transformer, etc. should be fully waterproof even when mounted on the interior side of the wall.
- e. Length & Height: The length and height of individual Tenant signs on internal storefronts shall not exceed what is described in either **East Wing or West Wing Signs** previously.
- f. Area: notwithstanding the above criteria, no sign shall exceed County of Riverside criteria.
- g. Bolts, connectors, sleeves, etc. shall be non-ferrous materials.
- h. All penetrations thru walls to be watertight.
- Power to tenant sign circuits is 120 volt at existing center locations / 277 volt at expansion locations.

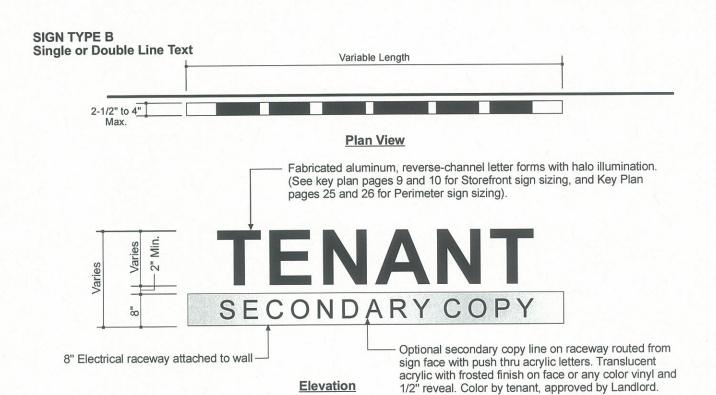


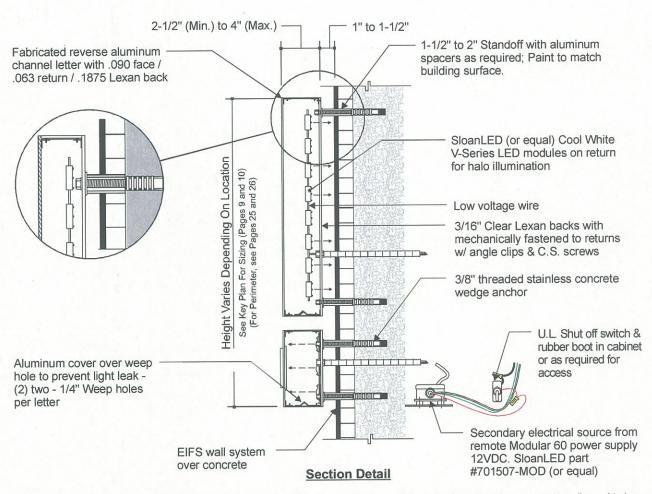




Sign Type B

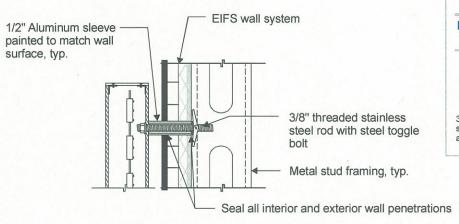
Storefront Sign Type B Page 16





Note: All Bolts, Connectors, Sleeves, Electrical Conduits, Etc. to be Non-Ferrous. All penetrations thru tilt-up concrete wall panel to be watertight. LEDs are not to be visible on sign. All illumination to be even lighting without any "hotspots" on surfaces.

#### **Typical Mounting Details**



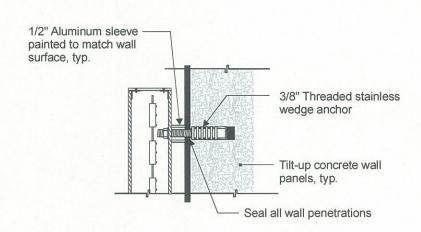
#### **Stud Framed Wall**

## Hollow Wall Anchor Sign Attachment to Structural Exterior Wall



3/8" Dia. all thread stainless steel rod with Zinc plated steel toggle bolt "Wings". Bolt length to be determined as required per wall construction.

#### Letter Mounting Detail At EIFS Over Metal Stud Framing



#### **Masonry Wall**

## **Expansion Sign Attachment** to Masonry Constructed Wall



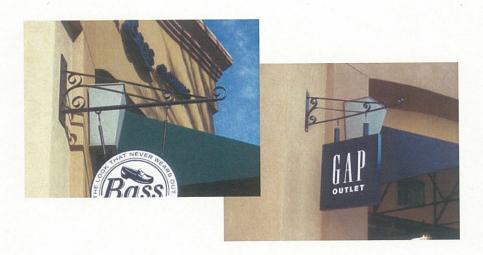
3/8" Dia. Stainless steel wedge anchor sign attachment to concrete, brick, rock and stone masonry wall installations

**Letter Mounting Detail At Tilt-up Concrete Wall** 

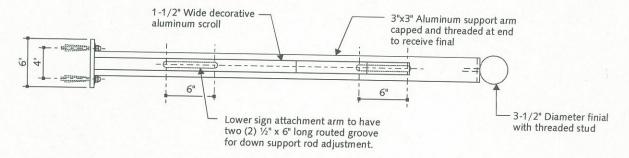
# SECONDARY STOREFRONT SIGNAGE - BLADE SIGN MOUNTED ABOVE STOREFRONT ENTRY DOORS

The Tenant is required to submit shop drawings detailing materials, dimensions, styles, spacing sections, letter height, width, and depth, PMS colors and typestyles for a double-faced "Blade Sign".

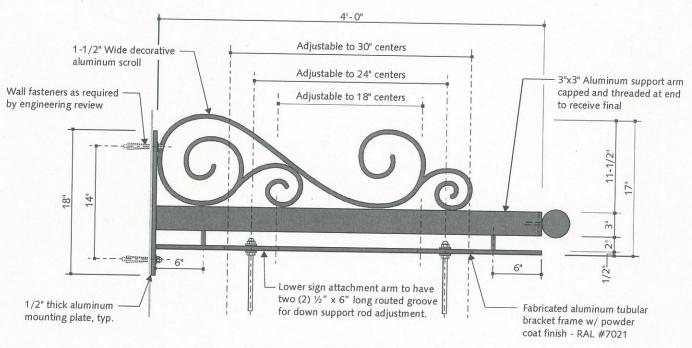
- (1) The purpose of the blade signs is to identify the store entrance to shoppers along pedestrian paths.
- (2) The size of the sign shall be limited to 6 square feet per sign face. Maximum height of the sign panel is 2'-0". Maximum width is 3'-0". The thickness of the sign background must be at least 1". All letters on blade sign to be dimensional (minimum 1/4"). Aluminum and plastic surfaces to be painted and shall be primed with two coats of primer. No vinyl letters permitted.
- (3) The shape of the blade signs will differ from Tenant to Tenant but the support bracket (staff) will be uniform as defined herein. Each Tenant's sign should be specifically designed to complement their individual style, emphasizing their corporate identity and/or product. If Tenant has a store in another Premium Outlet center, Tenant is encouraged to utilize same blade sign design.
- (4) Painted dimensional letters mounted to blade panel are required, to give interest and variety.



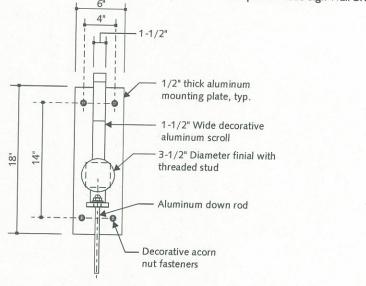
West Wing Tenant Bracket To Match Existing



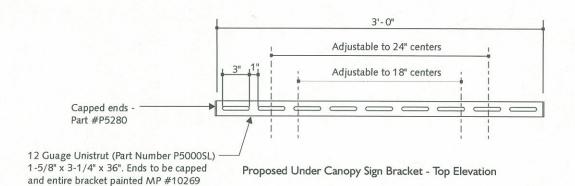
Proposed Blade Sign Wall Bracket - Top Elevation

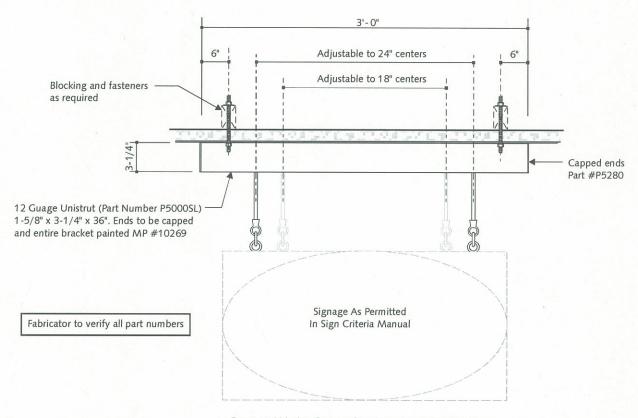


Proposed Blade Sign Wall Bracket - Side Elevation

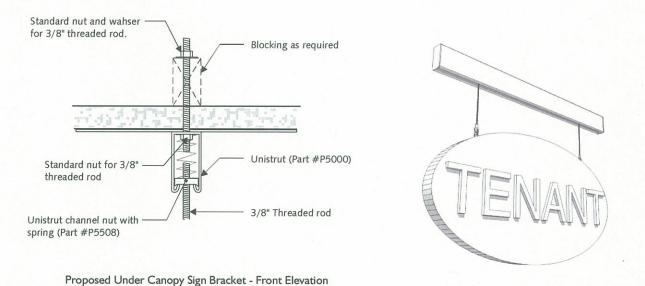






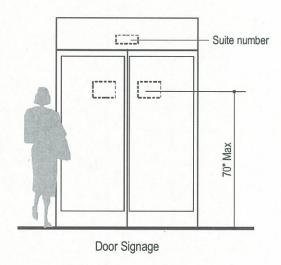


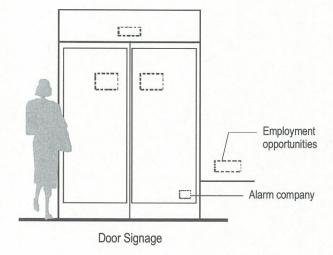
Proposed Under Canopy Sign Bracket - Side Elevation

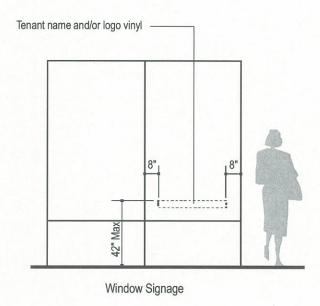


#### ENTRY DOOR/STOREFRONT WINDOW SIGNAGE

- a. For the purpose of store identification, the Tenant may propose to the Landlord a design layout of Tenant name and/or logo in white or black Vinyl Die-Cut Graphics or another color as per Landlord's approval for placement on the inside of entry doors. Each door is permitted one (1) square foot of Vinyl Die-Cut Sign area. The area must be centered 70" from grade or as otherwise directed due to door configurations.
- b. For the purpose of additional store identification, the Tenant may also propose to the Landlord a design layout of store name in black or white Vinyl Die-Cut Graphics or another color, as per Landlord's approval, for placement on the inside of every other (alternating) display window. The maximum permitted area on each window may not exceed one (1) square foot and placement must occur in the centered area measured a minimum of 8" inward toward the window's center from the vertical edges of the window and may not exceed 42" above grade.
- c. Permanent store signage as part of window background display is limited to one (1) square foot of sign area per one (1) lineal foot of store frontage.
- d. Tenant supplied "Help Wanted" signs are prohibited.
- e. "Help Wanted" and other standard information signs as deemed necessary by Landlord, are provided by Landlord and shall be affixed to the inside left edge of the window immediately adjacent to the right of entry doors and no higher than 48" above grade. Such signage shall only be permitted to be affixed with clear suction cups.
- f. Standard information signage icons such as no food, drink, smoking, store hours, etc. shall be provided by Landlord only. Facebook, Twitter, Foursquare shall be provided by Landlord at tenant request and tenant expense.
- g. Credit Card or check acceptance signs or logos placed on storefront display windows or doors are strictly prohibited.
- h. Alarm company stickers shall be limited to one per entry door and be located only at the extreme lower right corner of the glass area on the door.
- i. Handicap access is permitted and shall be placed according to ADA or local jurisdiction under the supervision and approval of the Landlord.
- j. The Landlord reserves the right to require a Tenant, at its expense, to remove any storefront signage it considers to be non-complying or unprofessional.







#### FOOD COURT SIGNAGE - FOOD USE TENANTS ONLY

#### 1. GENERAL SIGN CRITERIA

- a. Tenants shall provide at their expense a primary sign to be mounted on the standard sign frame located at each Tenant's soffit along the primary circulation isle.
- b. All Food Court signs (size, design, type, color, method of illumination) are subject to Landlord's approval based on aesthetics and relationship to neighboring tenant signs.
- c. The information content on the signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
- d. No signage promoting brand name consumer goods or national products will be accepted (i.e. Drink Coke, etc.).
- e. Tenants are encouraged to be creative with the designs of their signs. In addition to the established trade name of the store, icons or other graphic devices may be used to enhance the sign.

If exposed neon is used for icons or other graphic devices, it must be backed by a flat cut out metal background that follows the shape of the graphic.

- f. LED illuminated letters with Face / Halo illumination or combination.
- g. No projection above or below the designated sign zone will be permitted.
- h. No temporary signs of any nature will be accepted.
- I. Exposed raceways (unless a part of the sign design), junction boxes or conduit are prohibited.
- No photo transparency illuminated boxes are permitted unless integrated with the main menu board.
- k. Electrical power, conduit and junction box to be provided by Tenant back to Tenant's panel.

#### 2. MENU BOARDS

Sign boards displaying items and prices shall be innovative and professionally executed.

- a. Proposed location and design of menu boards shall be included in Tenant's signage submittal and are subject to the Landlord's Approval.
- b. Permanent information shall be silk-screened, etched, painted or mounted to a baseboard of metal, wood, plastic laminate, acrylic or glass. Flimsy or fragile materials are not permitted.
- c. Hand-written changeable information is not permitted.
- d. Internally illuminated menu boards are acceptable if they have a black face with white (reversed) lettering. Design of this type of menu board is subject to Landlord approval.
- e. Chalkboards as use for menu boards are not permitted.
- f. The following board types are strictly prohibited:
  - Plastic, rubber or felt "channel" type boards with individual interchangeable plastic letters.
  - Menu boards available through national food and beverage companies advertising products.

# Exterior Signage Schedule West Wing

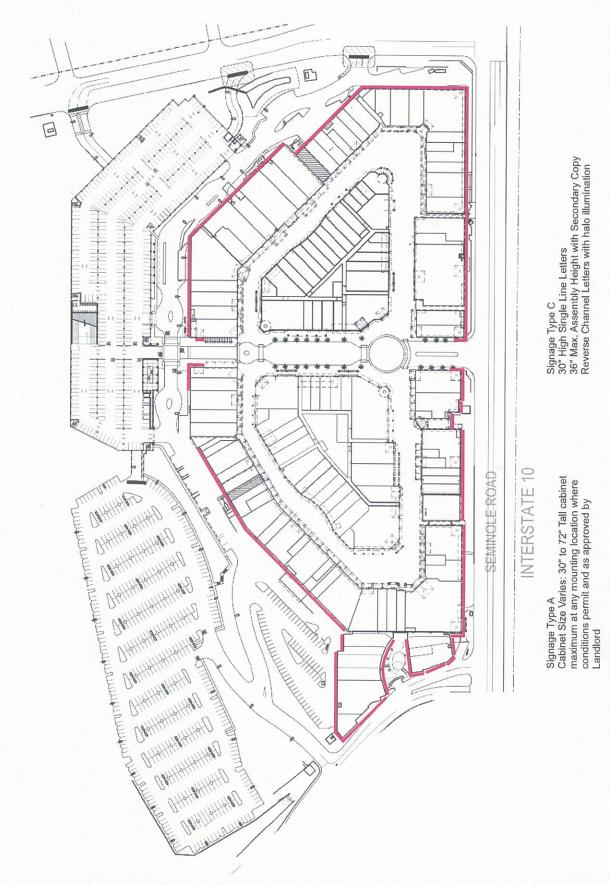


Signage Type A
Cabinet Size Varies: 30" to 72" Tall cabinet
maximum at any mounting location where
conditions permit and as approved by
Landlord

Signage Type C 30" High Single Line Letters 36" Max. Assembly Height with Secondary Copy Reverse Channel Letters with halo illumination

INTERSTATE 10

# Exterior Signage Schedule East Wing



#### **EXTERIOR PERIMETER SIGNAGE**

#### 1. GENERAL SIGN CRITERIA

- a. An additional exterior wall sign shall be permitted to specific tenants solely at the Landlord's discretion for perimeter signage on the exterior of the Center per the County of Riverside's sign codes.
- b. Square footage for Tenant wall signs shall be based on the maximum sign lengths and letter heights as defined in the following paragraphs and exhibits.
- c. Subject to Landlord review and County of Riverside approval, specific Tenant locations (such as towers or corner spaces at ends of buildings) with more than one frontage and/or entry may be allowed one sign on each frontage provided architectural treatments at each location can accommodate a sign. If additional signs are allowed, signs located on adjacent building elevations shall be similar in length, letter height, method of illumination and color.
- d. The Landlord shall select each Tenant for the specific sign locations.
- e. All signs (size, design, type and color) are subject to Landlord's approval, based on aesthetic and relationship to neighboring Tenant signs.
- f. Signs shall be limited to letters designating the store name as set forth in signed lease documents between Tenant and Landlord.
  - (1) Tenant shall display their established registered trade name(s) only.
  - (2) Registered trademarks and logos are not permitted.
- g. No temporary signs of any nature will be accepted.
- h. No projections above or below each designated sign zone will be permitted.
- i. Contractor/Tenant shall submit an application for sign approval per the County of Riverside, prior to fabrication of sign. Upon approval, the County of Riverside Building and Safety Department will issue sign/electrical permits. The County will not issue an approval for sign plans without the Landlord's stamped approval. The contractor must provide the General Manager with a copy of the County of Riverside issued sign permit and a stamped set of drawings reflecting both the Landlord's and the County's approvals prior to sign installation.
- j. The Indio office of the County of Riverside is poised to issue sign permits as well as the Riverside office of the County of Riverside. Information and permit forms can be accessed through <a href="https://www.tlma.co.riverside.ca.us">www.tlma.co.riverside.ca.us</a>, or by calling 760-863-8377.
- k. In some cases, exterior weatherproof raceways are required to cover any exposed electrical components above rooflines and roof membrane penetrations must be sealed. Penetration/raceway sealing must be coordinated with Landlord's roofing contractor to preserve roof warranty. Check with mall management for contact info.

#### Sign Type C: PERIMETER SIGN TYPE

- a. Perimeter signs to be installed during non-business hours.
- b. All Tenant's perimeter identification signage shall be of the following type: Type A (Combination cabinet with face/halo lit Logos / Logos with text) or B (Halo lit channel pin mounted letters).
  - (1) Type: Individual letters shall be 2-1/2" to 4" reverse channel halo lit aluminum letters, pin mounted to wall with blind anchor attachments and a 1-1/2" stand-off.
  - (2) Color: Letters shall be clear coated natural metal or Tenant's corporate color with Landlord approval.
  - (3) Lighting: Individual pinned-off, reverse channel letters shall be back lit with SloanLED (or equal) cool white V-series LED modules for halo lighting with 2-1/2" min. to 4" max. returns.. The sign's electrical components: wiring, transformer, etc. should be fully waterproof even when mounted on the interior side of the wall. 120 volt perimeter sign circuits
  - (4) Size: Sign shall have a maximum letter height of 30" for single line copy and 36" for double line copy but cannot exceed the square footage allowable by the County of Riverside Sign Ordinance in overall size. Logos and/or Logos with text may be 30" to 72" depending on location, architectural conditions and Landlord approval.
  - (5) Sign area for individual signs per the County of Riverside Sign Ordinance and 2013 variance.
  - (6) Location: Tenant signs to be centered vertically within the sign area and installed per Landlords discretion.
  - (7) Length: The length of an exterior Tenant sign shall be dictated by the signage area as defined in the County of Riverside Sign Ordinance, and 2013 variance to the Master Sign Plan for Dessert Hills.
  - (8) Electrical power, conduit and junction box to each signage area is solely Tenant's responsibility. Tenant to extend power to sign where required.
  - (9) All sign mounts to be attached by pin-mounting. Mounts consist of /16" to 14" "all-thread" or galvanized heavy duty deck screws with 3/8" I.D. to ½" I.D. aluminum or PVC spacer sleeve for rigidity. No "L" clips will be allowed. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and patched to match adjacent finish. Spacers must be painted to match building color. Contact Desert Hills Premium Outlets' Center Management office for building paint colors and manufacturer.

Sign contractor shall provide Landlord with Certificate of Insurance as previously outlined in this criteria, showing evidence of worker's compensation and public liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs.

All other information previously included herein for storefront signs may also apply to perimeter signs.

General Signage Criteria Page 28

#### SPECIFIC SIGNAGE CRITERIA

#### 1. Service/Delivery Signage

The Landlord shall furnish and install suite number to be located on the rear door of tenants suite. The sign shall be positioned on the door at a typical location in a material, size and color determined by Landlord.

#### 2. Temporary Signage

- a. Temporary Promotional Signage on Exterior of Store.
  - i. No temporary promotional exterior store identification signage is allowed.
  - ii. Exterior banners for promotional purposes are prohibited inside the store.
  - iii. "A-frame" poster holder or other types of freestanding signs may not be outside of the Lease Line at any time. The Lease Line is defined as the boundary between storefront glazing and entrance doors and common areas.
  - iv. No merchandise shall be placed outside of Lease Line.

#### Temporary Promotional Signage Inside Store Only.

- i. All temporary signage must be submitted to the General Manager for review and approval of Promotional Sign Variance.
- ii. Each variance shall be limited to two (2) weeks, and upon expiration may be renewed once with proof of supporting advertising (4-week maximum).
- iii. The total area of promotional signage is limited to one (1) square foot per lineal foot of store frontage.
- iv. All temporary promotional signage must be professionally produced. Handmade or personal computer graphic signs are prohibited.
- v. Promotional signs affixed in any manner to storefront windows or entry doors are prohibited. Such signs intended to be visible through storefront windows may be temporarily suspended with aircraft cable or monofilament no closer than twelve (12") inches from the inside of window. The Landlord reserves the right to remove any promotional material that is visible through the storefront windows which is deemed to be inconsistent with the quality level of the Center.
- vi. Fabric of lightweight posters must be weighted. Curled sign materials are not permitted.
- vii. All interior banners shall be considered "Temporary Promotional Signage" and as such, be subject to all rules governing same. The area of interior banners may not exceed one (1) square foot per lineal foot of storefront. In no case may an interior banner be hung closer to the storefront than half the distance from the furthest back wall of the store, and may not be suspended with the lower edge less than eight (8') feet above the floor.

Specific Signage Criteria Page 29

#### 3. Prohibited Signs

a. Signs constituting a traffic hazard.

No persons shall install or cause to be installed or maintain any sign which simulates or imitates in size, color, lettering, or design, any traffic sign or signal, or which makes use of the words "Stop", "Look", "Danger" or any other words, phases, symbols or characters in such a manner to interfere with, mislead or confuse traffic.

b. Immoral or Unlawful Advertising

It shall be unlawful for any person to exhibit, post or display, cause to be exhibited, posted or displayed upon any sign, anything of any obscene, indecent or immoral nature or unlawful activity.

- c. No signs will be permitted in the common area in front of the store. No signs shall be installed, relocated or maintained so as to prevent free ingress to or egress from any door.
- d. Animated, Audible or Moving Signs.

Signs consisting of, or giving the effect of moving, swinging, rotating, flashing, blinking, scintillating, fluctuating or having animated light area are prohibited.

e. Off-Premise Signs.

Any sign installed for the purpose of advertising a project, event, person or subject occurring off the Center property is prohibited unless approved in writing by the General Manager.

f. Vehicle Signs.

Signs on or affixed to trucks, automobiles, trailers or other vehicles which advertise, identify or provide direction to a use or activity not related to its lawful making of deliveries of merchandise or service, are prohibited.

g. Light Bulb Strings and Exposed Tubing.

Storefront display lighting (other than temporary, decorative holiday lighting) which consist of unshielded light bulbs, open, exposed neon or gaseous light tubing are prohibited. An exception hereto may be granted by Landlord with prior written approval when the display is an integral part of the design character of the activity to which it relates.

h. Credit Card/Telecheck/Security Signage.

Vendor provided adhesive signs are prohibited on any entry doors or display windows.

- Lettering painted directly on the building facade will not be permitted except as defined in these criteria.
- j. Unprofessional hand-lettered signs are prohibited in the public view from the storefront. Absolutely no signs are permitted to be taped to the storefront on any visible surface.
- k. Inventory Liquidation Signs.

"Going Out of Business", "Bankruptcy Sale", "Closing This Store", "Lost Our Lease", etc. signs are strictly prohibited.

I. Flyers.

Distribution of flyers, for any purpose, outside of Tenant's leased premises unless specifically authorized by Landlord is prohibited.

m. Neon or Internally Illuminated Signs.

Unless specifically approved by the Landlord, neon or internally illuminated signage is prohibited inside stores.

Page: 1

PLOT PLAN:ADMINISTRATIVE Case #: PP25356 Parcel: 519-110-040

#### 10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is a master signage program for an existing outdoor outlet shopping center located on 75 gross acres (Desert Hills Premium Outlets).

10. EVERY. 2 PPA - SIGN CATEGORY

RECOMMND

This plot plan is a permit authorizing the following sign category(ies):

\_X\_ Free Standing
\_X\_ Directional
\_\_\_ For Sale, Lease or Rent
\_\_\_ Subdivision, On-Site
\_X\_ Affixed to Building
\_X\_ On-Site Identification
\_\_\_ Temporary Political
\_\_\_ Subdivision, Off-Site

10. EVERY. 3 PPA - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

- (a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,
- (b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in

# Riverside County LMS CONDITIONS OF APPROVAL

Page: 2

PLOT PLAN: ADMINISTRATIVE Case #: PP25356 Parcel: 519-110-040

#### 10. GENERAL CONDITIONS

10. EVERY. 3 PPA - HOLD HARMLESS (cont.)

RECOMMND

connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 4 PPA - CONFORM TO EXHIBIT

RECOMMND

The development of the premises shall conform substantially with that as shown on Plot Plan No. 25356 Exhibit S dated 5/8/13.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK

RECOMMND

#### PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit. The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In non- residential applications, separate building permits may include a permit for the structure (Shell building), signs, grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etcà

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s)

#### Riverside County LMS CONDITIONS OF APPROVAL

Page: 3

PLOT PLAN: ADMINISTRATIVE Case #: PP25356 Parcel: 519-110-040

#### 10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.)

RECOMMND

from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

#### PLANNING DEPARTMENT

10.PLANNING. 1 PPA - ARTICLE XIX, ORD. 348

RECOMMND

Advertising as approved shall conform with the provisions of Article XIX, Riverside County Ordinance No. 348, with special reference to Sections 19.4 through 19.8 as applied to the sign category authorized under this plot plan.

10.PLANNING. 2 PPA - BUILDING PERMIT REQUIRED RECOMMND

Prior to the installation of the advertising device or structure, a building permit shall be obtained from the Riverside County Department of Building and Safety.

10.PLANNING. 4 PPA - HOOD/DIRECT LIGHTING RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly on adjoining property or public right-of-way.

10.PLANNING. 5 PPA - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes. The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A , unless otherwise amended by these conditions of approval.

10.PLANNING. 6 PPA - COMPLY WITH ORD. 655 RECOMMND

All lighting shall comply with any applicable provisions of Riverside County Ordinance No. 655.

# Riverside County LMS CONDITIONS OF APPROVAL

Page: 4

PLOT PLAN:ADMINISTRATIVE Case #: PP25356 Parcel: 519-110-040

#### 10. GENERAL CONDITIONS

10.PLANNING. 7 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit, a) is found to be in violation of the terms and conditions

of this permit,

- b) is found to have been obtained by fraud or perjured testimony, or
- c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.
- 10.PLANNING. 8 PPA OFFSITE SIGNS PROHIBITED

RECOMMND

Any off-site signs associated with this project is prohibited.

10.PLANNING. 9 PPA - SIGN PERMITS CONSISTENCY

RECOMMND

All new sign permits must be consistent with this approved Riverside County sign program and technical standards set forth by the outlet's design management team, or approved by the Riverside County Plannig Department.

10.PLANNING. 10 PPA - MOBILE UNFIXED SIGNS

RECOMMND

All unfixed mobile signs located within the shopping center shall advertize operational information concerning the shopping center only. Any other form of advertising on these signs is prohibited.

#### 20. PRIOR TO A CERTAIN DATE

#### PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE

RECOMMND

This approval shall be used within two (2) years from the date of approval on October 21, 2013; otherwise, the plot plan shall be null and void. Notwithstanding the foregoing, the applicant or a successor-in-interest may, prior to its expiration, request an extension of time in which to use the plot plan.

If an extension is granted, the total time allowed for use of the plot plan shall not exceed a period of five years, calculated from the date of approval. The term "use" shall mean the beginning of substantial construction of the use that is authorized, which construction must thereafter be

#### Riverside County LMS CONDITIONS OF APPROVAL

Page: 5

PLOT PLAN: ADMINISTRATIVE Case #: PP25356 Parcel: 519-110-040

#### 20. PRIOR TO A CERTAIN DATE

20.PLANNING. 1 PPA - EXPIRATION DATE (cont.)

RECOMMND

pursued diligently to completion, or the actual occupancy of existing buildings or land under the terms of the authorized use.

#### Riverside County LMS CONDITIONS OF APPROVAL

Page: 1

PLOT PLAN: ADMINISTRATIVE Case #: PP25357 Parcel: 519-110-041

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is a master signage program for an existing outdoor outlet shopping center located on 75 groos acres (Desert Hills Premium Outlets).

10. EVERY. 2

PPA - SIGN CATEGORY

RECOMMND

This plot plan is a permit authorizing the following sign category (ies):

X Free Standing		X	Affixed	to B	uilding
X Directional		X	On-Site	Iden	tification
$^-$ For Sale, L	ease or Rent		Tempora	cy Pol	litical
Subdivision	, On-Site		Subdivis	sion,	Off-Site

10. EVERY. 3 PPA - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

- (a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,
- (b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in

# Riverside County LMS CONDITIONS OF APPROVAL

Page: 2

PLOT PLAN: ADMINISTRATIVE Case #: PP25357 Parcel: 519-110-041

#### 10. GENERAL CONDITIONS

10. EVERY. 3 PPA - HOLD HARMLESS (cont.)

RECOMMND

connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 4 PPA - CONFORM TO EXHIBIT

RECOMMND

The development of the premises shall conform substantially with that as shown on Plot Plan No. 25357, Exhibit S dated 5/8/13 and Exhibit SP 9/10/13.

#### BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILDING & SAFETY PLNCK

RECOMMND

#### PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit. The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In non- residential applications, separate building permits may include a permit for the structure (Shell building), signs, grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etc

#### Riverside County LMS CONDITIONS OF APPROVAL

Page: 3

PLOT PLAN: ADMINISTRATIVE Case #: PP25357 Parcel: 519-110-041

#### 10. GENERAL CONDITIONS

#### PLANNING DEPARTMENT

10.PLANNING. 1 PPA - ARTICLE XIX, ORD. 348

RECOMMND

Advertising as approved shall conform with the provisions of Article XIX, Riverside County Ordinance No. 348, with special reference to Sections 19.4 through 19.8 as applied to the sign category authorized under this plot plan.

10.PLANNING. 2 PPA - BUILDING PERMIT REQUIRED

RECOMMND

Prior to the installation of the advertising device or structure, a building permit shall be obtained from the Riverside County Department of Building and Safety.

10.PLANNING. 4 PPA - HOOD/DIRECT LIGHTING RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly on adjoining property or public right-of-way.

10.PLANNING. 5 PPA - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes. The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A , unless otherwise amended by these conditions of approval.

10 PLANNING 6 PPA - COMPLY WITH ORD. 655 RECOMMND

All lighting shall comply with any applicable provisions of Riverside County Ordinance No. 655.

10.PLANNING. 7 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,

- a) is found to be in violation of the terms and conditions of this permit,
- b) is found to have been obtained by fraud or perjured testimony, or
- c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

# Riverside County LMS CONDITIONS OF APPROVAL

Page: 4

PLOT PLAN:ADMINISTRATIVE Case #: PP25357 Parcel: 519-110-041

10. GENERAL CONDITIONS

10.PLANNING. 8 PPA - OFFSITE SIGNS PROHIBITED

RECOMMND

Any off-site signs associated with this project is prohibited.

10.PLANNING. 9 PPA - SIGN PERMITS CONSISTENCY

RECOMMND

All new sign permits must be consistent with this approved Riverside County sign program and technical standards set forth by the outlet's design management team, or approved by the Riverside County Planning Department.

10.PLANNING. 10 PPA - MOBILE UNFIXED SIGNS

RECOMMND

All unfixed mobile signs located within the shopping center shall advertize operational information concerning the shopping center only. Any other form of advertising on these signs is prohibited.

TRANS DEPARTMENT

10.TRANS. 1 USE - SIGN STRUCTURES

RECOMMND

The footings and the sign structures shall be placed outside of County road right-of-way and restricted use area for sight distance.

#### 20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 PPA - EXPIRATION DATE

RECOMMND

This approval shall be used within two (2) years from the date of approval on October 21, 2013; otherwise, the plot plan shall be null and void. Notwithstanding the foregoing, the applicant or a successor-in-interest may, prior to its expiration, request an extension of time in which to use the plot plan.

If an extension is granted, the total time allowed for use of the plot plan shall not exceed a period of five years, calculated from the date of approval. The term "use" shall mean the beginning of substantial construction of the use that is authorized, which construction must thereafter be pursued diligently to completion, or the actual occupancy of existing buildings or land under the terms of the authorized use.

#### Riverside County LMS CONDITIONS OF APPROVAL

Page: 5

PLOT PLAN: ADMINISTRATIVE Case #: PP25357 Parcel: 519-110-041

80. PRIOR TO BLDG PRMT ISSUANCE

TRANS DEPARTMENT

80.TRANS. 1

USE - SIGN STRUCTURES

RECOMMND

The footings and the sign structures shall be placed outside of County road right-of-way and restricted use area for sight distance.

90. PRIOR TO BLDG FINAL INSPECTION

TRANS DEPARTMENT

90.TRANS. 1

USE - SIGN STRUCTURES

RECOMMND

The footings and the sign structures shall be placed outside of County road right-of-way and restricted use area for sight distance.

Page: 1

VARIANCE Case #: VAR01888

Parcel: 519-110-040

#### 10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 VAR - PROJECT DESCRIPTION

RECOMMND

The variance proposes to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

10. EVERY. 2 VAR - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

- (a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the VARIANCE; and,
- (b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the VARIANCE, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 VAR - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the

Page: 2

VARIANCE Case #: VAR01888

Parcel: 519-110-040

#### 10. GENERAL CONDITIONS

10. EVERY. 3 VAR - 90 DAYS TO PROTEST (cont.)

RECOMMND

procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this application.

#### PLANNING DEPARTMENT

10.PLANNING. 1 VAR - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 2 VAR - FEES FOR REVIEW

RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

#### 10.PLANNING. 3 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit, a) is found to be in violation of the terms and conditions of this permit,

- b) is found to have been obtained by fraud or perjured testimony, or
- c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

# Riverside County LMS CONDITIONS OF APPROVAL

Page: 3

VARIANCE Case #: VAR01888 Parcel: 519-110-040

#### 20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20. PLANNING. 1 VAR - EXPIRATION DATE FOR USE

RECOMMND

This approval shall be used within one (1) year of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within the one (1) year period, which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the one year period, the permittee may request a one (1) year extension of time request in which to use this variance. A maximum of two (2) one-year extension of time requests may be permitted. Should the time period established by any of the extension of time requests lapse, or should both the one-year extensions be obtained and no substantial construction or use of this variance be initiated within three (3) years of the effective date of the issuance of this variance, this variance shall become null and void.

Page: 1

VARIANCE Case #: VAR01889

Parcel: 519-110-041

#### 10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 VAR - PROJECT DESCRIPTION

RECOMMND

The variance proposes to exceed the maximum sign surface area from 5% to 10% for wall tenant signs affixed to the rear of buildings.

10. EVERY. 2 VAR - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

- (a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the VARIANCE; and,
- (b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the VARIANCE, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 VAR - 90 DAYS TO PROTEST

RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the

09/26/13 12:40

# Riverside County LMS CONDITIONS OF APPROVAL

Page: 2

VARIANCE Case #: VAR01889

Parcel: 519-110-041

#### 10. GENERAL CONDITIONS

10. EVERY. 3 VAR - 90 DAYS TO PROTEST (cont.)

RECOMMND

procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this application.

#### PLANNING DEPARTMENT

10.PLANNING. 1 VAR - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

#### 10.PLANNING. 2 VAR - FEES FOR REVIEW

RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

#### 10.PLANNING. 3 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit, a) is found to be in violation of the terms and conditions of this permit,

b) is found to have been obtained by fraud or perjured testimony, or

c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

# Riverside County LMS CONDITIONS OF APPROVAL

Page: 3

VARIANCE Case #: VAR01889

Parcel: 519-110-041

#### 20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 VAR - EXPIRATION DATE FOR USE

RECOMMND

This approval shall be used within one (1) year of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within the one (1) year period, which is thereafter diligently pursued to completion or to the actual occupancy of existing buildings or land under the terms of the authorized use. Prior to the expiration of the one year period, the permittee may request a one (1) year extension of time request in which to use this variance. A maximum of two (2) one-year extension of time requests may be permitted. Should the time period established by any of the extension of time requests lapse, or should both the one-year extensions be obtained and no substantial construction or use of this variance be initiated within three (3) years of the effective date of the issuance of this variance, this variance shall become null and void.



Director

# RIVERSIDE COUNTY PLANNING DEPARTMENT

## **APPLICATION FOR MINOR PLOT PLAN**

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED
CASE NUMBER: PP25356 DATE SUBMITTED: 5813
APPLICATION INFORMATION
Applicant's Name: CPG PORTHES L.C HOLDING E-Mail: DDEVITA @ SINDU. CAVI
Mailing Address: 105 EISEN HOWER PKWY
ROSELLAND NJ 07068
Daytime Phone No: (973) 463 - 6815 Fax No: (973) 364 → 2503
Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARRELC ARCHITECTSO
Mailing Address: 144 N OBLANGE ST-
ORLNGE CA 92866 City State ZIP
Daytime Phone No: (714) 639-9860 Fax No: (714) 639-
Property Owner's Name: CPG RACT NERS LC E-Mail: D
Mailing Address: 105 EISENHOWER PKW Y
POSELAND NStreet 07063
Daytime Phone No: (973) 403-6816 Fax No: (973) 364-2503
If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.
The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office · 4080 Lemon Street, 12th Floor P.O. Box 1409, Riverside, California 92502-1409 (951) 955-3200 · Fax (951) 955-1811 Desert Office · 38686 El Cerrito Road Palm Desert, California 92211 (760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

#### AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied

ullimately defiled,
All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT
AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:
I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. (Authorized agent must submit a letter from the owner(s) indicating authority to sign in the owner's behalf.
All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).  DESERT HILLS PREMIUM OUTLETS
SIGNATURE OF PROPERTY OWNER(s):  EXPANSION, LLC By: SPG DEVELOPMENT COMPANY
Danielle DeVita - Authorized Signatory  PRINTED NAME OF PROPERTY OWNER(S)  By: SPG DEVELOPMENT COMPANY LIMITED PARTNERSHIP, its Agent By: SPG ACQUISITIONS INC. its general partner  SIGNATURE OF PROPERTY OWNER(S)
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)
If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.
PROJECT INFORMATION
Proposal (describe the project and reference the applicable Ord. No. 348 section):
MASTER SUCH PROBRAM FOR DESERT HILLS PREMIUM
OUTLETS - WEST
Related cases or underlying case: PP 11972
PROPERTY INFORMATION
Assessor's Parcel Number(s):
Form 395-1022 (12/12/12)



#### Carolyn Syms Luna Director

# PLANNING DEPARTMENT

### APPLICATION FOR MINOR PLOT PLAN

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED
CASE NUMBER: PP25357 DATE SUBMITTED: 5/8/13
APPLICATION INFORMATION
Applicant's Name: CFG PORTNESS L.C HOLDINGS E-Mail: DDEVITA @ SINDN. CAN
Mailing Address: 105 EISEN HOWER PKWY
ROSELAND NJ 07068  City State ZIP
Daytime Phone No: (273) 403 - 6810 Fax No: (973) 364 - 2503
Engineer/Representative's Name: ARCHITECTS ORISHBE E-Mail: DARRELC ARCHITECTSORSHB
Mailing Address: 144 N OR wild E 5T-  OR WILD E CIV State ZIP
Daytime Phone No: (714) 639-9860 Fax No: (714) 639-
Property Owner's Name: CPG RACT NERS LC E-Mail: D
Mailing Address: 105 EISENHOWER PKWY
POSELOND NStreet 07.063
Daytime Phone No: (973) 403-6815 Fax No: (973) 364-2503
If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.
The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

Riverside Office · 4080 Lemon Street, 12th Floor P.O. Box 1409, Riverside, California 92502-1409 (951) 955-3200 · Fax (951) 955-1811 Desert Office · 38686 Ei Cerrito Road Palm Desert, California 92211 (760) 863-8277 · Fax (760) 863-7555

"Planning Our Future... Preserving Our Past"

SPG

#### APPLICATION FOR MINOR PLOT PLAN

#### AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application

review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.
All signatures must be originals ["wet-signed"]. Photocoples of signatures are unacceptable).
SAVE AS OWNER PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT
AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:
I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. (Authorized agent must submit a letter from the owner(s) indicating authority to sign in the owner's behalf.
All signatures must be originals ["wet-signed"]. Photocopies of signatures are unacceptable).  DESERT HILLS PREMIUM OUTLETS
SIGNATURE OF PROPERTY CAMPERIAN
Danielle DeVita - Authorized Signatory  PRINTED NAME OF PROPERTY OWNER(S)  By: SPG DEVELOPMENT COMPANY  LIMITED PARTNERSHIP, its Agent By: SPC  ACQUISITIONS, INC. its general partner  SIGNATURE OF PROPERTY OWNER(S)
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)
If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.
PROJECT INFORMATION
Proposal (describe the project and reference the applicable Ord. No. 348 section):
MASTER SIGNAGE PROGRAM FOR DESERT HILLS PREMIUM
OUTLETS - EAST
Related cases or underlying case: PP 23635
PROPERTY INFORMATION
Assessor's Parcel Number(s): 519 - 110 - 041

Form 295-1022 (12/12/12)



Director

# RIVERSIDE COUNTY PLANNING DEPARTMENT

## APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:
☐ PLOT PLAN ☐ CONDITIONAL USE PERMIT ☐ TEMPORARY USE PERMIT ☐ REVISED PERMIT ☐ PUBLIC USE PERMIT ☐ VARIANCE
PROPOSED LAND USE: CUERENTAPPROVED USE: RETAIL SHOPPING CENTER_
ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE:
ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW, INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.
CASE NUMBER: VAROL888 DATE SUBMITTED: 5 3 13
APPLICATION INFORMATION
Applicant's Name: CPG PARTHERS LC E-Mail: DDEVITAC SIMBN. COM
Mailing Address: 105 EISENHOWER ST Street  POSELUMO NJ 07068 City State ZIP
Daytime Phone No: (973) 403-68/D Fax No: (973) 364-2503
Engineer/Representative's Name: <u>ARCHITECTS ORANICE</u> E-Mail: <u>DARREL C</u> ARCHITECTSORANICE . CON
Mailing Address: 144 N ORCHOF Street
ORSIVE CA 92866 City State ZIP
Daytime Phone No: (714) 639-9960 Fax No: (714) 5286
Property Owner's Name: <u>LPG HOLDINGS LC</u> E-Mail: <u>DDEVITA @ SIMBLICOVI</u>
Mailing Address: 105 E) SENHOW EV2 ST.
POSELAND NJ 67068  City State ZIP
Daytime Phone No: <u>(973)</u> <u>403-66/0</u> Fax No: <u>(973)</u> <u>364-2503</u>

Riverside Office · 4080 Lemon Street, 12th Floor P.O. Box 1409, Riverside, California 92502-1409 (951) 955-3200 · Fax (951) 955-1811 Desert Office · 38686 El Cerrito Road Palm Desert, California 92211 (760) 863-8277 · Fax (760) 863-7555

## APPLICATION FOR LAND USE PROJECT

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

## AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

ultimately denied.	and application to
All signatures must be originals ("wet-signed"). Photocopies of signatures are not acc	eptable.
Danielle DeVita - Authorized Signatory	DESERT HILLS PREMIUM OUTLETS EXPANSION, LLC
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT	By: SPG DEVELOPMENT COMPANY LIMITED PARTNERSHIP, its Agent By: SPG
AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:	ACQUISITIONS, INC., its general partner
I certify that I am/we are the record owner(s) or authorized agent and that the informat correct to the best of my knowledge. An authorized agent must submit a letter indicating authority to sign the application on the owner's behalf.	ion filed is true and from the owner(s)
All signatures must be originals ("wet-signed"). Photocopies of signatures are not acc	eptable DESERT HILLS PREMIUM OUTLETS
Danielle DeVita - Authorized Signatory	EXPANSION, LLC By: SPG
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY (	ACQUISITIONS, INC., its general partner
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY (	DWNER(S)
If the property is owned by more than one person, attach a separate sheet the application case number and lists the printed names and signatures of all persons have property.	nat references the aving an interest in
See attached sheet(s) for other property owners' signatures.	
PROPERTY INFORMATION:	
Assessor's Parcel Number(s):519_ 110 - 040	
Section: 7 Township: 35 Range: 28	<u> </u>
	<b>1</b>

	s Acreage:	
General location (r	nearby or cross streets): North	of SEMINDLE DR , South of
Na	, East of NoeoN	60 TEIBE, West of MILLARD PASS.
	map, edition year, page numbe	1
	n: (describe the proposed projec	•
BEING REQUES	TED IS FOR AN INCRE	ET HILLS PREMIUM OUTLETS. VARIANCE LASE IN THE REAR SIGNAGE ALOUANCE PLACE OF THE BUILDINGS ALONG SEMINE PLUM DINGS.
=	d in conjunction with this applica	
THIS IS FOR	THE WEST SIDE OF	THE RETURN CONTER THE EAST
-	s application filed on the same see No(s). <u>PP 11972</u>	site: Yes 🗹 No 🗌 (Parcel Map, Zone Change, etc.)
E.A. No. (if known	)	E.I.R. No. (if applicable):
Have any special geological or geote	studies or reports, such as a echnical reports, been prepared	a traffic study, biological report, archaeological report, d for the subject property? Yes  No  No
If yes, indicate the	type of report(s) and provide a	а сору:
Is water service a	vailable at the project site: Yes	⊠ No □
If "No," how far mu	ust the water line(s) be extende	ed to provide service? (No. of feet/miles)
Will the project excommon area imp	ventually require landscaping e provements? Yes 🔲 No 🗌	either on-site or as part of a road improvement or other
Is sewer service a	available at the site? Yes 💆	No 🗌
If "No," how far m	ust the sewer line(s) be extend	ed to provide service? (No. of feet/miles)
Will the project re	sult in cut or fill slopes steeper	than 2:1 or higher than 10 feet? Yes \( \Boxed{\text{No}} \Boxed{\text{No}} \Boxed{\text{No}}
How much gradin	g is proposed for the project sit	te?
Estimated amoun	t of cut = cubic yards:	



## RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna Director

## **APPLICATION FOR LAND USE PROJECT**

CHECK ONE AS APPROPRIATE:
<ul> <li>□ PLOT PLAN</li> <li>□ CONDITIONAL USE PERMIT</li> <li>□ REVISED PERMIT</li> <li>□ PUBLIC USE PERMIT</li> <li>□ VARIANCE</li> </ul>
PROPOSED LAND USE: CURPENT APPROVED USE: RETAIL SHOPPING CENTER. VARIANCE BENG APPRIED FOR 15 SIGNAGE
ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE:
ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.
CASE NUMBER: UARO 1889 DATE SUBMITTED: \$ 8 2013
APPLICATION INFORMATION
Applicant's Name: CPG PARTHERS LC E-Mail: DDEVITAC. SIMBA. COM
Mailing Address: 105 EISENHOWER ST Street
POSELAND NJ 07068
Daytime Phone No: (973) 403-68/D Fax No: (973) 364-2503
Engineer/Representative's Name: ARCHITECTS ORANGE E-Mail: DARREL C
Mailing Address: 144 N ORDAGE ST
ORSIVE OR 92866
ORSINGE CA 92866 City State ZIP
Daytime Phone No: (714) 639-9960 Fax No: (714) 5286
Property Owner's Name: <u>CPG HOLDINGS LC</u> E-Mail: <u>ODEVITAC SIMBLICON</u>
Mailing Address: 105 E) SENHOW EX Street
POSE HALD NJ 07068
City State ZIP
Daytime Phone No: (973) 403-6610 Fax No: (973) 364-2503
Riverside Office · 4080 Lemon Street, 12th Floor Desert Office · 38686 El Cerrito Road P.O. Box 1409 Riverside California 92502-1409 Palm Desert, California 92211

(951) 955-3200 · Fax (951) 955-1811

(760) 863-8277 · Fax (760) 863-7555

## APPLICATION FOR LAND USE PROJECT

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

#### AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

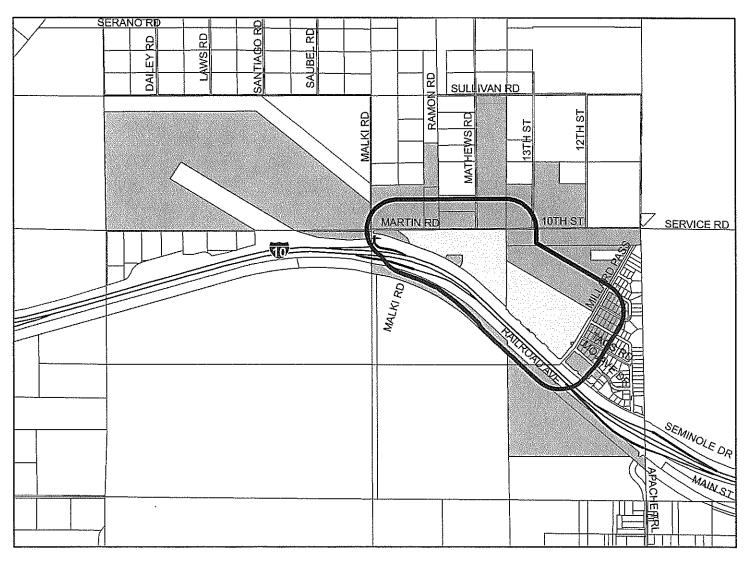
ditinately deflied.
All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.
Danielle DeVita - Authorized Signatory  DESERT HILLS PREMIUM OUTLETS  EXPANSION, LLC  EXPANSION, LLC
PRINTED NAME OF APPLICANT  SIGNATURE OF APPLICANT By: SPG DEVELOPMENT COMPANY LIMITED PARTNERSHIP, its Agent By: SPG
AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:  ACQUISITIONS, INC., its general partner
I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.
All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.
Danielle DeVita - Authorized Signatory  Devel OPMENT COMPANY LIMITED
PRINTED NAME OF PROPERTY OWNER(S)  SIGNATURE OF PROPERTY OWNERSHIP, its Agent By: SPG ACQUISITIONS, INC., its general partner
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)
if the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.
See attached sheet(s) for other property owners' signatures.
PROPERTY INFORMATION:
Assessor's Parcel Number(s):
Section: 7 Township: 35 Range: 2E

APPLICATION FOR LAND USE PROJECT
Approximate Gross Acreage: 39.38 AC
General location (nearby or cross streets): North of SEMINDLE DR., South of
Na , East of Mocol 60 TeiBE, West of MILLARD PAGE.
Thomas Brothers map, edition year, page number, and coordinates:
Project Description: (describe the proposed project in detail)
MASTER SIGN PROGRAM FOR DESERT HILLS PREMIUM OUTLETS. VARIANCE
BEING REQUESTED IS FOR AN INCREASE IN THE REAR SIGNAGE ALLOWANCE
FROM 5% TO 10% DUE TO THE MAIN FACE OF THE BUILDINGS ALONG SEMIND DR. ARE THE BACK/REAR OF THE BUILDINGS.
Related cases filed in conjunction with this application:
THIS IS FOR THE EAST SIDE OF THE RETAIN CENTER THE WEST
SIDE IS ON ANOTHER EXPLIGATION.
Is there a previous application filed on the same site: Yes 🔯 No 🗍
If yes, provide Case No(s). PP 23635 (Parcel Map, Zone Change, etc.)
E.A. No. (if known) E.I.R. No. (if applicable):
Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes $\square$ No $\square$ No
If yes, indicate the type of report(s) and provide a copy:
Is water service available at the project site: Yes ⊠ No □
If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles)
Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes ☐ No ☐ 从∡
Is sewer service available at the site? Yes ☒ No ☐
If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles)
Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes ☐ No ☐ ✗՛ㅆ
How much grading is proposed for the project site?
Estimated amount of cut = cubic yards:

## PROPERTY OWNERS CERTIFICATION FORM

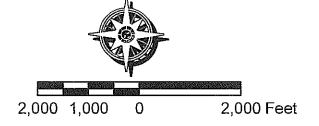
I, <u>Stella Spadafora</u> certify that on <u>September 9, 2013</u> ,
The attached property owners list was prepared by Riverside County GIS,
For APN (s) or case numbers PP25356 and PP25357
Company or Individual's Name
Distance buffered 600 Feet
Pursuant to application requirements furnished by the Riverside County Planning Department.
Said list is a complete and true compilation of the owners of the subject property and all other
property owners within 600 feet of the property involved, or if that area yields less than 25
different owners, all property owners within a notification area expanded to yield a minimum of
25 different owners, to a maximum notification area of 2,400 feet from the project boundaries,
based upon the latest equalized assessment rolls. If the project is a subdivision with identified
off-site access/improvements, said list includes a complete and true compilation of the names and
mailing addresses of the owners of all property that is adjacent to the proposed off-site
improvement/alignment.
I further certify that the information filed is true and correct to the best of my knowledge. I
understand that incorrect or incomplete information may be grounds for rejection or denial of the
application.
TITLE GIS Analyst Signature: Tills Jalyson
ADDRESS: 4080 Lemon Street, 10th Floor
Riverside, CA 92502
TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-3288

## <u>PP25356, PP25357</u> (600 Feet Radius)



## **Selected Parcels**

519-132-010	519-132-006	519-131-016	519-132-008	519-122-008	519-141-034	519-110-042	519-110-043	519-131-015	519-142-011
519-122-001	519-122-002	519-122-003	519-122-004	519-122-005	519-122-006	519-131-003	519-110-038	519-110-040	519-110-041
519-110-039	519-122-009	519-122-007	519-122-011	519-132-016	519-131-011	519-131-005	519-122-010	519-132-015	519-142-005
519-142-010	519-142-003	519-132-019	519-132-012	519-132-018	519-132-017	519-131-013	519-142-007	519-110-035	519-142-008
519-131-006	519-131-004	519-142-009	519-132-013	519-110-011	519-170-007	519-132-007	519-132-009	519-132-011	519-132-014
519-131-010	519-122-012	519-122-013	519-131-014	519-131-012	519-142-013	519-131-009	519-142-004	519-110-016	519-110-017
519-170-009	519-110-018	519-142-012	519-142-006	519-131-007	519-060-017	519-070-008	519-070-015	519-070-013	519-060-016
519-090-006	519-090-010	532-090-014	532-080-004	519-121-014	519-121-015	519-131-008			



ASMT: 519060017, APN: 519060017

**USA 519** 

US DEPT OF INTERIOR WASHINGTON DC 21401 ASMT: 519110043, APN: 519110043

**CABAZON WATER DIST** 

P O BOX 297

CABAZON CA 92230

ASMT: 519070013, APN: 519070013

GERALDINE IBANEZ, ETAL

BUREAU OF INDIAN AFFAIRS US DEPT INTERIC

P O BOX 2245

PALM SPRINGS CA 92262

ASMT: 519121015, APN: 519121015

ZACHARY GARCIA 67632 S NATOMA

CATHEDRAL CY CA 92234

ASMT: 519110016, APN: 519110016 SOUTHERN CALIFORNIA GAS CO

C/O TAX DEPT

101 ASH ST NO HW07 SAN DIEGO CA 92101 ASMT: 519122007, APN: 519122007

DAVID ROMBERG

PMB 372

35555 SPUR HWY

SOLDOTNA AR 99669

ASMT: 519110035, APN: 519110035

SYSTEM CAPITAL REAL PROP CORP, ETAL

ONE MCDONALDS PLAZA OAK BROOK IL 60523

ASMT: 519122008, APN: 519122008

**BRANDON MITLO** 48922 MAUMEE LN CABAZON, CA. 92230

ASMT: 519110039, APN: 519110039

CHEVRON USA INC C/O PROP TAX DEPT

P O BOX 1392

BAKERSFIELD CA 93302

ASMT: 519122009, APN: 519122009

BRIAN LEE, ETAL **5233 MARYLAND AVE** 

LA CRESCENTA CA 92230

ASMT: 519110040, APN: 519110040 CHELSEA GCA REALTY PARTNERSHIP

3001 S CRODDY WAY

SANTA ANA CA 92704

KYUNGHI NICOLLE, ETAL

26231 FIR AVE

MORENO VALLEY CA 92555

ASMT: 519122010, APN: 519122010

ASMT: 519110041, APN: 519110041 CHELSEA GCA REALTY PARTNERSHIP

C/O CHRISTY LESNY

P O BOX 6120

INDIANAPOLIS IN 46206

ASMT: 519122011, APN: 519122011

DONA AUKERMAN

417 N 3RD ST

BANNING CA 92220

ASMT: 519122012, APN: 519122012 ROBERTO HERNANDEZ 11 W REDLANDS BLV STE C REDLANDS CA 92373 ASMT: 519131008, APN: 519131008 ZAIDA DIAZ P O BOX 799 CABAZON CA 92230

ASMT: 519122013, APN: 519122013 ROBERTO HUITRON 22418 FARRAGUT AVE MORENO VALLEY CA 92553 ASMT: 519131009, APN: 519131009 SHARON MILLAGE 48857 MAUMEE LN CABAZON CA 92230

ASMT: 519131003, APN: 519131003 CHARTER MANAGEMENT SYSTEMS INC P O BOX 697 BANNING CA 92220 ASMT: 519131010, APN: 519131010 ROBERT STMARIE P O BOX 559 CABAZON CA 92230

ASMT: 519131004, APN: 519131004 ORLANDO SAMEQ, ETAL 48917 MAUMEE LN CABAZON, CA. 92230 ASMT: 519131011, APN: 519131011 HECTOR CARDONA 13353 APACHE TR CABAZON, CA. 92230

ASMT: 519131005, APN: 519131005 JAMES DOOLEN 48905 MAUMEE LN CABAZON, CA. 92230 ASMT: 519131012, APN: 519131012 SILVIA RODRIGUEZ, ETAL 13361 APACHE TR CABAZON, CA. 92230

ASMT: 519131006, APN: 519131006 MONA RODRIGUEZ 48893 MAUMEE LN CABAZON, CA. 92230 ASMT: 519131013, APN: 519131013 MARK MRAZ P O BOX 1514 RANCHO MIRAGE CA 92270

ASMT: 519131007, APN: 519131007 TONI PETERS MORENO 48881 MAUMEE LN CABAZON, CA. 92230 ASMT: 519131014, APN: 519131014 JUNE BULLOCK, ETAL 3800 W WILSON ST SP 149 BANNING CA 92220 ASMT: 519131015, APN: 519131015

ROSA FONSECA, ETAL 13385 APACHE TR CABAZON, CA. 92230 ASMT: 519132013, APN: 519132013

DIANE NORMAN, ETAL 13344 APACHE TR CABAZON CA 92230

ASMT: 519131016, APN: 519131016

ROSARIO FONSECA, ETAL 13393 APACHE TR

13393 APACHE TR CABAZON, CA. 92230 ASMT: 519132014, APN: 519132014

RICHARD ESPINOZA 13350 APACHE TR CABAZON, CA. 92230

ASMT: 519132006, APN: 519132006

ANITA BEARBOWER P O BOX 224

CABAZON CA 92230

ASMT: 519132015, APN: 519132015

JESSE SLUDER 351 SOUTH K ST OXNARD CA 93030

ASMT: 519132007, APN: 519132007

BETTY LOVE, ETAL 951 S 12TH ST

BANNING CA 92230

ASMT: 519132016, APN: 519132016

**DONNA THOMAS** 

22530 COUNTRY CREST DR MORENO VALLEY CA 92557

ASMT: 519132008, APN: 519132008

TIAN HE, ETAL 48852 TAOS RD CABAZON, CA. 92230 ASMT: 519132017, APN: 519132017

LUIS QUIROZ 13374 APACHE TR CABAZON CA 92230

ASMT: 519132010, APN: 519132010

LASHUNDA SMITH, ETAL

48828 TAOS RD CABAZON, CA. 92230 ASMT: 519132018, APN: 519132018

LUCY SANCHEZ P O BOX 237

CABAZON CA 92230

ASMT: 519132012, APN: 519132012

LILY WATAK DAVIS 48796 TAOS RD

CABAZON, CA. 92230

ASMT: 519132019, APN: 519132019

MARLENE POWELL, ETAL 11737 MCCONNEL CT

YUCAIPA CA 92399

ASMT: 519141034, APN: 519141034

CABAZON CO STORES 1500 QUAIL ST STE 100 NEWPORT BEACH CA 92660 ASMT: 519142010, APN: 519142010 JEWEL SMITH 10891 MARIAN DR GARDEN GROVE CA 92840

ASMT: 519142003, APN: 519142003

JOYCE COSENTINO 48885 TAOS RD CABAZON CA 92230 ASMT: 519142011, APN: 519142011 CHARLES FLOOD 48812 MOJAVE DR

**CABAZON, CA. 92230** 

ASMT: 519142004, APN: 519142004

SMITH CHO! 1805 S 2ND ST # A ALHAMBRA CA 91801 ASMT: 519142012, APN: 519142012 STEVEN CRAIG 1 OCEAN CREST NEWPORT COAST CA 92657

ASMT: 519142006, APN: 519142006

THOMAS RITCHIE
32876 MARIE DR
LAKE ELSINORE CA 92530

ASMT: 519142013, APN: 519142013 SFR 2012 1 US WEST 135 N LOS RHODES AVE 6TH PASADENA CA 91101

ASMT: 519142007, APN: 519142007

MARY BEEDON
C/O AMALIA CALDERONE
16646 MONTEGO WAY
TUSTIN CA 92780

ASMT: 519170007, APN: 519170007 R R M PROP LTD P O BOX 3600 CORONA CA 92878

ASMT: 519170009, APN: 519170009

ASMT: 519142008, APN: 519142008

MICHAEL SHIRLEY P O BOX 890626 TEMECULA CA 92589 SOUTHERN PACIFIC TRANSPORTATION CO SOUTHERN PACIFIC TRANSPORTATION CO 1700 FARNAM ST 10TH FL S

OMALA NE CO100

OMAHA NE 68102

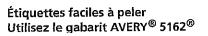
ASMT: 519142009, APN: 519142009

NORMA ALVAREZ 8758 S DENKER AVE LOS ANGELES CA 90047 ASMT: 532080004, APN: 532080004 USA MORONGO BAND CAHUILLA MISSION INC

11581 POTRERO RD BANNING CA 92223 ASMT: 532090014, APN: 532090014

USA INDIAN RES 532

UNKNOWN



Chelsea Property Group LLC Attn: Danielle Devita 105 Eisenhower Parkway Roseland NJ 07068

Architects Orange 144 N. Orange Street Orange CA 92866

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Chelsea Property Group LLC Attn: Danielle Devita 105 Eisenhower Parkway Roseland NJ 07068

Architects Orange 144 N. Orange Street Orange CA 92866



# PLANNING DEPARTMENT

Carolyn Syms Luna Director

NOTICE OF EXEMPTION					
TO: ☐ Office of Planning and Research (OPR) P.O. Box 3044 Sacramento, CA 95812-3044 County of Riverside County Clerk  FROM: Riverside County Planning Department ☐ 4080 Lemon Street, 12th Floor P. O. Box 1409 Palm Desert, CA 92201 Riverside, CA 92502-1409					
Project Title/Case No.: Plot Plan No. 25356, Plot Plan No. 25357, Variance No. 1888 and Variance No. 1889					
Project Location: In the unincorporated area of Riverside County, more specifically located northerly of Seminole Drive, easterly of Main Road, southerly of Martin Road, westerly of Millard Pass					
Project Description: To permit a uniform master signage program for an existing outdoor outlet shopping center located on 75 gross					
acres (Desert Hills Premium Outlets) and a variance to exceed the maximum sign surface area from 5% to 10% for wall tenant signs					
affixed to the rear face of buildings.					
Name of Public Agency Approving Project: Riverside County Planning Department					
Project Sponsor:					
Exempt Status: (Check one)					
Reasons why project is exempt: The proposed site is fully developed with an existing commercial shopping center with existing					
signs. The proposed project footprint is not expanding beyond what is currently existing. The proposed increase in sign area is not					
significant to create any potential impacts and is consistent with zoning ordinances through the use of variance.					
Paul Rull County Contact Person 951-955-0972 Phone Number					
Paul Rull         951-955-0972           Phone Number           Project Planner           Signature         Title         Date					
County Contact Person  Phone Number  Project Planner  Signature  Title  Date					
County Contact Person  Phone Number  Project Planner					
County Contact Person  Project Planner  Signature  Title  Date  Date					
County Contact Person  Project Planner  Signature  Title  Date  Date					
County Contact Person  Project Planner  Signature  Title  Date  Date					
County Contact Person  Project Planner  Signature  Title  Date  Date					
Project Planner Signature Title Date  Date					
Project Planner  Signature  Title  Date  Date  Date  Revised: 3/15/10: Y:\Planning Case Files-Riverside office\PP25356\DH-PC-BOS Hearings\DH-PC\PP25356 PP25357 NOE Form.docx					
Project Planner Signature Title Date  Date					
Project Planner Signature Title Date  Revised: 3/15/10: Y:\Planning Case Files-Riverside office\PP25356\DH-PC-BOS Hearings\DH-PC\PP25356 PP25357 NOE Form.docx  Phone Number  Title Date  Please charge deposit fee case#: Z ZCFG No.5996 - County Clerk Posting Fee \$50.00					
Project Planner Signature Title Date  Revised: 3/15/10: Y:\Planning Case Files-Riverside office\PP25356\DH-PC-BOS Hearings\DH-PC\PP25356 PP25357 NOE Form.docx  Phone Number  Title Date  Please charge deposit fee case#: Z ZCFG No.5996 - County Clerk Posting Fee \$50.00					
Project Planner Signature Title Date  Revised: 3/15/10: Y:\Planning Case Files-Riverside office\PP25356\DH-PC-BOS Hearings\DH-PC\PP25356 PP25357 NOE Form.docx  Phone Number  Title Date  Please charge deposit fee case#: Z ZCFG No.5996 - County Clerk Posting Fee \$50.00					
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COUNTY OF RIVERSIDE S\* REPRINTED \* R1308709 SPECIALIZED DEPARTMENT RECEIPT

Permit Assistance Center

4080 Lemon Street Second Floor

Suite A

39493 Los Alamos Road 38686 El Cerrito Rd Indio, CA 92211

Riverside, CA 92502

Murrieta, CA 92563

(760) 863-8271

(951) 955-3200

(951) 694-5242

\* \*\*\*\*\*\*\*\*\*\*\*

Received from: CHELSEA PROPERTY GROUP LLC

\$50.00

paid by: CK 1059

CFG FOR PP25356 AND PP25357

paid towards: CFG05996 CALIF FISH & GAME: DOC FEE

at parcel: 48650 SEMINOLE DR CABA

appl type: CFG3

Sep 12, 2013 14:23 posting date Sep 12, 2013 MGARDNER

\*\*\*\*\*\*\*\*\*\*\*\*\*\* \*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*\*

Account Code 658353120100208100

Description CF&G TRUST: RECORD FEES Amount \$50.00

Overpayments of less than \$5.00 will not be refunded!

Agenda Item No.: 2 · 2 -

Supervisorial District: Fourth/Fourth Project Planner: Bahelila Boothe Director's Hearing: October 21, 2013 PLOT PLAN NO: 25414

Applicant: Cindy and Drew Clark

**CEQA Exempt** 

## COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

## PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is a proposal to permit a Class I Kennel (5-10 Dogs) on 3.29 Acres.

## **ISSUES OF RELEVANCE:**

The proposal has been reviewed by Department of Animal Services. Planning staff has received three (3) letter of opposition for the proposed kennel referencing barking dogs, loose dogs on their property, and fear of being attacked by the dogs.

## **RECOMMENDATIONS:**

<u>APPROVAL</u> of PLOT PLAN NO. 25414, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

## **CONCLUSIONS:**

- 1. The proposed project is in conformance with the Riverside County General Plan.
- 2. The proposed project is consistent with Section 18.45 of Ordinance No. 348, and with all other applicable provisions of Ordinance Nos. 348 and 630.
- 3. The public's health, safety, and general welfare are protected through project design.
- 4. The proposed project is compatible with the present and future logical development of the area.
- 5. The proposed project will not have a significant effect on the environment.

**<u>FINDINGS</u>**: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

- 1. The project has a primary dwelling on the parcel where the Class I Kennel is proposed.
- 2. The project site is designated Community Development: High Density Residential and Medium Density Residential on The Western Coachella Valley Area Plan.
- 3. The proposed Class I Kennel is a permitted use in the general plan designation.
- 4. The proposed Class I Kennel is a permitted use, subject to approval of a plot plan in the Rural Residential (R-1-12,000) zone.
- 5. The proposed Class I Kennel is consistent with the development standards set forth in the R-1-12,000 zone.

PLOT PLAN NO. 25414

DH Staff Report: October 21, 2013

Page 2 of 2

- 6. The proposed Class I Kennel shall obtain and continuously maintain all necessary licenses from the Riverside County Health Department and Department of Animal Services.
- 7. All kennels are subject to the provisions of County Ordinance No. 630.
- 8. The minimum lot size for a kennel in an agricultural, residential, rural or open space zone is one acre (gross). The subject property is 3.29 acres.

Page: 1

PLOT PLAN: ADMINISTRATIVE Case #: PP25414 Parcel: 609-040-026

## 10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 PPA - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is proposal to permit a Class I Kennel (5-10) Dogs on a 3.29 acre property.

10. EVERY. 2 PPA - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

- (a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,
- (b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

## 10. EVERY. 3 PPA - CONFORM TO EXHIBIT

RECOMMND

The development of the premises shall conform substantially with that as shown on Plot Plan No. 25414, Exhibit A, dated August 28, 2013.

Page: 2

PLOT PLAN:ADMINISTRATIVE Case #: PP25414 Parcel: 609-040-026

## 10. GENERAL CONDITIONS

#### BS PLNCK DEPARTMENT

## 10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK

RECOMMND

The current approval is for a class I kennel facility for personal use only. This approval is based on the applicant stating this kennel facility is not to be used for any commercial use or will be open to the public.

Commercial use includes, but is not limited to the following types of facilities:

- 1. Boarding/drop off
- 2. Training
- 3. Rescue
- 4. Breeding

As personal use only, and no with access by the general public, this is considered a residential use and exempt from accessibility requirements.

## PLANNING DEPARTMENT

## 10.PLANNING. 1 PPA - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes. The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

## 10.PLANNING. 2 PPA - COMPLY BUILDING & SAFETY

RECOMMND

Compliance with Department of Building and Safety irectives and all required permits shall be obtained prior to establishment or continuation of the use.

## 10.PLANNING. 3 PPA - EXERCISE SPACE/SHELTER

RECOMMND

Sufficient exercise space and adequate shelter from the elements shall be provided for all animals maintained.

## 10.PLANNING. 4 PPA - FOOD/WATER

RECOMMND

Water for drinking shall be available at all times and a suitable and sufficient supply of appropriate food shall be maintained on hand and provided at appropriate intervals.

10/04/13 08:17

## Riverside County LMS CONDITIONS OF APPROVAL

Page: 3

PLOT PLAN:ADMINISTRATIVE Case #: PP25414

Parcel: 609-040-026

## 10. GENERAL CONDITIONS

10.PLANNING. 5 PPA - FOOD STORAGE/SANITATION

RECOMMND

Animal food shall be stored under sanitary conditions and food and water receptacles shall be of a material which can be easily cleaned and disinfected. Each [kennel/cattery] shall contain a water basin for cleaning of food and water receptacles.

10.PLANNING. 6 PPA - ANIMAL CONFINEMENT

RECOMMND

All dogs shall be maintained and confined in a house-type enclosure between the hours of 10:00 p.m. and 6:00 a.m., except that up to four dogs may be unconfined on the kennel premises during such hours.

10.PLANNING. 7 PPA - CARETAKER

RECOMMND

A caretaker is required to be on the kennel premises on a daily basis.

10.PLANNING. 8 PPA - KENNEL

RECOMMND

Dogs shall be not housed or maintained in any area which is less than twenty feet from any property line and no closer than five feet from any structure located on the [kennel/cattery] premises which is used for human habitation, except that where a dwelling house is located on the kennel premises any number of dogs may be taken in to said house for temporary periods. The term dwelling house shall also include a barn, garage, or similar appurtenant structure or outbuilding.

10.PLANNING. 9 USE - BUSINESS LICENSING

RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 10 USE - CAUSES FOR REVOCATION

RECOMMND

In the event the use hereby permitted under this permit, a) is found to be in violation of the terms and conditions of this permit,

b) is found to have been obtained by fraud or perjured

10/04/13 08:17

## Riverside County LMS CONDITIONS OF APPROVAL

Page: 4

PLOT PLAN: ADMINISTRATIVE Case #: PP25414

Parcel: 609-040-026

## 10. GENERAL CONDITIONS

10.PLANNING. 10 USE - CAUSES FOR REVOCATION (cont.)

RECOMMND

testimony, or

c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

#### 20. PRIOR TO A CERTAIN DATE

#### PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP

RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.



Department of Animal Services Robert Miller, Director

Operations Division Frank Corvino, Deputy Director

Bahelila Boothe, Urban Regional Planner III Riverside County, Planning Department P.O. Box 1409 Riverside, CA, 92502

September 16, 2013

RE:

Drew and Cindy Clark 78400 Hidden River Road Bermuda Dunes, CA 92203 Class I Kennel, PP25414

Ms. Boothe,

The Department of Animal Services (DAS) records show several complaints filed against this property. One complaint is regarding too many animals on the property and the other is an ongoing noise complaint regarding excessive barking. Both cases are currently open. The noisy animal complaint will most likely result in a hearing.

I feel our investigation prompted the Clark's to initiate their application for a Class I kennel but currently they are still out of compliance.

Due to the open "Noisy Animal" case currently working its way through the process, DAS cannot recommend nor deny approval of this application at this time.

Respectfully,

Rita Gatierrez

Field Services Commander

**Riverside County** 

Department of Animal Services

951-358-7365

County of Riverside

DEPARTMENT OF ANIMAL SERVICES - Administrative Offices
6851 Van Buren Boulevard, Jurupa Valley, California 92509
(951) 358-7387 
FAX (951) 358-7300 
TDD (951) 358-5124

September 13, 2013

Riverside County Planning Department P O Box 1409 Riverside, CA 92502-1409

Re: Clark property and Class 1 Kennel

This does not directly affect the church, however, we do have people that live in the area addressed in our notice. We hear the dogs are ALWAYS barking, they get loose and invade other peoples property, swim in their pools. Does the R.C.P.D. really want to turn a private property residential area with some million dollar properties and several apartment buildings into an area that no one wants to live and they can't sell their home because no one wants to buy next to a "kennel".

We have heard that people are "afraid" to complain because of fear of retaliation. How would you feel if this happened next door to you? A sad day indeed if you pass this and allow those folks to infringe on the quality of life of those in the area, especially those who have owned and or lived there for many years.

Respectfully,

Office Manager

St. John's Lutheran Church

42695 Washington St.

Palm Desert, CA 92211

Craig Bedard

From: Sent: Craig Bedard <bedard@dc.rr.com>
Tuesday, September 10, 2013 3:35 PM

To: Subject: 'bboothe@rctlma.org'

Subject: Attachments: pp25414 clark Email002.jpg

SEP 16 2012

## Bahelila Boothe

I am in receipt of your pp25414 proposed application from applicants Drew & Cindy Clark. I refer you to the attached complaint #760-774-6944 DECLARATION OF NOISY ANIMAL PUBLIC NUISANCE. If you require a public hearing in addition to this Declaration then we wish to request one. If our filings of public nuisance will suffice then we shall let those stand. Please advise. We have many neighbors and an adjacent apartment complex that would oppose this application due to the public nuisance which currently exists.

I may be reached at 817 939-6781.

Shannon Bedard 42488 Byron place Bermuda dunes ca.

PP2	5414, (Class I Kennel)
<b>⊠</b>	I do not wish a public hearing to be held on this case, but I would like to submit comments in regards to this project. (Please attach comments on separate sheet).
7 7	I am requesting that a public hearing be held on this case for the following reasons (Comments may be on separate sheet):
	SEL BITACHED
	Sent VIA EMAIL ALSO
l un	derstand that I will be notified of the time and date public hearing is requested.

PRINTED NAME

PRINT STREÉT ADDRESS

RE: APPLICATION PP25414 CINDY & DREW CLARK

bark continuously at all hours of day and might disturbing survivously at love meighbors. When some of them get love they have come into my yard and brien want 10 drops barking the curtainly don't want 10 drops barking to running loose.

Roughis Doughty

Ap God plan

## JAMES & SUSAN GRANT 78219 CALICO GLEN DRIVE BERMUDA DUNES CA 92203

Riverside County Planning Department PO Box 1409 Riverside CA 92502-1409

Re: PP25414

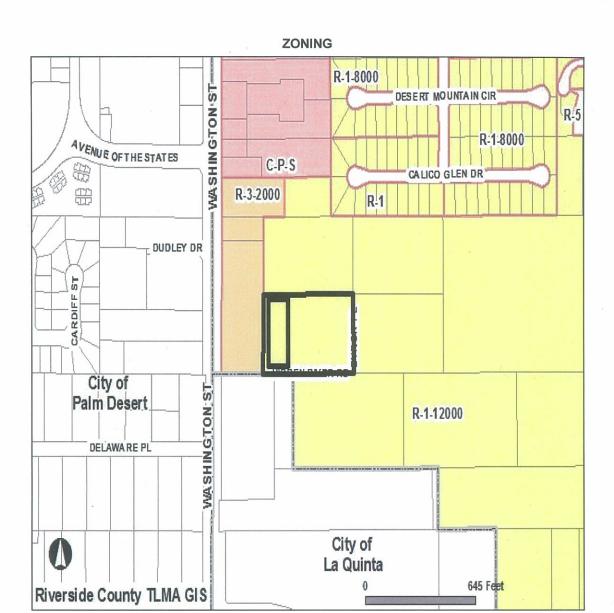
We are opposed to applicants operating a Dog Kennel on their property. Applicant already has a number of dogs on the property – a recent drive by revealed at least 7 animals-which is in violation of the County Code. We believe the Code allows only 3 dogs per house.

The primary objection to this use is the constant barking. These dogs bark at all hours and we are in the process of reporting this to the County noise abatement office, and Animal Control. This certainly is NOT helping our property values at all.

Sincerely

James L Grant

APN#609-500-063-1



## Selected parcel(s): 609-040-026

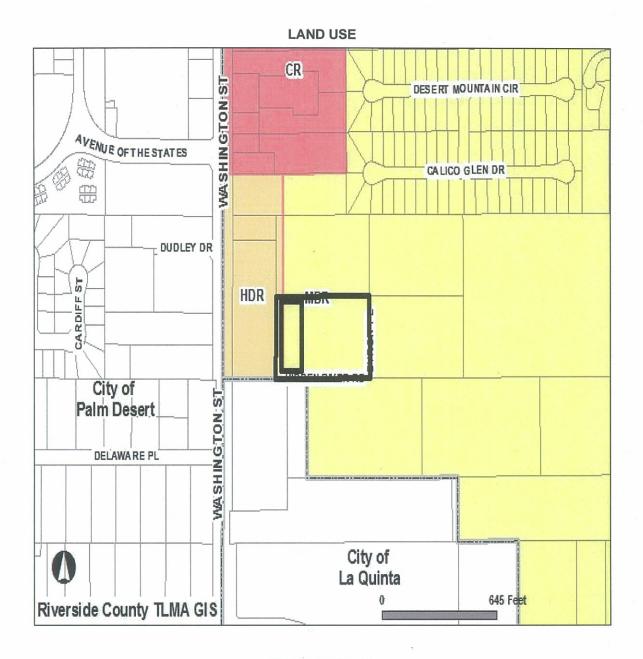
# ZONING SELECTED PARCEL INTERSTATES HIGHWAYS C-P-S R-1, R-1-12000, R-1-8000 R-3-2000 R-5

#### \*IMPORTANT\*

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 130923



## Selected parcel(s): 609-040-026

# SELECTED PARCEL NINTERSTATES HIGHWAYS CR - COMMERCIAL RETAIL PARCELS CR - COMMERCIAL RETAIL HDR - HIGH DENSITY RESIDENTIAL MDR - MEDIUM DENSITY RESIDENTIAL

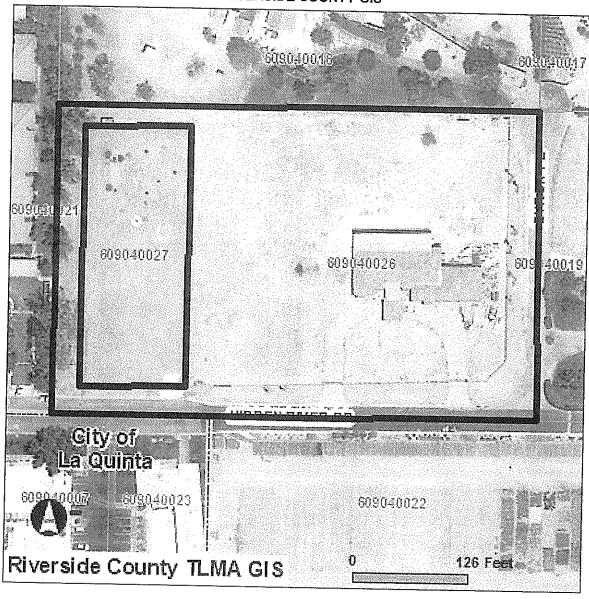
## \*IMPORTANT\*

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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## RIVERSIDE COUNTY GIS



## Selected parcel(s): 609-040-026

## \*IMPORTANT\*

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## STANDARD WITH PERMITS REPORT

<u>APNs</u>

609-040-026-7

OWNER NAME NOT AVAILABLE ONLINE

## ADDRESS 609-040-026

78400 HIDDEN RIVER RD INDIO, CA. 92203

## MAILING ADDRESS

(SEE OWNER)

(SEE SITUS)

LEGAL DESCRIPTION

RECORDED BOOK/PAGE: PM 60/26 SUBDIVISION NAME: PM 12558 LOT/PARCEL: 3, BLOCK: NOT AVAILABLE , Por.TRACT NUMBER: NOT AVAILABLE

#### LOT SIZE

RECORDED LOT SIZE IS 3.29 ACRES

PROPERTY CHARACTERISTICS
WOOD FRAME, 4967 SQFT., 5 BDRM/ 3.25 BATH, 1 STORY, ATTACHED GARAGE(1705 SQ. FT), CONST'D 2006TILE, ROOF, CENTRAL HEATING, CENTRAL COOLING, POOL

## THOMAS BROS. MAPS PAGE/GRID

PAGE: 819 GRID: F5

**CITY BOUNDARY/SPHERE** 

NOT WITHIN A CITY CITY SPHERE: PALM DESERT ANNEXATION DATE: OCT. 25, 2007 LAFCO CASE #: 2006-89-4 PROPOSALS: NOT APPLICABLE

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

## INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

## SUPERVISORIAL DISTRICT 2011 (ORD. 813)

JOHN BENOIT, DISTRICT 4

## SUPERVISORIAL DISTRICT (2001 BOUNDARIES)

ROY WILSON, DISTRICT 4

## TOWNSHIP/RANGE

T5SR7E SEC 18

## **ELEVATION RANGE**

120/132 FEET

## PREVIOUS APN

NO DATA AVAILABLE

## **PLANNING**

## LAND USE DESIGNATIONS

MDR

## SANTA ROSA ESCARPMENT BOUNDARY

NOT IN THE SANTA ROSA ESCARPMENT BOUNDARY

### <u>AREA PLAN (RCIP)</u>

WESTERN COACHELLA VALLEY

## **COMMUNITY ADVISORY COUNCILS**

BERMUDA DUNES (CC)

## **GENERAL PLAN POLICY OVERLAYS**

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

## GENERAL PLAN POLICY AREAS

NONE

## ZONING CLASSIFICATIONS (ORD. 348)

R-1-12000

## ZONING DISTRICTS AND ZONING AREAS

BERMUDA DUNES DISTRICT

## ZONING OVERLAYS

IN OR PARTIALLY WITHIN THE BERMUDA DUNES NEIGHBORHOOD PRESERVATION OVERLAY

NOT IN AN HISTORIC PRESERVATION DISTRICT

SPECIFIC PLANS

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE

NOT IN AN AGRICULTURAL PRESERVE

REDEVELOPMENT AREAS

NOT IN A REDEVELOPMENT AREA

AIRPORT INFLUENCE AREAS

BERMUDA DUNES

AIRPORT COMPATIBLITY ZONES

BERMUDA DUNES ZONE E

## ENVIRONMENTAL

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA NOT IN A CONSERVATION AREA

CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP NOT IN A CELL GROUP

WRMSHCP CELL NUMBER

NOT IN A CELL

HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEWPROCESS) NONE

VEGETATION (2005)

NO DATA AVAILABLE

## **FIRE**

HIGH FIRE AREA (ORD, 787)

NOT IN A HIGH FIRE AREA

FIRE RESPONSIBLITY AREA

NOT IN A FIRE RESPONSIBILITY AREA

## **DEVELOPMENT FEES**

CVMSHCP FEE AREA (ORD. 875)

WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

WRMSHCP FEE AREA (ORD, 810)

NOT WITHIN THE WESTERN RIVERSIDE COUNTY MSHCP FEE AREA

ROAD & BRIDGE DISTRICT

NOT IN A DISTRICT

EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)

IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION.

WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)

NOT WITHIN THE WESTERN TUMF FEE AREA

DIF (DEVELOPMENT IMPACT FEE AREA ORD, 659)

WESTERN COACHELLA VALLEY

SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)

NOT WITHIN AN SKR FEE AREA.

DEVELOPMENT AGREEMENTS

NOT IN A DEVELOPMENT AGREEMENT AREA

## TRANSPORTATION

# CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY

## ROAD BOOK PAGE

## TRANSPORTATION AGREEMENTS

NOT IN A TRANSPORTATION AGREEMENT

## CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS

## HYDROLOGY

## FLOOD PLAIN REVIEW

NOT REQUIRED

## WATER DISTRICT

## FLOOD CONTROL DISTRICT

COACHELLA VALLEY WATER DISTRICT

## WATERSHED

WHITEWATER

## **GEOLOGIC**

## FAULT ZONE

NOT IN A FAULT ZONE

NOT WITHIN A 1/2 MILE OF A FAULT

## LIQUEFACTION POTENTIAL

MODERATE

## SUBSIDENCE

SUSCEPTIBLE

## PALEONTOLOGICAL SENSITIVITY

LOW POTENTIAL

FOLLOWING A LITERATURE SEARCH, RECORDS CHECK AND A FIELD SURVEY, AREAS MAY BE DETERMINED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST AS HAVING LOW POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES SUBJECT

## MISCELLANEOUS

#### SCHOOL DISTRICT

DESERT SANDS UNIFIED

## **COMMUNITIES**

BERMUDA DUNES

## COUNTY SERVICE AREA

NOT IN A COUNTY SERVICE AREA.

<u>LIGHTING (ORD. 655)</u> ZONE B, 41.76 MILES FROM MT. PALOMAR OBSERVATORY

## 2000 CENSUS TRACT

## <u>FARMLAND</u>

OTHER LANDS

URBAN-BUILT UP LAND

075004 •CITRUS PEST CONTROL 2

•COACH VAL CO WTR STORM WTR UNIT

\*COACHELLA VAL JT BLO HIGH

•COACHELLA VALLEY COUNTY WATER •COACHELLA VALLEY PUBLIC CEMETERY

COACHELLA VALLEY REC AND PARK

•COACHELLA VALLEY RESOURCE CONSER

•COUNTY FREE LIBRARY
•COUNTY STRUCTURE FIRE PROTECTION
•COUNTY WASTE RESOURCE MGMT DIST

•CSA 152

\*\*CV MOSQ & VECTOR CONTROL
-CVC WTR IMP DST 1 DEBT SV
-DESERT COMMUNITY COLLEGE
-DESERT SANDS UNIFIED SCHOOL
-GENERAL

•GENERAL

•GENERAL PURPOSE
•RIV CO REG PARK & OPEN SPACE
•RIV. CO. OFFICE OF EDUCATION

SUPERVISORIAL ROAD DISTRICT 4

SPECIAL NOTES
PLEASE REFER TO ORDINANCE 457.96 FOR COACHELLA VALLEY AGRICULTURAL GRADING EXEMPTIONS.

**BUILDING PERMITS** 

Case #	Description	Status
BAS130004	DETACHED PRIVATE GARAGE 30 X 80	FINAL
BHR050287	1 HOUR GRADING INSPECTION	
BMP130006	CONST NPDES DETACHED GARAGE	FINAL
BRS054752	DWLG W/ATTACHED GARAGE 5043 SQ FT	FINAL
BRS054752	DWLG WIATTACHED GARAGE 5043 SQ FT	FINAL
BSP130263	POOL, SPA AND GAS LINE TO FIRE PIT	FINAL
BWL130453	BLOCK WALL TO POOL EQUIPMENT CO STANDARD	ISSUED
BXX045050	PERIMETER GARDEN WALL 360'X6'	ISSUED
BXX064433	GARDEN WALL 609X6 W/12 PILASTERS 1X1X6	FINAL
	THE STATE OF THE PROPERTY OF TAXABLE PROPERTY	FINAL

ENVIRONMENTAL HEALTH PERMITS

Case#	Description	Status
	PLAN REVIEW	APPLIED
EHW051124	NEW INDIVIDUAL 1871	APPLIED

PLANNING PERMITS

Case #	Description	
COC05608	CERP. PARCEL AS LEGAL DISCRIPTIONS	Status
CZ07697	ORD AMD 348.4636 TO EST PROPERTY MAINT STANDARDS	APPROVED
MT070070	COC05608	APPROVED
PP25119	2400 SQ FT RV GARAGE	PAID
······································		APPROVED

REPORT PRINTED ON...Tue Aug 13 09:06:26 2013 Version 130624