



RIVERSIDE COUNTY PLANNING DEPARTMENT

1:30 P.M.

DECEMBER 7, 2020

AGENDA RIVERSIDE COUNTY PLANNING DEPARTMENT DIRECTOR'S HEARING

COUNTY ADMINISTRATIVE CENTER
4080 Lemon Street, Riverside, CA 92501
12th Floor Conference Room A
<https://planning.rctlma.org/>

Pursuant to Government Code Section 54953(b) and Executive Order N-25-20, this meeting will be conducted by teleconference and at the place of hearing, as listed above. Teleconference participation by the Planning Director's designee and County staff. Public access to the meeting location will be limited to comply with the Executive Order.

Public comments will be accepted remotely by teleconference or email. To submit your comments or request to speak please contact the Hearing Secretary at (951) 955-7436 or email at: planninghearings@rivco.org. You will receive an email confirming your request that will provide further instructions. Your comments will be read into the record before the Hearing Officer considers the item. Additional information is available on the Planning Department website.

In compliance with the Americans with Disabilities Act, if you require reasonable accommodations please contact the TLMA Commission Secretary at (951) 955-7436 or email at esarabia@rivco.org. Requests should be made 72 hours in advance or as soon as possible prior to the scheduled meeting. Alternative formats are available upon request.

1.0 CONSENT CALENDAR:

- 1.1 **ADOPTION OF THE REVISED 2020 DIRECTOR'S HEARING CALENDAR** – Changing the December 14, 2020 meeting location from the Desert to Riverside.
- 1.2 **FIRST EXTENSION OF TIME REQUEST for TENTATIVE PARCEL MAP NO. 36564** – Applicant: TSG Cherry Valley, LP c/o Brian Rupp – Engineer: Albert A Webb Associates c/o Haley Franco & Nicole Torstvet – Fifth Supervisorial District – Cherry Valley Zoning District– The Pass Area Plan – Community Development: Light Industrial (CD-LI) – Public Facility (PF) – Open Space: Recreation (OS-R) – Cherry Valley Gateway Policy Area - Location: Northerly of Cherry Valley Boulevard, easterly of Interstate 10, and westerly of Vineland Street – 230 Gross Acres – Zoning: Industrial Park (I-P) – Controlled Development (W-2) – Approved Project Description: The Tentative Parcel Map proposes a Schedule "E" subdivision of 229 acres into four (4) parcels, including two (2) industrial buildings on approximately 140.23 acres and approximately 84.8 acres to remain as natural open space – **REQUEST:** First Extension of Time Request for Tentative Parcel Map No. 36564, extending the expiration date to October 17, 2023. Project Planner: Kathleen Mitchell at (951) 955-6836 or email at kmitchell@rivco.org.

2.0 PUBLIC HEARINGS: CONTINUED ITEMS: 1:30 p.m. or as soon as possible thereafter. **NONE**

3.0 PUBLIC HEARINGS: NEW ITEMS: 1:30 p.m. or as soon as possible thereafter.

- 3.1 **PLOT PLAN NO. 25693 – Exempt from the California Environmental Quality Act (CEQA)**, pursuant State CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) – Applicant: Verizon Wireless – Engineer/Representative: Spectrum Services, Inc. – Owner: Valley Wide Recreation & Park District – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Land Use Designation: Open Space: Conservation (OS-C) – Open Space: Recreation (OS-R) – Location: Southeasterly of Winchester Road, southwesterly of Abelia Street, and westerly of Wintersweet Lane – Zoning: Winchester Specific Plan No. 286, Planning Area 10A/11/16 – **REQUEST:** Plot Plan No. 25963 proposes the construction and operation of a new, unmanned wireless communication facility disguised as a pine tree (monopine) consisting of a 50-foot-tall tower, 12 panel antennas at the 41-foot height, two (2) parabolic antennas, nine (9) remote radio units, two (2) tower mounted junction boxes, five (5) outdoor equipment cabinets, three (3) GPS antennas, one 15kW stand-by generator, and two (2) 50KVA transformers within a 440 sq. ft. lease area. Project Planner: Rob Gonzalez at (951) 955-9549 or email at rgonzalez@rivco.org.

4.0 SCOPING SESSION: 1:30 p.m. or soon as possible thereafter: **NONE**

5.0 PUBLIC COMMENTS:

2020 DIRECTOR'S HEARING CALENDAR

1.1

Mondays at 1:30 p.m. on the dates and location noted below

Riverside: County Administration Center, Conference Room A 12th floor, 4080 Lemon Street

Desert: Desert Permit Assistance Center, 77-588 El Duna Court Suite H, Palm Desert

No Meeting: Dark

Holidays: Closed

January						
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Review the agenda prior to meeting date to confirm the time and location. The meeting dates, times, and locations are subject to change.



**COUNTY OF RIVERSIDE
PLANNING DEPARTMENT
EXTENSION OF TIME REPORT**

Agenda Item No.:

1.2

Director's Hearing: December 7, 2020

PROPOSED PROJECT

Case Number(s):	PM36564E01	Applicant(s):	<i>TSG Cherry Valley, LP</i>
Area Plan:	The Pass		c/o Brian Rupp
Zoning Area/District:	Cherry Valley District		<i>Albert A Webb Associates</i>
Supervisory District:	Fifth District		c/o Haley Franco & Nicole Torstvet
Project Planner:	Kathleen Mitchell		
APN(s):	407-220-004, 407-220-007, 407-220-008, 407-220-009, 407-220-016, 407-220-017, 407-270-012, 407-270-013		


John Hildebrand
Interim Planning Director

PROJECT DESCRIPTION AND LOCATION

The applicant of the subject case has requested an extension of time to allow for the recordation of the final Parcel Map No. 36564. The map proposed a Schedule "E" subdivision of 230 gross acres into four parcels, including two industrial buildings on approximately 140.23 acres and approximately 84.8 acres to remain as natural open space.

The Project is located in the "The Pass" Area Plan Cherry Valley Gateway Policy Area. The project site is located north of Cherry Valley Boulevard, east of Interstate 15, and west of Vineland Street.

PROJECT RECOMMENDATION

APPROVAL of the FIRST EXTENSION OF TIME REQUEST for TENTATIVE PARCEL MAP NO. 36564, extending the expiration date to October 17, 2023, subject to all the previously approved and amended Conditions of Approval, with the applicant's consent.

PROJECT LOCATION MAP

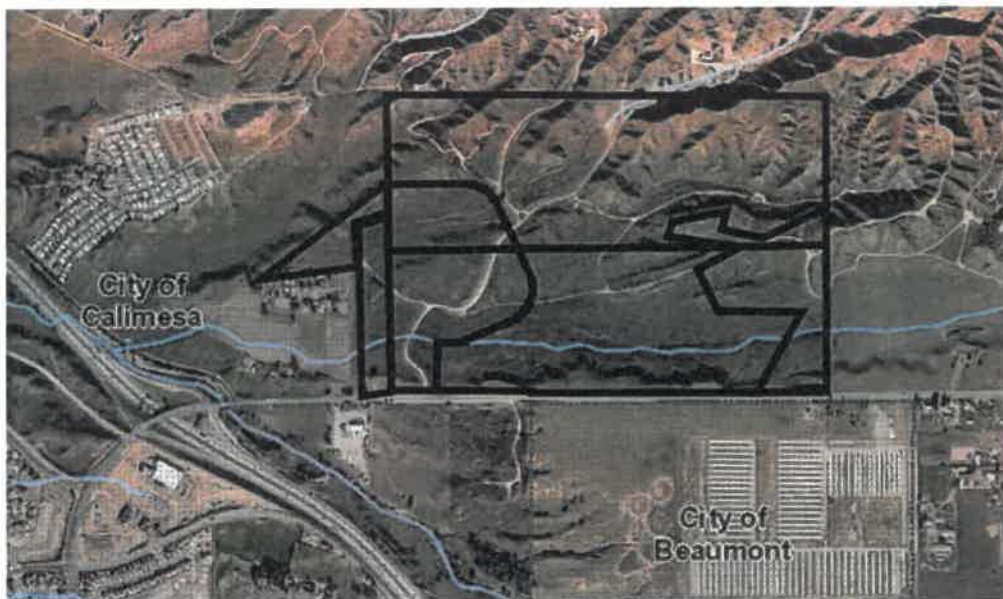


Figure 1: Project Location Map

PROJECT BACKGROUND AND ANALYSIS

Background

Tentative Parcel Map No. 36564 was originally given a fast track authorization and approved by the Board of Supervisors on October 17, 2017. It was approved along with Change of Zone No.7799 and Plot Plan No.25337.

The First Extension of Time was received October 15, 2020, ahead of the expiration date of October 17, 2020.

The County Planning Department, as part of the review of this Extension of Time request, recommends the addition of seven (7) new conditions of approval, in order to be able to make a determination that the project does not adversely affect the general health, safety, and welfare of the public. The applicant was informed of these recommended conditions and has agreed to accept them. Included in this staff report package are the recommended conditions of approval, and the correspondence from the Extension of Time applicant (October 26, 2020) indicating the acceptance of the seven (7) recommended conditions.

Unless specifically requested by the applicant, this Extension of Time request will not be discussed at the time it is presented to the Planning Director for approval.

Riverside County Tentative Map Extensions

Pursuant to County of Riverside Ordinance No. 460 (Subdivision Regulations), tentative tract and parcel maps have an initial life-span approval of 3-years. In addition, a maximum of 5, 1-year extensions may be

approved, upon a timely filed extension request, allowing for a total tentative map life-span approval of 8-years. On September 12, 2017, the Board of Supervisors approved an amendment to Ordinance 460, replacing the extension time frames to allow for 2, 3-year extensions, for a total tentative map life-span of 9-years.

The total number years a map may be extended is 6 years. This is the 1st extension of time for this project, potentially granting an extension of 3 years if approved. The remaining number of years available to extend this tentative map after this approval will, therefore, be 3 years.

Upon an approval action by the Planning Director, subsequent receive and file action by the Board of Supervisors, and the conclusion of the 10-day appeal period, this Parcel Map's expiration date will become October 17, 2023. If a Final Map has not been recorded prior to this date, the next extension of time request must be filed 30-days prior to map expiration.

ENVIRONMENTAL REVIEW

The subject case has conformed to the requirements of the California Environmental Quality Act ("CEQA"), and all impacts have been analyzed in order to protect the public health, safety, and welfare. No changes to the approved map are proposed and as a result, no new environmental documentation is required prior to an Extension of Time approval.

FINDINGS

In order for the County to approve a proposed project, the following findings are required to be made:

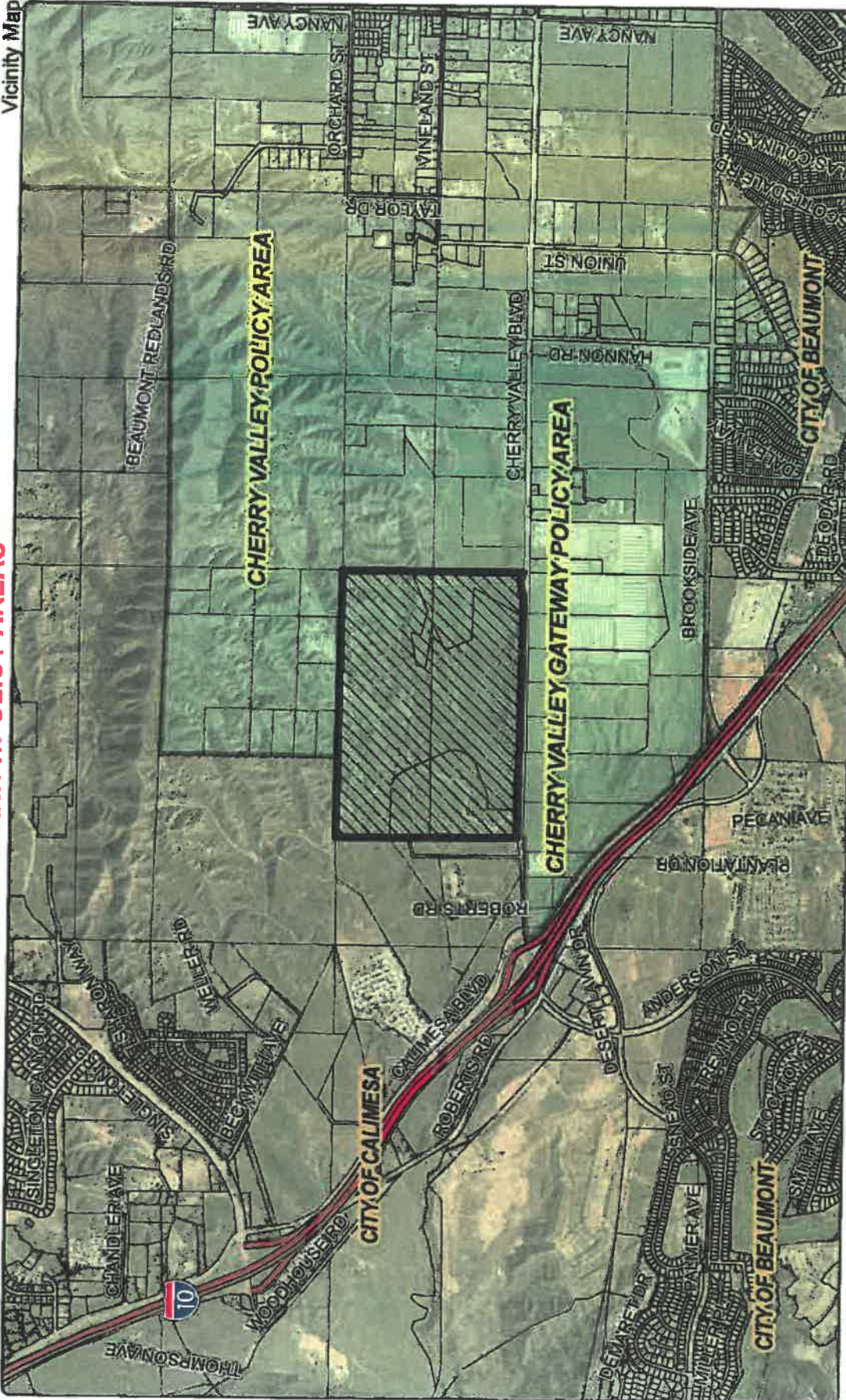
Extension of Time Findings

1. This Tentative Tract Map has been found to be consistent with the Riverside County General Plan, pursuant to the originally approved findings and conditions of approval. This Extension of Time proposes no changes to the map design and is therefore still found to be consistent.
 2. This Tentative Tract Map has been found to be consistent with Ordinance No. 348 (Land Use) and Ordinance No. 460 (Subdivision Regulations), pursuant to the originally approved findings and conditions of approval. This Extension of Time proposes no changes to the map design and is therefore still found to be consistent.
 3. No changes to the approved Tentative Tract Map are proposed in conjunction with this Extension of Time. All impacts have been analyzed in order to protect the public health, safety, and welfare.
-

RIVERSIDE COUNTY PLANNING DEPARTMENT
CZ07799 GPA01079 PM36564 PP25337 EIR00534
VICINITY POLICY AREAS

Supervisor: Ashley
 District 5

Date Drawn: 09/05/2017
 Vicinity Map



Zoning Dist: Cherry Valley

Author: Vinnie Nguyen



Reproduction of this map is prohibited without the written permission of Riverside County Planning Department. This map is for informational purposes only. For more information, please contact the Riverside County Planning Department at (951) 952-2977 (Ext. 2000) or visit our website at www.riversidecountyplanning.com.

Plan: PM36564E01

Parcel: 407220018

50. Prior To Map Recordation

E Health

050 - E Health. 1 (50) E Health- EOT1 - REQ E HEALTH DOCUMENTS Not Satisfied

Prior to map recordation, provide the following documents to the Riverside County Environmental Health Department:

1. Provide current documentation from the appropriate purveyor(s) for the establishment of water and/or sewer service for this project.
2. Provide documentation from an approved waste hauler in regards to solid waste service. Please call (951)955-8980 for additional details.
3. Provide written clearance from DEH Environmental Cleanup Programs. Please note that an Environmental Site Assessment, Phase 1 study may be required at their discretion. For further information, please contact (951) 955-8982.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

Transportation

050 - Transportation. 1 (50) Transportation- EOT1 - FINAL ACCESS AND MAINT Not Satisfied

Prior to the map recordation, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

Additionally, prior to the map recordation, the applicant shall ensure that BMP facilities are placed in dedicated easements and that sufficient legal access to the BMPs are provided. This requirement is for both onsite and offsite property.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 (60) BS-Grade- EOT1 - REQ BMP SWPPP WQMP Not Satisfied

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Storm water ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

If a Water Quality Management Plan (WQMP) is required, the owner / applicant shall submit to the Building & Safety Department, the approved project - specific Water Quality Management Plan (WQMP) and ensure that all approved water quality treatment control BMPs have been included on

Plan: PM36564E01

Parcel: 407220018

60. Prior To Grading Permit Issuance

BS-Grade

060 - BS-Grade. 1 (60) BS-Grade- EOT1 - REQ BMP SWPPP WQMP (cont.) Not Satisfied
the grading plan.
(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

Transportation

060 - Transportation. 1 (60) Transportation- EO1 - FINAL WQMP FOR GRADING Not Satisfied

This condition would apply when grading occurs before map recordation. Prior to the issuance of a grading permit, the applicant shall submit a Water Quality Management Plan (WQMP) subject to the State Regional Water Quality Board Order No. (See watershed below) to Transportation Department for review and approval. However, the applicant may be required to comply with the latest version of the WQMP manual if required by the State Regional Water Quality Board. All water quality features shall be included on the grading plan. WQMP applicability checklist, templates, LID design requirements, and guidance can be found on-line at: www.rcflood.org/npdes. For any questions, please contact (951) 712-5494.

Watersheds: Santa Ana No. R8-2013-0024 / Santa Margarita No. R9-2010-0016 / Whitewater No. R7-2013-0011

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

80. Prior To Building Permit Issuance

Transportation

080 - Transportation. 1 (80) Transportation- EOT1 - WQMP AND MAINTENANCE Not Satisfied

The project shall begin constructing and installing the BMP facilities described in the approved Final WQMP. The project shall be responsible for performing all activities described in the WQMP and that copies of the approved Final WQMP are available for the future owners/occupants.

A maintenance plan and signed maintenance agreement shall be submitted to the Transportation Department for review and approval prior to issuance of occupancy permits. A maintenance organization will be established with a funding source for the permanent maintenance. The maintenance plan shall require that all BMP facilities are inspected, if required, cleaned no later than October 15 each year.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 (90) BS-Grade- EOT1 - WQMP REQUIRED Not Satisfied

Prior to final building inspection, the applicant shall comply with the following:

1. Obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications.

2. The applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

Plan: PM36564E01

Parcel: 407220018

90. Prior to Building Final Inspection

BS-Grade

090 - BS-Grade. 1 (90) BS-Grade- EOT1 - WQMP REQUIRED (cont.) Not Satisfied

3. The applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

4. The applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

5. The applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

Transportation

090 - Transportation. 1 (90) Transportation- EOT1 - WQMP COMP AND BNS REG Not Satisfied

Prior to Building Final Inspection, the applicant will be required to hand out educational materials regarding water quality, provide a engineered WQMP certification, inspection of BMPs, GPS location of BMPs, and ensure that the requirements for inspection and cleaning the BMPs are established. Additionally, the applicant will be required to register BMPs with the Transportation Department's Business Registration Division.

(This Extension of Time condition may be considered "Met" if it duplicates another similar condition issued by this department)

Mitchell, Kathleen

From: David Graves <dgraves@shopoff.com>
Sent: Monday, October 26, 2020 11:01 AM
To: Mitchell, Kathleen
Cc: haley.franco@webbassociates.com; Nicole Torstvet; Christian Charbonnet; Cherie Williams
Subject: FW: FIRST EXTENSION OF TIME REQUEST for Tentative Parcel Map No. 36564
Attachments: image002.emz; EOT Conditions.pdf

CAUTION: This email originated externally from the **Riverside County** email system.
DO NOT click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Kathleen,

We are okay with the additional COA's associated with the EOT.

Thank you,

David Graves

Director of Development



Transforming Opportunity into Value

Shopoff Realty Investments, L.P.
2 Park Plaza, Suite 700, Irvine, CA 92614
O (949) 417-1396 | D (949) 769-6722 | C (949) 395-6493

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From: Cherie Williams <CWilliams@shopoff.com>
Sent: Wednesday, October 21, 2020 12:51 PM
To: David Graves <dgraves@shopoff.com>; Christian Charbonnet <ccharbonnet@shopoff.com>
Subject: FW: FIRST EXTENSION OF TIME REQUEST for Tentative Parcel Map No. 36564

See below and attached.

Thank you,

Cherie Williams

Executive Assistant – Real Estate



Transforming Opportunity into Value

Shopoff Realty Investments, L.P.
2 Park Plaza, Suite 700, Irvine, CA 92614
O (949) 417-1396 | D (949) 769-6716 | F (949) 417-1399

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From: Mitchell, Kathleen [<mailto:KMitchell@Rivco.org>]
Sent: Wednesday, October 21, 2020 12:17 PM
To: Cherie Williams <CWilliams@shopoff.com>
Cc: haley.franco@webbassociates.com; Nicole.torstvet@webbassociates.com
Subject: RE: FIRST EXTENSION OF TIME REQUEST for Tentative Parcel Map No. 36564

Attn:
TSG Cherry Valley, LP
c/o Brian Rupp
cwilliams@shopoff.com

CC:
Albert A WEBB Associates
Haley Franco
haley.franco@webbassociates.com
Nicole Torstvet
Nicole.torstvet@webbassociates.com

RE: FIRST EXTENSION OF TIME REQUEST for Tentative Parcel Map No. 36564

I am contacting you in regard to your Extension of Time Request for Tentative Parcel Map No.36564. The County Planning Department has determined it necessary to recommend the addition of seven (7) new conditions of approval in order to be able to make a determination that the project does not adversely affect the general health, safety and welfare of the public.

Please review the proposed conditions of approval attached in this correspondence. If these conditions are acceptable, then submit a short written letter/memo/email that clearly references this case, the acceptance of each condition by name and number, and clearly state that you, the Extension of Time Applicant, accept these conditions. This documentation will then be included in the staff report package. The attached document is a copy of the recommended conditions which are identified as follows:

- | | |
|----------------------------|---------------------------|
| 50. REQ E HEALTH DOCUMENTS | 80. WQMP AND MAINTENANCE |
| 50. FINAL ACCESS AND MAINT | 90. WQMP REQUIRED |
| 60. REQ BMP SWPPP WQMP | 90. WQMP COMP AND BNS REG |
| 60. FINAL WQMP FOR GRADING | |

If the addition of the conditions is not acceptable, please notify me so we can discuss your concerns. If the issue cannot be resolved, then I will direct you to contact the individual Department representative to discuss this matter further.

Once the conditions have been accepted, I will begin preparing the staff report package for the Planning Commission Hearing as a Consent Item. County Ordinance requires that conditions added thru the extension of time process are presented to and accepted by the applicant. If you, the EOT applicant, is unable to accept

these conditions, the Planning Department will recommend denial of this extension of time request. An opportunity will, if requested, be provided for arguments to be made to the hearing body justifying why this request should be approved without the recommended conditions of approval.

I am eager to move this case forward and continue the extension of time process. If you have not contacted me within thirty (30) days, I will begin preparing this case with a recommendation of denial. I need one of two items to proceed:

- 1) Correspondence from you, the EOT applicant, accepting the recommended conditions per the directions provided above; or,
- 2) Correspondence from you, the EOT applicant, advising me of the concerns with the recommended conditions. If the concern still exists after our discussion, then direction on how to approach the issue will be given and additional time will be provided until the issue is resolved.

If you have any questions, comments, or concerns regarding this email, please feel free to contact me as indicated below.

Best
Kathleen Mitchell

Kathleen Mitchell

TLMA-Planning ~ Urban Planner II

Email: kmitchell@rivco.org

Phone: 951-955-6836



**RIVERSIDE COUNTY
PLANNING DEPARTMENT**

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[County of Riverside California](#)

Extension of Time Environmental Determination

Project Case Number: PM36564E01
Original E.A. Number: EA42179
Extension of Time No.: 1st Extension of Time
Original Approval Date: October 17, 2017
Project Location: N/Cherry Valley Blvd; E/Interstate 15; W/Vineland St.

Project Description: Tract Map No. 32694 is a Schedule "E" subdivision of 230 gross acres into four (4) parcels, including two industrial buildings on approximately 140.23 acres and approximately 84.8 acres to remain as natural open space.

On October 17, 2017, this Tentative Parcel Map and its original environmental assessment/environmental impact report was reviewed to determine: 1) whether any significant or potentially significant changes in the original proposal have occurred; 2) whether its environmental conditions or circumstances affecting the proposed development have changed. As a result of this evaluation, the following determination has been made:

<input type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and the project's original conditions of approval.
<input checked="" type="checkbox"/>	I find that although the proposed project could have a significant effect on the environment, and there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME, because all potentially significant effects (a) have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards and (b) have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration and revisions to the project's original conditions of approval which have been made and agreed to by the project proponent.
<input type="checkbox"/>	I find that there are one or more potentially significant environmental changes or other changes to the circumstances under which the project is undertaken, which the project's original conditions of approval may not address, and for which additional required mitigation measures and/or conditions of approval cannot be determined at this time. Therefore, AN ENVIRONMENTAL ASSESSMENT/INITIAL STUDY IS REQUIRED in order to determine what additional mitigation measures and/or conditions of approval, if any, may be needed, and whether or not at least one of the conditions described in California Code of Regulations, Section 15162 (necessitating a Supplemental or Subsequent E.I.R.) exist. Additionally, the environmental assessment/initial study shall be used to determine WHETHER OR NOT THE EXTENSION OF TIME SHOULD BE RECOMMENDED FOR APPROVAL.
<input type="checkbox"/>	I find that the original project was determined to be exempt from CEQA, and the proposed project will not have a significant effect on the environment, therefore NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED PRIOR TO APPROVAL OF THE EXTENSION OF TIME.

Signature: _____



Kathleen Mitchell, Project Planner
John Hildebrand, Interim Planning Director

Date: _____

11/19/2020



**COUNTY OF RIVERSIDE
PLANNING DEPARTMENT
STAFF REPORT**

Agenda Item No.:

3 . 1

Director's Hearing: December 7, 2020

PROPOSED PROJECT

Case Number(s): PP25693

Applicant(s):

CEQA Exempt Section 15303

Verizon Wireless

Area Plan: Southwest

Representative(s):

Zoning Area/District: Rancho California Area

Brett Smirl

Supervisorial District: Third District

Project Planner: Rob Gonzalez

Project APN(s): 476-030-001

John Hildebrand
Interim Planning Director

PROJECT DESCRIPTION AND LOCATION

PLOT PLAN NO. 25693 (PP25693) is a request by Verizon Wireless to construct a new unmanned disguised 50-foot mono-pine Wireless Communication Facility consisting of twelve (12) panel antennas at 41 feet centerline height, nine (9) RRUs antennas, and two (2) parabolic antennas with a 440 square foot lease area enclosed by a 9-foot block perimeter wall.

The project site is located east of Winchester Road and west of Pourroy Road.

The above is hereinafter referred to as "The Project" or "Project."

PROJECT RECOMMENDATION

STAFF RECOMMENDATIONS:

THAT THE PLANNING DIRECTOR TAKE THE FOLLOWING ACTIONS:

FIND that the project is **EXEMPT** from the California Environmental Quality Act (CEQA), pursuant to State CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) based on the findings and conclusions in the staff report; and,

APPROVE PLOT PLAN NO. 25693 (PP25693), subject to the attached Advisory Notification Document and Conditions of Approval, and based upon the findings and conclusions incorporated in the staff report.

PROJECT DATA

Land Use and Zoning:

Specific Plan: Winchester 1800 (SP 286), Planning Area 16A

Specific Plan Land Use: Open Space: Recreation (OS: R)

Existing General Plan Land Use Designation:	Open Space: Recreation (OS: R)
Proposed General Plan Land Use Designation:	N/A
Policy / Overlay Area:	N/A
Surrounding General Plan Land Uses	
North:	Open Space: Conservation (OS:C)
East:	Medium High Density Residential (MHDR)
South:	Open Space: Recreation (OS: R)
West:	Medium Density Residential (MDR)
Existing Zoning Classification:	Specific Plan (SP 286 - Winchester 1800), Planning Area 16A
Surrounding Zoning Classifications	
North:	Specific Plan (SP 286 - Winchester 1800), Planning Areas 2C and 9, General Commercial (C-1/C-P)
East:	Specific Plan (SP 286 - Winchester 1800), Planning Area 10A
South:	Specific Plan (SP 286 - Winchester 1800), Planning Area 10B
West:	Specific Plan (SP 286 - Winchester 1800), Planning Area 2C, Rural Residential (R-R), One-Family Dwellings (R-1)
Existing Use:	Abelia Sports Park
Surrounding Uses	
North:	Vacant Parcel
East:	Single family residential
South:	Single Family Residential
West:	Vacant Parcel, Single family residential

Project Site Details:

<i>Item</i>	<i>Value</i>	<i>Min. /Max. Development Standard</i>
Project Site (Acres):	16.25	N/A
Proposed Lease Area (SQFT):	440	N/A
Structure Height (FT):	50	50

Parking:

<i>Type of Use</i>	<i>Building Area (in SF)</i>	<i>Parking Ratio</i>	<i>Spaces Required</i>	<i>Spaces Provided</i>
Temporary	440	1:1	1	1
TOTAL:			1	1

Located Within:

City's Sphere of Influence:	Yes – City of Temecula
Community Service Area ("CSA"):	No
Special Flood Hazard Zone:	Yes – Warm Springs Creek
Agricultural Preserve:	No
Liquefaction Area:	Yes – Low/Moderate
Subsidence Area:	Yes – Susceptible
Fault Zone:	No
Fire Zone:	No
Mount Palomar Observatory Lighting Zone:	Yes – Zone B, 22.45 miles away from Palomar
WRCMSHCP Criteria Cell:	Yes – Cell Number 5275 & 5376
CVMSHCP Conservation Boundary:	No
Stephens Kangaroo Rat ("SKR") Fee Area:	Yes – In within an SKR Fee Area
Airport Influence Area ("AIA"):	No

PROJECT LOCATION MAP



Figure 1: Project Location Map

PROJECT BACKGROUND AND ANALYSIS

Background

On October 21, 2014, the applicant, Verizon Wireless, submitted Plot Plan No. 25693, proposing the construction of a wireless communication facility disguised as a natural pine tree. The project was reviewed by the Development Advisory Committee and has received all departmental clearances. No co-location at alternative locations are available in the area and the site was selected since it is the best location to address the lapse in coverage in the area.

Landscaping

The project includes a conceptual landscaping and irrigation plan. The project includes landscaping around the perimeter of the leased area. The landscaping matches and augments the natural landscaping of the area. The perimeter of the facility includes Hopseed Bushes and a 48" box Afghan Pine. The Afghan Pine typically grows to a 40-foot height when fully matured and will enhance the disguising effect for the wireless facility.

Sphere Of Influence / Comment Letters

The project site is located within the City of Temecula's Sphere of Influence. The project was provided to the City of Temecula for review and comment. No comments from the City of Temecula or others were received either in favor or opposition of the project at the time of writing of this staff report.

ENVIRONMENTAL REVIEW

The project is categorically exempt pursuant to Section 15303 (d) (New Construction or Conversion of Structures) of CEQA Guidelines which recognizes exemptions for the construction or installation of small new equipment and facilities on small structures. Examples of the exemption include but are not limited to: (d) water main, sewage, electrical, gas, and other utility extensions, including street improvements, of a reasonable length to service such construction. The project qualifies for this provision since it provides a telecommunication utility to area residents and businesses.

In addition, the project qualifies for the Class 3 exemption since none of the conditions noted in Section 15300.2 occur on the site. Staff has reviewed the project and determined that it will not result in a significant cumulative impact; would not have a significant effect on the environment due to an unusual circumstance; would not cause a significant substantial adverse change to a historical resource; is not located within a hazardous site or location; it will not store or generate hazardous waste; and will not cause harm to scenic resources within a highway officially designated as a state scenic highway. Further information regarding cumulative impacts and significant effect on the environment due to unusual circumstances are discussed below:

1. The project will not result in a cumulative impact since the facility will be located within a park that includes open spaces and landscaped areas. The facility is disguised to match the look of a natural pine tree. The existing pine trees surrounding the project site assist in blending and concealing, therefore minimizing aesthetic impacts.
2. The project qualifies for the Class 3 exemption since it would not have a significant effect on the environment due to an unusual circumstance. Although the project site is located within an area that is susceptible to soil subsidence and low to moderate liquefaction, the site's condition would not qualify as an unusual circumstance. The County of Riverside regulates the effects of soils and

geological constraints primarily through the enforcement of the California Building Code (CBC), which requires the implementation of engineering solutions for constraints to development posed by subsidence. The project has received an approved geologic report (GEO200025) to address geotechnical soil concerns.

Additionally, the project is located within a WRCMSHCP Criteria Cell and has been reviewed to confirm that the project will not have a significant effect on the environment due to the circumstance. The project has been reviewed by the Western Riverside County Regional Conservation Authority (RCA) and has concluded a Joint Project Review. RCA has concluded that the project is consistent with both the criteria cell requirements, other plan requirements, and MSHCP requirements. Additionally, the U.S. Fish and Wildlife Service and the California Department of Fish and Wildlife have reviewed the case and concurred as well. The project has received an approved review from the Habitat Assessment & Negotiation Strategy (HAN180001), and A Planning Biological Report (PDB06202).

FINDINGS

In order for the County to approve a proposed project, the following findings are required to be made:

Land Use Findings:

1. The project site has a General Plan Foundational Component of Rural and a Land Use Designation of Open Space-Recreation (OS-R). The property's General Plan Designation identifies those areas appropriate for the preservation of open space for recreation such as parks, trails, camp grounds, athletic fields, golf courses, and off-road vehicle parks. The project site is surrounded by properties which are designated Open Space - Conservation to the north and west, Medium High Density Residential to the south and east. The proposed Project is consistent with the General Plan, as wireless communication facilities are allowed to support and provide communication infrastructure to residential, commercial, and agricultural areas.
2. The project site is within a Specific Plan Zoning Classification which is govern by the Winchester Specific Plan 1800 #286, Area Plan 16A. The permitted uses and development standards for the Planning Area are the same as those identified in Article VIII (R-5 Zone, Open Area Combining Zone Residential Developments), except where modified by Specific Plan No. 286. The proposed project is located within a residential zone and the use is permitted by zone. A Planning Director's hearing is required for the approval of the Plot Plan. Staff has reviewed the project and has determined that the project is compliant with the applicable development standards within County of Riverside Ord. 348.

Entitlement Findings:

Findings for a recommendation to grant a Plot Plan permit for a Disguised Wireless Telecommunication facility shall include the following, pursuant to the provisions of the Riverside County Zoning Ordinance 348 (Land Use):

1. The facility is designed and sited so that it is minimally visually intrusive. The proposed use, a disguised wireless communication facility has been designed to look like a mature pine tree (monopine). The proposed disguising elements provide sufficient coverage to screen the tower-mounted equipment. The ground mounted equipment is screened with a 9-foot block wall and

perimeter landscaping to minimize the visual impact of the facility. The project is further disguised by the incorporation of neutral earth tones.

2. Supporting equipment is located entirely within an equipment enclosure that is architecturally compatible with the surrounding area or is screened from view. The disguised wireless communication facility's 9-foot-high block wall with chain-link security cage and fabric cover is appropriate for enclosing the lease area and meets the Countywide Standard Design Guidelines.
3. The application has met the processing requirements set forth in this article. The project has provided all items required by the Department of Information Technology; a site plan drawn to scale; a conceptual landscaping plan; a propagation diagram showing the network coverage within one mile of the site; photo simulations of the site; a letter stating whether or not FAA clearance is required; a list of all towers owned by the applicant located within the County; and a geotechnical report
4. The application has met the location and development standards set forth the Article 19.404C of the Riverside County Zoning ordinance. The facility is minimally visually intrusive, the supporting equipment is located entirely within an equipment enclosure that is architecturally compatible with the surrounding area and screened from view, and the application has met the applicable location and development standards.
5. The applicant has submitted a fully executed copy of the lease or other agreement entered into with the owner of the underlying property. The lease or other agreement includes a provision indicating that the telecommunication service provider, or its successors and assigns, shall remove the wireless communication facility completely upon its abandonment. The lease or other agreement also includes a provision notifying the property owner that if the telecommunication service provider does not completely remove a facility upon its abandonment, the County may remove the facility at the property owner's expense and lien the property for the cost of such removal. The applicant has provided a fully executed copy of the lease or other agreement entered into with the owner of the underlying property.

Development Standards for Wireless Communication Facilities:

The proposed project is consistent with the development standards of Article XIXg of Ordinance No. 348, in particular the development standards of Section 19.410 as listed below:

- A. **Area Disturbance.** *Disturbance to the natural landscape shall be minimized. Disturbed areas shall be remediated immediately after construction. Remediation techniques may vary depending on the site.* The project is compliant with this provision since it has been conditioned to minimize disturbance to the natural landscaping. Conditions of Approval have been applied to require remediation immediately after construction.
- B. **Fencing and Walls.** *All wireless communication facilities shall be enclosed with a decorative block wall, wrought iron fence, or other screening option at a maximum height of six (6) feet as deemed appropriate by the Planning Director. Such fencing/walls shall conform to the Countywide Design Standards and Guidelines.* The disguised wireless communication facilities and supporting equipment are located entirely within an enclosed 440-square-foot lease area with a 9-foot-high block wall with a chain-link security cage and fabric cover.

- C. **Height Limitations.** *Disguised wireless communication facilities in non-residential zone classifications shall not exceed seventy (70) feet.* The disguised wireless communication facility is located on a parcel within the Winchester Specific Plan, No. 286, Planning Area 16. Pursuant to the Specific Plan, the Planning Area has a zoning classification equivalent to the Open Area Combining Zone-Residential Developments (R-5) Zoning Classification, and, within this Zone, a disguised wireless communication facility may have a maximum height of 50-feet. This proposed disguised monopine is 50-feet in height, meeting this requirement.
- D. **Impacts.** *All wireless communication facilities shall be sited so as to minimize adverse impacts to the surrounding community and biological resources.* This project complies with this provision due to the limited project footprint. The project has received clearances from the Environmental Programs Division (Biology) and has been conditioned to minimize adverse impacts to the surrounding community and biological resources. The facility, as proposed, will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance, and is consistent with the Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP), per the approval of HAN180001. The project will be minimally intrusive to the surroundings.
- E. **Landscaping.** *All wireless communication facilities shall have landscaping around the perimeter of the leased area and shall match and/or augment the natural landscaping in the area. Wireless communication facilities constructed to look like trees shall have other similar tree species planted adjacent to and/or around the facility to enhance the concealing effect. If landscaping is deemed necessary in native habitats, only native plant species shall be used in order to avoid introduction of exotic invasive species. All landscaping shall be irrigated unless a water source is unavailable within the parcel on which the facility is located. If a water source is not available, indigenous plants shall be used and manually watered until established.* The proposed project incorporates a conceptual landscaping and irrigation plan that includes a 48" Box Afghan Pine, and Hopseed Bushes at the perimeter of the lease area. The landscaping and perimeter wall, screen the lease agreement and further adds to the disguising of the project. Conditions of approval are applied to the project requiring that the landscaping be maintained throughout the life of the permit
- F. **Lighting.** *Outside lighting is prohibited unless required by the FAA or the California Building Code, including the appendix and standards adopted by the California Building Standards Commission. All towers that require a warning light to comply with FAA regulations shall use the minimum amount possible. Any security lighting shall meet the requirements of Ordinance No. 655. Any lighting system installed shall also be shielded to the greatest extent possible so as to minimize the negative impact of such lighting on adjacent properties and so as not to create a nuisance for surrounding property owners or a wildlife attractant.* This disguised wireless communication facility has 3 types of lighting proposed, mounted on the block wall, controlled by a timer that will meet the requirements for shielding.
- G. **Noise.** *All noise produced by wireless communication facilities shall be minimized and in no case shall noise produced exceed 45 decibels inside the nearest dwelling and 60 decibels at the property line.* A standard condition of approval has been added to ensure that all noise produced by the disguised wireless communication facility will not exceed 45 decibels inside the nearest dwelling and 60 decibels at the property line. The nearest habitable dwelling is approximately 310 feet away.
- H. **Parking.** *Temporary parking for service vehicles may be permitted on site. No off-site parking shall be allowed for any service vehicle. Paving for the parking shall be required, where appropriate,*

and may not be removed without proper mitigation. No vehicles may remain parked overnight, with the exception of technicians working at the site during the night. If a new wireless communication facility is placed on existing parking spaces required by the use currently on site, the parking spaces shall be replaced so that the current use has the necessary parking required by County Ordinance No. 348. If such replacement of spaces is not feasible, a variance may be requested. Temporary parking for service vehicles will be permitted on site. The project location is in an open grass field. Additional paving for the parking shall not be required, for there is an existing paved pathway for foot/vehicle access and open grass areas around the disguised wireless communication facility for temporary vehicle parking with access from Winchester Road and Abelia Street.

- I. ***Paved Access.*** *All wireless communication facilities located within residential developments containing lots 18,000 square feet or smaller shall be accessed via a paved road. All wireless communication facilities within residential developments containing lots larger than 18,000 square feet shall be accessed via an all-weather surface. Regarding access via a paved road, the site contains an existing asphalt (all-weather) walkway from Winchester Road. This walkway will be temporarily widened to a 20-foot wide unpaved path for non-exclusive vehicular access.*
- J. ***Power and Communication Lines.*** *No above-ground power or communication lines shall be extended to the site, unless an applicant demonstrates that undergrounding such lines would result in substantial environmental impacts or a letter is received from the power company indicating it is unable to underground the wires. All underground utilities shall be installed in a manner to minimize disturbance of existing vegetation and wildlife habitats during construction. Removal of underground equipment upon the abandonment of a facility is not recommended unless leaving the equipment underground would pose a threat to health, safety or sensitive resources. All power and communication lines for the disguised wireless communication facility are proposed to be underground.*
- K. ***Roof-Mounted Facilities.*** *Wireless communication facilities mounted on a roof shall be less than ten feet above the roofline. This provision does not apply to the project since there are no proposed roof-mounted facilities.*
- L. ***Sensitive View-shed.*** *Wireless communication facilities proposed on ridgelines and other sensitive viewsheds, as defined in Ordinance No. 348, shall be concealed and sited so that the top of the facility is below the ridgeline as viewed from any direction. The wireless communication facility is not proposed on a ridgeline and other sensitive Viewshed, as defined in Ordinance No. 348. Therefore the project is compliant with provision 19.410.L of County of Riverside Ordinance No. 348.*
- M. ***Setbacks.*** *Disguised wireless communication facilities in or adjacent to non-residential zone classifications shall be setback from habitable dwellings a distance equal to one hundred and twenty-five (125) percent of the facility height. Disguised wireless communication facilities in or adjacent to residential zone classifications shall be setback from habitable dwellings a distance equal to two hundred (200) percent of the facility height or shall be setback from residential property lines a distance equal to one hundred (100) percent of the facility height, whichever is greater. The disguised wireless communication facility is setback approximately 310 feet from the nearest habitable dwelling. The disguised wireless communication facility needs to be set back a distance equal to 200% of the height of the facility. With the height of the facility being 50 feet; the distance would need to be equal to 100 feet from a habitual dwelling. The monopine exceeds the required setback distance by 210 feet.*

- N. **Support Facilities.** *Freestanding equipment enclosures shall be constructed to look like adjacent structures or facilities typically found in the area and shall adhere to the Countywide Design Standards and Guidelines, where appropriate. Where there are no structures in the immediate vicinity, equipment closures shall blend with existing naturally occurring elements of the viewing background shall be screened from view by landscaping, fencing/walls or other methods. Equipment enclosures shall not exceed thirteen (13) feet in height.* The disguised wireless communication facilities supporting equipment is compliant to this provision by incorporating a neutral earth tone colors that blend with natural view elements (beiges, greens, and browns) of the surrounding area. No structures are in the immediate facilities therefore support facilities have been designed to blend with the existing naturally occurring elements. These design features adhere to the Countywide Design Standards and Guidelines.
- O. **Treatment.** *Wireless communication facilities shall be given a surface treatment similar to surrounding architecture and all finishes shall be light tan and shall match the surrounding environment.* Project plans demonstrate how the project will incorporate surface treatments similar to the surrounding architecture and environment. Conditions have been applied to the project to require compliance with this provision.

Requirements for Plot Plan Approval:

The proposed project is consistent with the required findings noted in Article XVIII of Ordinance No. 348. Section 18.30.C establishes required findings for all Plot Plan approvals.

1. The proposed use conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. The proposed project is within the Open Space-Recreation (OS-R) land use district which permits a variety of active and passive recreational uses such as parks, trails, camp grounds, and athletic fields. Wireless Communication Facilities conform with the requirements of the General Plan since they promote communication infrastructure to adjacent residential and commercial uses. Wireless Towers are also allowed within the Specific Plan (SP 286 - Winchester 1800 #286), Planning Area 16A, and meets all requirements outlined in County of Riverside Ordinance No. 348, Article XIXg, Wireless Communication Facilities. Conditions of approval are applied to require compliance with all applicable state laws and ordinances of Riverside County.
2. The overall development of the land is designed for the protection of the public health, safety and general welfare and to conform to the logical development of the surrounding properties. The proposed wireless communication facility has received clearances and applicable conditions of approval from the Development Advisory Committee. Additionally, owners 600 feet from the project site will receive a project notice prior to finalizing the project and may raise public health, safety and general welfare concerns. Owners may address concerns during the public hearing for the proposed project. Implementation of the proposed Project will not impact the surrounding area in terms of a substantial increase in traffic or noise since the Project would not increase these above existing conditions. The Project site is adequately served by Winchester Road and Abelia Street. A 12-foot non-exclusive vehicular path of access is demonstrated on plans showing how a service vehicle will access the wireless facility. Incorporation of conditions of approval in regards location of fire hydrants and portable fire extinguishers will provide compliance with the California Building Code. Furthermore, through compliance with the California Building Code and Riverside County Ordinance No. 348 the project will not negatively affect the public health, safety, or welfare
3. That plan for the proposed use shall consider the location and need for dedication and improvement of necessary streets and sidewalks, including the avoidance of traffic congestion; and shall take

into account topographical and drainage conditions, including the need for dedication and improvements of necessary structures as a part thereof. The Development Advisory Committee reviewed the project and confirmed that no additional dedication and improvements are necessary to avoid traffic congestion. It is expected that the facility will specifically generate traffic by vehicles servicing the facility on a semi-weekly basis, therefore no additional dedications and improvements are required. The Development Advisory Committee also determined that no additional dedication and improvements are necessary due to the topography and drainage conditions of the site. Additionally, the project has received the approval of County Geological Report No. 200025 (GEO200025) and has received conditions to address for the geotechnical conditions of the site.

4. All plot plans which permit the construction of more than one structure on a single legally divided parcel shall, in addition to all other requirements be subject to a condition which prohibits the sale of any existing or subsequently constructed structures on the parcel until the parcel is divided and a final map recorded in accordance with Ordinance No. 460 in such a manner that each building is located on a separate legally divided parcel. The project has been conditioned to be compliant with Ordinance No. 460.

Other Findings:

1. This project site is located within Criteria Cell No. 5275 & 5376 for the WRMSHCP (Western Riverside County Multi-Species Habitat Conservation Plan). HAN180001 was reviewed and approved for the project. The Riverside Conservation Agency and the Wildlife Agencies have completed their reviews and have determined that the project is consistent with the MSHCP.
2. This project is within the City of Temecula sphere of influence. This project was provided to City of Temecula for review and comment. No comments were received either in favor or opposition of the project.
3. The project site is not located within an Airport Influence Area ("AIA") boundary and is therefore not subject to the Airport Land Use Commission ("ALUC") review.
4. The project site is located within Zone B of the Mount Palomar Observatory Lighting Zone boundary, as identified by Ordinance No. 655 (Mt. Palomar). The project is required to comply with all lighting standards specified within Ordinance No. 655, pursuant to Zone B.
5. The project site is located within the Fee Assessment Area of the Stephen's Kangaroo Rat Habitat Conservation Plan ("SKRHCP").

Fire Findings:

1. The Project site is not located within Fire Hazard Zone or within a Cal Fire State Responsibility Area (SRA). However, compliance with State and County Ordinances and standard conditions of approval in regards to emergency access, fire flow, fire hydrants and building materials will aid in the protection of people and property from the potential hazards of fire.

Conclusion:

For the reasons discussed above, the proposed project conforms to all the requirements of the General Plan and with all applicable requirements of State law and the ordinances of Riverside County. Moreover, the proposed project would not be detrimental to the health, safety or general welfare of the community.

PUBLIC HEARING NOTIFICATION AND OUTREACH

Public hearing notices were mailed to property owners within 600 feet of the proposed project site. As of the writing of this report Planning Staff has/has not received written communication/phone calls from property owners who indicated support/opposition to the proposed project.

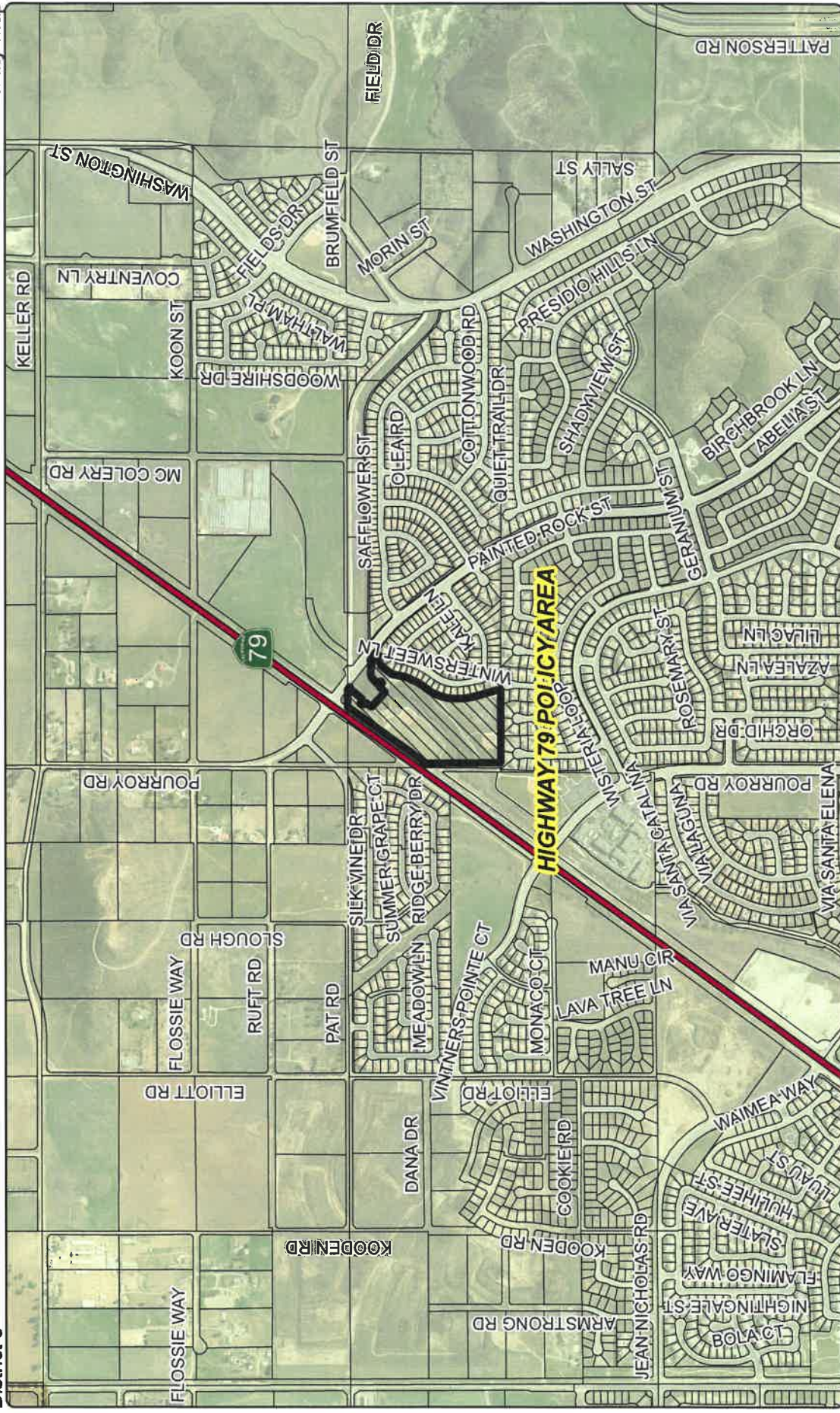
APPEAL INFORMATION

The Director's Hearing decision may be appealed to the Planning Commission. Such appeals shall be submitted in writing to the Clerk of the Board, with the required fee as set forth in Ordinance No. 671 (Consolidated Fees for Land Use and Related Functions), within 10 days after the mailing of the Planning Director's decision.

RIVERSIDE COUNTY PLANNING DEPARTMENT
PP25693
VICINITY/POLICY AREAS

Supervisor: Washington
 District 3

Date Drawn: 03/10/2016
 Vicinity Map



Author: Vinnie Nguyen

Zoning Area: Rancho California

PLANS DRAWN BY: (951) 963-3277. All Rights Reserved. This map is provided for informational purposes only. It is not intended to be used for any other purpose. For further information, please contact the Riverside County Planning Department at (951) 963-3277. Website: <http://www.riversidecountyplanning.com>

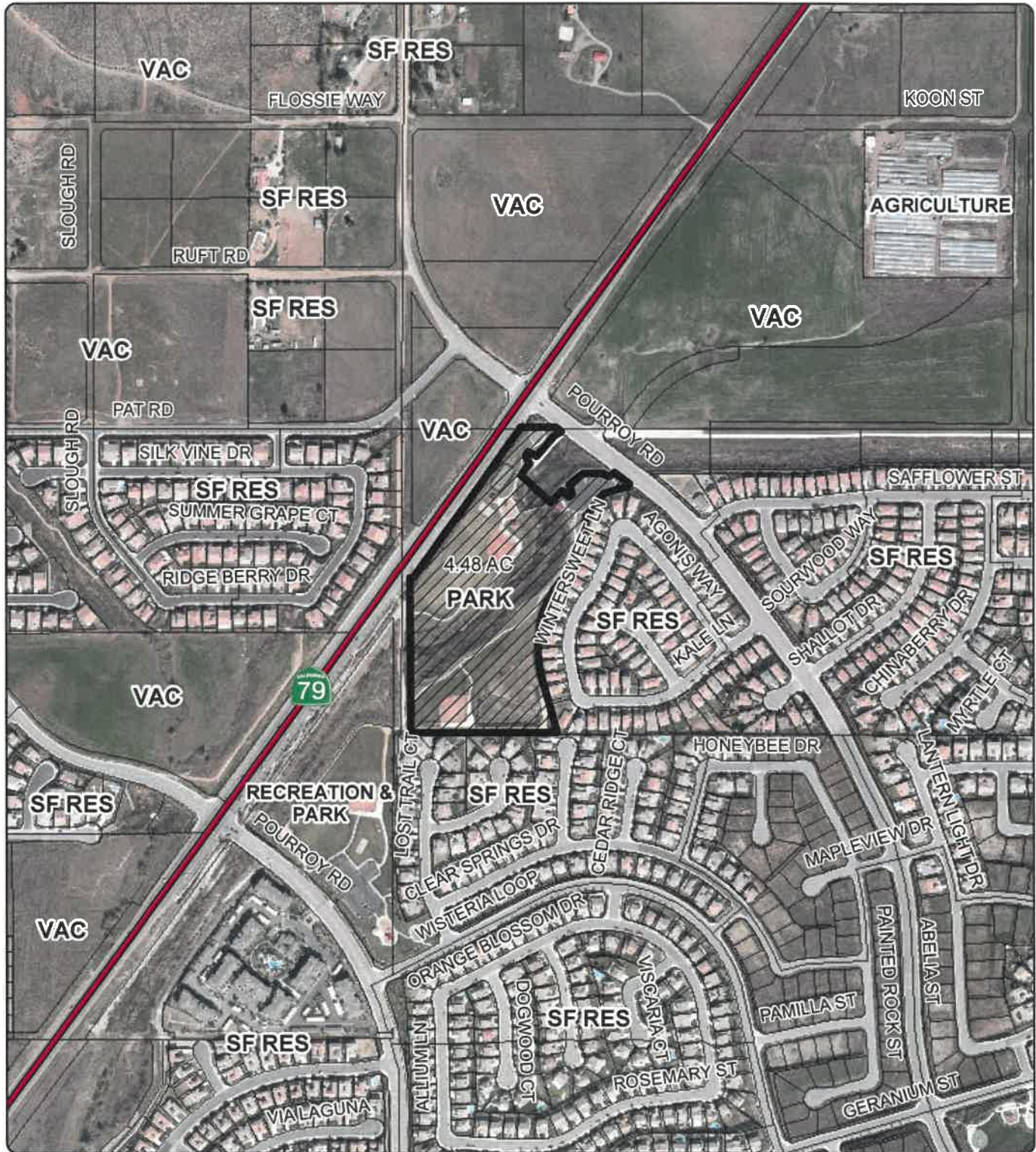
RIVERSIDE COUNTY PLANNING DEPARTMENT

PP25693

LAND USE

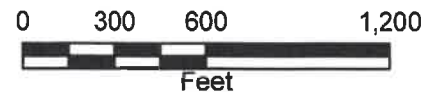
Supervisor: Washington
District 3

Date Drawn: 03/10/2016
Exhibit 1



Zoning Area: Rancho California

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rcrlma.org>

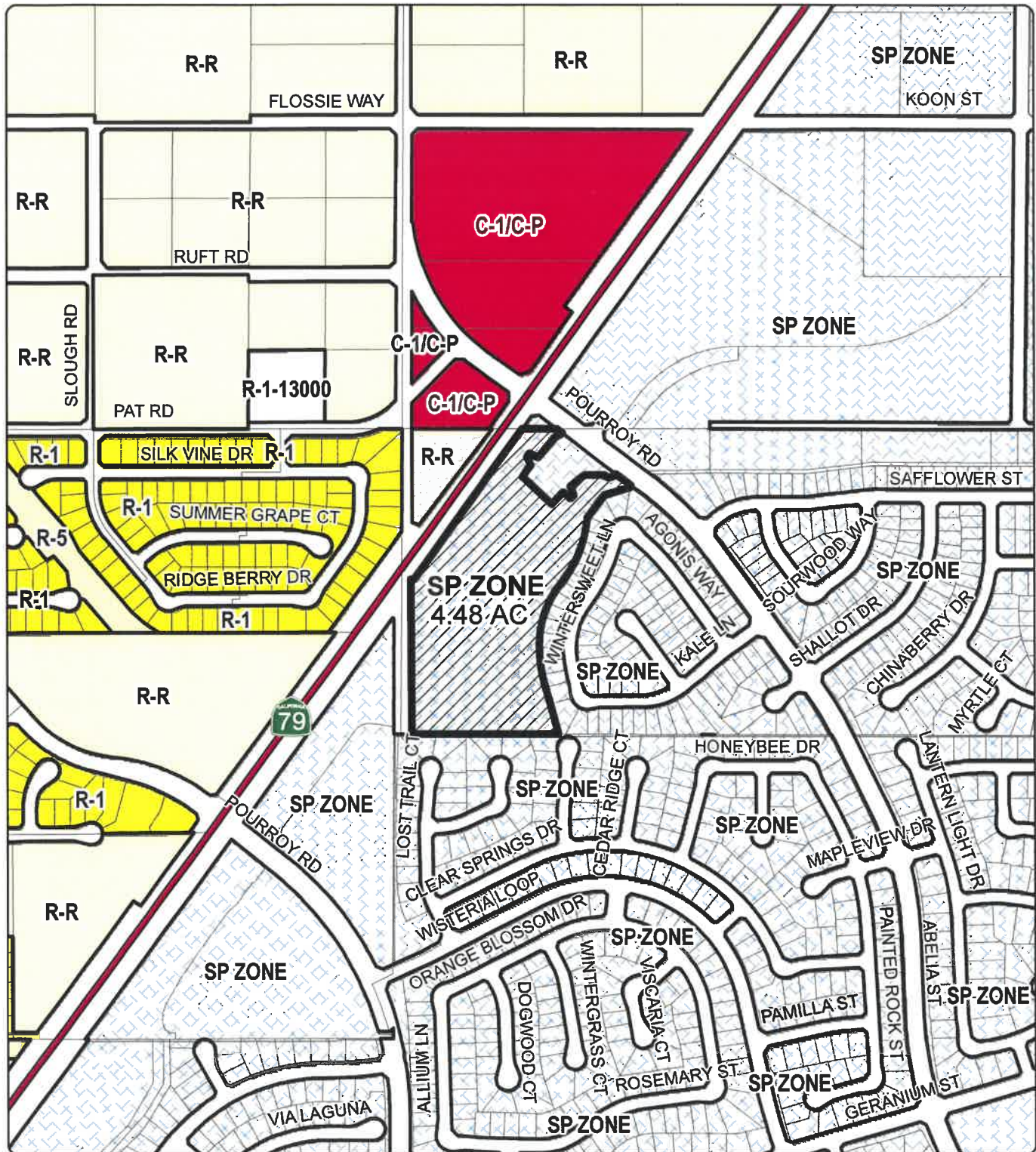
RIVERSIDE COUNTY PLANNING DEPARTMENT

PP25693

Supervisor: Washington
District 3

EXISTING ZONING

Date Drawn: 03/10/2016
Exhibit 2



Zoning Area: Rancho California

Author: Vinnie Nguyen



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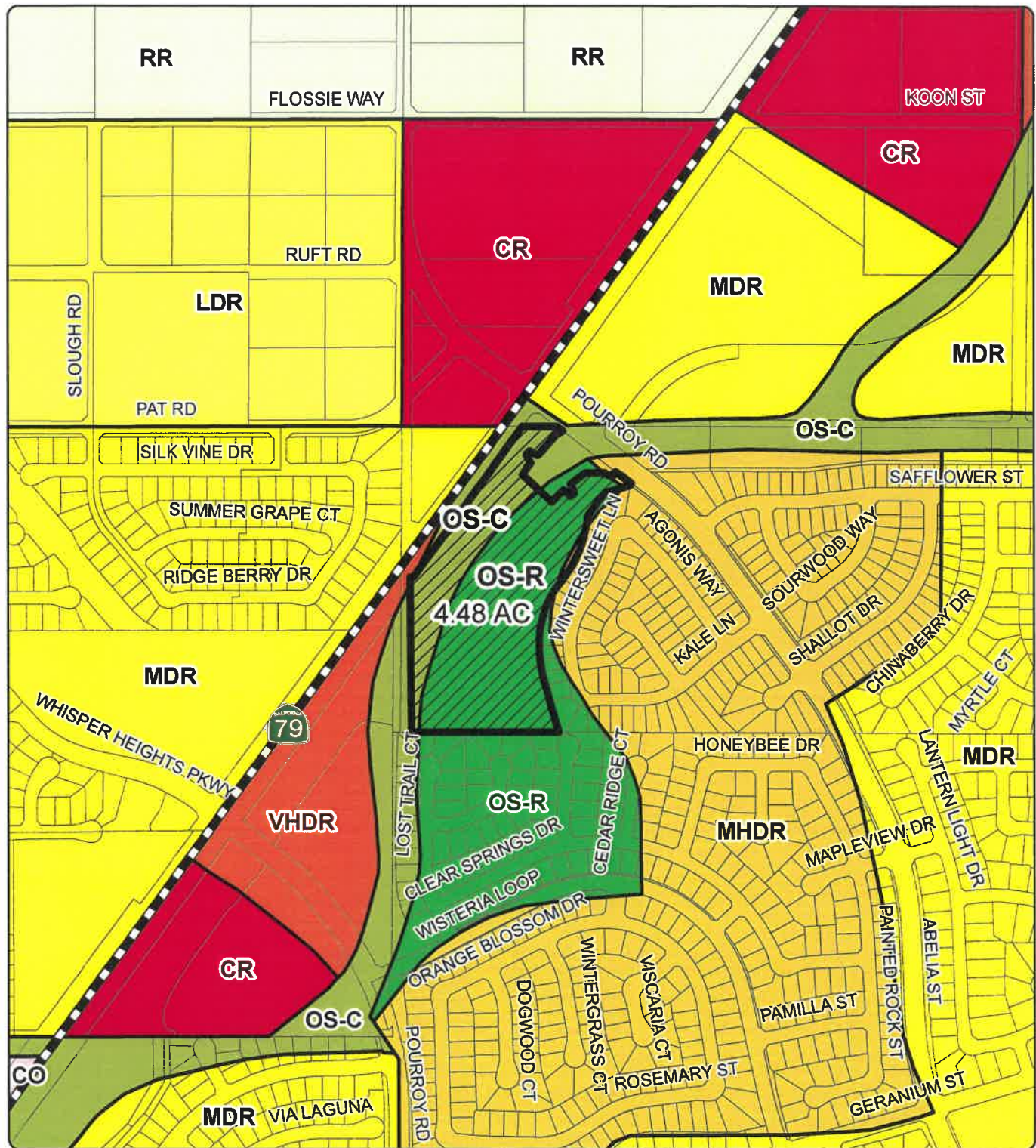
RIVERSIDE COUNTY PLANNING DEPARTMENT

PP25693

Supervisor: Washington
District 3

EXISTING GENERAL PLAN

Date Drawn: 03/10/2016
Exhibit 5

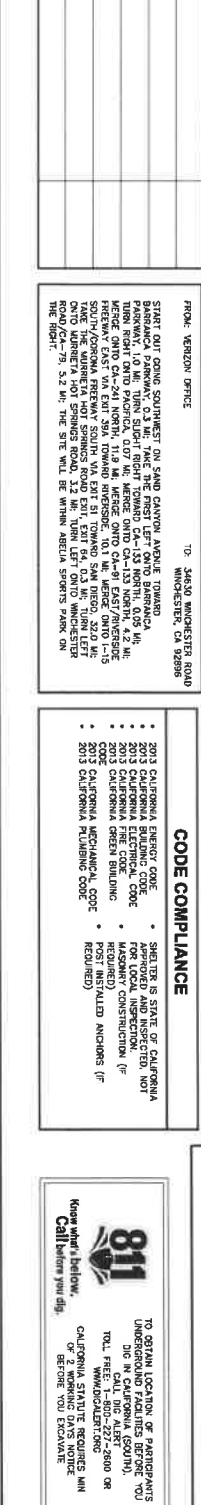
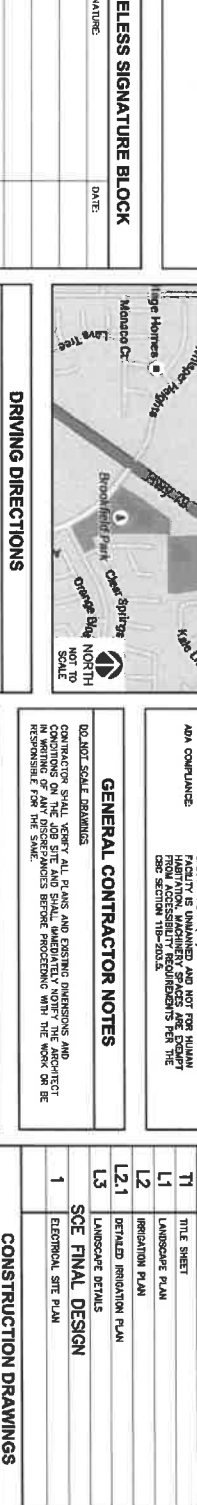


Zoning Area: Rancho California

Author: Vinnie Nguyen



DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different type of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951)955-3200 (Western County) or in Palm Desert at (760)863-8277 (Eastern County) or Website <http://planning.rctlma.org>

 <p>LUAU (MACROCELL EVOLUTION)</p>		<p>34630 WINCHESTER ROAD WINCHESTER, CALIFORNIA 92596</p>													
		<p>ISSUE STATUS</p> <table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> <tr> <td>1</td> <td>07/20/15</td> <td>ISSUE CONSTRUCTION</td> <td>D.C.</td> </tr> <tr> <td>2</td> <td>07/27/16</td> <td>LANSCAPE REVISION</td> <td>D.C.</td> </tr> </table>		REV	DATE	DESCRIPTION	BY	1	07/20/15	ISSUE CONSTRUCTION	D.C.	2	07/27/16	LANSCAPE REVISION	D.C.
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<p>REGISTERED PROFESSIONAL ENGINEER GARRETT T. HANNING No. 85198 Exp. 03/31/18 STATE OF CALIFORNIA CIVIL ENGINEER</p> <p>JAN 27 2016</p>		 <p>15505 SAND CANYON AVENUE, D1 IRVINE, CALIFORNIA 92618</p>													

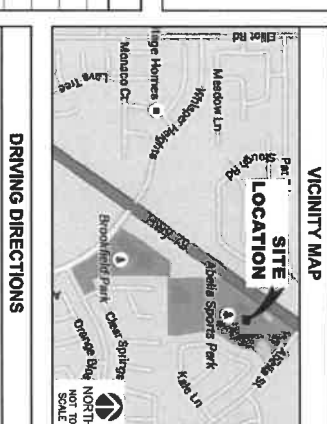
PROJECT TEAM	
<p>OVERALL WEIGHT: 500'</p>	<p>SITE ACQUISITION/PLANNING: SPECTRUM SERVICES, INC. 4405 E. AIRPORT DRIVE, SUITE 100 IRVINE, CALIFORNIA 92618 PHONE: (949) 458-8401 FAX: (949) 458-8408</p>

PROJECT DESCRIPTION	
<p>THIS PROJECT IS A VERIZON WIRELESS (UNMANNED) TELECOMMUNICATIONS FACILITY. IT WILL CONSIST OF THE FOLLOWING:</p> <ul style="list-style-type: none"> INSTALLATION OF A ~440 SQ. FT. VERIZON WIRELESS TELECOMMUNICATIONS FACILITY INSTALLATION OF (12) VERIZON WIRELESS PANELED ANTENNAS AT A 4 FT. HIGHT INSTALLATION OF (2) VERIZON WIRELESS PARABOLIC ANTENNAS INSTALLATION OF (6) VERIZON WIRELESS REMOTE RADIO UNITS (RRU) WITH WIRELESS NETWORK CABLES INSTALLATION OF (2) VERIZON WIRELESS TOWER MOUNTED ANTENNA BOSES INSTALLATION OF (3) VERIZON WIRELESS OUTDOOR EQUIPMENT CABINETS ON A NEW 300A DEDICATED ELECTRICAL SERVICE TO METER INSTALLATION OF (1) VERIZON WIRELESS OPS ANTENNAS INSTALLATION OF A VERIZON WIRELESS OPS BLOCK WALL INSTALLATION OF A VERIZON WIRELESS 15'X10' SCOPERATOR WITH A 54" GALVANNEE PANEL ON A CONCRETE PAD INSTALLATION OF A VERIZON WIRELESS 15'X10' SCOPERATOR WITH A 54" GALVANNEE PANEL ON A CONCRETE PAD NEW FIBER CORDROUT RUN TO CONNECT NEW 300A DEDICATED ELECTRICAL SERVICE TO METER INSTALLATION OF (2) VERIZON WIRELESS SOLAR TRANSFORMERS 	<p>CIVIL ENGINEER: SPECTRUM SERVICES, INC. 4405 E. AIRPORT DRIVE, SUITE 100 IRVINE, CALIFORNIA 92618 PHONE: (949) 458-8401 FAX: (949) 458-8408</p> <p>ELECTRICAL ENGINEER: DGS CONSULTING ENGINEERING SERVICES LLC 1001 W. CHAMBERLAIN BOULEVARD, SUITE 2539 CHICO, CALIFORNIA 95926 PHONE: (707) 895-1552</p> <p>SURVEYOR: JENNIFER LAND SURVEYING 3008 SOUTH FORT AYOUBE ROAD TAYLOR, NEVADA 89145 CONTACT: TREN'T J. KERNAN PHONE: (702) 823-3237</p>

PROJECT SUMMARY	
<p>APPLICANT/LESSOR: Verizon</p> <p>15000 SAND CANYON AVENUE SUITE 100, IRVINE, CALIFORNIA 92618 PHONE: (949) 289-7000 OFFICE: (949) 289-7000</p> <p>APPLICANT'S REPRESENTATIVE: SPECTRUM SERVICES, INC. 4405 E. AIRPORT DRIVE, SUITE 100 IRVINE, CALIFORNIA 92618 PHONE: (949) 458-8401 FAX: (949) 458-8408</p> <p>PROJECT OWNER: NATIONAL WIRELESS CORPORATION & SUN TELEVISION</p> <p>901 N. ESCALANTE SUN ANTONIO, CALIFORNIA 92581 NATIONAL WIRELESS CORPORATION</p>	<p>ASSESSOR'S PARCEL NUMBER: APN: 400-040-029 & 040-000-001</p>

GENERAL CONTRACTOR NOTES	
<p>DO NOT SCALE DRAWINGS</p> <p>CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE, AND SHALL MAINTAIN NOTES TO THE PROJECT RESPONSIBLE FOR THE SAME.</p>	<p>SITE NAME: LUAU</p> <p>SITE ADDRESS: WINCHESTER, CALIFORNIA 92596</p> <p>AMENDMENT: REVERSE COUNTY</p> <p>CONSTRUCTION INFORMATION</p> <p>AREA OF CONSTRUCTION: ~440 SQ. FT.</p> <p>OCCUPANCY TYPE: S-2</p> <p>TYPE OF CONSTRUCTION: V-B</p> <p>ADA COMPLIANCE: FACILITY IS UNMANNED AND NOT FOR HUMAN OCCUPANCY. MAINTENANCE SPACES ARE EXEMPT FROM THE ADA. SEE SECTION 11B-202.6.</p>

CODE COMPLIANCE	
<ul style="list-style-type: none"> 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA ELECTRICAL CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA TOWERING CODE 	<ul style="list-style-type: none"> SHEETER IS STATE OF CALIFORNIA LICENSED ELECTRICAL CONTRACTOR FOR LOCAL INSPECTION (IF REQUIRED) FOR LOCAL INSPECTION (IF REQUIRED) FOR LOCAL INSPECTION (IF REQUIRED) REQUIREMENT FOR LOCAL INSPECTION (IF REQUIRED) REQUIREMENT FOR LOCAL INSPECTION (IF REQUIRED)

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VERIZON WIRELESS SIGNATURE BLOCK	
<p>DISCIPLINE: SIGNATURE:</p> <p>DATE:</p> <p>RE: VENDOR:</p> <p>DATE:</p> <p>DATE:</p> <p>DATE:</p> <p>DATE:</p> <p>DATE:</p>	<p>DATE:</p>

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CONSTRUCTION DRAWINGS	
<p>TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG, CALL 811 (OR 1-800-487-7847) AT LEAST 48 HOURS BEFORE ANY EXCAVATION. CALL 811 (OR 1-800-487-7847) AT LEAST 48 HOURS BEFORE ANY EXCAVATION.</p>	<p>811 Know what's below. Call before you dig.</p>

<p>SHEET TITLE: TITLE SHEET</p>	<p>REVISION: 2</p>
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SYMBOL	DESCRIPTION
(Symbol)	NEW ANTENNA
(Symbol)	EXISTING ANTENNA
(Symbol)	GROUND ROD
(Symbol)	GROUND BISS BAR
(Symbol)	MECHANICAL BRND CONN.
(Symbol)	CABLED
(Symbol)	GROUND ACCESS WELL
(Symbol)	ELECTRIC BOX
(Symbol)	FIBER BOX
(Symbol)	LIGHT POLE
(Symbol)	NO. LUMINAIR
(Symbol)	SPOT ELEVATION
(Symbol)	SET POINT
(Symbol)	REVISION
(Symbol)	GRID REFERENCE

SYMBOL	DESCRIPTION
(Symbol)	ROOT OF PLASTIC
(Symbol)	(E) BRICK
(Symbol)	(E) MASONRY
(Symbol)	CONCRETE
(Symbol)	GRAVEL
(Symbol)	CHAIN LINK FENCING
(Symbol)	PROPERTY LINE
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(Symbol)	WORK POINT
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15505 SAND CANYON AVENUE, D1
IRVINE, CALIFORNIA 92618

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS THE PROPERTY OF SPECTRUM NETWORKS, INC. AND IS TO BE USED ONLY FOR THE PROJECT IDENTIFIED HEREIN. ANY OTHER USE OR REPRODUCTION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF SPECTRUM NETWORKS, INC. IS STRICTLY PROHIBITED.

DATE: 07/29/15
DESCRIPTION: 30% CONSTRUCTION
DRAWN BY: YLM
CHECKED BY: YLM
DATE: 01/27/16
REVISION: D.C.

ISSUE STATUS

NO.	DATE	DESCRIPTION	BY
1	07/29/15	30% CONSTRUCTION	D.C.
2	01/27/16	LANSCAPE REVISION	D.C.

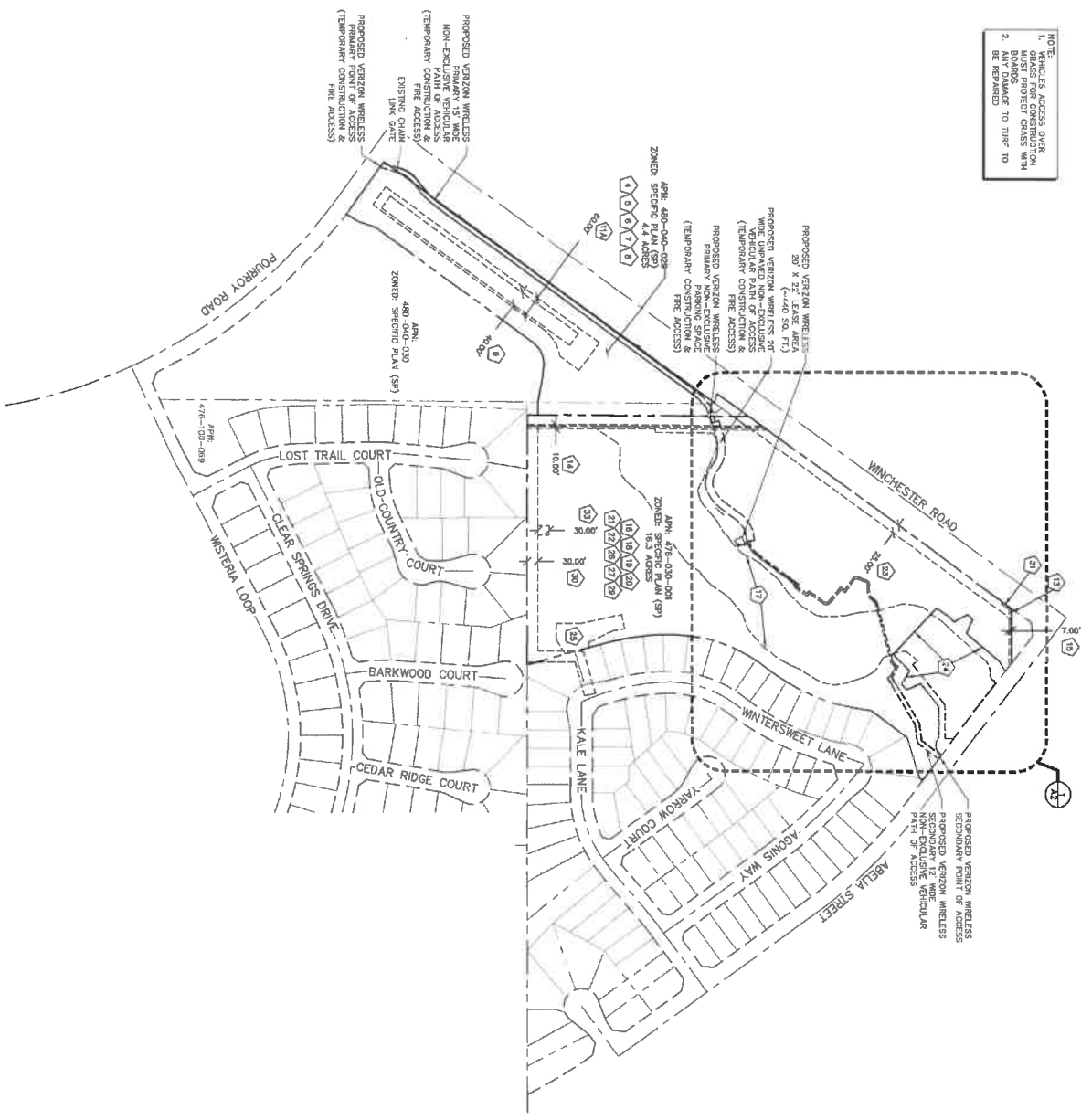
JAN 27 2016

REGISTERED PROFESSIONAL ENGINEER
GANNETT R. HARTMAN
No. 885198
Exp. 02/23/16
STATE OF CALIFORNIA
CIVIL ENGINEER

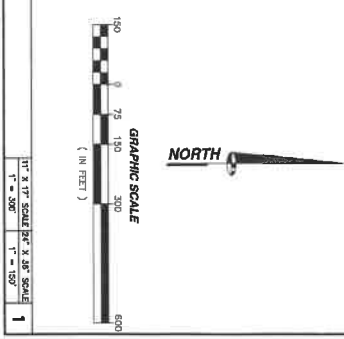
LUAU (MACROCELL EVOLUTION)
34630 WINCHESTER ROAD
WINCHESTER, CALIFORNIA 92596

SHEET TITLE: ABBREVIATION, LEGEND, & CONSTRUCTION NOTES
REVISION: T2
LAK-391

NOTE:
 1. VEHICLES ACCESS OVER DRIVEWAYS MUST BE PROTECTED WITH BARRIERS.
 2. DRIVEWAYS TO TAPER TO BE REPAIRED.



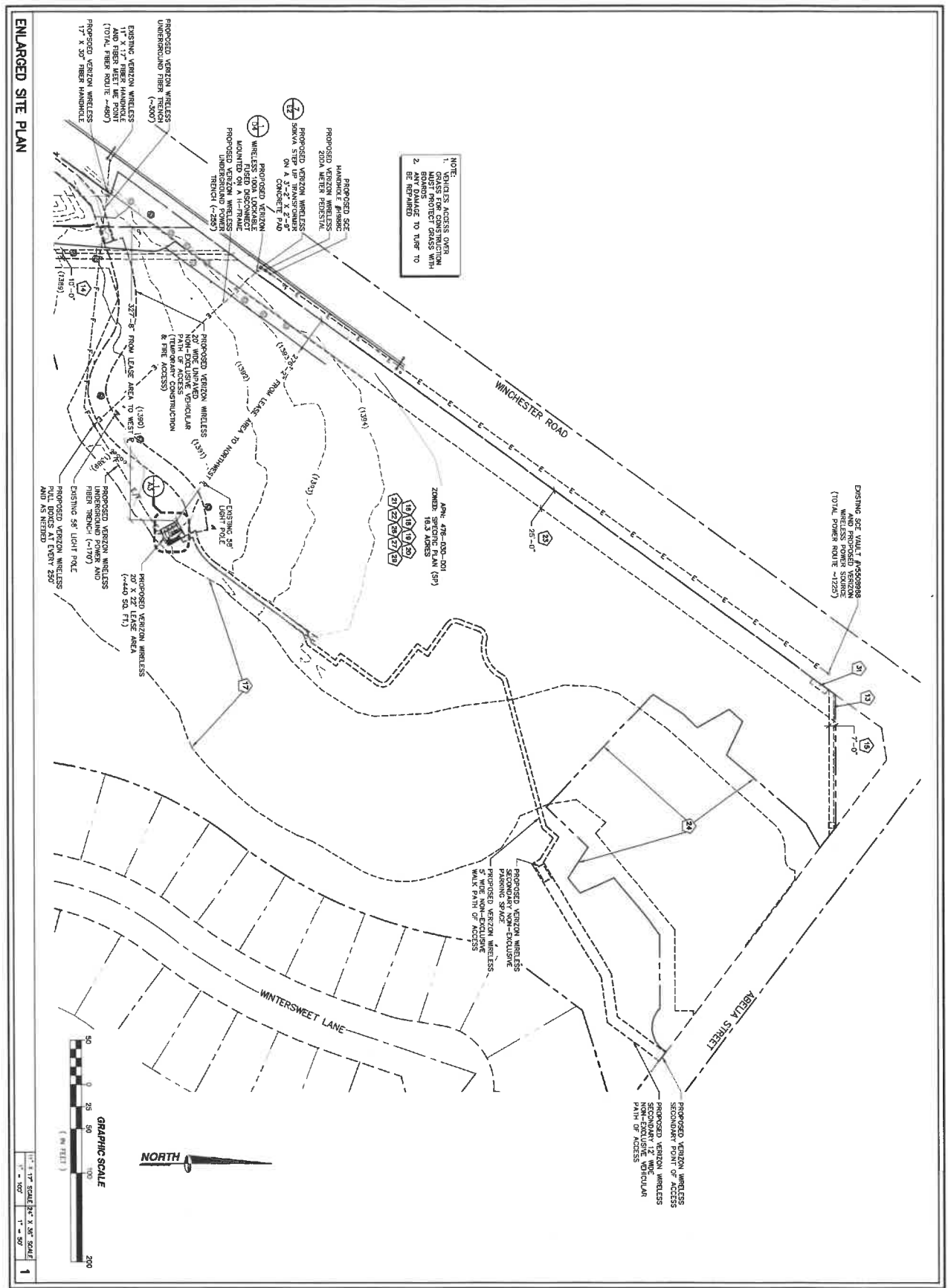
SITE PLAN



LEGEND

---	LEASE AREA
---	CENTRINE
---	EASTMENT
---	RIGHT-OF-WAY
---	SECTION LINE
---	PROPERTY LINE
---	OVERHEAD POWER
---	EXISTING CHAIN LINK FENCE
---	PROPOSED PRECINCT IRON FENCE
---	EXISTING 1" CONTOUR
---	EXISTING 5' CONTOUR
---	EXISTING BLOCK WALL
---	PROPOSED BLOCK WALL
---	FIRE HYDRANT
---	PARKING LOT AREA LIGHT
---	OPTIONAL RESPOND
---	POWER POLE

ISSUE STATUS REG. DATE: 1/27/2015 REG. DESCRIPTION: BOB CONSTRUCTION 1/28/2015 2/10/2015 REG. DESCRIPTION: LANDSCAPE REMOVAL 2/10/2015	ISSUE STATUS REG. DATE: 1/27/2015 REG. DESCRIPTION: BOB CONSTRUCTION 1/28/2015 2/10/2015 REG. DESCRIPTION: LANDSCAPE REMOVAL 2/10/2015	SPECTRUM SPECTRUM SERVICES, INC. 4405 E. AIRPORT DRIVE, SUITE 100 IRVINE, CALIFORNIA 92718 TEL: (949) 445-9488 FAX: (949) 445-9488	THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS PROPRIETARY AND CONFIDENTIAL. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SPECTRUM SERVICES, INC.
			verizon 15505 SAND CANYON AVENUE, D1 IRVINE, CALIFORNIA 92618



ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
1	07/23/16	BOOK CONSTRUCTION	D.C.
2	08/05/16	BOOK CONSTRUCTION	V.H.
3	01/27/16	LANDSCAPE REVISION	D.C.

verizon

15505 SAND CANYON AVENUE, 01
IRVINE, CALIFORNIA 92618

SPECTRUM

SPECTRUM SERVICES, INC.
4405 E. ASPEN DRIVE, SUITE 100
DENVER, CO 80231
PHONE: (303) 468-8400
FAX: (303) 468-8408

REGISTERED PROFESSIONAL ENGINEER
GARNETT R. HARTMAN
No. 85158
Exp. 03/31/16
STATE OF CALIFORNIA
CIVIL ENGINEER

LUAU (MACROCELL EVOLUTION)

34630 WINCHESTER ROAD
WINCHESTER, CALIFORNIA 92596

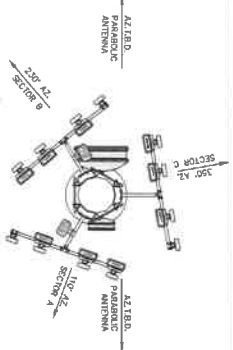
JAN 27 2016

SHEET TITLE:
ENLARGED SITE PLAN

A2

REVISION:
2

L.A.C. 391



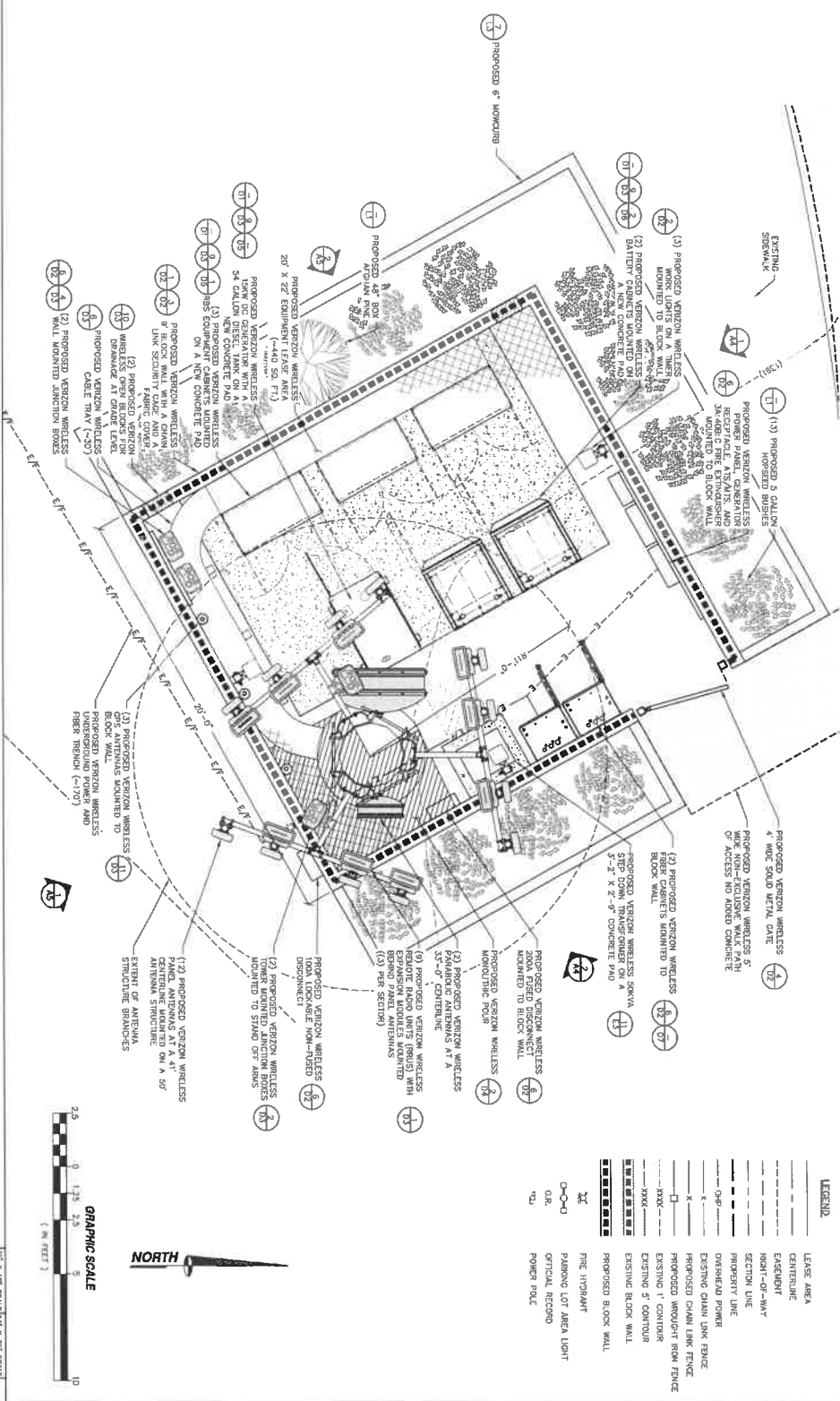
ANTENNA LAYOUT

1" = 10' SCALE
1" = 5' SCALE

3 ANTENNA AND CABLE SCHEDULE

NOTE: CONTRACTOR TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING, FABRICATING, OR INSTALLATION OF CABLES.

ANTENNA SECTOR	AZIMUTH	ELEVATION	FEED	CENTRINE	COAXIAL CABLE LENGTH	CABLE SIZE	COLOR CODE	TOP JUNCTION LENGTH	BOTTOM JUNCTION LENGTH	COMMENTS
SECTOR A	110°	4°	3	41'		(4) 7/8" COAX	RED/GREEN	5'	15'	
SECTOR B	230°	4°	3	41'	90°	(4) 7/8" COAX	RED/GREEN	5'	15'	
SECTOR C	350°	4°	3	41'		(4) 7/8" COAX	BLUE/RED	5'	15'	
PARABOLIC ANTENNA	18.0	2		33'		(2) 1-5/8" HYBRIFLEX	YELLOW/GREEN	5'	15'	
GPS	N/A	3				1/2" COAX	GRAY			



SITE DETAIL

1" = 10' SCALE
1" = 2'-0" SCALE

2

LEGEND

- LEAVE AREA
- CENTRINE
- EXISTING
- BACK-OFF-WAY
- SECTION LINE
- PROPOSED LINE
- OVERHEAD POWER
- EXISTING CHAIN LINK FENCE
- PROPOSED CHAIN LINK FENCE
- PROPOSED WOODPOST RICH FENCE
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- EXISTING BLOCK WALL
- PROPOSED BLOCK WALL
- FIRE HYDRANT
- PARKING LOT AREA LIGHT
- OR.
- OPTICAL REFLECTOR
- POUCH POLE



1" = 10' SCALE
1" = 2'-0" SCALE

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
1	01/27/16	100% CONSTRUCTION	V.H.
2	01/27/16	LANDSCAPE REVISION	D.C.



SPECTRUM SERVICES, INC.
4405 E. AUBURN DRIVE, SUITE 100
IRVINE, CALIFORNIA 92618
PHONE: (949) 224-4400
FAX: (949) 456-4405

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15505 SAND CANYON AVENUE, D1
IRVINE, CALIFORNIA 92618



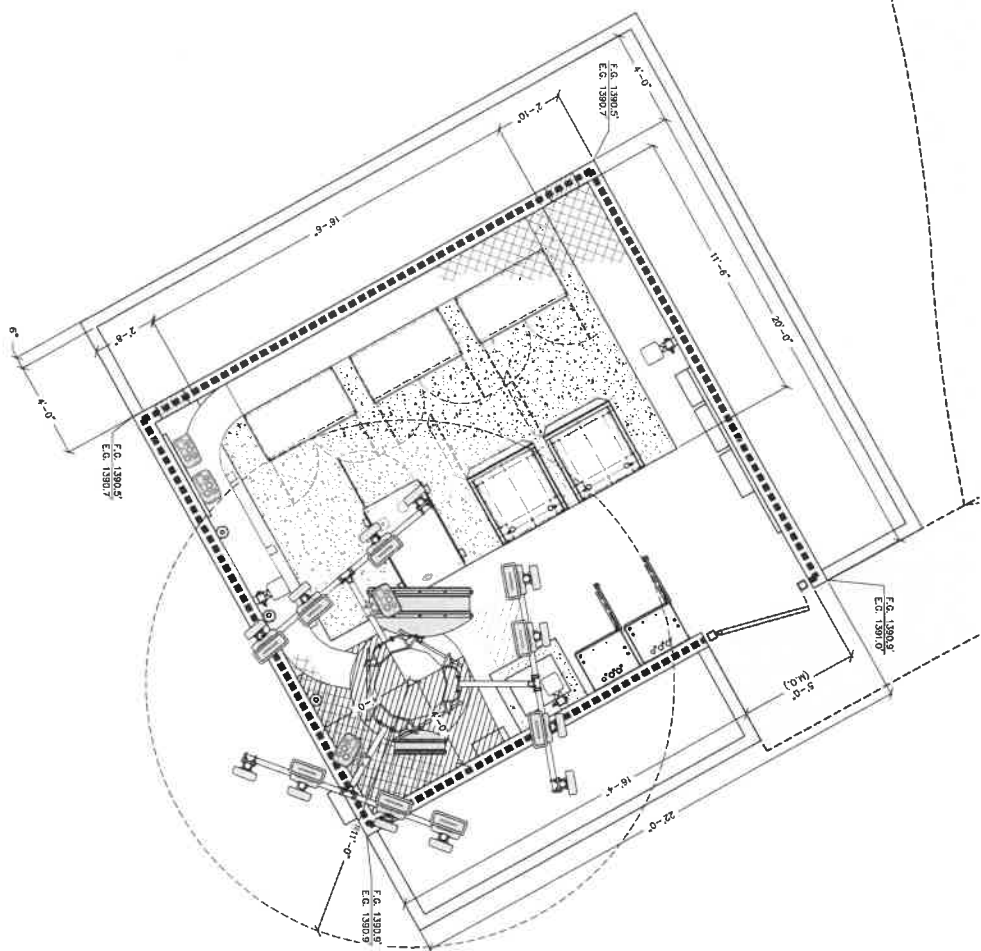
JAN 27 2016

LUAU
(MACROCELL EVOLUTION)
34430 WINCHESTER ROAD
WINCHESTER, CALIFORNIA 92596

SHEET TITLE:
SITE DETAIL, ANTENNA & CABLE SCHEDULE AND ANTENNA LAYOUT

A3
REVISION: **2**
LAW-391

SITE DETAIL WITH DIMENSIONS



- LEGEND**
- LEASE AREA
 - CENTERLINE
 - RIGHT-OF-WAY
 - SECTION LINE
 - PROPERTY LINE
 - OVERHEAD POWER
 - PROPOSED CHAIN LINK FENCE
 - PROPOSED WOODLOT RICH FENCE
 - EXISTING 1' CONTOUR
 - EXISTING 5' CONTOUR
 - EXISTING BLOCK WALL
 - PROPOSED BLOCK WALL
 - FIRE MANSION
 - PARKING LOT AREA LIGHT
 - OPTICAL RECORD
 - POWER POLE

DATE: 1/27/16
 1

SHEET TITLE:
 SITE DETAIL WITH
 DIMENSIONS

REVISION:
 2
 LAY-39T

LUAU
 (MACROCELL EVOLUTION)
 34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596



verizon
 15505 SAND CANYON AVENUE, D1
 IRVINE, CALIFORNIA 92618

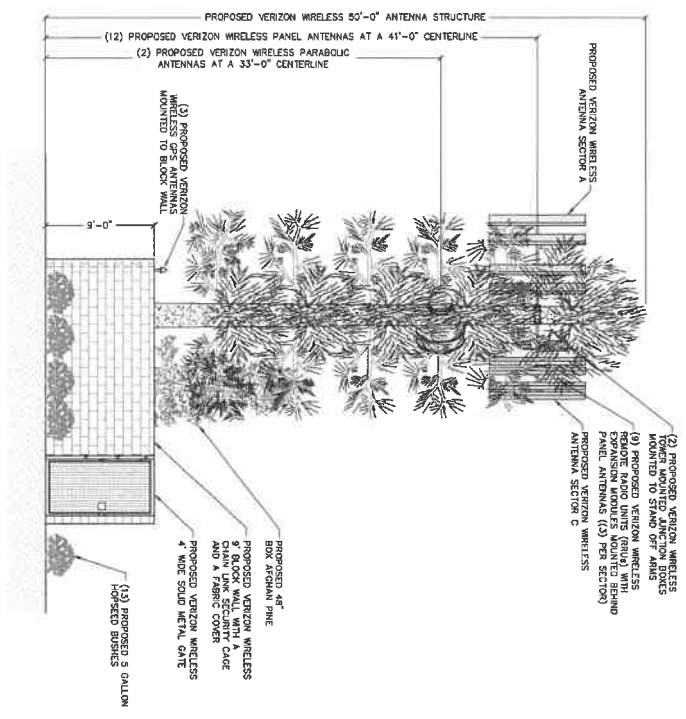
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 SPECTRUM SERVICES, INC.
 4405 E. AIRPORT DRIVE, SUITE 100
 IRVINE, CALIFORNIA 92718
 PHONE: (949) 456-4488
 FAX: (949) 456-4488

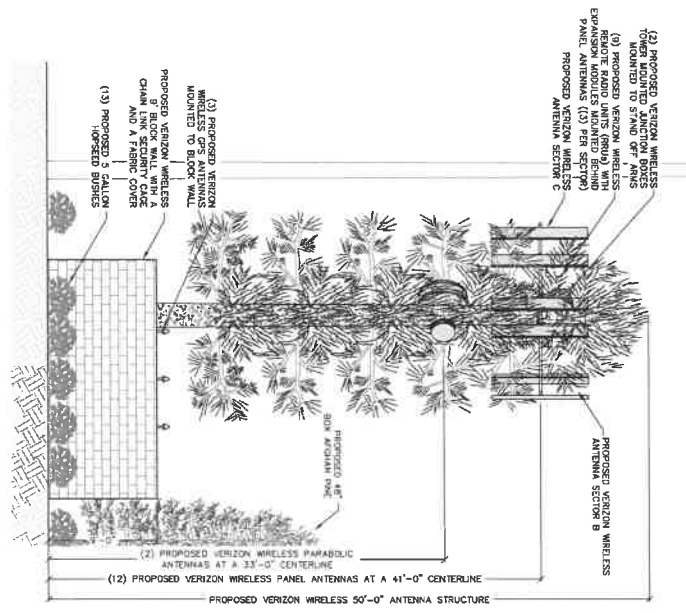
ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	07/20/15	SOB CONSTRUCTION	D.C.
1	09/09/15	100% CONSTRUCTION	V.H.
2	01/27/16	LANDSCAPE REVISION	D.C.

NOTE:
ALL PROPOSED ANTENNAS AND
APPURTENANCES TO BE PAINTED
TO MATCH ANTENNA STRUCTURE
AND COVERED WITH RF
FRIENDLY LEAF SCREENS



NOTE:
ALL PROPOSED ANTENNAS AND
APPURTENANCES TO MATCH ANTENNA
STRUCTURE AND COVERED WITH RF
FRIENDLY LEAF SCREENS



NORTHEAST ELEVATION

NORTHWEST ELEVATION

1/4" = 1'-0" SCALE
1/8" = 1'-0" SCALE

1/4" = 1'-0" SCALE
1/8" = 1'-0" SCALE

2

1

ISSUE STATUS		
REV.	DATE	DESCRIPTION
0	07/20/15	90% CONSTRUCTION
1	08/05/15	100% CONSTRUCTION
2	01/27/16	LANDSCAPE REVISION

SPECTRUM
SPECTRUM SERVICES, INC.
4405 E. ASPEN DRIVE, SUITE 100
IRVINE, CALIFORNIA 92618
PHONE: (949) 456-8400
FAX: (949) 456-8408

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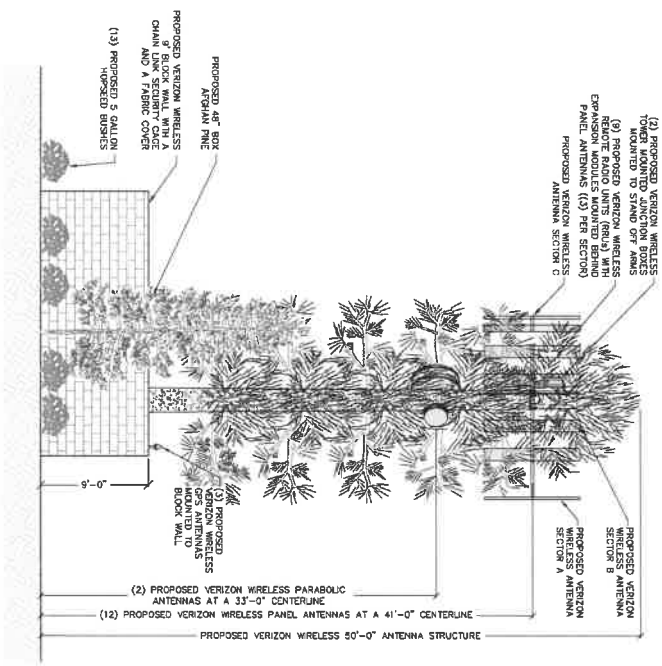
verizon
15505 SAND CANYON AVENUE, D1
IRVINE, CALIFORNIA 92618

REGISTERED PROFESSIONAL ENGINEER
GARET R. HARTWIGNE
No. 85158
Exp. 03/29/16
STATE OF CALIFORNIA
CIVIL ENGINEER
JAN 27 2016

LUAU (MACROCELL EVOLUTION)
34630 WINCHESTER ROAD
WINCHESTER, CALIFORNIA 92596

SHEET TITLE:
NORTHWEST & NORTHEAST
ELEVATIONS
A4
REVISION:
2
LAW-391

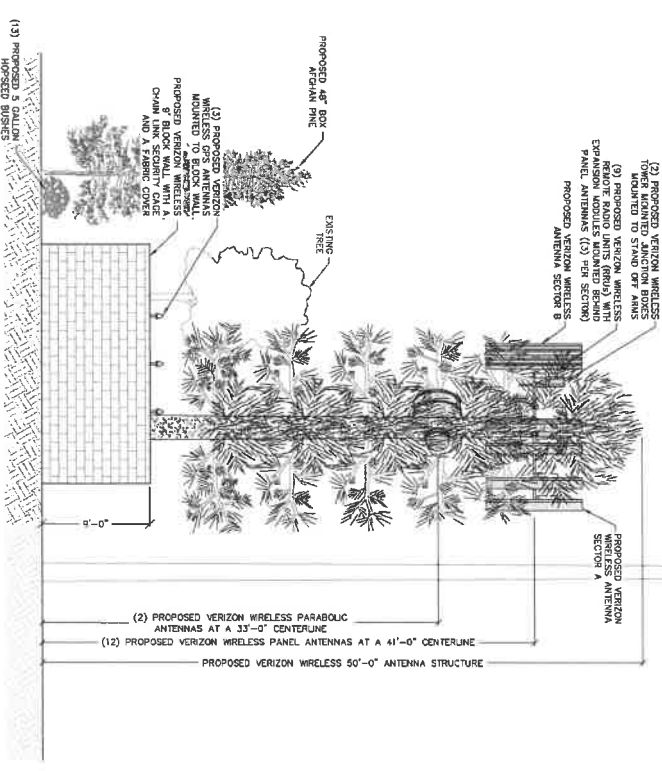
NOTE:
 PROPOSED ANTENNAS AND
 JUNCTION BOXES TO BE PAINTED
 TO MATCH ANTENNA STRUCTURE
 FINISH. LEAF SCANS
 FRIENDLY LEAF SCANS



SOUTHWEST ELEVATION

1" = 10' SCALE
 1" = 5' SCALE
 2

NOTE:
 PROPOSED ANTENNAS AND
 JUNCTION BOXES TO BE PAINTED
 TO MATCH ANTENNA STRUCTURE
 FINISH. LEAF SCANS
 FRIENDLY LEAF SCANS



SOUTHEAST ELEVATION

1" = 10' SCALE
 1" = 5' SCALE
 1



ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	07/20/15	99% CONSTRUCTION	D.C.
1	09/05/15	100% CONSTRUCTION	V.H.
2	01/27/16	LANDSCAPE REVISION	D.C.

SPECTRUM
 SPECTRUM SERVICES, INC.
 4405 E. AIRPORT DRIVE, SUITE 100
 IRVINE, CALIFORNIA 92618
 PHONE: (949) 456-4001
 FAX: (949) 456-4005

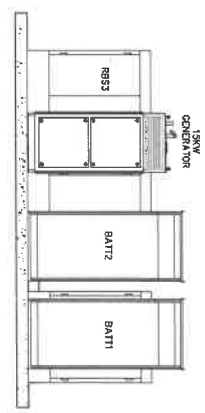
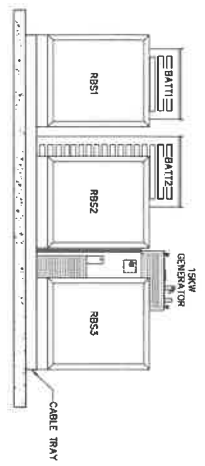
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 SERVICES, INC.

verizon
 15505 SAND CANYON AVENUE, D1
 IRVINE, CALIFORNIA 92618

REGISTERED PROFESSIONAL ENGINEER
 GARRETT R. HANFORD
 No. 85118
 Exp. 03/31/16
 STATE OF CALIFORNIA
 CIVIL ENGINEER
 JAN 27 2016

LUAU
 (MACROCELL EVOLUTION)
 34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596

SHEET TITLE:
 SOUTHWEST & SOUTHWEST
 ELEVATIONS
 A5
 REVISION:
 2
 LAK-391

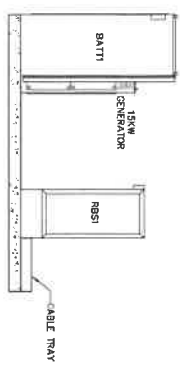


ELEVATION 'C'

ELEVATION 'A'

ELEVATION 'B'

SCALE NONE 2

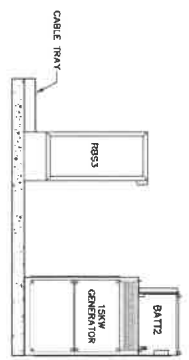


ELEVATION 'D'

ELEVATION 'D'

ELEVATION 'B'

SCALE NONE 5

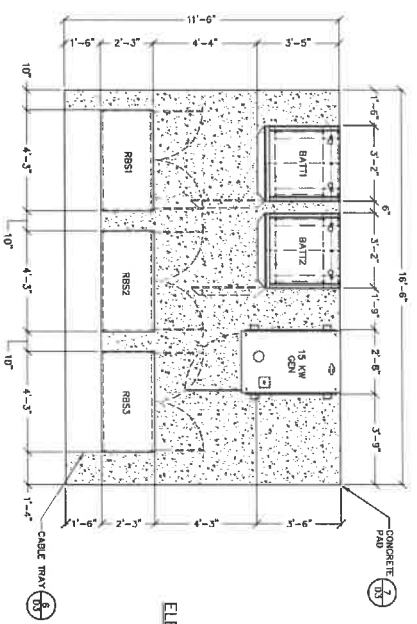


ELEVATION 'B'

EQUIPMENT DETAIL

ELEVATION 'C'

SCALE NONE 4



MAIN BLOCK WALL OCCURS BLOCK OUT FOR CONCRETE IN DESIGN

ISSUE STATUS

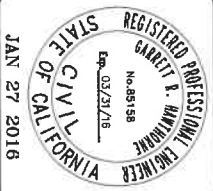
REV.	DATE	DESCRIPTION	BY
0	07/23/15	BOM CONSTRUCTION	D.C.
1	08/05/15	100% CONSTRUCTION	V.H.
2	10/27/16	LANDSCAPE REVISION	D.C.



SPECTRUM SERVICES, INC.
 4405 E. ASPEN DRIVE, SUITE 100
 OAKLAND, CALIFORNIA 94765
 FAX: (909) 458-8408



15505 SAND CANYON AVENUE, D1
 IRVINE, CALIFORNIA 92618

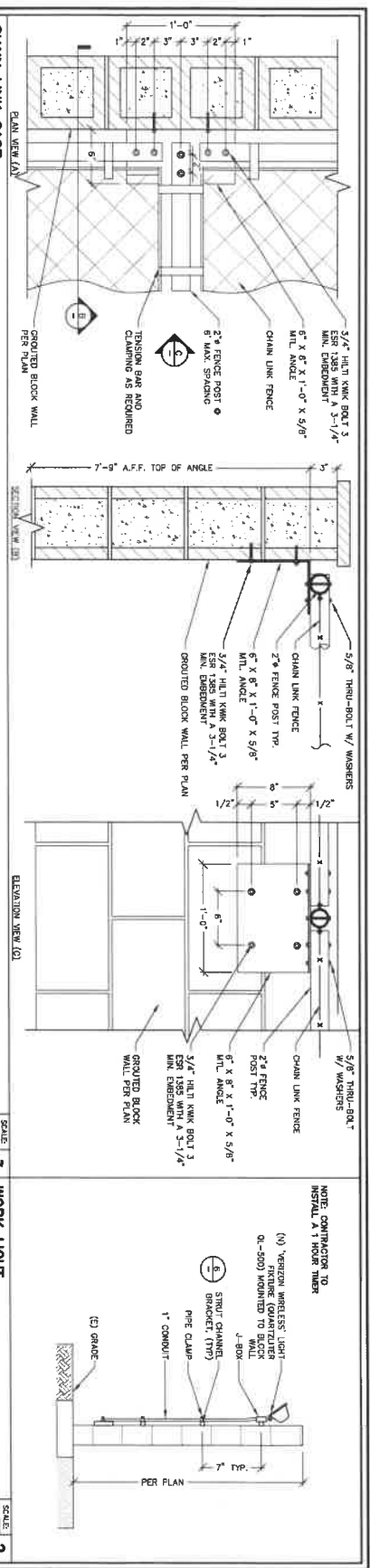


JAN 27 2016

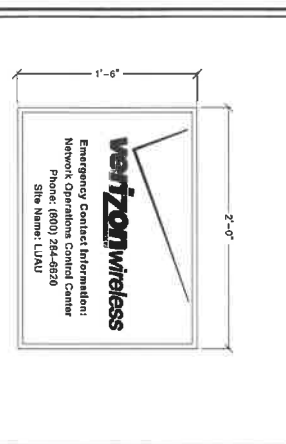
LUAU
 (MACROCELL EVOLUTION)
 34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596

SHEET TITLE:
 EQUIPMENT CABINET DETAILS

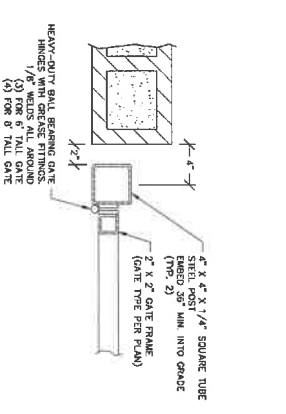
D1
 REVISION:
 2
 LAV-391



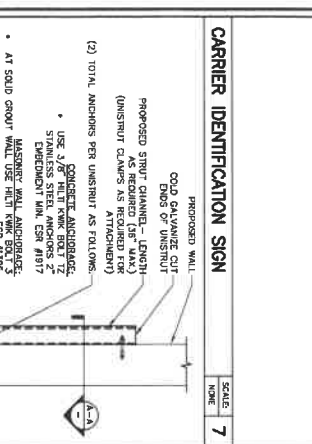
CHAIN LINK CAGE SCALE: NONE
WORK LIGHT SCALE: NONE



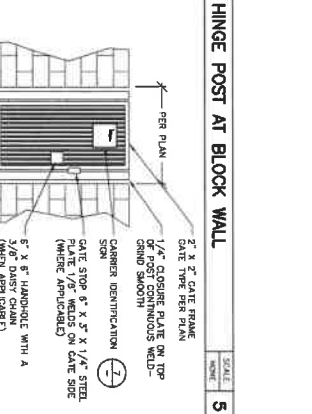
CARRIER IDENTIFICATION SIGN SCALE: NONE



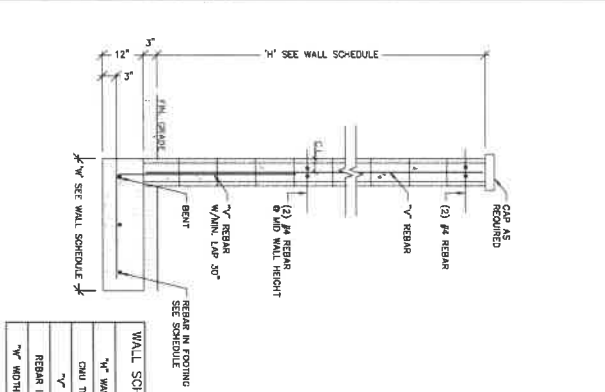
HINGE POST AT BLOCK WALL SCALE: NONE



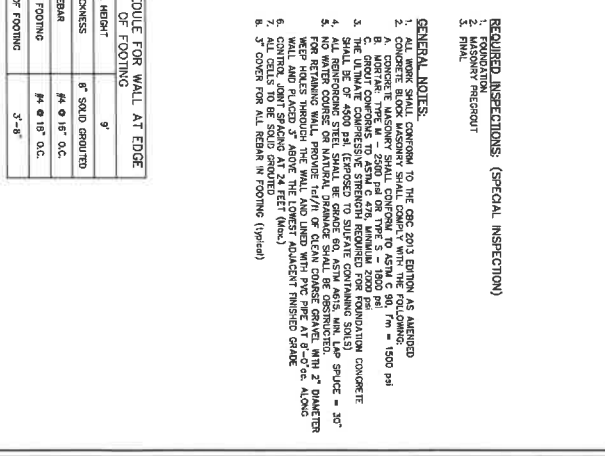
STRUT CHANNEL SCALE: NONE



MAN GATE AT BLOCK WALL SCALE: NONE



BLOCK WALL SCALE: NONE



WORK LIGHT SCALE: NONE

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
1	07/29/15	90% CONSTRUCTION	D.C.
2	01/27/16	100% CONSTRUCTION	D.C.

verizon
 15505 SAND CANYON AVENUE, D1
 IRVINE, CALIFORNIA 92618

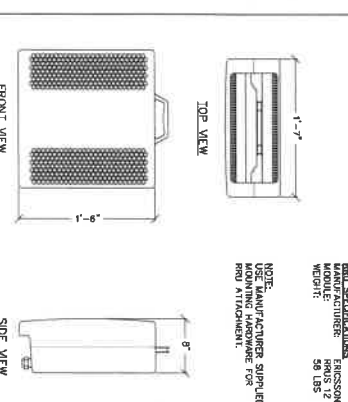
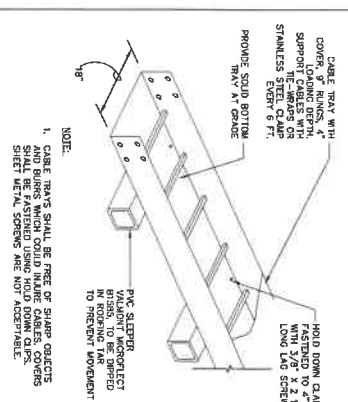
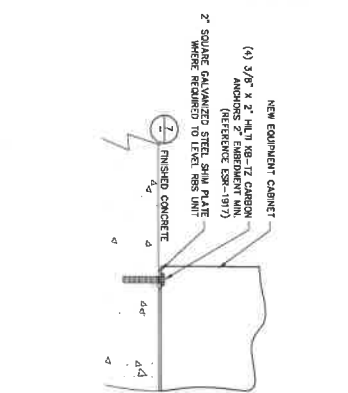
REGISTERED PROFESSIONAL ENGINEER
 GARETT R. HARTMANN
 No. 85138
 Exp. 03/29/16
 STATE OF CALIFORNIA
 JAN 27 2016

LUAU (MACROCELL EVOLUTION)
 34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596

SHEET TITLE:
CONSTRUCTION DETAILS

REVISION:
D2 2
 LAX-391

RAK 1	RAK 2
BATTERY MODEL	585 190F
TOTAL BATTERIES	16
TOTAL LEAD PER BATTERY	94.3 LBS
TOTAL ELECTROLYTE PER BATTERY	23.3 LBS
TOTAL GALLONS OF ELECTROLYTE PER BATTERY	2.34
TOTAL LEAD PER RACK	1508.8 LBS
TOTAL ELECTROLYTE PER RACK	373.4 LBS
% OF ELECTROLYTE ADD	28%
TOTAL BATTERIES	24
TOTAL GALLONS OF ELECTROLYTE	56.16
TOTAL LEAD	2263.2 LBS
TOTAL GALLON OF SULPHURIC ADD	15.84



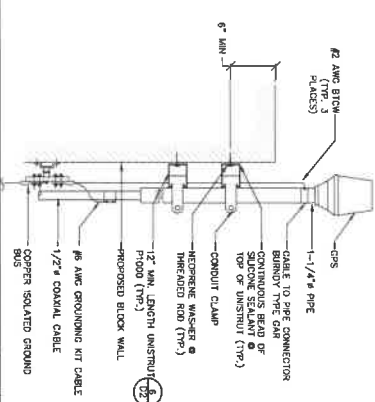
REV.	DATE	DESCRIPTION	BY
0	07/20/15	ISSUE FOR CONSTRUCTION	D.C.
1	08/05/15	100% CONSTRUCTION	V.H.
2	01/27/16	LANSOPPE REVISION	D.C.

BATTERY CALCULATIONS

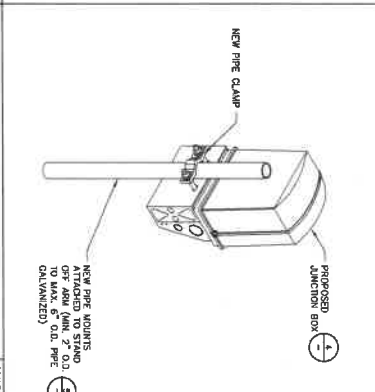
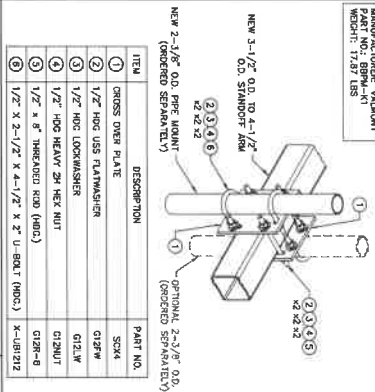
EQUIPMENT CABINET ANCHORAGE

CABLE TRAY

REMOTE RADIO HEAD (RRU)



1. ALL CONCRETE SHALL BE MADE FROM TYPE V GEMENT AND SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS. ALL CONCRETE SHALL BE TESTED AT 7 DAYS AND 28 DAYS. ALL TESTS SHALL BE PERFORMED IN ACCORDANCE WITH ASTM C 39 AND ASTM C 87. AND HAVE A MAXIMUM WATER/CEMENT RATIO OF 0.40 PER TABLE 19A-A-1 OF THE CURRENT CODE LISTED ON IT. PER SOLS REPORT FROM GEORSON INC. PROJECT #104-1-101 ON 04/07/15
2. ALL CONCRETE SHALL BE CONSOLIDATED BY VIBRATING, IMMEDIATELY AFTER PLACING. ALL CONCRETE SHALL BE CURED IN ACCORDANCE WITH A.C.I. 308 AND 309.
3. ALL COAD WEATHER/WOT WEATHER CONCRETE PLACEMENT SHALL BE IN ACCORDANCE WITH A.C.I. 308 AND 309.
4. PROVIDE CONCRETE TEST CYLINDERS: 1 AT 7 DAYS, 2 AT 28 DAYS. SUBMIT TEST DATA TO PROJECT MANAGER FOR REVIEW & APPROVAL.
5. UNDER FOUNDATION ALL EXISTING VEGETATION IS TO BE REMOVED TO A DEPTH OF 6\"/>



ITEM	DESCRIPTION	PART NO.
1	CROSS OVER PLATE	SCX4
2	1/2\"/>	

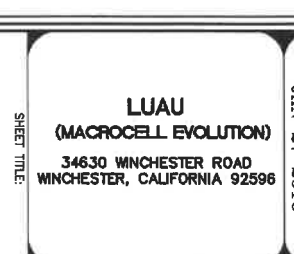
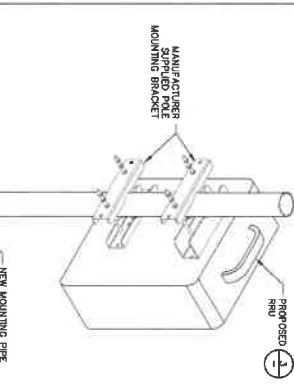
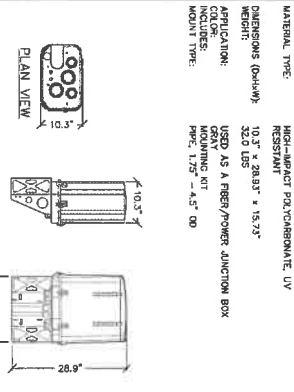
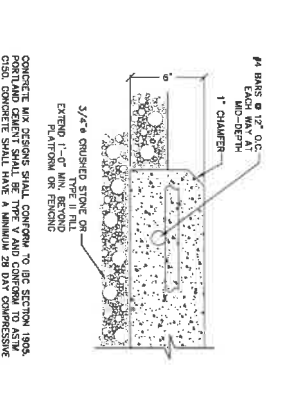
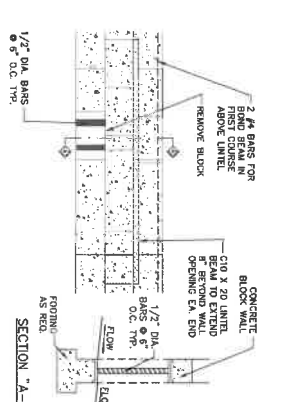
GPS ANTENNA

CONCRETE NOTES

CROSS-ARM ATTACHMENT

JUNCTION BOX ATTACHMENT

JUNCTION BOX ATTACHMENT



BLOCK WALL OPENING

CONCRETE PAD

JUNCTION BOX

RRU ATTACHMENT

BLOCK WALL OPENING



REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
 No. 85156
 Exp. 03/21/16
CIVIL ENGINEER

verizon
 15505 SAND CANYON AVENUE, 01
 IRVINE, CALIFORNIA 92618

SPECTRUM
 SPECTRUM SERVICES, INC.
 4405 E. ASPEN BLVD, SUITE 100
 OAKLAND, CALIFORNIA 94718
 FAX: (510) 456-6466

PROPRIETARY INFORMATION
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ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	07/20/15	ISSUE FOR CONSTRUCTION	D.C.
1	08/05/15	100% CONSTRUCTION	V.H.
2	01/27/16	LANSOPPE REVISION	D.C.

BRILL SPECIFICATIONS
 CONSTRUCTION
 MODULE
 58 LBS
 WEIGHT

NOTE:
 MANUFACTURER'S SUPPLIED MOUNTING HARDWARE FOR RRU ATTACHMENT.

NOTE:
 MANUFACTURER'S SUPPLIED MOUNTING BRACKET

NOTE:
 NEW PIPE MOUNTS ATTACHED TO STAND OF 2\"/>

LUAU (MACROCELL EVOLUTION)
 34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596

SHEET TITLE:
 CONSTRUCTION DETAILS

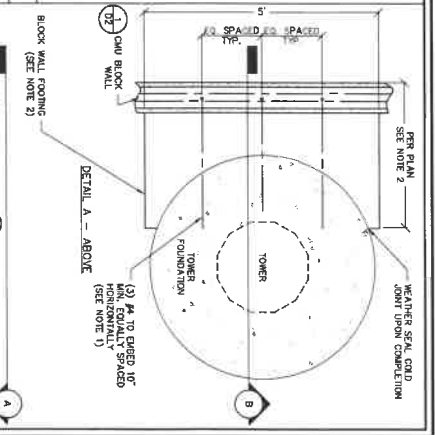
D3

2

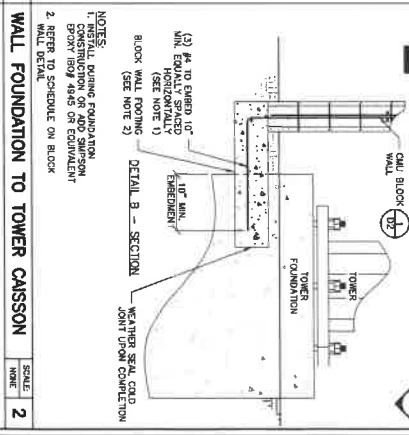
LAV-391

JAN 27 2016

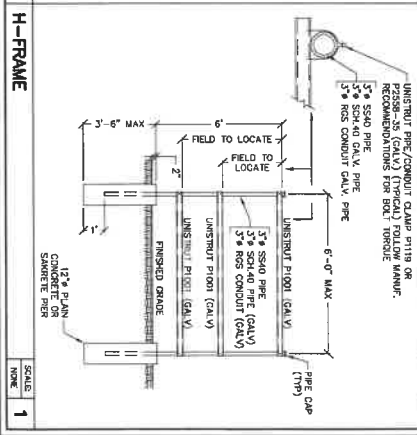
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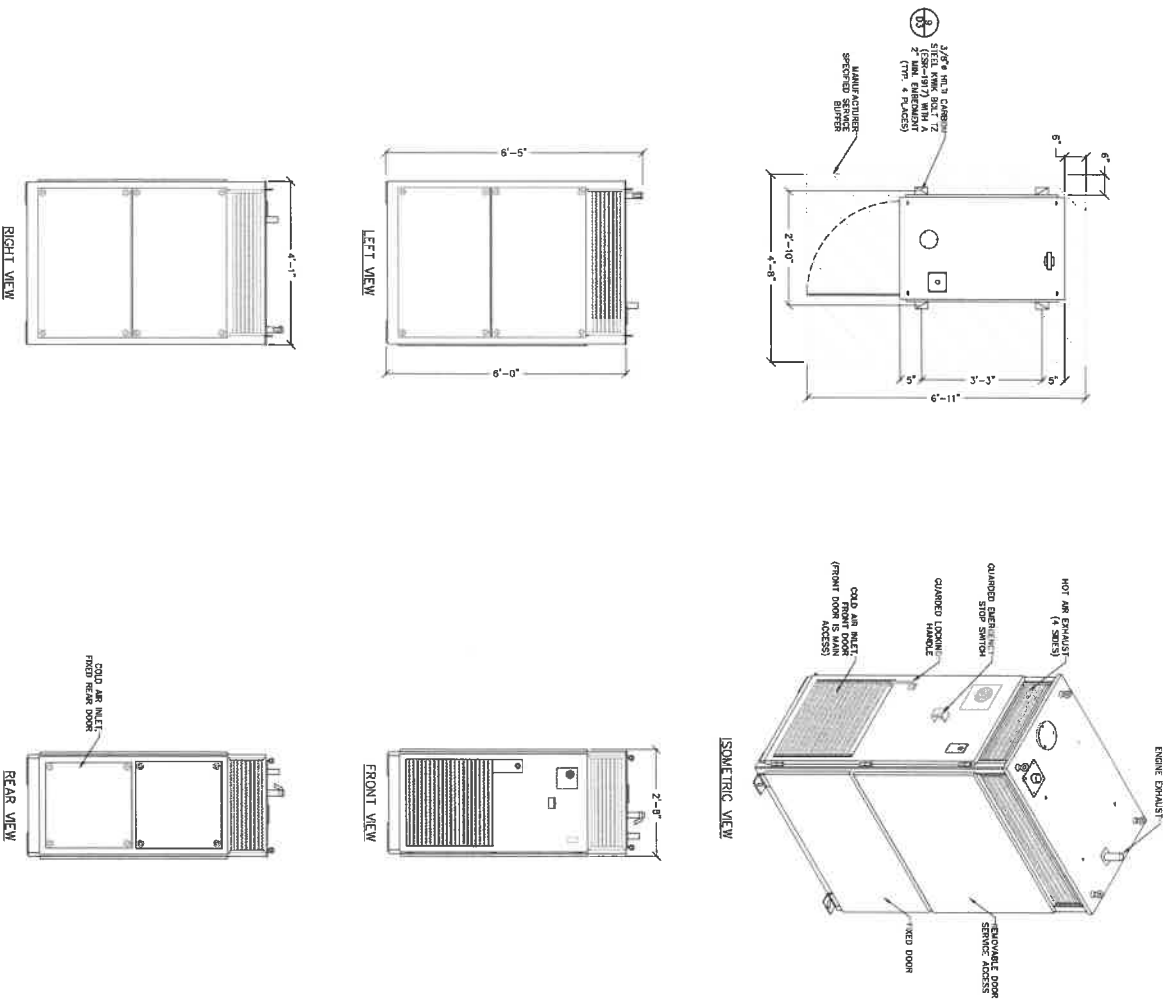


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ISSUE STATUS REV. DATE DESCRIPTION BY 1 07/20/15 90% CONSTRUCTION D.C. 2 01/27/16 LANDSCAPE REVISION D.C.		REGISTERED PROFESSIONAL ENGINEER BARRETT R. HANAWAY No. 85158 Exp. 03/31/16 STATE OF CALIFORNIA CIVIL ENGINEER JAN 27 2016		verizon 15505 SAND CANYON AVENUE, D1 IRVINE, CALIFORNIA 92618		SPECTRUM SPECTRUM SERVICES, INC. 405 S. ASPEN DRIVE, SUITE 100 IRVINE, CALIFORNIA 92614 PHONE: (909) 456-8401 FAX: (909) 456-8408 PROPRIETARY INFORMATION THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS THE PROPERTY OF SPECTRUM SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF SPECTRUM SERVICES, INC. IS STRICTLY PROHIBITED.	
LUAU (MACROCELL EVOLUTION) 34630 WINCHESTER ROAD WINCHESTER, CALIFORNIA 92596				SHEET TITLE: CONSTRUCTION DETAILS		REVISION: D4 2 LAW-391	

15KW DC GENERATOR DETAIL

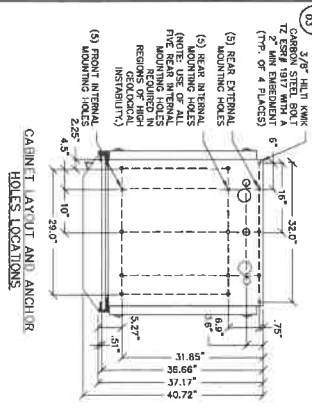
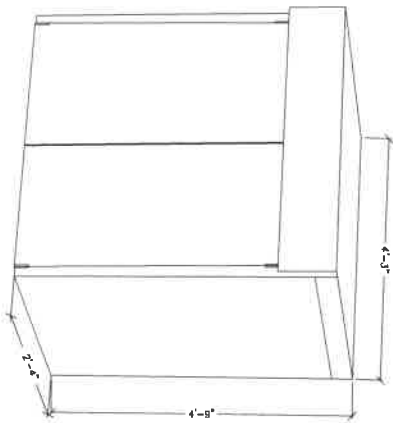
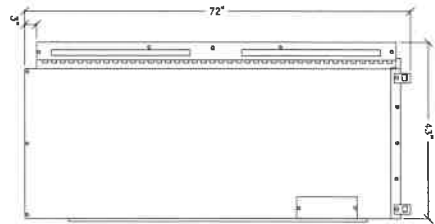
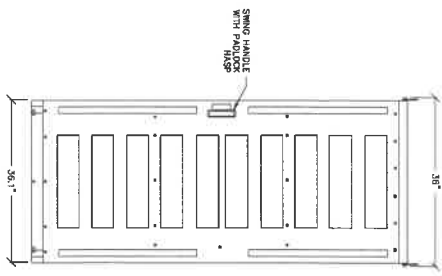


SCALE: 1/8" = 1'

ISSUE STATUS		
REV.	DATE	DESCRIPTION
1	07/25/15	90% CONSTRUCTION
2	09/05/15	100% CONSTRUCTION
3	01/27/16	LANDSCAPE REVISION

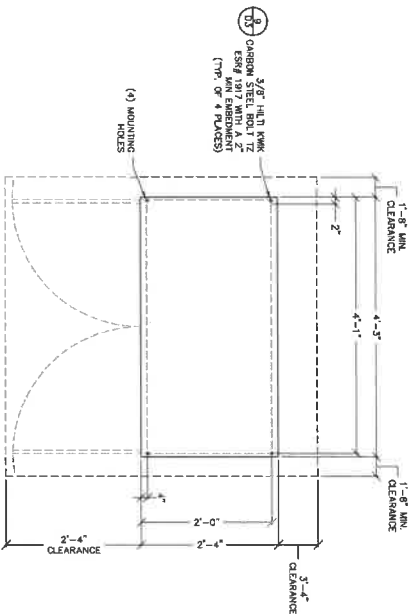
<p>verizon</p> <p>15505 SAND CANYON AVENUE, D1 IRVINE, CALIFORNIA 92618</p>	<p>REGISTERED PROFESSIONAL ENGINEER GARETT R. HARTMANN No. 85158 Exp. 03/31/16 STATE OF CALIFORNIA</p> <p>JAN 27 2016</p>	<p>SPECTRUM</p> <p>SPECTRUM SERVICES, INC. 405 E. ASPEN DRIVE, SUITE 100 IRVINE, CA 92614 PHONE: (949) 438-8400 FAX: (949) 438-8403</p> <p>PROPRIETARY INFORMATION THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS UNCLASSIFIED AND IS NOT TO BE DISCLOSED TO OTHER THAN AS IT RELATES TO THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.</p>

D5
LAV-391



COMPASSION BATTERIES
 H 72" x D 45" x W 36"
 WEIGHT 3100 lbs. FULLY POPULATED
 COOLING TECHNOLOGY ELECTRONIC COMPARTMENT DIRECT
 BATTERY COMPARTMENT FILTER AND VARIABLE SPEED FANS
 BATTERIES MULTIPLE VENDORS.
 MAX SIZE 0 27" x 4.8" x H 128"
 (0) BATTERIES PER SHED

PLAN VIEW WITH MINIMUM DISTANCES AND DRILL PATTERN



BATTERY CABINET

RBS CABINET

SCALE 1/8" = 1"

SCALE 1/8" = 1"

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
1	07/29/15	SOB CONSTRUCTION	D.C.
2	08/02/15	COB CONSTRUCTION	V.H.
2	01/27/16	LANDSCAPE REVISION	D.C.



SPECTRUM SERVICES, INC.
 4405 BARDON DRIVE, SUITE 100
 IRVINE, CALIFORNIA 92618
 PHONE: (909) 458-8407
 FAX: (909) 458-8408

PROFESSIONAL INFORMATION
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 OF SPECTRUM SERVICES, INC.



15505 SAND CANYON AVENUE, D1
 IRVINE, CALIFORNIA 92618

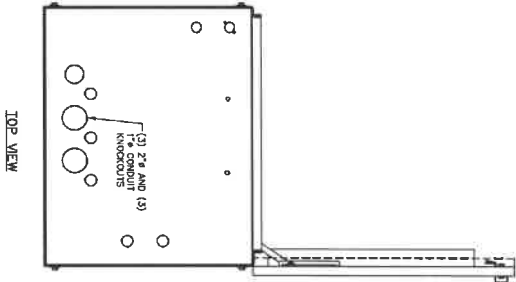
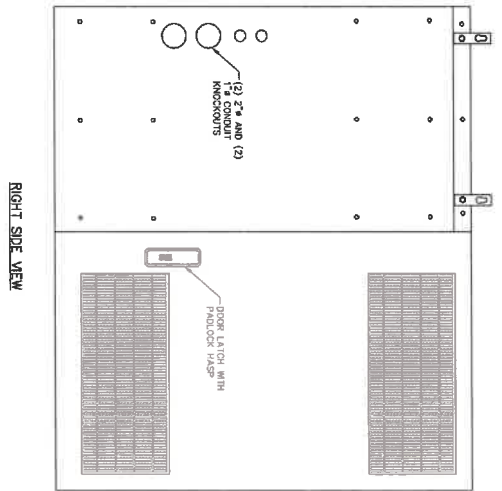
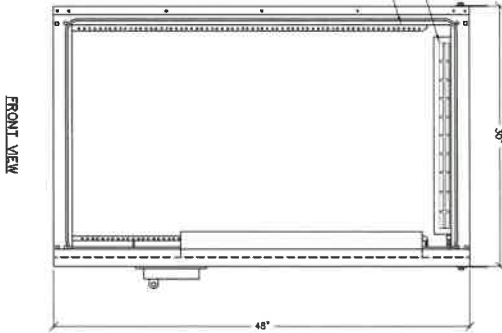
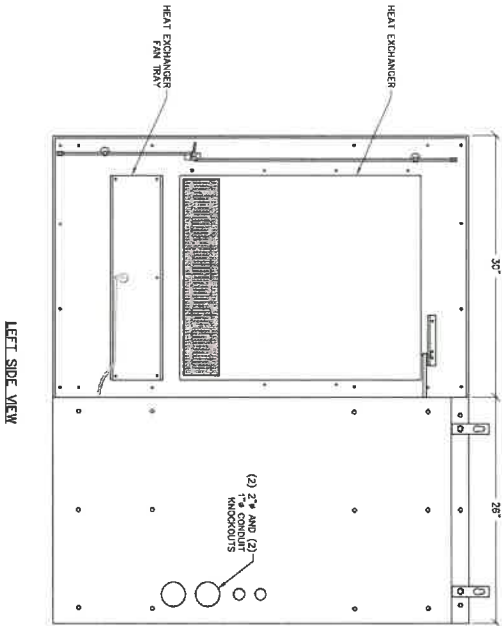


LUAU
 (MACROCELL EVOLUTION)
 34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596

SHEET TITLE:
 RBS CABINET AND BATTERY
 CABINET DETAILS
 REVISION:
 2
 LAX-391

D6

FIBER CABINET



SCALE: 1

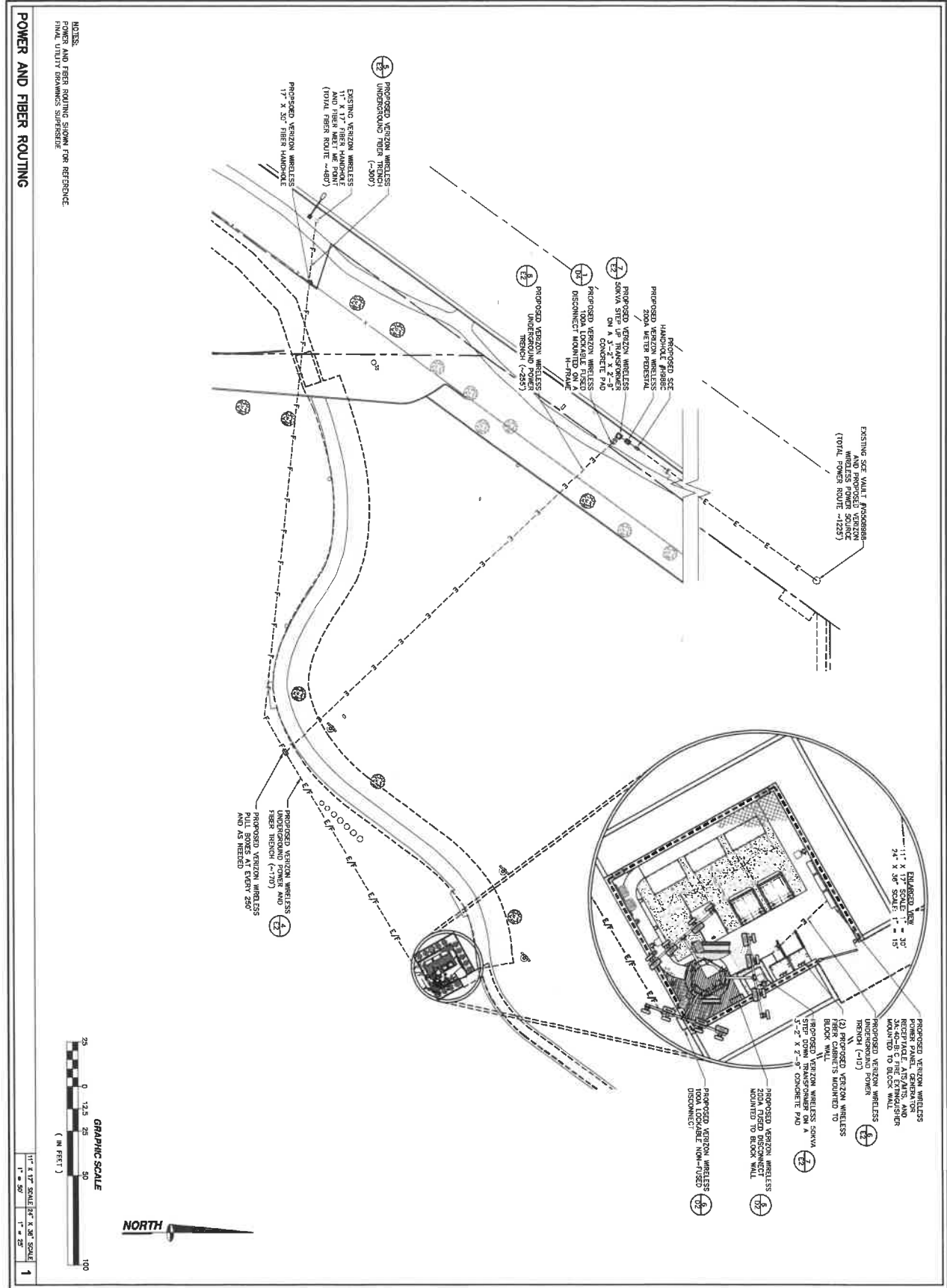
ISSUE STATUS			
REV	DESCRIPTION		
0	07/20/15	BOX CONSTRUCTION	D.C.
1	09/05/15	BOX CONSTRUCTION	V.M.
2	01/27/16	LANDSCAPE REVISION	D.C.

<p>SPECTRUM</p> <p>SPECTRUM SERVICES, INC. 4405 E. AIRPORT DRIVE, SUITE 100 IRVINE, CALIFORNIA 92618 PHONE: (949) 496-8401 FAX: (949) 496-8402</p>	<p>PROPRIETARY INFORMATION</p> <p>THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS THE PROPERTY OF SPECTRUM SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SPECTRUM SERVICES, INC.</p>
---	--

<p>verizon</p> <p>15505 SAND CANYON AVENUE, D1 IRVINE, CALIFORNIA 92618</p>	<p>REGISTERED PROFESSIONAL ENGINEER</p> <p>GABRIEL R. BARRONCANE</p> <p>No. 051168</p> <p>Exp. 03/31/16</p> <p>STATE OF CALIFORNIA</p> <p>JAN 27 2016</p>
---	---

<p>LUAU (MACROCELL EVOLUTION)</p> <p>34630 WINCHESTER ROAD WINCHESTER, CALIFORNIA 92596</p>	<p>SHEET TITLE: FIBER CABINET DETAIL</p>
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<p>D7</p> <p>REVISION: 2</p> <p>LAW-391</p>
--



ISSUE STATUS		
REV	DATE	DESCRIPTION
0	07/29/15	50% CONSTRUCTION
1	08/05/15	100% CONSTRUCTION
2	01/27/16	LANDSCAPE REMOVAL

verizon

15505 SAND CANYON AVENUE, D1
IRVINE, CALIFORNIA 92618

SPECTRUM

SPECTRUM SERVICES, INC.
4405 E. AIRPORT DRIVE, SUITE 100
ONTARIO, CALIFORNIA 91761
TEL: (909) 455-9888
FAX: (909) 455-9888

REGISTERED PROFESSIONAL ENGINEER
DEREK GEORGE STEVENS
E19828
Exp. 03/31/2016
ELECTRICAL
STATE OF CALIFORNIA
JAN 27 2016

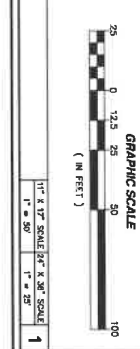
LUAU
(MACROCELL EVOLUTION)
34630 WINCHESTER ROAD
WINCHESTER, CALIFORNIA 92596

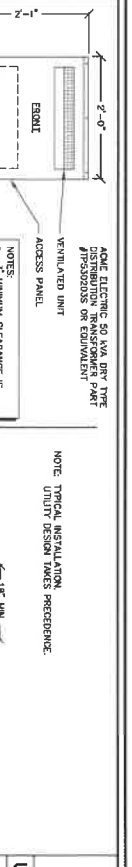
SHEET TITLE:
POWER AND FIBER ROUTING

REVISION:
E1
LAX-391

NOTES:
POWER AND FIBER ROUTING SHOWN FOR REFERENCE.
FINAL UTILTY DRAWINGS SUPERSEDE.

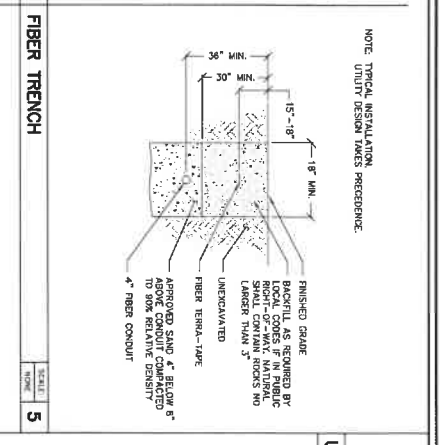
POWER AND FIBER ROUTING



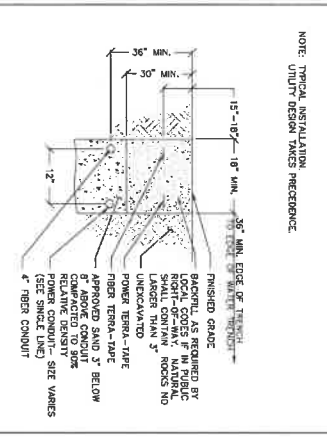
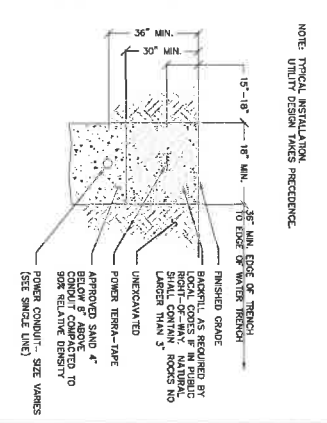


NOTE:
 1. MINIMUM CLEARANCE IS REQUIRED TO THE FROM OF THE TRANSFORMER TO THE REQUIREMENTS SET FORTH IN THE MANUFACTURER'S REQUIREMENTS AN EQUIVALENT TRANSFORMER CAN BE USED PROVIDED THE CLEARANCES AND REQUIRED CLEARANCES ARE MAINTAINED.

STEP-UP/STEP-DOWN TRANSFORMER



FIBER TRENCH



JOINT TRENCH

1. UTILITY POINTS OF SERVICE AND WORK/MATERIALS SHOWN ARE BASED UPON PRELIMINARY INFORMATION PROVIDED BY THE UTILITY COMPANIES AND ARE FOR INFORMATION PURPOSES ONLY.

2. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR FINAL AND EXACT WORK/MATERIALS REQUIREMENTS AND CONSTRUCT TO UTILITY COMPANY ENGINEERING PLANS AND SPECIFICATIONS ONLY. CONTRACTOR SHALL FURNISH AND INSTALL ALL CONDUIT, PANEL, RECEPT, PANEL BOXES, CONCRETE REQUIREMENTS IN SCOPE OF WORK.

UTILITY GENERAL NOTES

NOTES:
 1. EQUIPMENT FINISHED AS PART OF THIS WORK INCLUDING THAT FINISHED WITH CONCRETE SHALL HAVE A MINIMUM 4200 PSI STRENGTH CONCRETE TO BE COMPATIBLE WITH SERVING UTILITY. START IDENTIFICATION WITH SERVING UTILITIES.
 2. THE ELECTRICAL ENGINEER HAS PERFORMED ALL REQUIRED CALCULATIONS AND THE AC RATING INDICATED FOR EACH DEVICE IS ADEQUATE TO PROTECT THE ELECTRICAL SYSTEM.
 3. THE ELECTRICAL ENGINEER HAS PERFORMED ALL REQUIRED CALCULATIONS AND THE AC RATING INDICATED FOR EACH DEVICE IS ADEQUATE TO PROTECT THE ELECTRICAL SYSTEM.
 4. UTILITY RECEPTACLE IS A GFCI DUPLEX OUTLET.
 5. FOR COMPLETE INTERNAL WIRING AND ARRANGEMENTS, REFER TO REVISION PRINTS BY MR.
 6. PROVIDE A MIN. 36" WORK CLEARANCE IN FRONT OF ALL BREAKERS IN THE PANEL ARE RATED 42000 RMS STAMETICAL AMPS, 240V MAX, 75°C.
 7. ALL WIRING SHALL BE RATED FOR 75°C.
 8. CONDUIT REQUIREMENTS (TYPE, SIZE, UNDERGROUND, PVC (SCHED. 40 OR 20) INDOOR; EMT (RCS IN TRAFFIC AREAS) OUTDOOR (ADVICE CHANCE) ROSS
 9. ALL WIRING SHALL BE RATED FOR 75°C.
 10. DASHED LINES DENOTE FIELD WORK
 11. ELECTRICAL SYSTEM IS RATED AT 42000 ALC. IF HIGHER RATING IS REQUIRED, IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET SUCH REQUIREMENTS.
 12. SERVICE BOND IS TO BE MADE BY SERVICES PROVIDER. IF NO SLOTTED DEVICE IS SUPPLIED, BOND IS TO BE MADE IN FIELD. SLOTTED DEVICE IS TO BE PROVIDED BY CONTRACTOR. NEUTRAL AND GROUND CONNECTIONS TO BE MADE IN FIELD. SERVICE BOND IS TO BE MADE BY SERVICES PROVIDER.
 13. CONDUCTOR OVERCURRENT PROTECTION DEVICES ARE TO BE PROVIDED BY CONTRACTOR.
 14. CONDUCTOR SIZING IS SELECTED WITH CONDUIT CEC AS NOTED ON IT.
 15. ALL LUTS THAT HOLD MORE THAN ONE WIRE SHALL BE LISTED FOR MULTIPLE BARRELS CONNECTIONS.
 16. ALL CONDUCTORS AFTER THE METERS SHALL BE ALUMINUM. 18. LABEL SERVICE DISCONNECT WITH A RED TAG.
 19. CONNECT #2 AND GREEN TO GROUND DATA IN PANEL (A)



Panel A	Panel B	Panel C	Panel D	Panel E	Panel F	Panel G	Panel H	Panel I	Panel J
1	2	3	4	5	6	7	8	9	10
11	12	13	14	15	16	17	18	19	20
21	22	23	24	25	26	27	28	29	30
31	32	33	34	35	36	37	38	39	40
41	42	43	44	45	46	47	48	49	50
51	52	53	54	55	56	57	58	59	60
61	62	63	64	65	66	67	68	69	70
71	72	73	74	75	76	77	78	79	80
81	82	83	84	85	86	87	88	89	90
91	92	93	94	95	96	97	98	99	100

PANEL SCHEDULE

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
1	07/20/15	FOR CONSTRUCTION	D.C.
2	01/21/16	LANSCAPE REVISION	D.C.

SPECTRUM

SPECTRUM SERVICES, INC.
 4405 E. ASPEN DRIVE, SUITE 100
 IRVINE, CALIFORNIA 92718
 TEL: (949) 455-4444
 FAX: (949) 455-4444

verizon

15505 SAND CANYON AVENUE, D1
 IRVINE, CALIFORNIA 92618

REGISTERED PROFESSIONAL ENGINEER
 DEREK BOGERT STEINBRACH
 E19828
 EMPLOYABLE
 ELECTRICAL

STATE OF CALIFORNIA
 JAN 27 2016

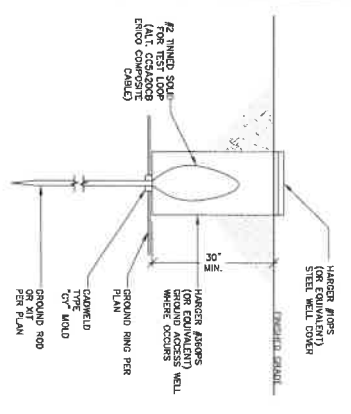
LUAU
 (MACROCELL EVOLUTION)

34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596

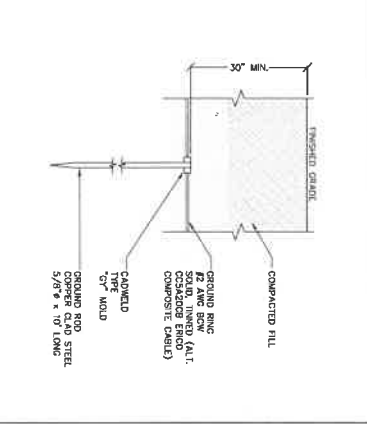
SHEET TITLE:
 SINGLE LINE DIAGRAM PANEL,
 SCHEDULE DETAILS AND NOTES

REVISION:
E2

LAV-391

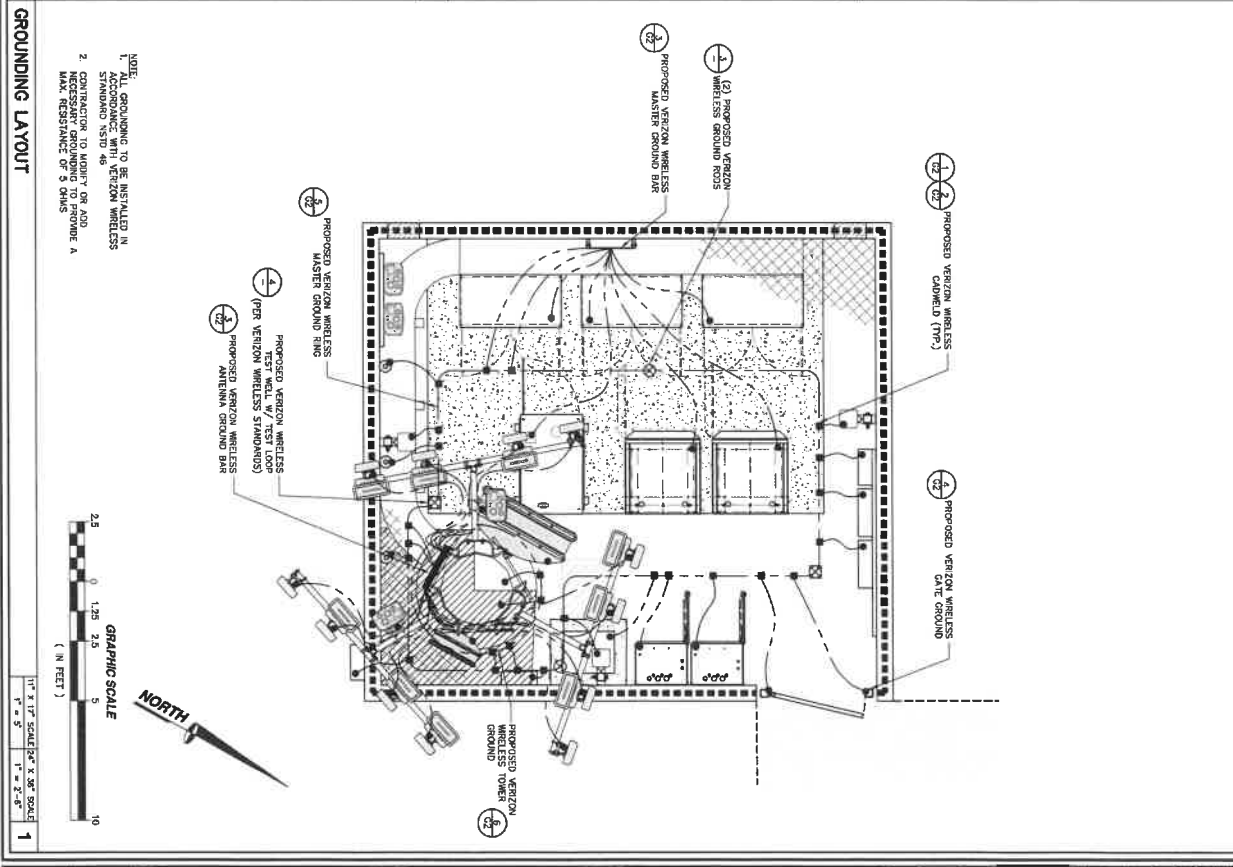


NOT USED SCALE: NONE 5 NOT USED SCALE: NONE 2 GROUNING LAYOUT SCALE: NONE 1



TEST WELL SCALE: NONE 4 GROUNING LAYOUT SCALE: NONE 2 GROUNING LAYOUT SCALE: NONE 1

1. ALL DETAILS ARE SHOWN IN GENERAL. TOLERANCES, ACTUAL, GROUNING INSTALLATION, REQUIREMENTS AND CONSTRUCTION ACCORDING TO SITE CONDITIONS AND VERIZON GROUNING STANDARD, VSP-05-100-001
2. ALL GROUNING CONDUCTORS: #2 AWG SOLID BARE THINNED COPPER WIRE UNLESS OTHERWISE NOTED. (A.I.T. OCCASION ERIO COMPOSITE CABLE)
3. GROUND RING TO GROUND BAR CONNECTIONS SHALL BE CADDREDED QTY. (2) #2 AWG SOLID BARE THINNED COPPER WIRE UNLESS OTHERWISE NOTED. (A.I.T. OCCASION ERIO COMPOSITE CABLE)
4. GROUND BAR TO EQUIPMENT AND CABLES SHALL BE #2 AWG STCW W/DOUBLE LUG CONNECTIONS (A.I.T. OCCASION ERIO COMPOSITE CABLE)
5. GROUND BARS TO BE INSTALLED IN A MINIMUM OF TWO ROWS. TYPING SHALL BE PROVIDED. THINNING SHALL BE PROVIDED TO ALLOW FOR FUTURE CONSTRUCTION.
6. GROUND BARS LOCATED BELOW UNFINISHED FLOOR SHALL BE #2 AWG STCW W/DOUBLE LUG CONNECTIONS. TWO PANS TO GROUND RING. (A.I.T. OCCASION ERIO COMPOSITE CABLE)
7. ALL BELOW GRADE CONNECTIONS: EXOTHERMIC WELD TYPE ABOVE GRADE CONNECTIONS; EXOTHERMIC WELD TYPE BELOW GRADE CONNECTIONS.
8. EXTERIOR GROUNING CONDUCTORS: BURIED TO A MINIMUM DEPTH OF 2'-6" BELOW FINISHED GRADE TO ALLOW FOR FUTURE CONSTRUCTION.
9. INSTALL GROUND CONDUCTORS AND GROUND ROD MINIMUM OF 1'-0" FROM EQUIPMENT CONCRETE SLABS, SPREAD FOOTING, OR FENCE.
10. EXOTHERMIC WELD GROUND CONNECTION TO FENCE POST; TREAT WITH A COOL CALKINGIZED SPRAY.
11. GROUND BARS:
 - A. EQUIPMENT GROUND BARS (EGB) LOCATED AT BOTTOM OF ANTENNA STANDS SHALL BE #2 AWG SOLID BARE THINNED COPPER WIRE UNLESS OTHERWISE NOTED. (A.I.T. OCCASION ERIO COMPOSITE CABLE)
 - B. MAIN GROUND BARS (MGB) LOCATED NEAR THE BASE OF THE RADIO CONTRACTOR SHALL BE #2 AWG SOLID BARE THINNED COPPER WIRE UNLESS OTHERWISE NOTED. (A.I.T. OCCASION ERIO COMPOSITE CABLE)
12. ALL GROUNING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY ELECTRICAL CONTRACTOR.
13. ALL BOLTED TORQUE CONNECTIONS SHALL BE LONG-BARBELED TYPES AND HAVE TWO HOLES FOR CONNECTION TO SURFACE AND NON-DRAINING AGENT APPLIED TO INSURE CONNECTION.



ISSUE STATUS			
REV.	DATE	DESCRIPTION	BY
0	07/20/15	SITE CONSTRUCTION	D.C.
1	09/09/15	100% CONSTRUCTION	V.H.
2	01/27/16	LAMPSONG REVISION	D.C.

SPECTRUM
 SPECTRUM SERVICES, INC.
 4405 E. ASPEN DRIVE, SUITE 100
 ONTARIO, CALIFORNIA 91761
 FAX: (909) 456-4498

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verizon
 15505 SAND CANYON AVENUE, D1
 IRVINE, CALIFORNIA 92618

REGISTERED PROFESSIONAL ENGINEER
 DEBK GEORGE STEVENSON
 E19828
 Exp. 08/31/16
 ELECTRICAL
 STATE OF CALIFORNIA
 JAN 27 2016

SHEET TITLE:
LUAU (MACROCELL EVOLUTION)
 34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596

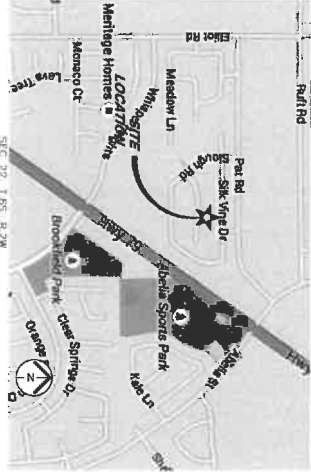
GROUNING LAYOUT,
 GROUNING NOTES & DETAILS
 REVISION: **2**
G1
 LAC-391

<p>NOT USED</p> <p>SCALE: NONE</p> <p>11</p> <p>NOT USED</p>	<p>SCALE: NONE</p> <p>8</p> <p>MASTER GROUND BAR AND ANTENNA GROUND BAR</p>	<p>SCALE: NONE</p> <p>3</p>
<p>NOT USED</p> <p>SCALE: NONE</p> <p>10</p> <p>NOT USED</p>	<p>SCALE: NONE</p> <p>7</p> <p>GROUND RING TRENCH</p>	<p>SCALE: NONE</p> <p>5</p> <p>MISC. CADWELD DETAILS</p>
<p>NOT USED</p> <p>SCALE: NONE</p> <p>9</p> <p>TOWER GROUND</p>	<p>SCALE: NONE</p> <p>6</p> <p>GATE GROUNDING</p>	<p>SCALE: NONE</p> <p>4</p> <p>CADWELD DETAIL</p>

<p>ISSUE STATUS</p> <table border="1"> <thead> <tr> <th>REV.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>07/20/15</td> <td>BOM CONSTRUCTION</td> <td>D.C.</td> </tr> <tr> <td>1</td> <td>09/05/15</td> <td>100% CONSTRUCTION</td> <td>V.H.</td> </tr> <tr> <td>2</td> <td>01/27/16</td> <td>LANDSCAPE RENOVATION</td> <td>D.C.</td> </tr> </tbody> </table>		REV.	DATE	DESCRIPTION	BY	0	07/20/15	BOM CONSTRUCTION	D.C.	1	09/05/15	100% CONSTRUCTION	V.H.	2	01/27/16	LANDSCAPE RENOVATION	D.C.	<p>SPECTRUM</p> <p>SPECTRUM SERVICES, INC. 4405 E. AIRPORT DRIVE, SUITE 100 IRVINE, CA 92618 PHONE: (949) 456-6400 FAX: (949) 456-6400</p> <p>PROFESSIONAL INFORMATION THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS THE PROPERTY OF SPECTRUM SERVICES, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO OTHER USE OR REPRODUCTION OF THIS INFORMATION IS PERMITTED WITHOUT THE WRITTEN CONSENT OF SPECTRUM SERVICES, INC.</p>
REV.	DATE	DESCRIPTION	BY															
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1	09/05/15	100% CONSTRUCTION	V.H.															
2	01/27/16	LANDSCAPE RENOVATION	D.C.															
<p>verizon</p> <p>15505 SAND CANYON AVENUE, D1 IRVINE, CALIFORNIA 92618</p>		<p>LUAU (MACROCELL EVOLUTION)</p> <p>34630 WINCHESTER ROAD WINCHESTER, CALIFORNIA 92596</p>																
<p>SHEET TITLE: GROUNDING DETAILS</p>		<p>REVISION: 2</p>																
<p>G2</p>		<p>LAW-391</p>																

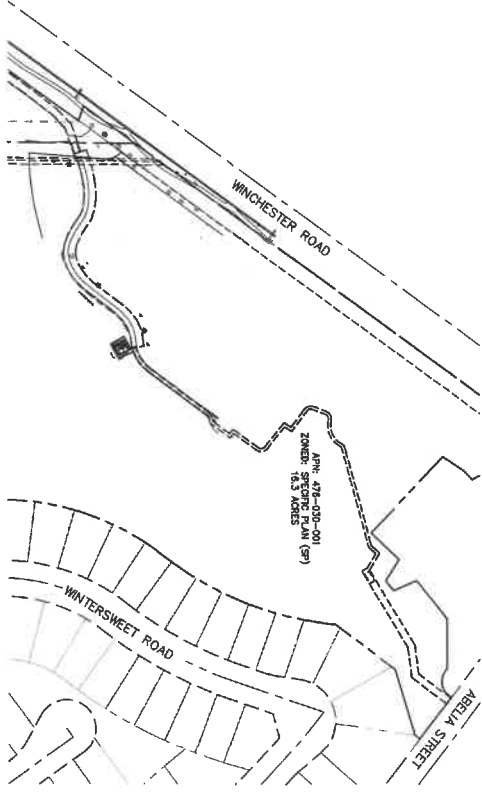
Approval Time Limitation

APPROVAL SHALL BE SIX (6) MONTHS FROM THE DATE OF APPROVAL. APPROVAL IS VALID ONLY FOR THE PROJECT AND THE SPECIFIC SITES LISTED. THE VALLEY-WIDE RECREATION AND PARK DISTRICT RESERVES THE RIGHT TO REVIEW DRAWINGS FOR POSSIBLE REVISIONS DUE TO CHANGES IN SPECIFICATIONS AND STANDARDS.



COUNTY OF RIVERSIDE

VERIZON CELL TOWER LUAW - PP 25693
 34630 WINCHESTER ROAD
 WINCHESTER, CALIFORNIA 92596
 LANDSCAPE PLANS
 TENTATIVE APPROVED PP# 25693



SHEET INDEX MAP



APN NUMBERS: 478-030-001

PROJECT DIRECTORY

OWNER:
 VALLEY WIDE RECREATION AND PARK DISTRICT
 801 W. ESPLANADE
 SAN ANTONIO, CA 92591
 (760) 213-6911
 NIGEL PAXTON

LANDSCAPE ARCHITECT:
 211 SANTA CLARA AVE
 CLAREMONT, CALIFORNIA 91711
 PHONE: 909-262-2402
 DAVID ROSSBERG

CIVIL ENGINEER:
 SPECTRUM SERVICES, INC. SUITE 100
 4020 S. MOUNTAIN VIEW BLVD
 ONTARIO, CALIFORNIA 91761
 PHONE: (909) 456-4401
 CHRIS WENER

MAINTENANCE QUANTITIES	(ONSITE/OFFSITE)
1. LANDSCAPED FLAT AREAS:	170/0
2. TOTAL NUMBER OF TREES:	1/0
3. OTHER:	13/0
	EA

COUNTY OF RIVERSIDE NOTES

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING OF THE PROJECT SITE AND NEIGHBORING AREAS. ALL NEIGHBORING PROPERTIES MUST INFORM COUNTY OF CONSTRUCTION SCHEDULE AT LEAST 48 HOURS TO BEGINNING OF CONSTRUCTION.

PHONE: (951) 955-6700 FOR PERMIT CASES (CUL, P.U., OR VOLUNTARILY, CABAZON AND ARES WEST)
 PHONE: (951) 955-6895 FOR PARCEL MAPS AND TRACT MAPS
 PHONE: (760) 342-8287 FOR PERMIT CASES EAST OF CABAZON

RIVERSIDE COUNTY INSPECTION AND CERTIFICATION NOTES

INSPECTION SCHEDULE

INSTALLATION INSPECTION: _____
 SIX-MONTH ESTABLISHMENT INSPECTION: _____
 ANNUAL MAINTENANCE INSPECTION: _____

MAINTENANCE DISTRICT NOTES

ALL WORK MUST CONFORM TO VALLEY-WIDE CURRENT STANDARD LANDSCAPE SPECIFICATIONS

1. I AGREE TO COMPLY WITH THE REQUIREMENTS OF ORDINANCE NO. 899 WHICH SETS THE CRITERIA FOR THE DESIGN OF LANDSCAPE PLANS. SHOULD THE ORDINANCE BE REVISED, THESE PLANS MAY BE SUBJECT TO CHANGE BASED ON THE UPDATED ORDINANCE.

LANDSCAPE ARCHITECT: _____ DATE: _____

1. I AGREE TO COMPLY WITH THE CRITERIA OF ORDINANCE NO. 899.2 AND TO APPLY THE CRITERIA FOR EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.

LANDSCAPE ARCHITECT: _____ DATE: _____

HOLD HARMLESS & INDEMNIFICATION CLAUSE

THE CONTRACTOR AND/OR OWNER IS RESPONSIBLE FOR VERIFYING IMPLEMENTATION OF ITS RECOMMENDATIONS. THE CONTRACTOR AND/OR OWNER IS RESPONSIBLE FOR VERIFYING IMPLEMENTATION OF ITS RECOMMENDATIONS. THE CONTRACTOR AND/OR OWNER IS RESPONSIBLE FOR VERIFYING IMPLEMENTATION OF ITS RECOMMENDATIONS.

INDEX OF SHEETS

- 1 T1 TITLE SHEET
- 2 L1 WINDSCAPED PLAN
- 3 L2 IRRIGATION PLAN
- 4 L3 IRRIGATION PLAN
- 5 L4 LANDSCAPE DETAILS

VALLEY-WIDE RECREATION & PARK DISTRICT

DEAN WETTER
 DATE: _____
 PROJECT: VALLEY-WIDE RECREATION & PARK DISTRICT FOR VALLEY-WIDE MAINTENANCE AREAS ONLY

DEAN WETTER
 CIVIL ENGINEER
 1400 W. GARDEN ST.
 RIVERSIDE, CA 92507
 TEL: (951) 514-1111
 FAX: (951) 514-1112

VALLEY WIDE RECREATION AND PARK DISTRICT
 801 W. ESPLANADE
 SAN ANTONIO, CA 92591
 TEL: (760) 213-6911
 FAX: (760) 213-6911

SPECTRUM SERVICES, INC.
 4020 S. MOUNTAIN VIEW BLVD.
 ONTARIO, CA 91761
 TEL: (909) 456-4401
 FAX: (909) 456-8408

NO.	DESCRIPTION	DATE	SCALE	STATUS
1	TITLE SHEET			AS BUILT
2	WINDSCAPED PLAN			AS BUILT
3	IRRIGATION PLAN			AS BUILT
4	IRRIGATION PLAN			AS BUILT
5	LANDSCAPE DETAILS			AS BUILT

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES | PLANNING DEPARTMENT ONLY - ON-SITE.

SCOPE OF WORK

THE WORK INCLUDED IN THESE SPECIFICATIONS SHALL COVER OF ALL LABOR, TOOLS, MATERIALS, SUPPLIES, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE INSTALLATION OF THE LANDSCAPING AS HEREIN SPECIFIED ON THE ACCOMPANYING DRAWINGS.

- GENERAL CONDITIONS, TERMS, AND SPECIFICATIONS, THE LANDSCAPE ARCHITECT WILL INTERPRET THE MEANING OF ANY PART OF THE PLANS AND SPECIFICATIONS ABOUT WHICH ANY MISUNDERSTANDING MAY ARISE, AND THE DECISION WILL BE FINAL.
- LICENSE REQUIREMENTS:** THE CONTRACTOR SHALL CARRY NECESSARY CALIFORNIA STATE CONTRACTORS LICENSE OR CERTIFICATE FOR THE WORK LISTED, SUCH AS C-27.
- INSURANCE COVERAGE:** THE CONTRACTOR SHALL CARRY ALL NECESSARY COMPENSATION AND LIABILITY INSURANCE COVERAGE WITH SITE CONDITIONS, AND SHALL MAINTAIN THE COVERAGE FOR THE ENTIRE DURATION OF THE PROJECT.
- WORKING CONDITIONS:** IT IS ASSUMED THAT THE CONTRACTORS HAVE VISITED THE SITE AND FAMILIARIZED THEMSELVES WITH SITE CONDITIONS, AND SHALL HAVE VERIFIED ALL DIMENSIONS AND OTHER FACTORS AFFECTING THE WORK.
- DEGRADED SOILS:** IF EXTRA WORK OR CHANGES WILL RESULT IN ANY INCREASED COSTS OR DELAYS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY BY WRITTEN REQUEST FOR SUCH ADDITIONAL FUNDS PRIOR TO ACTUALLY DOING THE WORK.
- CHANGES:** THE OWNER SHALL HAVE THE RIGHT TO MAKE CHANGES IN THE LANDSCAPE DESIGN AND INSTALLATION TO INSURE PRACTICALITY AND FOR AESTHETIC REASONS, AT NO ADDITIONAL COSTS.
- GROUND GRADE:** GRADE ALL AREAS BY FILLING AND/OR REMOVING SURPLUS SOIL AS NEEDED TO MAINTAIN EXISTING GRADE. GRADE SHALL BE SLOPED AT A MINIMUM OF 2% IN ALL DIRECTIONS TO PREVENT STAGNATION OF WATER.
- PLANTING:** ALL PLANTS SHALL BE PLANTED IN DEPTHS TWO TIMES DEEPER THAN PLANT CONTAINER AND AT THE SAME DEPTH AS THE HEIGHT OF THE ROOT BALL. PLANT GROWN TO BE SLIGHTLY HIGHER THAN ITS NATURAL GROWING HEIGHT AFTER SETTLEMENT.
- ALL PLANTS SHALL BE WATERED IMMEDIATELY** PRIOR TO BACKFILLING PLANTING PITS.
- USE AGRIBON 20-10-5, 21 GRAM TABLETS PER WAGERS SPECIFICATIONS, WITH ALL SHRUBS AND TREES. 1 PER 1 GAL, 2 PER 3 GAL, 3 PER 15 GAL, AND 4 PER FOOT OR BOX WORK.**
- PROVIDE A WATERING BASKIN AROUND ALL 5 GALLON AND LARGER SIZE MATERIAL APPROX 5 GAL, 2" DEPTH X 1-1/2" TIMES CONTAINER.**
- SCAFFER THE SOLES OF EACH ROOT BALL PRIOR TO PLANTING IF CIRCULAR ROOT GROWN IS EXPOSED. IF CIRCULAR ROOTS EXIST, PLANTS WILL BE RECYCLED.**
- UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROPERTY CLEAN AND REMOVE ALL EXCESS MATERIALS, DEBRIS, AND SOIL FROM THE SITE OR DEPOSIT AT A LOCATION DIRECTED BY OWNER, ARCHITECT OR LANDSCAPE ARCHITECT.**
- MAINTENANCE:** THE CONTRACTOR SHALL NOT BEON UNTIL DUNE INSTALLATION IS ACCEPTED BY THE OWNER FOLLOWING THE WALK-THROUGH.
- MAINTENANCE PERIOD SHALL BE FOR THE FOLLOWING DURATION: 60 DAYS.**
- THE CONTRACTOR SHALL KEEP ONE ADDITIONAL SETS OF ORIGINALS AND ALL OTHER INFORMATION, DRAWINGS, AND SPECIFICATIONS, AND SHALL BE RESPONSIBLE FOR THE PROTECTION AND STORAGE OF THESE ORIGINALS AND COPIES THEREOF THROUGHOUT THE PROJECT. IT IS THE OWNER'S RESPONSIBILITY TO MAINTAIN ORIGINALS AND REPLACEMENTS.**
- CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY PRIOR TO ANY REMOVAL OF EXCESSIVE RAIN RUN-OFF ON NEW PLANTED GROUND COVER AREAS SUCH AS NATURAL DRAINAGE SHALL BE REPAIRED ON A TIME AND MATERIAL BASIS.**
- ANY PLANT MATERIAL FAILING TO SURVIVE DUE TO CONTRACTOR'S IMPROPER INSTALLATION SHALL BE REPLACED BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER.**

LANDSCAPE NOTES

NOTE: APPROVAL BY THE TRANSPORTATION DEPARTMENT IS FOR WORK WITHIN THE ROAD RIGHT-OF-WAY ONLY.



WORK CONTAINED WITHIN THESE PLANS IS THE PROPERTY OF SPECTRUM SERVICES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SPECTRUM SERVICES, INC.

NO.	DATE	DESCRIPTION
1	07/27/2017	ISSUED FOR PERMITTING
2	08/01/2017	ISSUED FOR PERMITTING

MAWA CALCULATIONS

PROJECT LANDSCAPE AREA	= 163 SQUARE FEET
MAXIMUM WATER BUDGET	= (170) (0.682) [(0.7 x 1.5) (0.3 x 1.5)]
	= (284) (0.682) [(0.2 x 1.5) (0.3 x 0)]
	= 204 (GALLONS/YEAR)
ESTIMATED WATER USE SHRUBS	= (170) (0.682) [(0.5 x 1.5) (0.5 x 1.5)]
	= (284) (0.682) [(0.5 x 1.5) (0.5 x 0)]
	= 129 (GALLONS/YEAR)
ESTIMATED WATER USE TREES	= (170) (0.682) [(0.5 x 1.5) (0.5 x 1.5)]
	= (284) (0.682) [(0.5 x 1.5) (0.5 x 0)]
	= 129 (GALLONS/YEAR)
TOTAL ESTIMATED WATER USE	= 774 (GALLONS/YEAR)

PLANT MATERIAL LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANT SPACING	PLANT SIZE	QUANTITIES FACTOR	PLANT QUANTITIES (17)
	DODONAEA VISCOSA	HOPSEED BUSH	4' OC	5 GAL	1.3	5 (MUL)
	PHILUS HIRTI A	ARGEMONE	AS SHOWN	4" BOX	1	2 (1.0)

VALLEY-WIDE RECREATION & PARK DISTRICT

DEAN WELTER

Date:

APPROVAL BY VALLEY-WIDE RECREATION & PARK DISTRICT IS FOR VALLEY-WIDE MAINTENANCE AREAS ONLY.

SOIL PREPARATION

1. BACKFILL MIX FOR USE OF PLANTING ALL SHRUBS/PALM TREES

2. PLANT TABLE FOR ALL SHRUBS/PALM TREES

3. 21 GRAM AGRIBON FERTILIZER TABLETS PER 15 GALLON STOCK

4. PLANTS BY VOLUME OR SITE FOUNDATION.

5. 100% 10-10-10 COMPOSITION, FERTILIZER PER CUBIC YARD.

6. 100% 10-10-10 COMPOSITION, FERTILIZER PER CUBIC YARD.

(NOTE: THIS BACKFILL MIX IS FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE SOIL SAMPLES TO BE TESTED BY A SOIL AND PLANT LAB FOR ACTUAL BACKFILL AND SOIL AMENDMENT REQUIREMENTS.)

DETAILED LANDSCAPE PLAN

SCALE: 1" = 10'

NOTE: CHANGES OR SUBSTITUTION TO MAKE WITHOUT REFERENCE TO THE PLANS AND LANDSCAPE PLANNERS CONSULT.

- SEE SPECIFIC MODEL NUMBERS FOR INSTALLATION.
- CONTRACTOR TO COORDINATE WATER EXISTING RESOLUTION MAINT.
- STATIC LINE PRESSURE ABOUT 55 PSI (CONTRACTOR TO VERIFY).



GRAPHIC SCALE

0 2.5 5 10 20 (IN FEET)

NORTH

1" = 10'

1" = 5'

1" = 2.5'

1" = 1.25'

PREPARED BY: SPECTRUM SERVICES, INC. 4445 S. JARVIS DRIVE, SUITE 100, WEST VALLEY CITY, UT 84119. TEL: (801) 488-8400. FAX: (801) 488-8401. CERT. NO. 12588. EXP. 07/2017. DATE: 07/27/2017.

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (PLANNING DEPARTMENT ONLY - ON-SITE)

- NOTE: CHANGES OR SUBSTITUTION TO MAKE WITHOUT RETURN TO THE PLANS AND LANDSCAPE PLANNERS
1. SEE IRRIGATION LEGEND FOR SPECIFIC
 2. CHECK SCHEDULE FOR INSTALLATION
 3. CONSULT WITH EXISTING UTILITY MAINS ON EXISTING IRRIGATION MAIN (CONTRACTOR TO VERIFY)
 4. STATIC LINE PRESSURE ABOUT 55 PSI (CONTRACTOR TO VERIFY)
 5. NO LOW HEAD BRANCHED ALLOWED
 6. PRIOR TO APPROVING THE PARTY RESPONSIBLE FOR IRRIGATION INSTALLATION SHALL CONDUCT IRRIGATION SYSTEM
 7. AFTER PROJECT INSTALLATION, AN AUDIT SHALL BE CONDUCTED BY A FINANCE STAFF IN A REPORT

- CONTRACTOR TO:
1. MODIFY EXISTING IRRIGATION TO ALLOW FOR NEW IRRIGATION HEADS TO BE INSTALLED
 2. MONITOR IRRIGATION CONTROLLER WITH A MOBILE PHONE TO PROVIDE WEATHER BASED IRRIGATION (THESE ALGORITHMS RUN TIMES BASED ON WEATHER)
 3. REPAIR OR REPLACE ANY EXISTING LANDSCAPING DAMAGED FROM CONSTRUCTION TO AN ACCEPTABLE LANDSCAPE CONDITION WITH FULLY FUNCTIONING AND PROVEN IRRIGATION SYSTEM

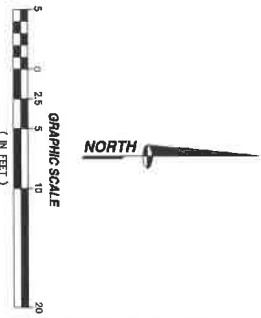
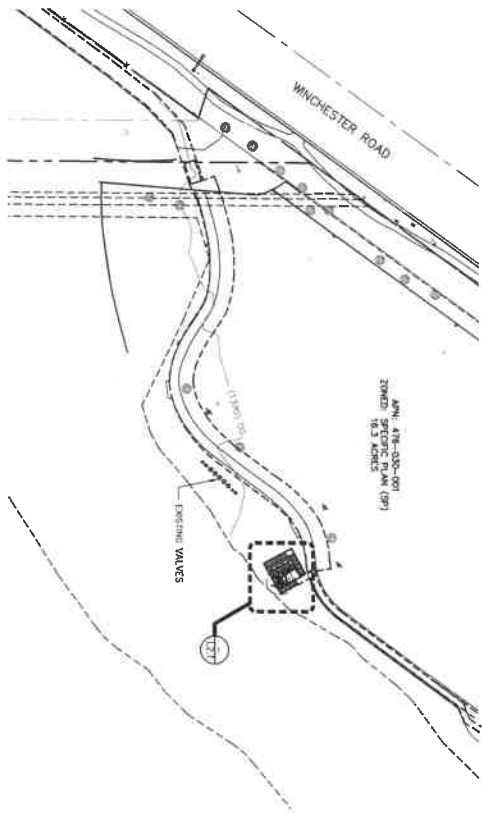
HOLD UTILITIES AND UNDERMINATION CLAUSE

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF VALLEY-WIDE RECREATION & PARK DISTRICT AND THE CITY OF WINCHESTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF VALLEY-WIDE RECREATION & PARK DISTRICT AND THE CITY OF WINCHESTER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF VALLEY-WIDE RECREATION & PARK DISTRICT AND THE CITY OF WINCHESTER.

VALLEY-WIDE RECREATION & PARK DISTRICT

DEAN WETTER
 APPROVAL BY VALLEY-WIDE RECREATION & PARK DISTRICT IS FOR VALLEY-WIDE MAINTENANCE AREAS ONLY

Date:



NOTE: NO OVERHEAD IRRIGATION BETWEEN 8:00AM AND 8:00PM

LANDSCAPING MAINTENANCE SCHEDULE

TASK	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
CARE OF PLANTS												
MONITORING												
PRUNING (IF NEEDED)												
FERTILIZATION (IF NEEDED)												
WATERING (AS NEEDED)												
TREE BED												
WEEDING (AS NEEDED)												
MULCHING												
REST MANAGEMENT												
MONITORING												
CLEAN UP (IF NEEDED)												

IRRIGATION PLAN

NO IT APPROVAL BY THE INFORMATION DEPARTMENT IS FOR WORK WITHIN THE ROAD RIGHT-OF-WAY ONLY.

NOISE CONTROLLED WITH RES. PLAN SHALL NOT EXCEED 65 DBA DURING PEAK HOURS (8:00 AM TO 6:00 PM) AND 55 DBA DURING NIGHT HOURS (6:00 PM TO 6:00 AM).

DATE: 11/15/2017

SCALE: 1" = 10'

PROJECT NO: 25953

CITY OF WINCHESTER

34630 WINCHESTER ROAD, WINCHESTER, VA 22699

DATE: 11/15/2017

SCALE: 1" = 10'

PROJECT NO: 25953

CITY OF WINCHESTER

34630 WINCHESTER ROAD, WINCHESTER, VA 22699

DATE: 11/15/2017

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES PLANNING DEPARTMENT ONLY - ON-SITE

IRRIGATION LEGEND

Table with 4 columns: SYMBOL, MANUFACTURER, DESCRIPTION, PATTERN, RADIOS, GPM, PSI. Contains symbols for handter, water meter, and pressure mainline with their respective specifications.

IRRIGATION LEGEND

- 1. SOBER GARDEN
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, ETC. TO COMPLETE THE PROJECT "PER PLAN"
3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS.

- 1. ALL INSTALLATION AND MATERIALS SHALL BE AS PER LOCAL CODES AND ORDINANCES. PLANS AND SPECIFICATIONS SHALL NOT BE CONSTRUED AS WAIVING ANY SUCH REQUIREMENTS.
2. ALL DIMENSIONS AND SPACING SHALL BE AS SHOWN ON THE PLANS AND SPECIFICATIONS.
3. ALL DIMENSIONS AND SPACING SHALL BE AS SHOWN ON THE PLANS AND SPECIFICATIONS.
4. ALL DIMENSIONS AND SPACING SHALL BE AS SHOWN ON THE PLANS AND SPECIFICATIONS.

IRRIGATION NOTES

- 1. 120 V. ELECTRICAL POWER OUTLET FOR CONTROLLER TO BE PROVIDED BY OTHERS. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HONOR PLOW OUTLET TO CONTROLLER.
2. ALL WIRE FROM CONTROLLER TO ELECTRICAL CONTROL VALVES TO BE COPPER UOH #14 DIRECT BURIAL INSTALL IN COMMON TRENCH WITH MAIN LINE WHERE POSSIBLE. PROVIDE 18" COVER.
3. PROVIDE MANUAL 18" COVER OVER ALL PRESSURE MAIN LINE AND 12" OVER ALL NON-PRESSURE LATERAL LINE PIPE. ALL PIPE UNDER PAVED AREAS TO HAVE SCH. 40 PVC SELECTS INSTALLED PRIOR TO PAVING.

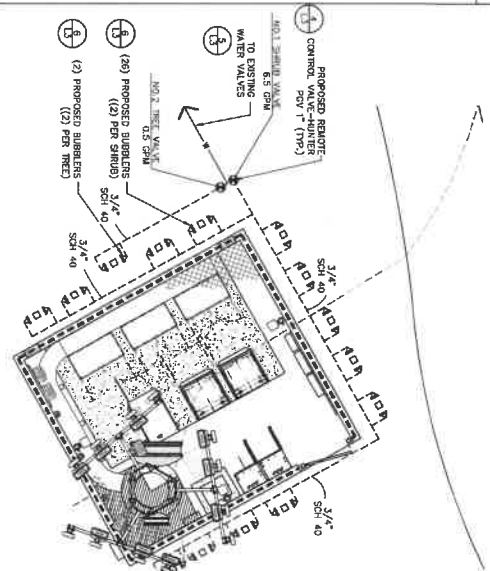


NOTE: APPROVAL BY THE TRANSPORTATION DEPARTMENT IS FOR WORKS CONTAINED WITHIN THE PAVED AREAS ONLY. THE ROAD RIGHT-OF-WAY ONLY.

DETAILED IRRIGATION PLAN

Professional seal of the Designer, including the name 'D. W. WILSON, P.E.' and the title 'DESIGNER'.

Project information including 'SPECTRUM SERVICES, INC.', '4405 S. ANCHOR DRIVE', 'PHOENIX, AZ 85034', and 'DATE: 08/01/2017'.



VALLEY-WIDE RECREATION & PARK DISTRICT
DEAN WETTER
DATE:

- 1. CONTRACTOR TO BE RESPONSIBLE TO ALLOW FOR NEW IRRIGATION LOCATIONS AND ADDITIONAL HEADS TO BE INSTALLED.
2. MODIFY EXISTING IRRIGATION CONTROLLER WITH A MODULE THAT SUPPORTS AUTOMATIC SCHEDULING BASED ON WEATHER (HUNTER SOLAR SYNC)
3. REPAIR OR REPLACE ANY EXISTING LANDSCAPING DAMAGED FROM CONSTRUCTION TO AN ACCEPTABLE CONDITION.

HOLD HARMLESS & RESPONSIBILITY CLAUSE
CONTRACTOR AGREES TO ASSUME SOLE RESPONSIBILITY FOR THE PROTECT, MAINTAIN AND DEFEND THE INTERESTS OF THE PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.

- 1. WITHOUT RESERVATION TO THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.

APPROVED AS TO CONFORMANCE WITH APPLICABLE COUNTY STANDARDS AND PRACTICES (PLANNING DEPARTMENT ONLY - ON-SITE)



VALLEY-WIDE RECREATION & PARK DISTRICT

DEAN WETTER
 APPROVAL BY VALLEY-WIDE RECREATION & PARK DISTRICT IS FOR VALLEY-WIDE MAINTENANCE AREAS ONLY

Date:

HOLD HARMLESS & INDEMNIFICATION CLAUSE

CONTRACTOR AGREES TO ASSUME ALL RISK OF RESPONSIBILITY FOR JOB SITE CONDITIONS EXCEPT THE COORDINATION OF CONSTRUCTION OF THIS PROJECT WITH THE REQUIREMENTS OF THE COUNTY OF CALIFORNIA AND THE CITY OF VALLEJO. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF CALIFORNIA AND THE CITY OF VALLEJO. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF CALIFORNIA AND THE CITY OF VALLEJO. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF CALIFORNIA AND THE CITY OF VALLEJO.

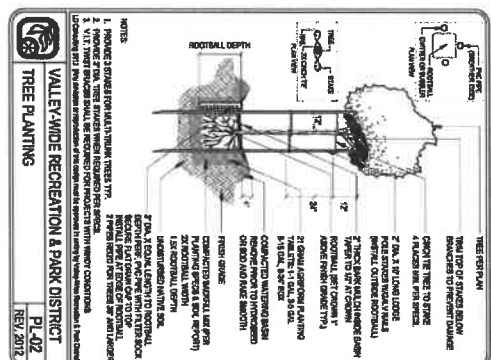
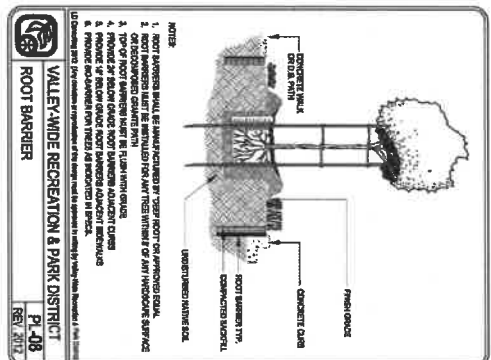
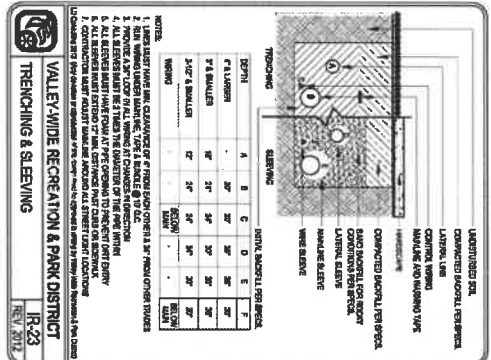
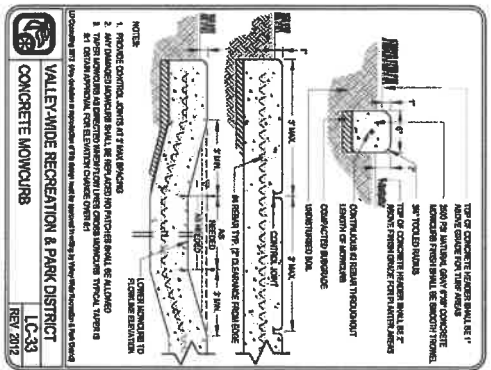
HOLD HARMLESS AND APPROVAL NOTE

SCALE: 8"=1'-0" HONE

SCALE: 6"=1'-0" HONE

SCALE: 4"=1'-0" HONE

SCALE: 2"=1'-0" HONE



CONCRETE MOWCURB

TRENCHING AND SLEEVING

ROOT BARRIER

TREE PLANTING

NOTICE: THIS DRAWING IS THE PROPERTY OF THE DISTRICT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.

DATE: 11/27/2017
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

NOTICE: THIS DRAWING IS THE PROPERTY OF THE DISTRICT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.

DATE: 11/27/2017
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

NOTICE: THIS DRAWING IS THE PROPERTY OF THE DISTRICT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.

DATE: 11/27/2017
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

NOTICE: THIS DRAWING IS THE PROPERTY OF THE DISTRICT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED.

DATE: 11/27/2017
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



**COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY**

Juan C. Perez
Agency Director



11/04/20, 9:39 am

PP25693

ADVISORY NOTIFICATION DOCUMENT

The following notifications are included as part of the recommendation of approval for PP25693. They are intended to advise the applicant of various Federal, State and County regulations applicable to this entitlement and the subsequent development of the subject property.

Advisory Notification

Advisory Notification. 1 AND - Exhibits

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT(S)

Exhibit A (Site Plan), Sheet A1, A2, A3, A3.1, D1 dated 1/27/2016.

Exhibit B (Elevations), Sheet A4, A5, dated 1/27/2016.

Exhibit L (Conceptual Landscaping and Irrigation Plans), Sheet T1, L1, L2, L2.1, L3 dated 1/27/2016.

Advisory Notification. 2 AND - Federal, State & Local Regulation Compliance

1. Compliance with applicable Federal Regulations, including, but not limited to:
 - National Pollutant Discharge Elimination System (NPDES)
 - Clean Water Act
 - Migratory Bird Treaty Act (MBTA)
2. Compliance with applicable State Regulations, including, but not limited to:
 - The current Water Quality Management Plan (WQMP) Permit issued by the applicable Regional Water Quality Control Board (RWQCB.)
 - Government Code Section 66020 (90 Days to Protest)
 - Government Code Section 66499.37 (Hold Harmless)
 - State Subdivision Map Act
 - Native American Cultural Resources, and Human Remains (Inadvertent Find)
 - School District Impact Compliance
 - Public Resources Code Section 5097.94 & Sections 21073 et al - AB 52 (Native Americans: CEQA)]
3. Compliance with applicable County Regulations, including, but not limited to:
 - Ord. No. 348 (Land Use Planning and Zoning Regulations)
 - Ord. No. 413 (Regulating Vehicle Parking)
 - Ord. No. 457 (Building Requirements)
 - Ord. No. 458 (Regulating Flood Hazard Areas & Implementing National Flood Insurance Program)
 - Ord. No. 461 (Road Improvement Standards)
 - Ord. No. 555 (Surface Mining and Reclamation)
 - Ord. No. 625 (Right to Farm)
 - Ord. No. 771 (Controlling Potentially Dangerous & Dangerous Animals)
 - Ord. No. 878 (Regarding Noisy Animals)

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 2 AND - Federal, State & Local Regulation Compliance (cont.)

- Ord. No. 655 (Regulating Light Pollution)
- Ord. No. 671 (Consolidated Fees)
- Ord. No. 787 (Fire Code)
- Ord. No. 847 (Regulating Noise)
- Ord. No. 857 (Business Licensing)
- Ord. No. 859 (Water Efficient Landscape Requirements)
- Ord. No. 915 (Regulating Outdoor Lighting)
- Ord. No. 925 (Prohibiting Marijuana Cultivating)
- Ord. No. 927 (Regulating Short Term Rentals)
- Ord. No. 928 (Clarifying County Prohibition on Mobile Marijuana Dispensaries and Deliveries)

4. Mitigation Fee Ordinances

- Ord. No. 659 Development Impact Fees (DIF)
- Ord. No. 663 Stephens Kangaroo Rat Habitat Conservation Plan (SKR)
- Ord. No. 810 Western Riverside County Multiple Species Habitat Conservation Plan (WRCMSHCP)
- Ord. No. 824 Western Riverside County Transportation Uniform Mitigation Fee (WR TUMF)

Advisory Notification. 3 AND - Hold Harmless

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees ("COUNTY") from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the project or its associated environmental documentation; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the project, including, but not limited to, decisions made in response to California Public Records Act requests; and (a) and (b) above are hereinafter collectively referred to as "LITIGATION."

The COUNTY shall promptly notify the applicant/permittee of any LITIGATION and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such LITIGATION or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such LITIGATION, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

Payment for COUNTY's costs related to the LITIGATION shall be made on a deposit basis. Within thirty (30) days of receipt of notice from COUNTY that LITIGATION has been initiated against the Project, applicant/permittee shall initially deposit with the COUNTY's Planning Department the total amount of Twenty Thousand Dollars (\$20,000). Applicant/permittee shall deposit with COUNTY such additional amounts as COUNTY reasonably and in good faith determines, from time to time, are necessary to cover costs and expenses incurred by the COUNTY, including but not limited to, the Office of County Counsel, Riverside County Planning Department and the Riverside County Clerk of the Board associated with the

ADVISORY NOTIFICATION DOCUMENT

Advisory Notification

Advisory Notification. 3 AND - Hold Harmless (cont.)

LITIGATION. To the extent such costs are not recoverable under the California Public Records Act from the records requestor, applicant/permittee agrees that deposits under this section may also be used to cover staff time incurred by the COUNTY to compile, review, and redact records in response to a Public Records Act request made by a petitioner in any legal challenge to the Project when the petitioner is using the Public Records Act request as a means of obtaining the administrative record for LITIGATION purposes. Within ten (10) days of written notice from COUNTY, applicant/permittee shall make such additional deposits.

Advisory Notification. 4 AND - Preamble

This Advisory Notification Document ("AND") is included as part of the justification for the recommendation of approval of this project and is intended to advise the applicant of various Federal, State, and County regulations applicable to this entitlement and the subsequent development of the subject property, in accordance with approval of that entitlement and are in addition to the applied conditions of approval.

Advisory Notification. 5 AND - Project Description & Operational Limits

The construction of a new Verizon Disguised 50-foot monopine Wireless Communication Facility consisting of twelve (12) panel antennas at 41 feet centerline height, nine (9) RRUs antennas, and two (2) parabolic antennas with a 440 square foot lease area enclosed by a 9-foot block perimeter wall.

BS-Grade

BS-Grade. 1 0010-BS-Grade-USE - DISTURBS NEED G/PMT

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

BS-Grade. 2 0010-BS-Grade-USE - GENERAL INTRODUCTION

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

BS-Grade. 3 0010-BS-Grade-USE - OBEY ALL GDG REGS

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

BS-Plan Check

BS-Plan Check. 1 0010-BS-Plan Check-USE -BLDG PERMITS

ADVISORY NOTIFICATION DOCUMENT

BS-Plan Check

BS-Plan Check. 1 0010-BS-Plan Check-USE -BLDG PERMITS (cont.)

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure. At no time shall the approval of the planning case exhibit allow for the construction or use of any building, structure, or equipment. In residential applications, each separate structure will require a separate building permit.

E Health

E Health. 1 0010-E Health-USE - EMERGENCY GENERATOR

For any proposed use of emergency generators, the following shall apply:

- a) A Business Emergency Plan (BEP) shall be submitted to the County of Riverside, Hazardous Materials Management Branch (HMMB).
- b) A concrete berm shall be installed around all diesel backup generators, especially those designed with single-walled tanks.
- c) If the fuel tank capacity is greater than or equal to 1,320 gallons, the facility shall be required to prepare a Spill Prevention Control and Countermeasure (SPCC) plan. The SPCC shall be written in compliance with Federal rules and regulations.
- d) If the generator is located indoors, all entrance doors shall be labeled with an NFPA 704 sign with the appropriate NFPA ratings.
- e) If the generator is located outdoors, the NFPA 704 sign shall be placed on the most visible side of the exterior surface of the generator unit, or if fenced, on the most visible side of the fence, with the appropriate NFPA ratings.
- f) The location and capacity of the "day tank", if proposed, shall be clearly identified in the chemical inventory and facility map sections of the BEP.
- g) The business shall address the handling of spills and leaks in the Prevention, Mitigation, and Abatement sections of the BEP.
- h) If the generator is located in a remote site, HMMB shall conduct an inspection to determine whether any exemptions can be granted.

E Health. 2 0010-E Health-USE - NO NOISE REPORTS

Based upon the information provided, a noise study is not required. However, the project shall be required to comply with the following:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library, or nursing home", must not exceed the following worst-case noise levels: 45 dB(A) - 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB(A) - 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard).
2. Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or

ADVISORY NOTIFICATION DOCUMENT

Planning

Planning. 7 **0010-Planning-USE - IF HUMAN REMAINS FOUND (cont.)**

i)The Commission is unable to identify a MLD or the MLD failed to make a recommendation within 24 hours after being notified by the commission.

(1)The MLD identified fails to make a recommendation; or

(2)The landowner or his authorized representative rejects the recommendation of the MLD, and the mediation.

Planning. 8 **0010-Planning-USE - LOW PALEO**

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for

ADVISORY NOTIFICATION DOCUMENT

Planning-GEO

Planning-GEO. 1 GEO200025 ACCEPTED (cont.)

4. It is our opinion that potential for liquefaction is minimal at the site and will not adversely impact the foundation of the proposed tower and the associated site improvements.

5. Based on the allowable bearing value recommended above, total settlement of the shallow footings are anticipated to be less than one inch, provided foundation preparations conform to the recommendations described in "Site Preparation and Earthwork" Section of this report. Differential settlement is anticipated to be approximately half the total settlement for similarly loaded footings spaced up to approximately 30 feet apart.

GEO200025 recommended:

1. Based on the results of our investigation, the proposed monopine tower may be supported on a new typical, large-diameter reinforced concrete drilled pier; Cast-In-Drill-Hole (CIDH) pile.
2. The excavation for the pier shaft should be performed under the observation of GeoBoden to confirm that the pier shaft is in conformance with our recommendations.
3. The site should be cleared of any debris, organic matter, abandoned utility, and other unsuitable materials.
4. Any existing fill encountered should be excavated and replaced with properly compacted fill or lean concrete to the depth of the fill and to a horizontal distance equal to the depth of excavation (if possible) in order to provide improved foundation support for the proposed facility.

GEO No. 200025 satisfies the requirement for an updated geologic/geotechnical study for Planning/CEQA purposes. GEO No. 200025 is hereby accepted for planning purposes. Engineering and other Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the County upon application for grading and/or building permits.

Transportation

Transportation. 1 0010-Transportation-USE - COUNTY WEBSITE

Additional information, standards, ordinances, policies, and design guidelines can be obtained from the Transportation Department Website: <http://rctlma.org/trans/>. If you have questions, please call the Plan Check Section at (951) 955-6527.

Transportation. 2 0010-Transportation-USE - NO ADD'L ON-SITE R-O-W

No additional on-site right-of-way shall be required on Abelia Street and Winchester Road since adequate right-of-way exists per TR29017 (MB 330/54-63).

Transportation. 3 0010-Transportation-USE - NO ADD'L ROAD IMPRVMENTS

No additional road improvements will be required at this time along Abelia Street and Winchester Road due to existing improvements.

Transportation. 4 0010-Transportation-USE - TS/EXEMPT

ADVISORY NOTIFICATION DOCUMENT

Transportation

Transportation. 4 0010-Transportation-USE - TS/EXEMPT (cont.)

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

Transportation. 5 0010-Transportation-USE- STD INTRO (ORD 461)

With respect to the conditions of approval for the referenced tentative exhibit, it is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. This ordinance and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

Plan: PP25693

Parcel: 476030001

60. Prior To Grading Permit Issuance

Planning

060 - Planning. 1 0060-Planning-USE - CULTURAL MONITOR REQ. Not Satisfied

Prior to the issuance of grading permits, the developer/permit holder shall retain and enter into a monitoring and mitigation service contract with a qualified Archaeologist for monitoring services. The Project Archaeologist (Cultural Resource Professional) shall develop a Cultural Resources Monitoring Plan which must be approved by the County Archaeologist prior to issuance of grading permits. The Project Archaeologist shall be included in the pre-grade meetings to provide Construction Worker Cultural Resources Sensitivity Training including the establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors and Native American Monitors. A sign-in sheet for attendees of this training shall be included in the Phase IV Monitoring Report. The Project Archaeologist shall manage and oversee monitoring for all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. The Project Monitor shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with the special interest monitors. The developer/permit holder shall submit a fully executed copy of the contract and a wet-signed copy of the Monitoring Plan to the Riverside County Planning Department to ensure compliance with this condition of approval.

060 - Planning. 2 0060-Planning-USE - NATIVE MONITOR Not Satisfied

Prior to the issuance of grading permits, the developer/permit applicant shall enter into a contract with a Tribal monitor(s) from the Pechanga Native American Tribe(s) who shall be on-site during all ground disturbing activities. The developer shall submit a copy of a signed contract between the appropriate Tribe and the developer/permit holder for the monitoring of the project, and which addresses the treatment of cultural resources, to the Planning Department and the County Archaeologist. The Native American Monitor(s) shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow recovery of cultural resources in coordination with the Project Archaeologist. The Native American Monitor shall be given a minimum notice of two weeks that a monitor is required. If a monitor is not available, work may continue without the monitor. The Project Archaeologist shall include in the Phase IV Archaeological Monitoring report any concerns or comments that the monitor has regarding the project and shall include as an appendix any non-confidential written correspondence or reports prepared by the Native American monitor.

Native American monitoring does not replace any Cultural Resources monitoring required by a County-approved Archaeologist, but rather serves as a supplement for coordination and advisory purposes for all groups' interests only. The developer/permit applicant shall not be required to further pursue any agreement for Native American monitoring of this project if after 60 days from the initial attempt to secure an agreement the developer/permit applicant, through demonstrable good faith effort, has been unable to secure said agreement from the Tribe. A good faith effort shall consist of no less than 3 written attempts from the developer/permit applicant to the tribe to secure the required special interest monitoring agreement and appropriate e-mail and telephone contact attempts. Documentation of the effort made to secure the agreement shall be submitted to the County Archaeologist for review and consideration.

Should repatriation of collected cultural items be preferred, it shall not occur until after the Phase IV monitoring report has been submitted to the Riverside County Archaeologist. Should curation be preferred, the developer/permit applicant is responsible for all costs and the repository and curation method shall be described in the Phase IV monitoring report.

Plan: PP25693

Parcel: 476030001

60. Prior To Grading Permit Issuance

Planning-EPD

060 - Planning-EPD. 1 MBTA Nesting Bird Survey Prior to Grading - EPD Not Satisfied

Birds and their nests are protected by the Migratory Bird Treaty Act (MBTA) and California Department of Fish and Wildlife (CDFW) Codes. Since the project supports suitable nesting bird habitat, removal of vegetation or any other potential nesting bird habitat disturbances shall be conducted outside of the avian nesting season (February 1st through August 31st). If habitat must be cleared during the nesting season, a preconstruction nesting bird survey shall be conducted. The preconstruction nesting bird survey must be conducted by a biologist who holds a current MOU with the County of Riverside. If nesting activity is observed, appropriate avoidance measures shall be adopted to avoid any potential impacts to nesting birds. The nesting bird survey must be completed no more than 3 days prior to any ground disturbance. If ground disturbance does not begin within 3 days of the survey date a second survey must be conducted.

Prior to issuance of a permit for rough grading, or building whichever comes first, the project's consulting biologist shall prepare and submit a report, documenting the results of the survey, to EPD for review. In some cases EPD may also require a Monitoring and Avoidance Plan prior to the issuance of a rough grading permit.

When the requested documents/studies are completed and ready for EPD review, please upload them to our Secure File Transfer server to ensure prompt response and review. If you are unfamiliar with the process for uploading biological documents to the FTP site, please contact Matthew Poonamallee at mpoonama@rivco.org and Melissa Manzo at melmanzo@rivco.org for instructions. Biological reports not uploaded to the FTP site may result in delayed review and approval.

Transportation

060 - Transportation. 1 0060-Transportation-USE - SUBMIT GRADING PLAN Not Satisfied

When you submit a grading plan to the Department of Building and Safety, two sets of the grading plan (24" X 36") shall be submitted to the Transportation Department for review and subsequently for the required clearance of the condition of approval prior to the issuance of a grading permit.

Please note, if improvements within the road right-of-way are required per the conditions of approval, the grading clearance may be dependent on the submittal of street improvement plans, the opening of an IP account, and payment of the processing fee. Otherwise, please submit required grading plan to the Transportation Department, Plan Check Section, 8th Floor, 4080 Lemon Street, Riverside, CA

Standard plan check turnaround time is 10 working days.

70. Prior To Grading Final Inspection

Planning

070 - Planning. 1 0070-Planning-USE - PHASE IV MONITOR REPORT Not Satisfied

Prior To Grading Permit Final (Archaeological Monitoring/Phase IV Report Submittal): The developer/holder shall prompt the Project Archaeologist to submit one (1) wet-signed paper copy and (1) CD of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports for all ground disturbing activities associated with this grading permit. The report shall follow the County of Riverside Planning Department Cultural Resources (Archaeological) Investigations Standard Scopes of Work posted on the TLMA website. The County Archaeologist shall review the report to determine adequate compliance with the

Plan: PP25693

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70. Prior To Grading Final Inspection

Planning

070 - Planning. 1 0070-Planning-USE - PHASE IV MONITOR REPORT (cont.) Not Satisfied
approved conditions of approval. Upon determining the report is adequate, the County Archaeologist shall clear this condition.

80. Prior To Building Permit Issuance

BS-Grade

080 - BS-Grade. 1 0080-BS-Grade-USE-NO GRADING VERIFICATION Not Satisfied

Prior to the issuance of any building permit, the applicant shall comply with the County of Riverside Department of Building and Safety "NO GRADING VERIFICATION" requirements.

Fire

080 - Fire. 1 Prior to permit Not Satisfied

Emergency and Standby Power

1. Emergency power systems, standby power systems and uninterrupted power supplies shall be in accordance with the CFC. Sign(s) designed in accordance with NFPA Standard 704 must be posted as applicable.

080 - Fire. 2 Prior to permit Not Satisfied

Gates & Barriers

1. Gates or other barriers across access roadways and at entrances to sites shall provide rapid reliable access by means of a Knox Box or Knox Padlock in an accessible location to provide immediate access for life safety and/or firefighting purposes. The Knox product and its location shall be approved.

Planning

080 - Planning. 1 0080-Planning-USE - LIGHTING PLANS CT Not Satisfied

Any proposed outdoor lighting must be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County General Plan.

080 - Planning. 2 0080-Planning-USE - PINE FRONDS Not Satisfied

Prior to building permit issuance, the developer/permit holder shall provide a pine frond design, consistent with the approved plot plan that covers all panel and microwave antennas. After reviewing the building plans, the Planning Department shall clear this condition upon determination of compliance.

080 - Planning. 3 0080-Planning-USE* - ELEVATIONS & MATERIALS Not Satisfied

Building and structure elevations shall be in substantial conformance with that shown on the APPROVED EXHIBIT A, dated 01/27/2015.

080 - Planning. 4 0080-Planning-USE*- RVW BLDNG PLNS/SOCKS/BRN Not Satisfied

Prior to building permit issuance, the Planning Department shall review the plan check approved building plans to insure that the branches for proposed monopine are spaced at three (3) branches

Plan: PP25693

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80. Prior To Building Permit Issuance

Planning

080 - Planning. 4 0080-Planning-USE*- RVW BLDNG PLNS/SOCKS/BRN (con Not Satisfied
per foot, all antennas have "socks", and the branches start 14 feet from the bottom of the tree in
accordance with the APPROVED EXHIBIT A, dated 1/27/2016.

Planning-EPD

080 - Planning-EPD. 1 Grading During Least Bell's Vireo Breeding Season - EPD Not Satisfied

To minimize noise effects on potential least Bell's vireo habitat adjacent to the proposed project site, construction will occur outside of the vireo season (March 1 to August 31). If construction outside of vireo season is not feasible, the applicant will conduct focused surveys to determine presence/absence. If present, the project proponent will coordinate with the RCA and Wildlife Agencies regarding potential setback buffers and other possible measures relative to the location of vireos in adjacent areas.

Transportation

080 - Transportation. 1 0080-Transportation-USE - ACCESS RESTRICTION Not Satisfied

No access shall be allowed neither from Winchester Road nor Pourroy Road. The only access that shall be allowed is from Abelia Street.

080 - Transportation. 2 0080-Transportation-USE - EVIDENCE/LEGAL ACCESS Not Satisfied

Provide evidence of legal access.

080 - Transportation. 3 0080-Transportation-USE - UTILITY PLAN CELL TOWER Not Satisfied

Proposed electrical power lines below 33.6 KV within public right-of-way for this cell tower site shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. A disposition note describing the above shall be reflected on the site plan. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

90. Prior to Building Final Inspection

E Health

090 - E Health. 1 0090-E Health-USE - HAZMAT BUS PLAN Not Satisfied

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

090 - E Health. 2 0090-E Health-USE - HAZMAT CONTACT Not Satisfied

Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

090 - E Health. 3 0090-E Health-USE - HAZMAT REVIEW Not Satisfied

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable

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90. Prior to Building Final Inspection

E Health

090 - E Health. 3 0090-E Health-USE - HAZMAT REVIEW (cont.) Not Satisfied
County Ordinances.

Planning

090 - Planning. 1 0090-Planning-USE - UTILITIES UNDERGROUND Not Satisfied

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

090 - Planning. 2 0090-Planning-USE - WALL & FENCE LOCATIONS Not Satisfied
Wall locations shall be in conformance with APPROVED EXHIBIT A.

090 - Planning. 3 0090-Planning-USE*- SITE INSPECTION Not Satisfied
Prior to final inspection, the Planning Department shall inspect and determine that the conditions of PP25693 have been met; specifically that the branches for proposed monopine are spaced at three (3) branches per foot, all antennas have "socks", and the branches start 14 feet from the bottom of the tree in accordance with the APPROVED EXHIBIT A, dated 01/27/2016.

Transportation

090 - Transportation. 1 0090-Transportation-USE-UTILITY INSTALL CELL TOWER Not Satisfied

Proposed electrical power lines below 33.6 KV within public right-of-way for this cell tower site shall be underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

LAND DEVELOPMENT COMMITTEE (LDC)
2nd CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: March 10, 2016

TO:

Riv. Co. Transportation Dept.
Riv. Co. Flood Control District
Riv. Co. Environmental Health Department
Riv. Co. Landscape
Riv. Co. Geology Section

Riv. Co. Archaeology Section
Riv. Co. Fire Department
Riv. Co. Building & Safety-Grading
Riv. Co. Building & Safety-Plan Check
Riv. Co. Biology

Riv. Co. Regional Parks & Open Space
Riv. Co. Information Technology
City Sphere of Influence- City of Temecula
3rd District Supervisor
3rd District Planning Commissioner

PLOT PLAN NO. 25693 – Intent to adopt a Negative Declaration – Applicant: Verizon Wireless – Engineer/Representative: Spectrum Services, Inc. – Owner: Valley Wide Recreation & Park District – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Land Use Designation: Open Space: Conservation (OS: C), Open Space: Recreation (OS: R) – Location: Southeast of Winchester Road., Southwest of Abelia Street, and West of Wintersweet Lane – Zoning: Winchester Specific Plan No. 286, Planning Area 10A/11/16 – **REQUEST:** Plot Plan No. 25963 proposes the construction and operation of a new, unmanned wireless communication facility disguised as a pine tree (monopine) consisting of a 50-foot-tall tower, twelve (12) panel antennas at the 41-foot height, two (2) parabolic antennas, nine (9) remote radio units, two (2) tower mounted junction boxes, five (5) outdoor equipment cabinets, three (3) GPS antennas, one 15kW stand-by generator, and two (2) 50KVA transformers within a 440-square-foot lease area. – APN: 480-040-029 & 476-030-001.

LDC staff members and other listed Riverside County Agencies, Departments and Districts staff:

A Bluebeam invitation has been emailed to appropriate staff members so they can view and markup the map(s) and/or exhibit(s) for the above-described project. Please have your markups completed and draft conditions in the Land Management System (LMS) on or before the indicated LDC date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the LMS routing on or before the above date. This case is scheduled for an **LDC Comment Meeting on March 24, 2016**. Once the route is complete, and the approval screen is approved with or without corrections, the project can be scheduled for a public hearing.

Other listed entities/individuals:

Please note that the Planning Department has gone paperless and is no longer providing physical copies of the submitted map(s) and/or exhibit(s) for review. However we still want your comments. Please go the Department's webpage at:

<http://planning.rctlma.org/DevelopmentProcess/LDCAgendas/2016LDCAgendas.aspx>

Open the LDC agenda for the above reference date, and scroll down to view the applicable map(s) and/or exhibit(s). Please provide any comments, questions and recommendations to the Planning Department on or before the above referenced date.

Should you have any questions regarding this project, please do not hesitate to contact **Ash Syed, (951) 955-6035, Project Planner**, or e-mail at asyed@rivco.org

Public Hearing Path: Administrative Action: DH: PC: BOS:

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach
Assistant TLMA Director

April 7, 2020

Randi Newton
4405 E. Airport Drive Suite 100
Ontario, CA 91761

Dear Applicant Name:

RE: JPR Complete
Assessor's Parcel Number(s): 476-030-001
EPD Case Number(s): PP25693, HAN180001

This letter is to inform you that the HANS case for the subject property was forwarded to the Regional Conservation Authority (RCA) for Joint Project Review (JPR) pursuant to Section 6.6.2 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP). As stated in the attached "RCA JPR Review", the RCA has concurred with the County that the project is consistent with the MSHCP. Additionally the U.S. Fish and Wildlife Service and the California Department of Fish and Wildlife have reviewed the case and concurred as well.

EPD has cleared our Corrections on PP25693/HAN180001 and Conditioned the project.

If you have any questions or concerns, please contact Matthew Poonamallee with the Environmental Programs Division of the Planning Department at (951) 955-2706 or via email at mpoonama@rivco.org.

Sincerely,

PLANNING DEPARTMENT

A handwritten signature in black ink that reads "M Poonamallee".

Matthew Poonamallee
Ecological Resources Specialist II

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road
Palm Desert, California 92211
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RCA Joint Project Review (JPR)

JPR #: 18-12-11-01

Date: 03/20/20

Project Information

Permittee:	County of Riverside
Case Information:	HANS 180001
Site Acreage:	0.41 acre (On-site 0.37 acre; Off-site 0.03 acre within Winchester Road right-of-way)
Portion of Site Proposed for MSHCP Conservation Area:	0

Criteria Consistency Review

Consistency Conclusion: The project is consistent with both the Criteria and Other Plan Requirements.

Data:

Applicable Core/Linkage:	<u>Proposed Constrained Linkage 18</u>
Area Plan:	<u>Southwest</u>

APN(s)	Sub-Unit	Cell Group	Cell
476-030-001	SU5 – Subunit 5: French Valley/Lower Sedco Hills	Independent	5376 5378

Project Information

- a. Project Documentation: JPR submittal materials provided by the Permittee included a RCA Joint Project Review Application (revised March 6, 2020), a *Habitat Assessment and MSHCP Consistency Report (Report)* prepared by Helix Environmental Planning (March 2020), a Site Plan (March 13, 2020), and a Riverside County Conservation Easement Deed (July 31, 2002).
- b. Project Description: The proposed project, 0.37 acre on site and 0.03 acre off site within Winchester Road right-of-way (ROW), is located at the existing Abelia Sports Park at 34630 Winchester Road within the community of Winchester, in Riverside County, California. The surrounding area includes residential development to the east, south, and west, and open lands to the north. An unnamed tributary to Warm Springs Creek (i.e., Proposed Constrained Linkage 18) is approximately 30 feet south of the project site. The proposed project includes the construction of an unmanned telecommunications facility that would include approximately 440 square feet of leased area for the facility; 12 panel antennas mounted on a new 50-foot tall antenna structure; 2 parabolic antennas; 18 remote radio units; 3 tower mounted junction boxes; 2 macro cell cabinets on a concrete pad; GPS antenna; 9-foot tall block wall; 4-foot wide gate; 15kW DC generator; cable runs from radios to antennas; fiber conduit to cabinets; trenching



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for electrical; and, 2 transformers. The off-site portions of the proposed project extend outside of APN 476-030-001 into the existing Winchester Road ROW. According to the *Report*, an existing parking lot and concrete access road for Abelia Sports Park would be used for access. A short segment of this access road includes a bridge traversing the unnamed tributary to Warm Springs Creek. This bridge will be used for access only and no improvements to the bridge are proposed.

According to the *Report*, the project site is developed and disturbed, dominated by non-native turf grass and ornamental landscaping associated with Abelia Sports Park. The survey area included the proposed project site and a 100-foot buffer, hereafter referred to as the "study area." Areas within the study area support additional turf grass and ornamental planting in addition to riparian habitat associated with an unnamed tributary to Warm Springs Creek. The study area, totaling 8.21 acres, is comprised of approximately 2.19 acres of southern riparian scrub, 0.47 acre of disturbed land, and 5.55 acres of developed lands. According to the *Report*, the study area is mapped as having Grangeville fine sandy loam, Monserate sandy loam, and Porteville clay; however, the surface soils have been modified and significantly altered from their natural state for the development of Abelia Sports Park.

On-site impacts as part of the proposed project would result in 0.37 acre of impacts to developed lands; specifically 0.03 acre of permanent impacts and 0.34 acre of temporary impacts. Permanent impacts would result from the construction of the telecommunications facility and a small section of new concrete walkway for access during project operation. Temporary impacts would result from the proposed utility line trenching, construction access and staging that would be restricted to existing developed lands associated with Abelia Sports Park (e.g., asphalt parking lot, concrete driveways, and turf grass). All temporary impact acres would be restored to pre-project conditions.

Off-site impacts as a part of the proposed project would result in 0.03 acre of temporary impacts, specifically 0.01 acre of disturbed land and 0.02 acre of developed lands. The off-site temporary impacts would result from installation of the underground fiber optics line extending into the Winchester Road ROW, and from off-site construction access and staging.

Relation to Reserve Assembly

- a. As stated in Section 3.2.3 of the MSHCP, "Proposed Constrained Linkage 18 consists of an unnamed drainage located in the south-central region of the Plan Area. This Constrained Linkage connects Proposed Core 2 (Antelope Valley) to the west with Proposed Extension of Existing Core 7 (Lake Skinner/Diamond Valley Lake Extension). Existing agricultural use constrains the Linkage, and planned land uses surrounding the Linkage are limited nearly entirely to community Development. The Linkage also has a relatively high proportion of land affected by edge (approximately 250 acres of the total 310 acres) and will also be subject to Edge Effects also due to the widening or extension of several facilities including Washington Street, Briggs Road, and SR-79. Despite these issues, the Linkage nonetheless provides Live-In and movement Habitat for species. Guidelines Pertaining to Urban/Wildlands Interface for the management of edge factors such as lighting, urban runoff, toxics, and domestic predators are presented



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in Section 6.1 of this document. This Linkage likely provides for movement of common mammals such as bobcat. An adequate wildlife underpass or overpass may need to be implemented to ensure movement of species in this area and to reduce the chance of mortality from vehicle collision.”

- b. The 0.41-acre project site is located within Cell 5376 and Cell 5378, both independent of a Cell Group. Regarding Cell 5376, MSHCP Section 3.3.15 states, “Conservation within this Cell will contribute to assembly of Proposed Constrained Linkage 18. Conservation within this Cell will focus on riparian scrub, woodland and forest habitat and adjacent agricultural land. Areas conserved within this Cell will be connected to riparian scrub, woodland and forest habitat and agricultural land proposed for conservation in Cell #5378 to the west and in Cell #5275 to the north. Conservation within this Cell will range from 5%-15% of the Cell focusing in the northwestern portion of the Cell.”

Regarding Cell 5378, MSHCP Section 3.3.15 states, “Conservation within this Cell will contribute to assembly of Proposed Constrained Linkage 18. Conservation within this Cell will focus on riparian scrub, woodland and forest habitat and adjacent grassland habitat and agricultural land. Areas conserved within this Cell will be connected to riparian scrub, woodland and forest habitat and agricultural land proposed for conservation in Cell #5376 to the east and in Cell #5477 to the south. Conservation within this Cell will range from 10%-20% of the Cell focusing in the southeastern portion of the Cell.”

- c. Rough Step: The proposed project is within Rough Step Unit 6. Rough Step Unit 6 encompasses 101,542 acres within the south-central region of western Riverside County and includes Antelope Valley, Warm Springs Creek, Paloma Creek, Lake Skinner, Johnson Ranch, and Diamond Valley Lake. This Rough Step area is bounded by Interstate 15 to the northwest, Bundy Canyon Road and Olive Avenue to the north, and Palm Avenue to the west. Within Rough Step Unit 6, 24,836 acres are located within the Criteria Area. Key vegetation communities within Rough Step Unit 6 include: coastal sage scrub, grasslands, riparian scrub, woodland, forest, and woodlands and forests. A total of 4,681 acres of conservation has been acquired within this Rough Step Unit. Losses to this unit total 2,566 acres, with remaining development allowance as followed: 71 acres of coastal sage scrub, 433 acres of grasslands, 6 acres of riparian scrub, woodland, and forest, and 10 acres of woodlands and forests. Based on the MSHCP baseline vegetation mapping, vegetation on the proposed project site is developed/disturbed and riparian scrub, woodland, forest. According to the 2018 MSHCP Annual Report, all vegetation categories are “in rough step.” Therefore, development on the project site will not conflict with or interfere with the Rough Step Status of Unit 6.
- d. Reserve Assembly: As mentioned above, the project site is located within Cell 5376 and Cell 5378, both independent of a Cell Group. Conservation within Cell 5376 will contribute to assembly of Proposed Constrained Linkage 18 and will range from 5%-15% of the Cell focusing in the northwestern portion of the Cell. Conservation within this Cell will focus on riparian scrub, woodland and forest habitat and adjacent agricultural land. Cell 5376 totals 160.51 acres. Using the low-range of the area described for conservation (5%) within Cell 5376, approximately 8 acres are described for conservation within this Cell. To date, approximately 142.86 acres have been developed or are approved for development in this Cell



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(including the project site) and covered road acreage is 6.49 acres. There are approximately 9.69 acres remaining of undeveloped acres potentially available for conservation within Cell 5376 that would contribute to Proposed Constrained Linkage 18. Of the 9.69 acres, 4.05 acres are under an existing conservation easement held by Valley-Wide Recreation and Park District along the unnamed tributary to Warm Springs Creek that comprises Proposed Constrained Linkage 18. Note that the Cell cannot achieve its mid-range goal (16.05 acres), but can achieve the low-end goal of 8 acres.

The proposed project site is located within the northwestern portion of Cell 5376, an area described for conservation; however, the project site is located within an existing sports park (i.e., Abelia Sports Park). Cell 5376 is comprised primarily with residential communities in the central and southern portions of the Cell. The northwestern portion of the Cell is comprised of the existing Abelia Sports Park and the unnamed tributary to Warm Springs Creek that comprises Proposed Constrained Linkage 18. The existing sports park is developed and comprised of turf and ornamental plantings which would not contribute to the conservation vegetation priorities for this Cell. Furthermore, the project site does not serve a functional purpose nor is it valuable for the planning species associated with Subunit 5: French Valley/Lower Sedco Hills, including Bell's sage sparrow, California horned lark, coastal California gnatcatcher, Swainson's hawk, grasshopper sparrow, southern California rufous-crowned sparrow, Quino checkerspot butterfly, bobcat, Los Angeles pocket mouse, western pond turtle, long-spined spine flower, Munz's onion, and Palmer's grapplinghook. Therefore, due to the proposed project being sited within an existing park (i.e., Abelia Sports Park), the proposed project would not impede the conservation goals for Proposed Constrained Linkage 18 nor cause additional fragmentation issues.

Conservation within Cell 5378 will contribute to assembly of Proposed Constrained Linkage 18 and will range from 10%-20% of the Cell focusing in the southeastern portion of the Cell. Conservation within this Cell will focus on riparian scrub, woodland and forest habitat and adjacent grassland habitat and agricultural land. A small portion of the proposed project (0.032 acre) would result in off-site temporary impacts extending into the Winchester Road ROW within the eastern portion of Cell 5378. All temporary impacts within the Winchester Road ROW would be restored to pre-project conditions; therefore, there would be no loss in the function or values of Proposed Constrained Linkage 18 within Cell 5378.

The proposed project is proposed to be sited within an existing park (i.e., Abelia Sports Park). Through additional internal coordination, it was determined that achieving the "low-end only" of the Cell 5376 goal is acceptable. Furthermore, within Cell 5378, impacts are only temporary. Based on this and the discussion above, placement of the cellular facilities and associated disturbance on the proposed project site would not impede the conservation goals for Proposed Constrained Linkage 18 nor cause additional fragmentation issues.



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Other Plan Requirements

Section 6.1.2 – Was Riparian/Riverine/Vernal Pool Mapping or Information Provided?

Yes. There are no riparian or riverine resources on the project site; however, riparian and riverine resources occur immediately adjacent to the project (i.e., an unnamed tributary to Warm Springs Creek). The adjacent riparian habitat does provide potential suitable habitat for Section 6.1.2 riparian bird species. This adjacent habitat will not be impacted. There are no vernal pools or suitable habitat for fairy shrimp on the project site.

Section 6.1.3 – Was Narrow Endemic Plant Species Survey Information Provided?

Yes. The project site is located within a Narrow Endemic Plant Species Survey Area (NEPSSA) for California Orcutt grass, many-stemmed dudleya, Munz's onion, San Diego ambrosia, spreading navarretia, and Wright's trichocoronis.

Section 6.3.2 – Was Additional Survey Information Provided?

Yes. The project site is located within a Criteria Area Species Survey Area (CASSA) for Coulter's goldfields, Davidson saltscale, little mousetail, Parish's brittlescale, round-leaved filaree, smooth tarplant, mud nama, and thread-leaved brodiaea. The site is located in an Additional Survey Needs and Procedures Areas for burrowing owl.

Section 6.1.4 – Was Information Pertaining to Urban/Wildland Interface Guidelines Provided?

Yes. The property is located adjacent to areas described for Conservation (e.g., an unnamed tributary to Warm Springs Creek).

Comments:

- a. **Section 6.1.2:** The project site was evaluated for riparian/riverine resources and vernal pools on April 17, 2018. Aerial photographs, topographic maps, and soils maps were reviewed for signs of flowing or ponded water, topographic depressions, and drainage features. According the *Report*, riparian/riverine resources are not present on the project site. However, an unnamed tributary to Warm Springs Creek (i.e., Proposed Constrained Linkage 18) is located approximately 30 feet south of the project site. A conservation easement held by Valley-Wide Recreation and Park District has been placed over this feature in order to ensure that it is avoided in perpetuity. Recordation of the conservation easement, dated July 31, 2002, was provided with the JPR application submittal. No direct impacts to these adjacent riparian/riverine areas are proposed. Indirect impacts to this feature will be addressed with the implementation of Urban/Wildlife Interface Guidelines per Section 6.1.4 of the MSHCP.



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Riparian birds: The project site does not contain suitable habitat for MSHCP-covered riparian birds, including least Bell's vireo (*Vireo bellii pusillus*), southwestern willow flycatcher (*Empidonax traillii extimus*), and western yellow-billed cuckoo (*Coccyzus americanus*); therefore, focused surveys were not warranted. Because the proposed project is adjacent to an unnamed tributary to Warm Springs Creek (i.e., Proposed Constrained Linkage 18) where there is potentially suitable breeding habitat for least Bell's vireo, the proposed project will be constructed outside of least Bell's vireo nesting season (March 1 through August 31). **If construction cannot be conducted outside of least Bell's vireo nesting season, focused surveys for this species will be conducted in accordance with the 2001 USFWS protocol. If the surveys are positive, the project proponent will coordinate with the RCA and Wildlife Agencies to determine appropriate setback requirements or other applicable measures.** According to the *Report*, the adjacent unnamed tributary to Warm Springs Creek does not contain suitable nesting habitat for southwestern willow flycatcher and western yellow-billed cuckoo due to the habitat being too narrow, small in size, sparse, and is without an undeveloped understory to support breeding by these species. However, the unnamed tributary to Warm Springs Creek may provide suitable foraging habitat and act as a temporary stop-over during migration.

Fairy Shrimp: The project site was assessed for potential fairy shrimp habitat, such as vernal pools or ephemeral ponds. According to the *Report*, no vernal pools or basins, road ruts, or any other ephemeral depressions to support fairy shrimp are present. According to the *Report*, clay soils are mapped in the southern and western portions of the site; however, these areas are characterized by disturbed and developed lands that have been modified and significantly altered from their natural state for the development of the Abelia Sports Park. Because the project site does not contain vernal pools or other habitat suitable for fairy shrimp, focused surveys for fairy shrimp were not conducted.

Based on the information provided in the *Report*, the project demonstrates consistency with Section 6.1.2 of the MSHCP.

- b. **Section 6.1.3:** The project site is located within a Narrow Endemic Plant Species Survey Area (NEPSSA) for California Orcutt grass, many-stemmed dudleya, Munz's onion, San Diego ambrosia, spreading navarretia, and Wright's trichocoronis. A habitat assessment was conducted on April 17, 2018, and included the project site and a 100-foot buffer around the site. It was determined that suitable habitat for California Orcutt grass (e.g., vernal pools), many-stemmed dudleya (e.g., barren, rocky areas with limited vegetation), Munz's onion (e.g., openings in grassland sparse sage scrub), San Diego ambrosia (e.g., floodplain terraces and vernal pool margins), spreading navarretia (e.g., vernal pools), and Wright's trichocoronis (e.g., riparian areas, meadows and seeps, marshes, and vernal pools) is absent. According to the *Report*, while clay soils are mapped in the southern and western portions of the site, these areas are characterized as disturbed and developed lands that have been modified and significantly altered from their natural state for the development of the Abelia Sports Park. Furthermore, the project site and immediate vicinity is composed of irrigated and maintained turf grass, ornamental landscaping, and developed lands associated with Abelia Sports Park; therefore, due to the lack of suitable habitat, focused surveys for NESSA species were not conducted.



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Based on the information provided in the *Report*, the project demonstrates consistency with Section 6.1.3 of the MSHCP.

- c. **Section 6.3.2:** The project site is located within a Criteria Area Species Survey Area (CASSA) for Coulter's goldfields, Davidson's saltscale, little mousetail, Parish's brittlescale, round-leaved filaree, smooth tarplant, thread-leaved brodiaea, and mud nama. A habitat assessment was conducted on April 17, 2018, and included the project site and a 100-foot buffer around the site. It was determined that suitable habitat for Coulter's goldfields (e.g., alkaline habitats), Davidson's saltscale (e.g., alkaline lowlands supported by saline soils), little mousetail (e.g., vernal pools), Parish's brittlescale (e.g., alkaline lowlands with saline soils), round-leaved filaree (e.g., clay soils within woodland and grassland types; mesic sites), smooth tarplant (e.g., riparian habitats, margins of watercourses, seasonal depressions and swales in grasslands, and alkali scrub), thread-leaved brodiaea (e.g., clay soils that underline openings in chaparral, cismontane woodlands, and coastal scrub, in addition to playas, vernal pools, and clay concentrations in grassland), and mud nama (e.g., muddy embankments of marshes and swamps, and within lake margins and riverbanks) is absent. According to the *Report*, while clay soils are mapped in the southern and western portions of the site, these areas are characterized as disturbed and developed lands that have been modified and significantly altered from their natural state for the development of the Abelia Sports Park. Furthermore, the project site and immediate vicinity is composed of irrigated and maintained turf grass, ornamental landscaping, and developed lands associated with Abelia Sports Park; therefore, due to the lack of suitable habitat, focused surveys were not conducted.

The project site is located in the area for additional survey needs for burrowing owl. In accordance with the County of Riverside's Burrowing Owl Survey Instructions for the Western Riverside Multiple Species Habitat Conservation Plan Area (County of Riverside 2006), a Step I *Habitat Assessment* was conducted on April 17, 2018 within the project site and an additional 500-foot buffer around the site. Private properties, where access was restricted, was inspected using binoculars. According to the *Report*, the proposed project site is characterized by irrigated and maintained turf grass, ornamental landscaping, and developed land associated with Abelia Sports Park and does not contain suitable burrowing owl habitat. Therefore, due to the absence of suitable habitat, a Step II *Locating Burrows and Burrowing Owls* focused survey was not conducted. Suitable burrowing owl habitat (i.e., flat land with low-lying vegetation and ground squirrel activity) was limited to undeveloped lands within the 500-foot buffer, approximately 200 to 300 feet from the project site. No burrowing owl or burrowing owl sign was observed during the Step I *Habitat Assessment*; however, potential burrows (i.e., small mammal burrows greater than four inches in diameter) likely exist within the 500-foot buffer. According to the *Report*, suitable burrowing owl habitat within the 500-foot buffer is separated from the project site by Abelia Sports Park, and Abelia Street and Winchester Road and given the existing uses and setback distance of 200 to 300 feet, these areas would be unaffected by project construction and operation activities.



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Based on the information provided in the *Report*, the project demonstrates consistency with Section 6.3.2 of the MSHCP.

- d. **Section 6.1.4:** To preserve the integrity of areas surrounding the project site which are areas described for Conservation (unnamed tributary to Warm Springs Creek; Proposed Constrained Linkage 18), the guidelines contained in Section 6.1.4 related to controlling edge effects from development adjacent to the MSHCP Conservation Area should be considered by the Permittee in their actions relative to the Project. Conservation Area includes existing conserved lands and lands described for conservation per MSHCP Cell criteria. Specifically, the Permittee should include as Project conditions of approval the following measures:
- i. Incorporate measures to control the quantity and quality of runoff from the site entering the MSHCP Conservation Area (unnamed tributary to Warm Springs Creek). In particular, measures shall be required to avoid discharge of untreated surface runoff from developed and paved areas into MSHCP Conservation Areas (unnamed tributary to Warm Springs Creek). This measure applies to any discharges upstream of and connecting to existing or future conservation areas including discharges to tributaries to all larger streams\ivers (Santa Ana River, San Jacinto River, Santa Margarita River, Murrieta Creek, Temecula Creek) in western Riverside County. The proposed project will implement appropriate BMPs to ensure that the quality and quantity of runoff discharged is not altered in an adverse way when compared to existing conditions.
 - ii. Land uses proposed in proximity to the MSHCP Conservation Area that use chemicals or generate bioproducts such as manure, which are potentially toxic or may adversely affect wildlife species, habitat or water quality shall incorporate measures to ensure that application of such chemicals does not result in discharge to the MSHCP Conservation Area (unnamed tributary to Warm Springs Creek). According to the *Report*, the proposed project does not include chemicals.
 - iii. Night lighting shall be directed away from the MSHCP Conservation Area to protect species within the MSHCP Conservation Area from direct night lighting. Shielding shall be incorporated in project designs to ensure ambient lighting in the MSHCP Conservation Area is not increased. According to the *Report*, no lighting will be required during construction and any operation lighting necessary would be restricted to low illumination security lighting during maintenance that would be shielded and directed downward, away from the Conservation Easement.
 - iv. Proposed noise generating land uses affecting the MSHCP Conservation Area shall incorporate setbacks, berms or walls to minimize the effects of noise on MSHCP Conservation Area resources pursuant to applicable rules, regulations and guidelines related to land use noise standards. According to the *Report*, construction noise is not expected to exceed the ambient noise levels associated with the existing park and transportation uses along Abelia Street and Winchester Road. **Furthermore, to minimize noise effects on potential least Bell's vireo habitat adjacent to the proposed project site, construction will occur outside of the vireo season (March 1 to August**



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- 31). If construction outside of vireo season is not feasible, the applicant will conduct focused surveys to determine presence/absence. If present, the project proponent will coordinate with the RCA and Wildlife Agencies regarding potential setback buffers and other possible measures relative to the location of vireos in adjacent areas.** Operation noise would be limited and attenuated by equipment cabinets and nine-foot-tall concrete block wall around the lease area.
- v. Consider the invasive, non-native plant species listed in Table 6-2 of the MSHCP in approving landscape plans to avoid the use of invasive species for the portions of the project that are adjacent to the MSHCP Conservation Area. Considerations in reviewing the applicability of this list shall include proximity of planting areas to the MSHCP Conservation Areas, species considered in the planting plans, resources being protected within the MSHCP Conservation Area and their relative sensitivity to invasion, and barriers to plant and seed dispersal, such as walls, topography and other features.
 - vi. Proposed land uses adjacent to the MSHCP Conservation Area shall incorporate barriers, where appropriate in individual project designs to minimize unauthorized public access, domestic animal predation, illegal trespass, or dumping into the MSHCP Conservation Areas. Such barriers may include native landscaping, rocks/boulders, fencing, walls, signage, and/or appropriate mechanisms. According to the *Report*, the project is separated from the Conservation Easement by turf grass (i.e., Abelia Sports Park) and an existing white split rail fence barrier that will remain in place during construction and operation of the project.
 - vii. Manufactured slopes associated with the proposed site development shall not extend into the MSHCP Conservation Area.
 - viii. Weed abatement and fuel modification activities are not permitted in the Conservation Area.
- e. **MSHCP Volume I, Appendix C:** The following best management practices (BMPs), as applicable, shall be implemented for the duration of construction:
- i. A condition shall be placed on grading permits requiring a qualified biologist to conduct a training session for project personnel prior to grading. The training shall include a description of the species of concern and its habitats, the general provisions of the Endangered Species Act (Act) and the MSHCP, the need to adhere to the provisions of the Act and the MSHCP, the penalties associated with violating the provisions of the Act, the general measures that are being implemented to conserve the species of concern as they relate to the project, and the access routes to and project site boundaries within which the project activities must be accomplished.
 - ii. Water pollution and erosion control plans shall be developed and implemented in accordance with RWQCB requirements.
 - iii. The footprint of disturbance shall be minimized to the maximum extent feasible. Access to sites shall be via pre-existing access routes to the greatest extent possible.



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- iv. The upstream and downstream limits of projects disturbance plus lateral limits of disturbance on either side of the stream shall be clearly defined and marked in the field and reviewed by the biologist prior to initiation of work.
- v. Projects should be designed to avoid the placement of equipment and personnel within the stream channel or on sand and gravel bars, banks, and adjacent upland habitats used by target species of concern.
- vi. Projects that cannot be conducted without placing equipment or personnel in sensitive habitats should be timed to avoid the breeding season of riparian species identified in MSHCP Global Species Objective No. 7.
- vii. When stream flows must be diverted, the diversions shall be conducted using sandbags or other methods requiring minimal instream impacts. Silt fencing or other sediment trapping materials shall be installed at the downstream end of construction activity to minimize the transport of sediments off site. Settling ponds where sediment is collected shall be cleaned out in a manner that prevents the sediment from reentering the stream. Care shall be exercised when removing silt fences, as feasible, to prevent debris or sediment from returning to the stream.
- viii. Equipment storage, fueling, and staging areas shall be located on upland sites with minimal risks of direct drainage into riparian areas or other sensitive habitats. These designated areas shall be located in such a manner as to prevent any runoff from entering sensitive habitat. Necessary precautions shall be taken to prevent the release of cement or other toxic substances into surface waters. Project related spills of hazardous materials shall be reported to appropriate entities including but not limited to applicable jurisdictional city, FWS, and CDFG, RWQCB and shall be cleaned up immediately and contaminated soils removed to approved disposal areas.
- ix. Erodible fill material shall not be deposited into water courses. Brush, loose soils, or other similar debris material shall not be stockpiled within the stream channel or on its banks.
- x. The qualified project biologist shall monitor construction activities for the duration of the project to ensure that practicable measures are being employed to avoid incidental disturbance of habitat and species of concern outside the project footprint.
- xi. The removal of native vegetation shall be avoided and minimized to the maximum extent practicable. Temporary impacts shall be returned to pre-existing contours and revegetated with appropriate native species.
- xii. Exotic species that prey upon or displace target species of concern should be permanently removed from the site to the extent feasible.
- xiii. To avoid attracting predators of the species of concern, the project site shall be kept as clean of debris as possible. All food related trash items shall be enclosed in sealed containers and regularly removed from the site(s).



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- xiv. Construction employees shall strictly limit their activities, vehicles, equipment, and construction materials to the proposed project footprint and designated staging areas and routes of travel. The construction area(s) shall be the minimal area necessary to complete the project and shall be specified in the construction plans. Construction limits will be fenced with orange snow screen. Exclusion fencing should be maintained until the completion of all construction activities. Employees shall be instructed that their activities are restricted to the construction areas.
- xv. The Permittee shall have the right to access and inspect any sites of approved projects including any restoration/enhancement area for compliance with project approval conditions, including these BMPs.

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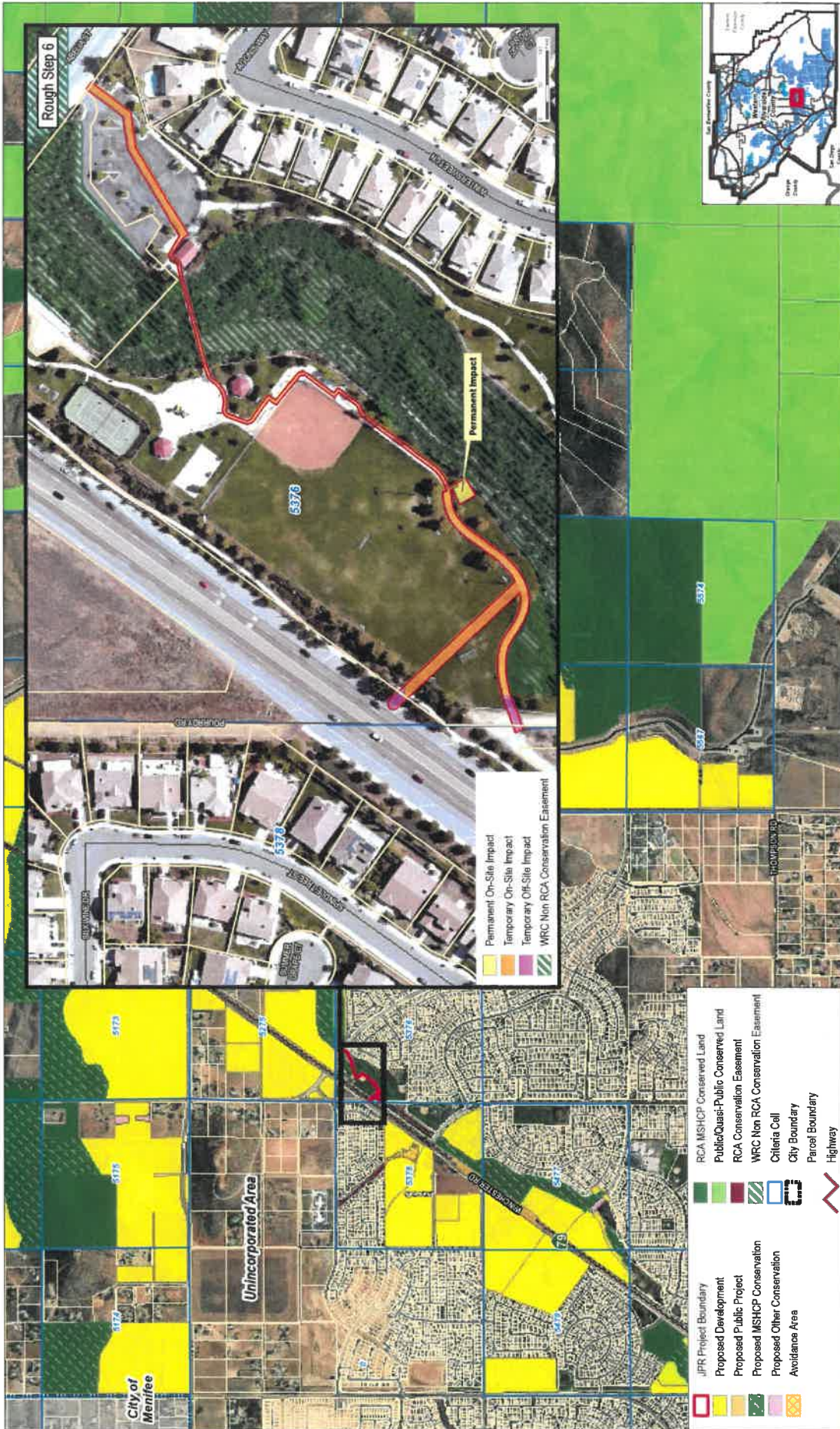


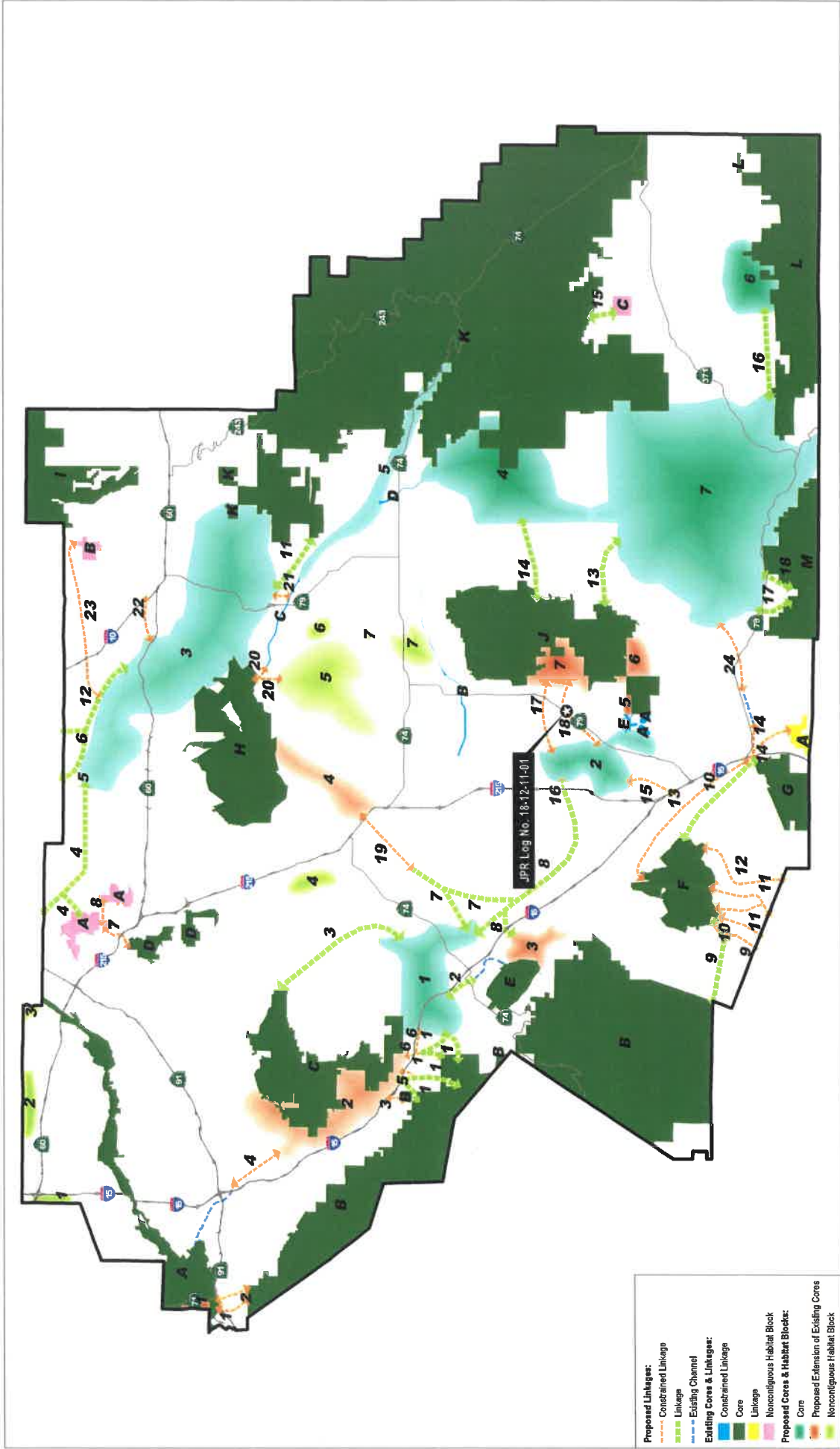
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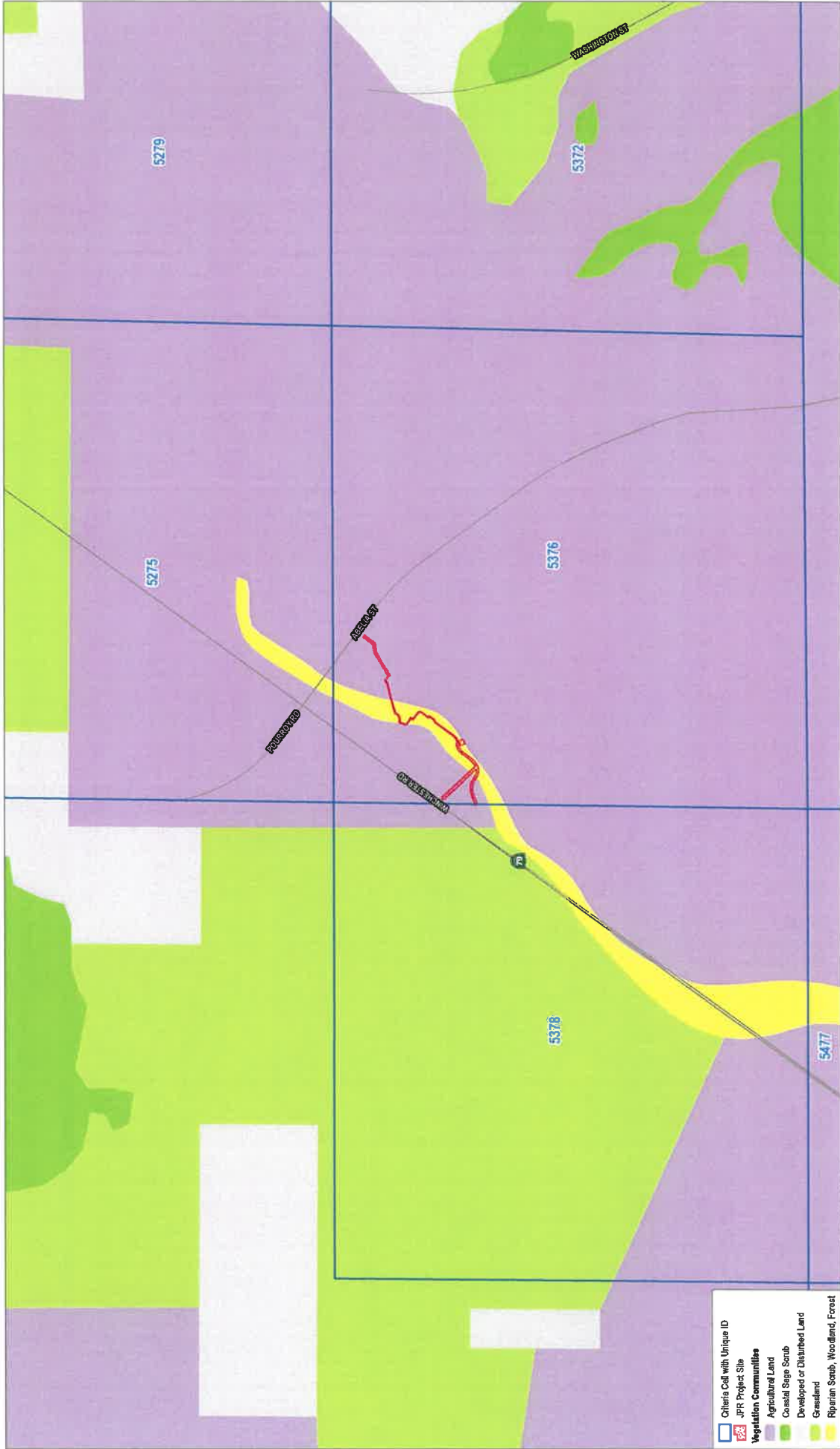


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SOURCE: Western Riverside County Regional Conservation Authority 2020, County of Riverside 2020

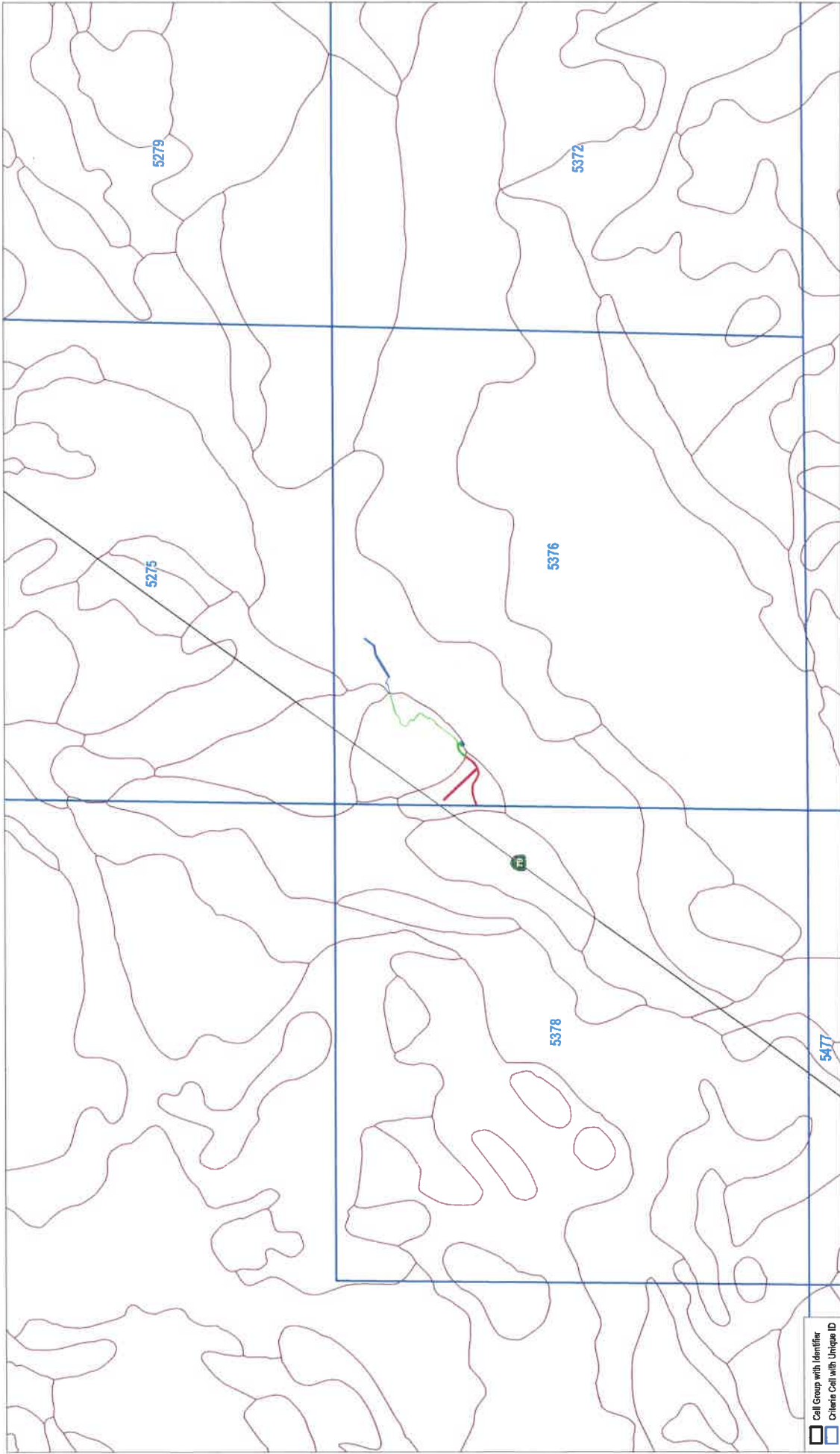
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EXHIBIT B
JPR Log No. 18-12-11-01 - Vicinity Map with MSHCP Schematic Cores and Linkages



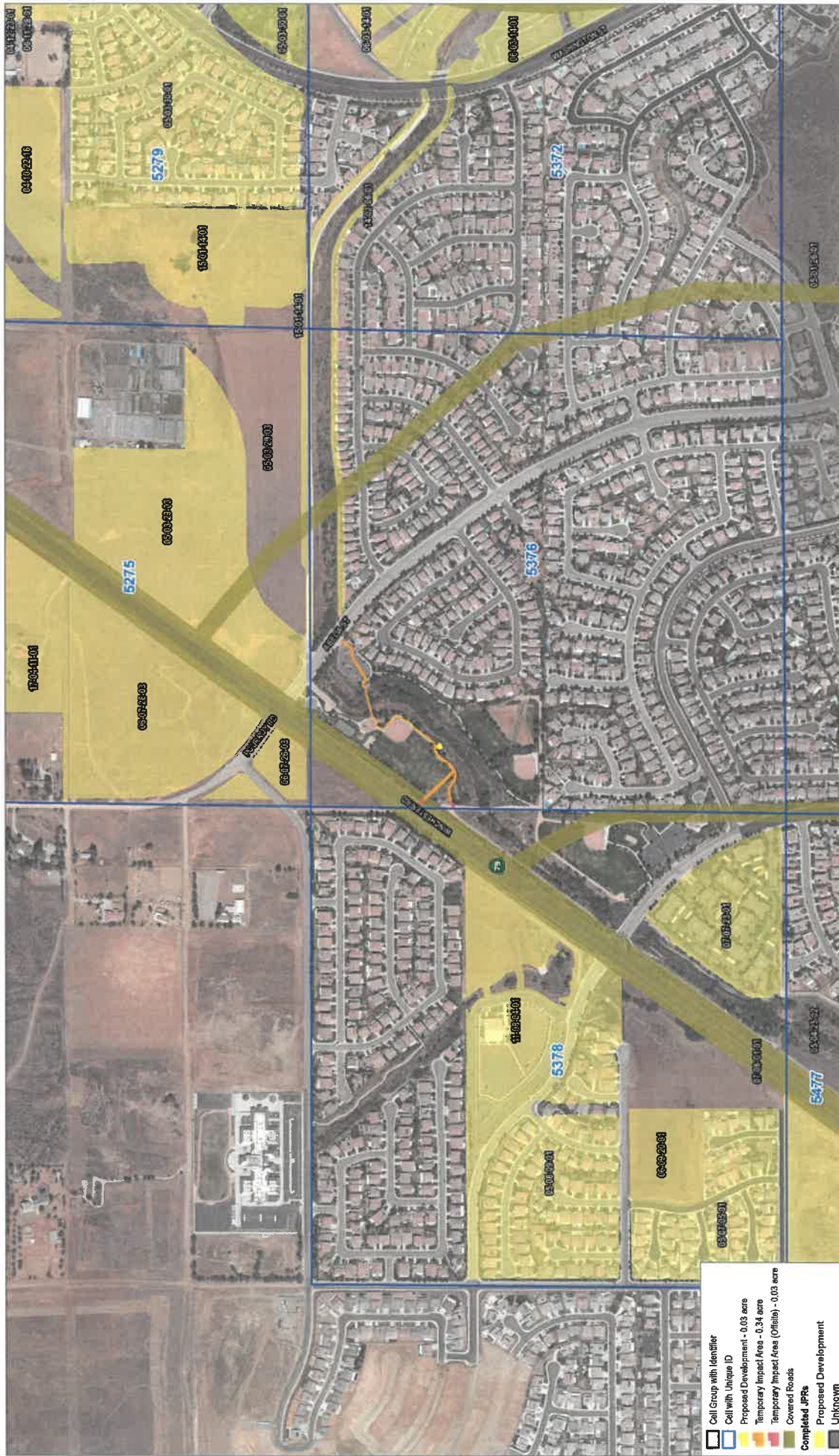
SOURCE: County of Riverside 2020





SOURCE: USDA/NRCS Soils 2017, County of Riverside, 2020





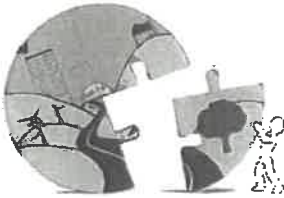
SOURCE: County of Riverside 2020; Bing Maps 2020



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RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

PROPOSED LAND USE: Unmanned wireless telecommunication facility (cell tower) with equip. lease area, equip. shelter and generator.

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: _____

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP25693 DATE SUBMITTED: 10/21/14
7/15/14

APPLICATION INFORMATION

Applicant's Name: LA SMSA LP dba Verizon Wireless E-Mail: bsmiri@spectrumse.com

Mailing Address: 15505 Sand Canyon Avenue, Building D / 1st Floor
Irvine CA 92618
City State ZIP

Daytime Phone No: (909) 944-5471 X20 Fax No: () N/A

Engineer/Representative's Name: Spectrum Services, Inc. / Attn: Brett Smiri E-Mail: bsmiri@spectrumse.com

Mailing Address: 8390 Maple Place, Suite 110
Rancho Cucamonga CA 91730
City State ZIP

Daytime Phone No: (909) 944-5471 X20 Fax No: () N/A

Property Owner's Name: Valley Wide Rec. & Park District/Nigel Paxton E-Mail: N/A

Mailing Address: 901 W. Esplanade / PO BOX 907
San Jacinto CA 92581
City State ZIP

Daytime Phone No: (760) 213-8511 Fax No: () N/A

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P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 77-588 El Duna Court, Suite H
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7556

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APPLICATION FOR LAND USE PROJECT

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Brett Smirl

PRINTED NAME OF APPLICANT

Brett Smirl

SIGNATURE OF APPLICANT

Digitally signed by Brett Smirl
DN: cn=Brett Smirl, o, ou,
email=bsmir1@spectrums.com, c=US
Date: 2014.07.08 11:21:22 -0700

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

*** see attached with signature.**

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): **480-040-030**

Section: **29**

Township: **6 South**

Range: **2 West**

APPLICATION FOR SUBSTANTIAL CONFORMANCE

PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)
DEAN NETTER, GENERAL MANAGER Dean Netter
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the subject property is owned by persons who have not signed as owners above, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

INFORMATION REQUIRED FOR APPLICATION SUBMITTAL

The following instructions are intended to provide the necessary information and procedures to facilitate the processing of a Substantial Conformance application. Your cooperation with these instructions will insure that your application can be processed in the most expeditious manner possible.

- THE SUBSTANTIAL CONFORMANCE FILING PACKAGE MUST CONSIST OF THE FOLLOWING:**
- One completed and signed application form.
 - One copy of the current legal description for each property involved. A copy of a grant deed of each property involved.
 - Fifteen (15) copies of a site plan of the entire parcel (e.g. all of a shopping center even if the substantial conformance is only for one store within a shopping center).
 - N/A One copy (two, if submitted in the Desert office) of a floor plan delineating the types of usage (e.g. office, storage, sales area, etc).
 - Applicable deposit-based fees.

CRITERIA FOR REVIEW FOR SUBSTANTIAL CONFORMANCE

A Substantial Conformance application can be used to modify an approved, valid, permit, such as a plot plan, conditional use permit, public use permit, second unit permit, variance, surface mining permit, reclamation plan, or wind energy conversion systems permit (WECS), provided the current and/or proposed use is in conformance with the subject site's zoning classification and General Plan designation. A Substantial Conformance application cannot be used to modify an approved, valid parcel map or tract map.

A Substantial Conformance is a request for a non-substantial modification of an approved permit that does not change the original approval or the effect of the approval on surrounding property. A Substantial Conformance may include, but is not limited to, modifications for upgrading facilities, modifications for compliance with the requirements of other public agencies, modifications necessary to comply with final conditions of approval, or modifications to on-site circulation and parking, lighting, fencing or walls, landscaping and/or signage requirements, provided that said modifications, as determined by the Planning Director, will have no adverse effect upon public health, safety, welfare, and/or the environment.

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: 4.48 acres

General location (nearby or cross streets): North of Kale Lane, South of Abelia Street, East of Winchester Rd., West of Wintersweet Ln.

Thomas Brothers map, edition year, page number, and coordinates: _____

Project Description: (describe the proposed project in detail)

Replace light standard and add antennas at 60' RAD. Add microwave Equip. and back up generator proposed within block wall enclosure located in separate lease area away from light standard due to space limitations.

Related cases filed in conjunction with this application:

N/A

Is there a previous application filed on the same site: Yes No

If yes, provide Case No(s). _____ (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a copy: N/A

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) N/A

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) N/A

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: N/A

APPLICATION FOR LAND USE PROJECT

Estimated amount of fill = cubic yards N/A

Does the project need to import or export dirt? Yes No

Import _____ Export _____ Neither _____

What is the anticipated source/destination of the import/export?
N/A

What is the anticipated route of travel for transport of the soil material?
N/A

How many anticipated truckloads? N/A truck loads.

What is the square footage of usable pad area? (area excluding all slopes) N/A sq. ft.

Is the project located within 8½ miles of March Air Reserve Base? Yes No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes No

Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: <http://cmluca.projects.atlas.ca.gov/>) Yes No

Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes No

Does the project area exceed one acre in area? Yes No

Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

- Santa Ana River Santa Margarita River Whitewater River

Please note: If your project is within the San Jacinto River as shown on the RCLIS, please check Santa Ana River above and use the Santa Ana River worksheet, "Checklist for Identifying Projects Requiring a Project-Specific Water Quality Management Plan (WQMP) within the Santa Ana River Region" on the following pages.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Steve Weiss, AICP
Planning Director

INDEMNIFICATION AGREEMENT INFORMATION

NOTE:

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED. ATTACH PAGE 1 ALONG WITH PROPER DOCUMENTATION LISTED BELOW:

DATE SUBMITTED: _____

Enter ALL Application Numbers assigned for project in County of Riverside Planning Department:

Application Number(s):	Date Filed:	Application Number(s):	Date Filed:
PP25693	10/22/14		

Assessor Parcel Number(s):

480-040-029 and 476-030-001

The property is owned by:

- SOLE OWNERSHIP LIMITED LIABILITY COMPANY (LLC)
 SOLE PROPRIETORSHIP CORPORATION
 PARTNERSHIP TRUST

Include the following documentation:

- A current (less than 6 month old) Preliminary Title Report for each parcel and/or other documents showing ownership of the property.
- Documentation proving who has authority to sign the agreement, such as:
 - If Limited Liability Company: Please provide the Operating Agreement;

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Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7040

INDEMNIFICATION AGREEMENT PROPERTY OWNER INFORMATION

- If Corporation: Please provide Articles of Incorporation and corporate resolution re: authority to execute agreements on behalf of the corporation;
- If Partnership: Please provide LP1 or LP5 filed with the Secretary of State and partnership agreement;
- If Trust: Please provide a certified abstract of the trust;
- For out of state legal entities, please provide document showing registration with the California Secretary of State.

Property Owner Name: Valley Wide Recreation and park district

Contact Person: Nigel Paxton E-Mail: _____

Mailing Address: P.O. Box 907
San Antonio Street CA 92581
City State ZIP

Check this box if additional persons or entities have an ownership interest in the subject property(ies) in addition to that indicated above; and attach a separate sheet that references the property address and/or assessor's parcel number and list those names, mailing addresses, phone and fax numbers, and email addresses; and provide signatures of those persons or entities having an interest in the real property(ies) involved in this application.

Additional Parties to be notified:

Name: Los Angeles SMSA Lp dba Verizon Wireless

Contact Person: Justin Garcia E-Mail: jgarcia@spectrumse.com

Mailing Address: 4405 E Airport dr STE 100
Ontario Street CA 91761
City State ZIP

Name: _____

Contact Person: _____ E-Mail: _____

Mailing Address: _____
Street

City State ZIP



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

INDEMNIFICATION AGREEMENT REQUIRED FOR ALL PROJECTS

The owner(s) of the property, at their own expense, agree to defend, indemnify and hold harmless the County of Riverside and its agents, officers, and employees from and against any lawsuit, claim, action, or proceeding (collectively referred to as "proceeding") brought against the County of Riverside, its agents, officers, attorneys and employees to attack, set aside, void, or annul the County's decision to approve any tentative map (tract or parcel), revised map, map minor change, reversion to acreage, conditional use permit, public use permit, surface mining permit, WECS permit, hazardous waste siting permit, temporary outdoor event permit, plot plan, substantial conformance, revised permit, variance, setback adjustment, general plan amendment, specific plan, specific plan amendment, specific plan substantial conformance, zoning amendments, and any associated environmental documents. This defense and indemnification obligation shall include, but not limited to, damages, fees and/or costs awarded against the County, if any, and cost of suit, attorney's fees and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by applicant, property owner, the County, and/or the parties initiating or bringing such proceeding.

Property Owner(s) Signature(s) and Date

Dean Wetter

PRINTED NAME of Property Owner(s)

If the property is owned by multiple owners, the paragraph above must be signed by each owner. Attach additional sheets, if necessary.

If the property owner is a corporate entity, Limited Liability Company, partnership or trust, the following documentation must also be submitted with this application:

- *If the property owner is a limited partnership, provide a copy of the LP-1, LP-2 (if an amendment) filed with the California Secretary of State.*
- *If the property owner is a general partnership, provide a copy of the partnership agreement documenting who has authority to bind the general partnership and to sign on its behalf.*
- *If the property owner is a corporation, provide a copy of the Articles of Incorporation and/or a corporate resolution documenting which officers have authority to bind the corporation and to sign on its behalf. The corporation must also be in good standing with the California Secretary of State.*
- *If the property owner is a trust, provide a copy of the trust certificate.*

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INDEMNIFICATION AGREEMENT PROPERTY OWNER INFORMATION

- *If the property owner is a Limited Liability Corporation, provide a copy of the operating agreement for the LLC documenting who has authority to bind the LLC and to sign on its behalf.*

If the signing entity is also a corporate entity, Limited Liability Company, partnership or trust, the above documentation must also be submitted with this application. For any out of State legal entities, provide documentation showing registration with the California Secretary of State.

In addition to the above, provide a copy of a Preliminary Title Report for the property subject to this application. The Preliminary Title Report must be issued by a title company licensed to conduct business in the State of California and dated less than six months prior to the date of submittal of this application. The Assistant TLMA Director may waive the requirement for a Preliminary Title Report if it can be shown to the satisfaction of the Assistant TLMA Director that the property owner(s) has owned the property consistently for at least the last five years.

ONLY FOR WIRELESS PROJECTS (SEE BELOW)

If the application is for a plot plan for a Wireless Communication Facility, the property owner(s) and the cellular service provider must sign the indemnification paragraph above. If the application is for a plot plan for a wireless communication co-location, only the co-locating service provider needs to sign the indemnification paragraph above.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

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Property Owner(s) Signature(s) and Date

PRINTED NAME of Property Owner(s)

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NOTICE OF PUBLIC HEARING

A PUBLIC HEARING has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the RIVERSIDE COUNTY DIRECTOR'S HEARING to consider the project shown below:

PLOT PLAN NO. 25693 – Exempt from the California Environmental Quality Act (CEQA), pursuant State CEQA Guidelines Section 15303 (New Construction or Conversion of Small Structures) – Applicant: Verizon Wireless – Engineer/Representative: Spectrum Services, Inc. – Owner: Valley Wide Recreation & Park District – Third Supervisorial District – Rancho California Zoning Area – Southwest Area Plan – Land Use Designation: Open Space: Conservation (OS-C) – Open Space: Recreation (OS-R) – Location: Southeasterly of Winchester Road, southwesterly of Abelia Street, and westerly of Wintersweet Lane – Zoning: Winchester Specific Plan No. 286, Planning Area 10A/11/16 – **REQUEST:** Plot Plan No. 25963 proposes the construction and operation of a new, unmanned wireless communication facility disguised as a pine tree (monopine) consisting of a 50-foot-tall tower, 12 panel antennas at the 41-foot height, two (2) parabolic antennas, nine (9) remote radio units, two (2) tower mounted junction boxes, five (5) outdoor equipment cabinets, three (3) GPS antennas, one 15kW stand-by generator, and two (2) 50KVA transformers within a 440 sq. ft. lease area.

TIME OF HEARING: 1:30 pm or as soon as possible thereafter
DATE OF HEARING: **DECEMBER 7, 2020**
PLACE OF HEARING: RIVERSIDE COUNTY ADMINISTRATIVE CENTER
12th FLOOR, CONFERENCE ROOM A
4080 LEMON STREET, RIVERSIDE, CA 92501

Pursuant to Executive Order N-25-20, this meeting will be conducted by teleconference and at the place of hearing, as listed above. Public access to the meeting location will be allowed, but limited to comply with the Executive Order. Information on how to participate in the hearing will be available on the Planning Department website at: <https://planning.rctlma.org/>.

For further information regarding this project, please contact Project Planner Rob Gonzalez at (951) 955-9549 or email at rgonzalez@rivco.org, or go to the County Planning Department's Director's Hearing agenda web page at <http://planning.rctlma.org/PublicHearings.aspx>.

The Riverside County Planning Department has determined that the above-described application is exempt from the provisions of the California Environmental Quality Act (CEQA). The Planning Director will consider the proposed application at the public hearing.

The case file for the proposed project is available for review via email by contacting the project planner. Please contact the project planner regarding additional viewing methods.

Any person wishing to comment on the proposed project may submit their comments in writing by mail or email, or by phone between the date of this notice and the public hearing. You may participate remotely by registering with the Planning Department. All comments received prior to the public hearing will be submitted to the Planning Director for consideration, in addition to any oral testimony, before making a decision on the proposed project. All correspondence received before and during the meeting will be distributed to the Planning Director and retained for the official record.

If this project is challenged in court, the issues may be limited to those raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing. Be advised that as a result of public hearings and comment, the Planning Director may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
RIVERSIDE COUNTY PLANNING DEPARTMENT
Attn: Rob Gonzalez
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN certify that on September 18, 2020,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP25693 for

Company or Individual's Name RCIT - GIS,

Distance buffered 600'

Pursuant to application requirements furnished by the Riverside County Planning Department. Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

TITLE: GIS Analyst

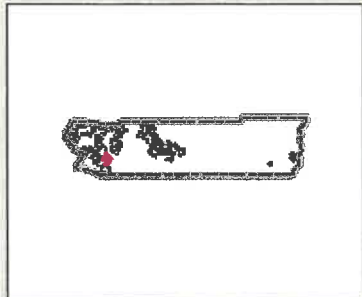
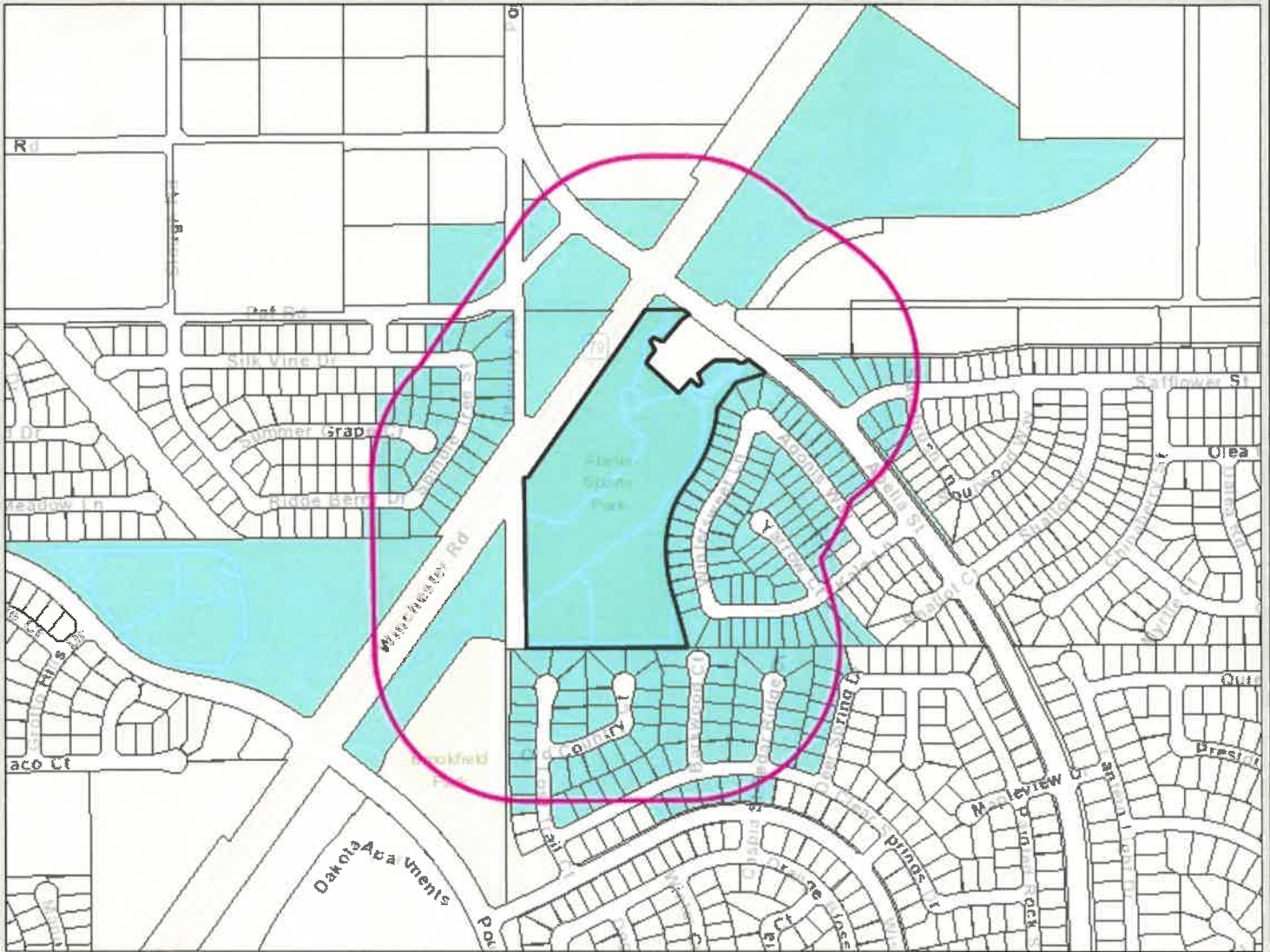
ADDRESS: 4080 Lemon Street 9TH Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

Riverside County GIS Mailing Labels

PP25693 (600 feet buffer)



- Legend**
-  County Boundary
 -  Cities
 -  Parcels
 -  World Street Map

Notes



0 752 1,505 Feet

IMPORTANT Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...9/18/2020 12:07:39 PM

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476040013
2018 1 IH BORROWER LP
1717 MAIN ST STE 2000
DALLAS TX 75201

476040031
WILLIAM THEURER
34566 AGONIS WAY
WINCHESTER CA 92596

476040011
RYNE CUNNINGHAM
34699 WINTERSWEET LN
WINCHESTER CA 92596

476040020
BRENDON JOHN BURCH
34619 WINTERSWEET LN
WINCHESTER CA 92596

476040032
JOHN R. BOWLDS
34574 AGONIS WAY
WINCHESTER CA 92596

476040036
SERGIO PEREZ
34606 AGONIS WAY
WINCHESTER CA 92596

476041004
AARON M. CRANE
34625 AGONIS WAY
WINCHESTER CA 92596

476041026
NICHOLAS HILDRETH
34677 YARROW CT
WINCHESTER CA 92596

476041027
TODD JOSEPH MOSKALY
34669 YARROW CT
WINCHESTER CA 92596

476040038
CANAAAN A. BUDDE
34622 AGONIS WAY
WINCHESTER CA 92596

476041007
FRANK J. CARINI
34601 AGONIS WAY
WINCHESTER CA 92596

476010017
MORNINGSTAR VILLAGE
41805 ALBREA ST 2ND FL
FREMONT CA 94538

476040023
DUNN GLENN & KATHERINE FAMILY LIVING
43083 CORTE VILLA CIR
TEMECULA CA 92592

476040024
CIRILO LOPEZ
34587 WINTERSWEET LN
WINCHESTER CA 92596

476041012
CODY NICOT
34592 WINTERSWEET LN
WINCHESTER CA 92596

476041016
TYREL BURCH
34624 WINTERSWEET LN
WINCHESTER CA 92596

476041018
2018-2 IH BORROWER LP
1717 MAIN ST STE 2000
DALLAS TX 75201

476041019
CARL COOK
34656 WINTERSWEET LN
WINCHESTER CA 92596

476041028
STEFANIE LUANNE STEWART
34661 YARROW CT
WINCHESTER CA 92596

476041030
SANCHEZ FAMILY TRUST DATED 05/08/2017
34637 YARROW CT
WINCHESTER CA 92596

476041002
GONZALO M. GARCIA
34641 AGONIS WAY
WINCHESTER CA 92596

476041006
JASON DAVID NUSSBAUM
34609 AGONIS WAY
WINCHESTER CA 92596

476041037
SANCHEZ BRIAN FAMILY TRUST
23894 CONTINENTAL DR
CANYON LAKE CA 92587

476042003
SHARON PARKER
P O BOX 300095
ESCONDIDO CA 92030

476040003
FIRAS KURIAKOS
32189 KALE LN
WINCHESTER CA 92596

476041034
THY NGUYEN
34658 YARROW CT
WINCHESTER CA 92596

476041008
ARTURO MOLINA
34593 AGONIS WAY
WINCHESTER CA 92596

476041009
NOE MORALES
34577 AGONIS WAY
WINCHESTER CA 92596

476010072
RANCON SEVILLA 180
41391 KALMIA ST STE 200
MURRIETA CA 92562

476030002
NED DEMOREST
8605 GREEN VALLEY RD
CAMBRIA CA 93428

476040015
MARCOS M. LOPEZ
34659 WINTERSWEET LN
WINCHESTER CA 92596

476040007
WILLIAM SPENCER JONES
32157 KALE LN
WINCHESTER CA 92596

476040018
MOHAMMAD S. BARBAR
34635 WINTERSWEET LN
WINCHESTER CA 92596

476040012
SHANE MICHAEL LYNN
34683 WINTERSWEET LN
WINCHESTER CA 92596

476041005
RICHARD OTERO
34617 AGONIS WAY
WINCHESTER CA 92596

476040017
CARLOS AGUNDEZ
34643 WINTERSWEET LN
WINCHESTER CA 92596

476040029
JOEL ALAN ROOKS
1305 MORNING VIEW NO 1305
ESCONDIDO CA 92026

476052003
VICKI R. MATHIS
32292 SAFFLOWER ST
WINCHESTER CA 92596

476041024
MARCO A. SANDOVAL
32162 KALE LN
WINCHESTER CA 92596

476041035
WILLIAM J. REAGAN
34664 YARROW CT
WINCHESTER CA 92596

476040021
LETICIA TERRIQUEZ
34611 WINTERSWEET LN
WINCHESTER CA 92596

476040026
RALPH VASQUEZ
34571 WINTERSWEET LN
WINCHESTER CA 92596

476041023
BUMAGAT EDARLINA B
32154 KALE LN
WINCHESTER CA 92596

476041031
LAURA H. BERREITTER
34634 YARROW CT
WINCHESTER CA 92596

476052005
JAVIER VALLES ESPARZA
32312 SAFFLOWER ST
WINCHESTER CA 92596

476040030
RAFAEL DE LA CRUZ
34558 AGONIS WAY
WINCHESTER CA 92596

476041010
TORIBIO J. HERNANDEZ
34576 WINTERSWEET LN
WINCHESTER CA 92596

476041032
VIVIANE A. BERREITTER
34642 YARROW CT
WINCHESTER CA 92596

476040033
MARCO A. DIAZ
34582 AGONIS WAY
WINCHESTER CA 92596

476041013
ALEJANDRO SALAS
34600 WINTERSWEET LN
WINCHESTER CA 92596

476041036
FRANK R. MONTEJANO
34674 YARROW CT
WINCHESTER CA 92596

476050017
SHAWN S. MCAFEE
32213 KALE LN
WINCHESTER CA 92596

476041021
PAUL N. MUTHAKA
32138 KALE LN
WINCHESTER CA 92596

476041025
SWH 2017 1 BORROWER
8665 E HARTFORD DR NO 200
SCOTTSDALE AZ 85255

476041014
BRIAN PARK
34608 WINTERSWEET LN
WINCHESTER CA 92596

476041022
HABIBUR R. BORUAH
PO BOX 4961
COVINA CA 91723

476041038
ROBERTA B. TRAVERS
34690 YARROW CT
WINCHESTER CA 92596

476042002
VINCENT M. VELTRE
32252 SAFFLOWER ST
WINCHESTER CA 92596

476041029
DIANA KARPENKO
34653 YARROW CT
WINCHESTER CA 92596

476041033
JOSE ALONSO LOPEZ
34650 YARROW CT
WINCHESTER CA 92596

476042004
RIVERSIDE CO FLOOD CONT & WATER DIST
1995 MARKET ST
RIVERSIDE CA 92501

476100015
ZARINA S. DEGUZMAN
35058 LOST TRAIL CT
WINCHESTER CA 92596

476100035
JOEL W. BURDEN
32090 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100057
HEINZ DIETER NUHN
1685 STEVENS PL
LOS ALTOS CA 94024

476100006
GERSOM CESAR CANLAS
35089 LOST TRAIL CT
WINCHESTER CA 92596

476100063
GRANT TAEK YI
35081 DEER SPRING DR
WINCHESTER CA 92596

476100065
ROBERT WARREN
35053 DEER SPRING DR
WINCHESTER CA 92596

476100018
GARCIA O & C FAMILY TRUST DTD 08/23/2013
32130 OLD COUNTRY CT
WINCHESTER CA 92596

476100023
DARRYL A. ANDERSON
32133 OLD COUNTRY CT
WINCHESTER CA 92596

476100004
JOHN A. CUNNINGHAM
35004 BARKWOOD CT
WINCHESTER CA 92596

476100017
MARK ANTHONY T. NAGAL
32116 OLD COUNTRY CT
WINCHESTER CA 92596

476100009
FERNANDO R. ROCILLO
35047 LOST TRAIL CT
WINCHESTER CA 92596

476100022
TATIANA A. SAINI
32147 OLD COUNTRY CT
WINCHESTER CA 92596

476100008
JASON LEE SEXTON
35061 LOST TRAIL CT
WINCHESTER CA 92596

476100014
CAMERON M. SMITH
35044 LOST TRAIL CT
WINCHESTER CA 92596

476100012
BALDEMAR ESCAMILLA
35016 LOST TRAIL CT
WINCHESTER CA 92596

476100028
WACHTINEZ TRUST DTD 6/29/2020
32063 OLD COUNTRY CT
WINCHESTER CA 92596

476100019
DAVID ANTONIO
32144 OLD COUNTRY CT
WINCHESTER CA 92596

476100024
MARK E. STRODER
32119 OLD COUNTRY CT
WINCHESTER CA 92596

476100025
ROBERT W. STONE
32105 OLD COUNTRY CT
WINCHESTER CA 92596

476100038
CHARLSON W. LONG
32132 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100047
JESUS RAMIREZ
35046 BARKWOOD CT
WINCHESTER CA 92596

476100040
STEPHEN A. HALE
35049 BARKWOOD CT
WINCHESTER CA 92596

476100041
BRYAN J. CERNY
35035 BARKWOOD CT
WINCHESTER CA 92596

476100026
JOSE IBARRA OLALDE
32091 OLD COUNTRY CT
WINCHESTER CA 92596

476100027
CRAIG R. LAPIERRE
32077 OLD COUNTRY CT
WINCHESTER CA 92596

476100031
RICHARD L. FRANCO
32034 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100032
CHRIS CUMMINGS
32048 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100044
STEVEN PATERSON
35004 BARKWOOD CT
WINCHESTER CA 92596

476100037
SHELDON A. IVESTER
32118 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100043
ERNIE HOFFMAN
35007 BARKWOOD CT
WINCHESTER CA 92596

476100049
EMANUEL JARREAU
35074 BARKWOOD CT
WINCHESTER CA 92596

476100059
GREG LEEWAYE
35062 CEDAR RIDGE CT
WINCHESTER CA 92596

476100048
JAVIER IGNACIO ACOSTA
35060 BARKWOOD CT
WINCHESTER CA 92596

476100045
SELENE BUSH
35018 BARKWOOD CT
WINCHESTER CA 92596

476100055
TIMOTHY M. RIOS
35023 CEDAR RIDGE CT
WINCHESTER CA 92596

476040014
FRANCISCO FLORES
34667 WINTERSWEET LN
WINCHESTER CA 92596

476041017
GATES JAY MCCUISTON
34632 WINTERSWEET LN
WINCHESTER CA 92596

476041020
MARGARITA CORDOVA FUENTES
34672 WINTERSWEET LN
WINCHESTER CA 92596

476040019
ALEJANDRO A. BELTRAN
34627 WINTERSWEET LN
WINCHESTER CA 92596

476040037
MICHAEL YOUNG
34614 AGONIS WAY
WINCHESTER CA 92596

476054022
VICTOR VILLARREAL
32265 SAFFLOWER ST
WINCHESTER CA 92596

476100053
HEENA MODY
35051 CEDAR RIDGE CT
WINCHESTER CA 92596

476100054
BRANDON L. KOOPMAN
35037 CEDAR RIDGE CT
WINCHESTER CA 92596

476100056
CECILIA ABULENCIA YABUT
35020 CEDAR RIDGE CT
WINCHESTER CA 92596

476100062
JOSEPH A. DAQUINO
35095 DEER SPRING DR
WINCHESTER CA 92596

476054020
DEBORAH L. BROUSSARD
34573 SAGEBRUSH LN
WINCHESTER CA 92596

476054019
KRISTIN A. PETERS
34581 SAGEBRUSH LN
WINCHESTER CA 92596

476052002
TYLER R. CULP
32282 SAFFLOWER ST
WINCHESTER CA 92596

476054021
MICHAEL E. SOLEGLAD
32255 SAFFLOWER ST
WINCHESTER CA 92596

476052004
DONALD VEACH
32302 SAFFLOWER ST
WINCHESTER CA 92596

476100005
KAMRON HONORE
35103 LOST TRAIL CT
WINCHESTER CA 92596

476100007
ROSALIE DEMARCO
35075 LOST TRAIL CT
WINCHESTER CA 92596

476100003
SANDRA OCHOA KEELEY
35131 LOST TRAIL CT
WINCHESTER CA 92596

476100011
RANDY SCOTT LITTLE
35019 LOST TRAIL CT
WINCHESTER CA 92596

480080007
J RAMIREZ CRUZ HECTOR
34534 SPINDLE TREE ST
WINCHESTER CA 92596

480080011
ANDREW LEOPOLD
34590 SPINDLE TREE ST
WINCHESTER CA 92596

480081012
ROGELIO PASAMONTE
31916 SUMMER GRAPE CT
WINCHESTER CA 92596

480081013
REBECCA BUSSEY
31930 SUMMER GRAPE CT
WINCHESTER CA 92596

480030045
STANLEY D. SMITH
209 E AVENIDA RAMONA
SAN CLEMENT CA 92672

480081019
DANIEL ALLAN GOULD
31941 SILK VINE DR
WINCHESTER CA 92596

480081020
JOSE A. ALANZO
31927 SILK VINE DR
WINCHESTER CA 92596

480041010
RIVERSIDE COUNTY FLOOD & WATER CONSER
1995 MARKET ST
RIVERSIDE CA 92501

480080014
STANDREW BITANNY
34632 SPINDLE TREE ST
WINCHESTER CA 92596

480080005
DANIEL HERNANDEZ
31978 SILK VINE DR
WINCHESTER CA 92596

480080009
JESS VILLALUNA
34562 SPINDLE TREE ST
WINCHESTER CA 92596

480080013
FABIAN O. SOSA
34618 SPINDLE TREE ST
WINCHESTER CA 92596

480080016
ROBERT D. WRIGHT
31915 RIDGE BERRY DR
WINCHESTER CA 92596

480081003
NICHOLE WILSON
31910 RIDGE BERRY DR
WINCHESTER CA 92596

480081006
JIM TRUONG
31921 SUMMER GRAPE CT
WINCHESTER CA 92596

480041016
BLESSED TERESA CALCUTTA CATHOLIC COM
1201 E HIGHLAND AVE
SAN BERNARDINO CA 92404

480080008
EDUARDO L. BATTO
34548 SPINDLE TREE ST
WINCHESTER CA 92596

480080017
ANTHONY OCHOA
31901 RIDGE BERRY DR
WINCHESTER CA 92596

480081015
CAMERON FORGETTE
34581 SPINDLE TREE ST
WINCHESTER CA 92596

476100010
LORRAINE P. MOLINA
35033 LOST TRAIL CT
WINCHESTER CA 92596

476100013
JOSEPH W. DAVIS
35030 LOST TRAIL CT
WINCHESTER CA 92596

476100016
ERIK PRESTON WEAVER
35072 LOST TRAIL CT
WINCHESTER CA 92596

476100030
ONOFRE ROSARIO
32035 OLD COUNTRY CT
WINCHESTER CA 92596

476100033
YE YUN QIN
32062 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100034
RAYMOND T. SOLTYS
32076 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100036
BRYON J. LYMAN
32104 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100042
THOMAS J. HAM
35021 BARKWOOD CT
WINCHESTER CA 92596

476100051
RICHARD HAYVARD BRANNAN
35079 CEDAR RIDGE CT
WINCHESTER CA 92596

476100052
MARK DELANO
943 OLIVETTE ST
HEMET CA 92543

476100064
BRENT G. HARTWELL
35067 DEER SPRING DR
WINCHESTER CA 92596

476100066
DAVID BOZE
35039 DEER SPRING DR
WINCHESTER CA 92596

476101011
CHRISTOPHER MICHAEL BAKER
32135 CLEAR SPRINGS DR
WINCHESTER CA 92596

476040001
PATRICK WALSH
32205 KALE LN
WINCHESTER CA 92596

476040002
MAURISHA COLMENARES BERTULFO
32197 KALE LN
WINCHESTER CA 92596

476040006
KERI ROBERT ADAMS
32165 KALE LN
WINCHESTER CA 92596

476040008
JANICE A. DRAPER
32149 KALE LN
WINCHESTER CA 92596

476030001
VALLEY WIDE RECREATION & PARK DIST
P O BOX 907
SAN JACINTO CA 92581

476040025
DAVID RANGEL
35114 BOLA CT
WINCHESTER CA 92596

476040027
ALICE M. SCHULTZ
34563 WINTERSWEET LN
WINCHESTER CA 92596

476100020
CHRISTOPHER WALSH
32158 OLD COUNTRY CT
WINCHESTER CA 92596

476100021
JAMES I. SIMMANG
32161 OLD COUNTRY CT
WINCHESTER CA 92596

476100039
CHERIE SLENTZ TUCKER
35063 BARKWOOD CT
WINCHESTER CA 92596

476100058
CRAIG B. SHAW
35048 CEDAR RIDGE CT
WINCHESTER CA 92596

476100067
MICHAEL J. WEDDINGTON
35025 DEER SPRING DR
WINCHESTER CA 92596

476101010
TODD M. BADER
32149 CLEAR SPRINGS DR
WINCHESTER CA 92596

476101013
JUAN CARRILLO
32107 CLEAR SPRINGS DR
WINCHESTER CA 92596

476040035
ALARCON EDWARDENA & AVE REVOCABLE
34598 AGONIS WAY
WINCHESTER CA 92596

476040039
BARRATT AMERICAN INC
PO BOX 3008
LA MESA CA 91944

476041011
CHARLES ARMSTRONG
34584 WINTERSWEET LN
WINCHESTER CA 92596

476041015
CARLOS ALEJANDRO HERNANDEZ
34616 WINTERSWEET LN
WINCHESTER CA 92596

476051001
JOEL ALLEN SMITH
34630 AGONIS WAY
WINCHESTER CA 92596

476054024
BARRATT AMERICAN INC
5950 PRIESTLY DR
CARLSBAD CA 92008

476040004
GEORGE SALAMA
5404 EFFIEHAM ST
OAK RIDGE NC 27310

476040016
DOMINIQUE BUTRY
34651 WINTERSWEET LN
WINCHESTER CA 92596

476040022
CARLOS GALDAMEZ
34603 WINTERSWEET LN
WINCHESTER CA 92596

480081004
VERNALIZA S. MURRAY
31924 RIDGE BERRY DR
WINCHESTER CA 92596

480081014
BRENT KLASSEN
31944 SUMMER GRAPE CT
WINCHESTER CA 92596

480081018
TIMOTHY R. FERGASON
34539 SPINDLE TREE ST
WINCHESTER CA 92596

480080020
WHISPERING HEIGHTS HOMEOWNERS ASSN
100 E IMPERIAL HWY NO 200
BREA CA 92821

480081016
ZHU SHEN
10829 CORTE DE MARIN
SAN DIEGO CA 92130

476040005
AMINA SABILI
32173 KALE LN
WINCHESTER CA 92596

476040009
HOA NHAT PHAM
32141 KALE LN
WINCHESTER CA 92596

476040010
KATHERINE KOBAYASHI
32133 KALE LN
WINCHESTER CA 92596

476040028
ROBERT RICHARD GONZALES
34555 WINTERSWEET LN
WINCHESTER CA 92596

476101012
LI HE
330644 GEORGIA TECH STA
ATLANTA GA 30332

476041003
STEPHEN ANDREW NELSON
34633 AGONIS WAY
WINCHESTER CA 92596

476052001
SCOTT F. TAYLOR
32272 SAFFLOWER ST
WINCHESTER CA 92596

476054023
QASEIM NASSIMI
14435 SALEM DR E
CARMEL IN 46033

480080003
FRANCISCO JAVIER MEJIA
31950 SILK VINE DR
WINCHESTER CA 92596

480080006
TERRY WILLIAMS
31992 SILK VINE DR
WINCHESTER CA 92596

480080015
NICKERSON STEVEN D
34646 SPINDLE TREE ST
WINCHESTER CA 92596

480080010
JOHN GREUTMAN
34576 SPINDLE TREE ST
WINCHESTER CA 92596

480081005
JAMIE J. JOHNSON
31949 SUMMER GRAPE CT
WINCHESTER CA 92596

480081017
WHALEY ORA RUTH
34553 SPINDLE TREE ST
WINCHESTER CA 92596

480080004
R & S HARMSWORTH TRUST DATED 3/6/2014
31964 SILK VINE DR
WINCHESTER CA 92596

480080012
KENNETH D. WORTH
34604 SPINDLE TREE ST
WINCHESTER CA 92596

480081007
RENE AGUAYO
31907 SUMMER GRAPE CT
WINCHESTER CA 92596

476040034
THERESA L. MEYER
34590 AGONIS WAY
WINCHESTER CA 92596

476101009
RYAN MCINTOSH
32163 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100029
JACQUELINE D. HERNANDEZ
32049 OLD COUNTRY CT
WINCHESTER CA 92596

476100060
PAMELA S. COUFAL
29591 LOCHINVAR RD
HIGHLAND CA 92346

476100046
JACKIE S. BERTONE
35032 BARKWOOD CT
WINCHESTER CA 92596

476100050
MARIA A. DEGUZMAN
35093 CEDAR RIDGE CT
WINCHESTER CA 92596

476101008
ALLEN B. DOMAOAN
32177 CLEAR SPRINGS DR
WINCHESTER CA 92596

476101007
BARBARA C. RUBIN
32191 CLEAR SPRINGS DR
WINCHESTER CA 92596

476100061
JOHN MICHAEL GESELL
35090 CEDAR RIDGE CT
WINCHESTER CA 92596

476100068
AMY ALOMAR
35011 DEER SPRING DR
WINCHESTER CA 92596

Valley Wide Rec and Park District
P O Box 907
San Jacinto, CA 92581
RE: PP25693 - OWNER

Spectrum Services, Inc.
8390 Maple Place, Suite 110
Rancho Cucamonga, CA 91730
RE: PP25693 - ENGINEER

Spectrum Services, Inc.
4405 Airport Drive, Unit 100
Ontario, CA 91761
RE: PP25693 - APPLICANT

City of Temecula
Planning Department
41000 Main St
Temecula, CA 92590
RE: PP25693

RC Regional Park and Open-Space District
4600 Crestmore Road,
Jurupa Valley, CA 92509
RE: PP25693

Kirkland West
Habitat Defense Council
PO Box 7821
Laguna Niguel, Ca, 92607-7821

Richard Drury
Komalpreet Toor
Lozeau Drury, LLP
1939 Harrison Street, Suite 150
Oakland, CA 94612



RIVERSIDE COUNTY PLANNING DEPARTMENT

Charissa Leach, P.E.
Assistant TLMA Director

NOTICE OF EXEMPTION

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, CA 92201

Project Title/Case No.: PP25693

Project Location: APN: 480-040-029 & 476-030-001

Project Description: Plot Plan No. 25963 proposes the construction and operation of a new, unmanned wireless communication facility disguised as a pine tree (monopine) consisting of a 50-foot-tall tower, twelve (12) panel antennas at the 41-foot height, two (2) parabolic antennas, nine (9) remote radio units, two (2) tower mounted junction boxes, five (5) outdoor equipment cabinets, three (3) GPS antennas, one 15kW stand-by generator, and two (2) 50KVA transformers within a 440-square-foot lease area..

Name of Public Agency Approving Project: Riverside County Planning Department

Project Applicant & Address: Spectrum Services, Inc., 8390 Maple Place, Suite 110, Rancho Cucamonga, CA 91730

Exempt Status: (Check one)

- Ministerial (Sec. 21080 (b) (1); 15268)
- Declared Emergency (Sec. 21080 (b) (3); 15269(a))
- Emergency Project (Sec. 21080 (b) (4); 15269 (b) (c))
- Categorical Exemption (Sec. 15303)
- Statutory Exemption (_____)
- Other: _____

Reasons why project is exempt: The project is exempt from further environmental review per Categorical Exemption Section 15303 (d) which recognizes New Construction or Conversion of Small Structures. A project is exempt pursuant to Section 15303 if it consists of the installation of small new equipment and facilities on small structures. Examples of this exemption include but are not limited to Water main, sewage, electrical, gas, and other utility extensions, including street improvements, of a reasonable length to serve such construction. None of the environmental conditions or development impacts noted under Section 15300.2 would occur on this site.

County Contact Person Phone Number

Signature Title Date

Date Received for Filing and Posting at OPR: _____

Please charge deposit fee case#: ZEA No. XXXXX ZCFG No. XXXX - County Clerk Posting Fee
FOR COUNTY CLERK'S USE ONLY