



RIVERSIDE COUNTY PLANNING DEPARTMENT

Juan C. Perez
Interim Planning Director

1:30 P.M.

APRIL 14, 2014

AGENDA

RIVERSIDE COUNTY PLANNING DEPARTMENT DIRECTOR'S HEARING

DESERT PERMIT ASSISTANCE CENTER
77-588 El Duna Court, Suite H
Palm Desert, CA 92211

NOTE: Please be aware that the indicated staff recommendation shown below for each item may differ from that presented to the Planning Director during the public hearing.

If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Planning Director. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s).

In compliance with the Americans with Disabilities Act, if you require reasonable accommodations, please contact Mary Stark at (951) 955-7436 or e-mail at mcstark@rctlma.org. Requests should be made 72 hours in advance or as soon as possible prior to the scheduled meeting. Alternative formats are available upon request.

1.0 CONSENT CALENDAR:

1.1 **NONE**

2.0 PUBLIC HEARINGS: 1:30 p.m. or as soon as possible thereafter.

- 2.1 **PLOT PLAN NO. 25376** – Intent to Adopt a Negative Declaration – Applicant: Fiedler Group – Fourth/Fourth Supervisorial District - Location: Northerly of Hidden River Road, southerly of 42nd Avenue, easterly of Washington Street and westerly of Yucca Lane – Zoning: Scenic Highway Commercial - **REQUEST:** To demolish an existing 5,040 sq.ft. building and establish a gas station which includes a 5,418 sq.ft. fueling canopy, 178 sq.ft. service kiosk building, 7 fueling pump dispensers, and 2 underground storage fuel tanks on 0.67 gross acres within an existing Ralphs shopping center. There are no beer and wine sales allowed. Project Planner: Paul Rull at (951) 955-0972 or email prull@rctlma.org. (Quasi-judicial)
- 2.2 **PLOT PLAN NO. 23977 REVISED PERMIT NO.1** – Addendum to previous Mitigated Negative Declaration – Applicant: Holt Architects – Engineer/Representative: Hunsaker & Associates – Fourth/Fourth Supervisorial District - Location: Northerly of

Flora Road, westerly of Washington Street, and southerly of 38th Avenue – Zoning: Controlled Development Area (W-2-10) – **REQUEST:** To revise original Plot Plan No. 23977 for Desert Academy private school (preschool through 12th grade) with changes to the site design layout and building design type on 48.7 gross acres. Project Planner: Paul Rull at (951) 955-0972 or email prull@rctlma.org. (Quasi-judicial)

- 2.3 **PLOT PLAN NO. 25488** - CEQA Exempt - Applicant: Richard Varge – Fourth/Fourth Supervisorial District – Location: Northerly of 62nd Avenue, southerly of Lovely Sage, easterly of Van Buren, and westerly of Golden Lupine - **REQUEST:** The Plot Plan is a proposal to permit an unpermitted 3,665 square foot detached garage on 5 acres. Continued from March 24, 2014. Project Planner: Bahelila Boothe at (951) 955-8703 or email bboothe@rctlma.org. (Quasi-judicial)

3.0 PUBLIC COMMENTS:

Agenda Item No.: 2.1
Area Plan: Western Coachella Valley
Zoning District: Bermuda Dunes
Supervisory District: Fourth/Fourth
Project Planner: Paul Rull
Directors Hearing: April 14, 2014

PLOT PLAN NO. 25376
Environmental Assessment No. 42599
Applicant: Fiedler Group

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

PLOT PLAN NO. 25376 to demolish an existing 5,040 sq.ft. building and establish a gas station which includes a 5,418 sq.ft. fueling canopy, 178 sq.ft. service kiosk building, 7 fueling pumps dispensers, and 2 underground storage fuel tanks on 0.67 gross acres within an existing Ralphs shopping center. There are no concurrent beer and wine sales allowed.

The project is located approximately northerly of Hidden River Road, easterly of Washington Street, southerly of 42nd Avenue, and westerly of Yucca Lane.

SUMMARY OF FINDINGS:

- | | |
|---|---|
| 1. Existing General Plan Land Use (EX.#5): | Community Development: Commercial Retail (CD: CR) |
| 2. Surrounding General Plan Land Use (EX.#5): | Community Development: Commercial Retail (CD: CR), Very Low Density Residential (CD: VLDR), Medium Density Residential (CD: MDR), High Density Residential (CD: HDR), City of Palm Desert |
| 3. Existing Zoning (EX.#2): | Scenic Highway Commercial (C-P-S) |
| 4. Surrounding Zoning (EX.#2):: | Scenic Highway Commercial (C-P-S), One-Family Dwelling (R-1), General Residential (R-4) |
| 5. Existing Land Use (EX.#1): | Blockbuster Video building (vacant), commercial retail shopping center |
| 6. Surrounding Land Use (EX.#1): | Commercial retail, single family residential, multi-family residential |
| 7. Project Data: | Total Acreage: 0.67 gross acres |
| 8. Environmental Concerns: | See attached environmental assessment |

RECOMMENDATIONS:

ADOPTION of a **NEGATIVE DECLARATION** for **ENVIROMENTAL ASSESSMENT NO. 42599**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment; and,

APPROVAL of **PLOT PLAN NO. 25376** subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail (CD: CR) in the Western Coachella Valley Area Plan.
2. The proposed use, a gas station, is a permitted use in the Community Development: Commercial Retail (CD: CR) land use designation.
3. The project site is surrounded by properties which are designated Community Development: Commercial Retail (CD: CR), Very Low Density Residential (CD: VLDR), Medium Density Residential (CD: MDR), and High Density Residential (CD: HDR).
4. The project site is not located within a policy area.
5. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
6. The proposed use, a gas station, is a permitted use, subject to approval of a plot plan in the Scenic Highway Commercial zone as identified in Ordinance No. 348, Section 9.50.a.97.
7. The project site is surrounded by properties which are zoned Scenic Highway Commercial (C-P-S), One-Family Dwelling (R-1), and General Residential (R-4).
8. The project is surrounded by existing urbanized development consisting of commercial retail businesses, and single and multi-family residences. The project is located within an existing developed retail shopping center.
9. The proposed site plan, as designed and conditioned, is consistent with the development standards set for in the Scenic Highway Commercial zone:
 - a) There are no minimum lot size requirements
 - b) There are no yard requirements buildings which do not exceed 35 feet in height. The project building is height is 12 feet and top of canopy 22 feet.
 - c) No structure will exceed 50-feet in height at the yard setback line. The maximum building height is 12 feet and top of canopy 22 feet.
 - d) Parking areas meet Section 18.12 requirements of Ordinance No. 348. The proposed 23 parking spaces equal or exceed the minimum requirements.
 - e) Trash collection areas will be appropriately screened with landscaping and walls/fences.
 - f) Lighting fixtures will be focused, directed, and arranged to prevent glare or direct illumination on streets or adjoining properties.
10. The project has adequate access to paved roads. Washington Street and 42nd Avenue are paved and improved. The project site has paved access through the internal driveaisles of the shopping center to a total of five driveways (three on Washington Street, two on 42nd Avenue).
11. This project is not located within a Coachella Valley Multiple Species Habitat Conservation Area.
12. The project is located within the boundaries of the Bermuda Dunes Community Council and was brought to the September 10, 2013 community council meeting for informational purposes only.
13. The project is located within the Bermuda Dunes Design Guidelines area. The project has incorporated design elements into the project and is consistent with the guidelines.
14. Environmental Assessment No. 42599 did not identify potentially significant impacts.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Commercial Retail (CD: CR) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. Tribal Land;
 - b. A High Fire Area;
 - c. A Specific Plan;
 - d. A General Plan Policy Area;
 - e. A Historic Preservation District;
 - f. A Redevelopment Area;
 - g. An Agricultural Preserve;
 - h. An CVMSHCP Conservation Area;
 - i. Stephen's Kangaroo Rat fee Area;
 - j. A Fault Zone;
 - k. An area of low potential for paleontological sensitivity;
 - l. A Flood Area; or
3. The project site is located within:
 - a. The boundaries of the Western Coachella Valley Area Plan;
 - b. An Airport Influence Area;
 - c. The Sphere of Influence of the City of Palm Desert;
 - d. The Bermuda Dunes Community Council Area;
 - e. The Bermuda Dunes Design Guidelines Area;
 - f. Desert Sands Unified School District;
 - g. An area of moderate liquefaction; and
 - h. Mt. Palomar Observatory Area Zone B.

4. The subject site is currently designated as Assessor's Parcel Number: 609-020-044

Y:\Planning Case Files-Riverside office\PP25376\DH-PC-BOS Hearings\DH-PC\DH staff report 4-14-14.docx
Date Revised: 03/10/14

PP25376 Vicinity Map



LEGEND

- CASE
- CITY
- N INTERSTATES
- N HIGHWAYS
- PARCELS

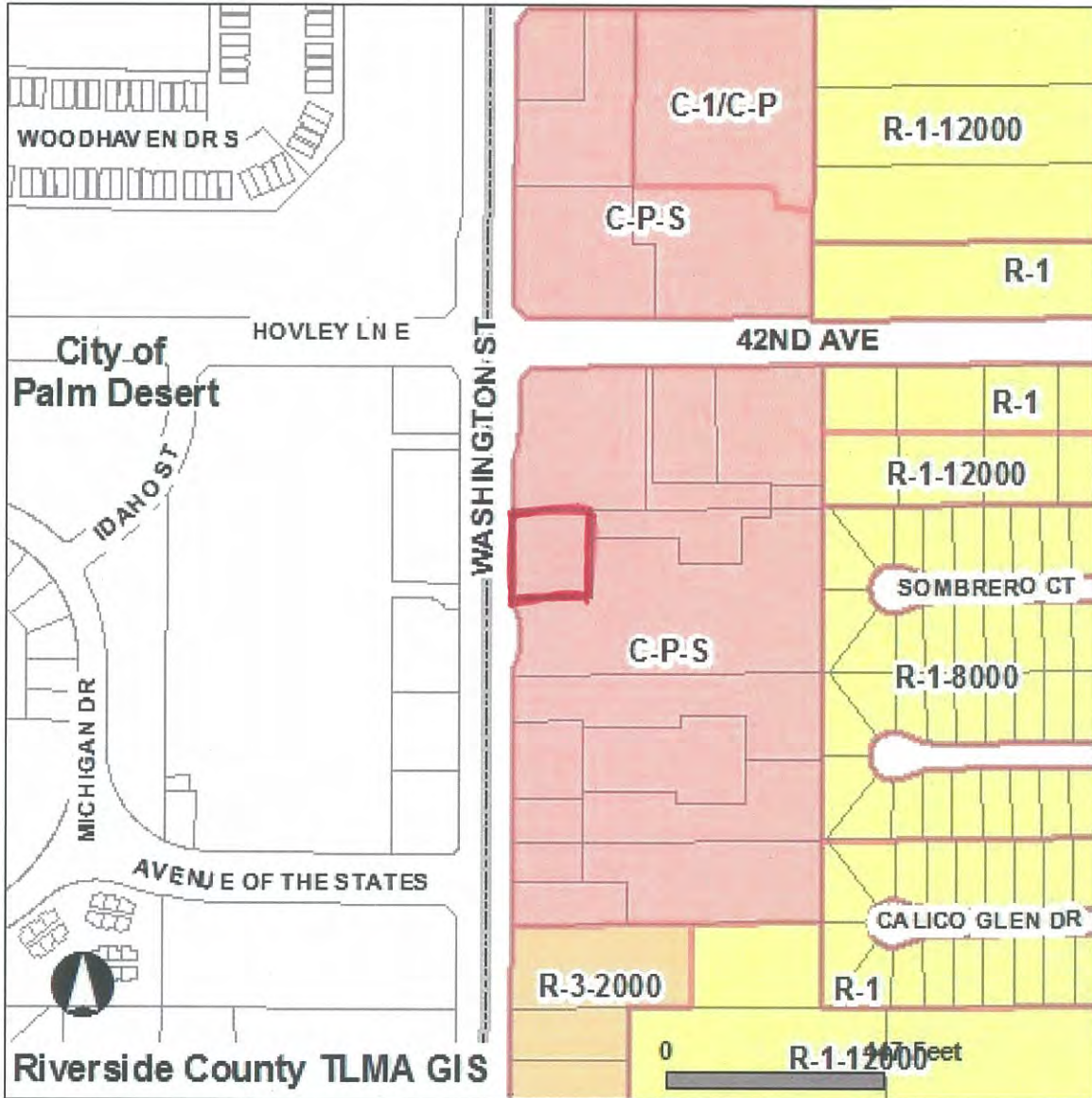
IMPORTANT
 Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

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Version 131127

Exhibit #1

PP25376 Zoning Map



ZONING

-  INTERSTATES
-  HIGHWAYS
-  ZONING BOUNDARY
-  C-1/C-P, C-P-S
-  CITY
-  PARCELS
-  R-1, R-1-12000, R-1-20000, R-1-8000
-  R-3-2000

IMPORTANT

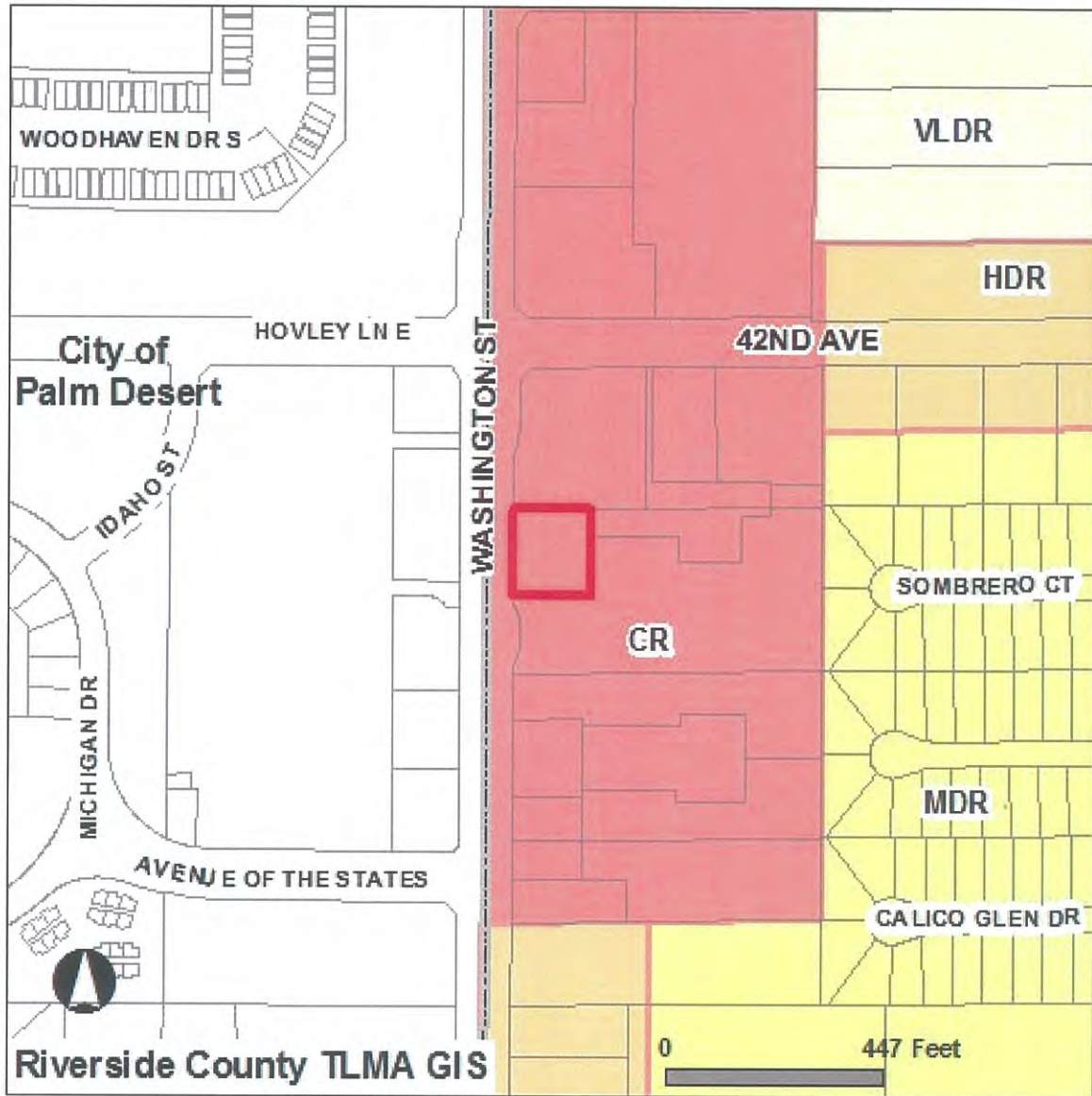
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Version 131127

Exhibit #2

PP25376 General Plan Land Use Map



LAND USE

- CASE
- PARCELS
- VLDR - VERY LOW DENSITY RESIDENTIAL
- N INTERSTATES
- CR - COMMERCIAL RETAIL
- N HIGHWAYS
- HDR - HIGH DENSITY RESIDENTIAL
- CITY
- MDR - MEDIUM DENSITY RESIDENTIAL

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

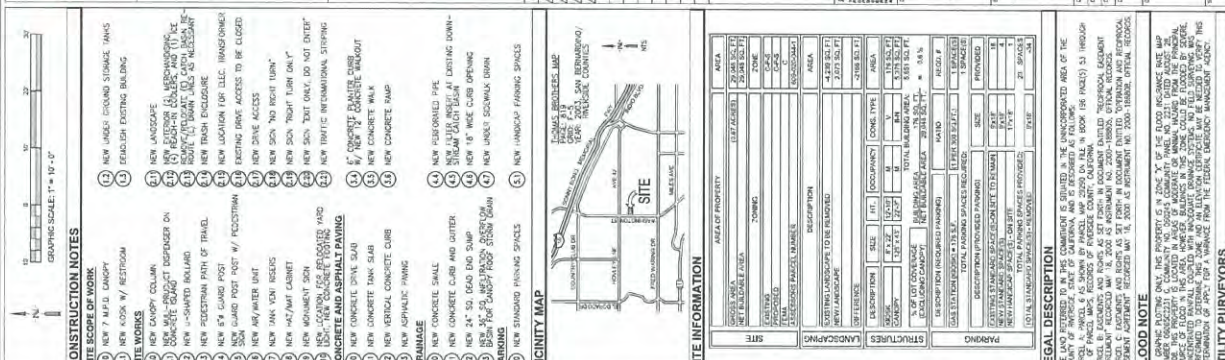
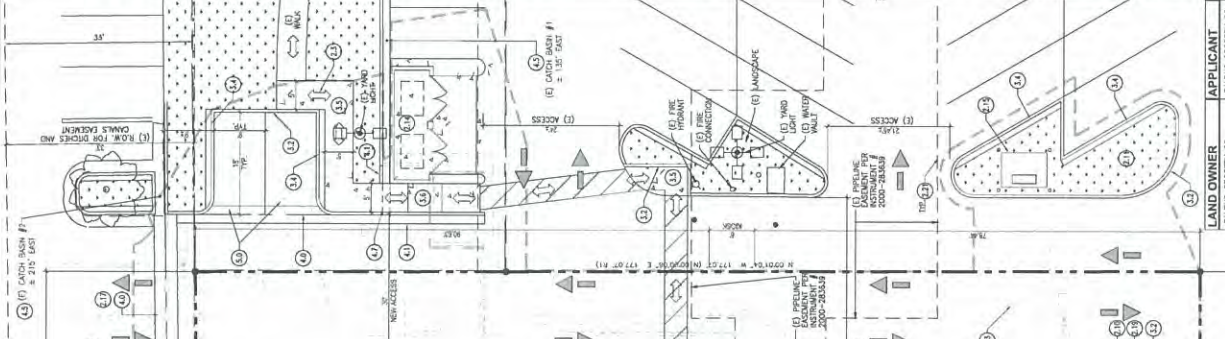
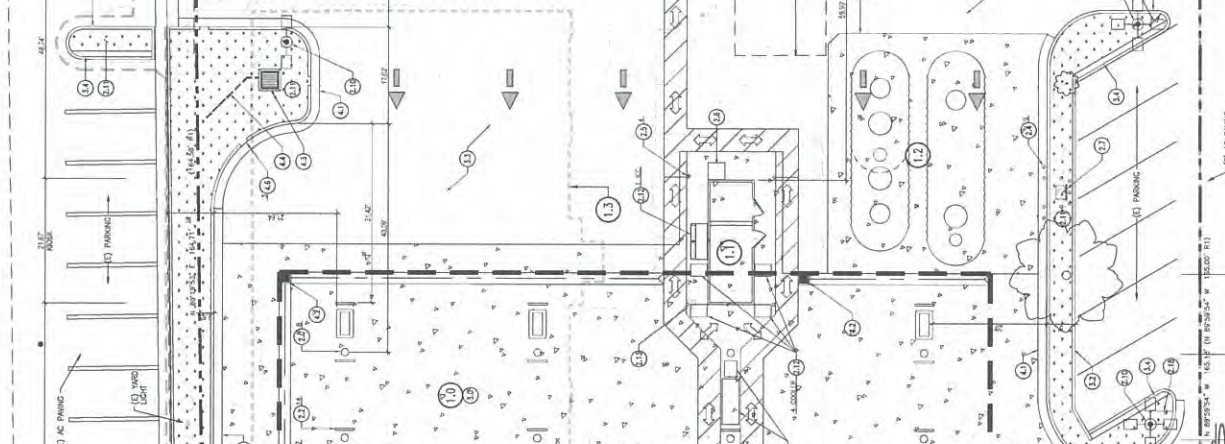
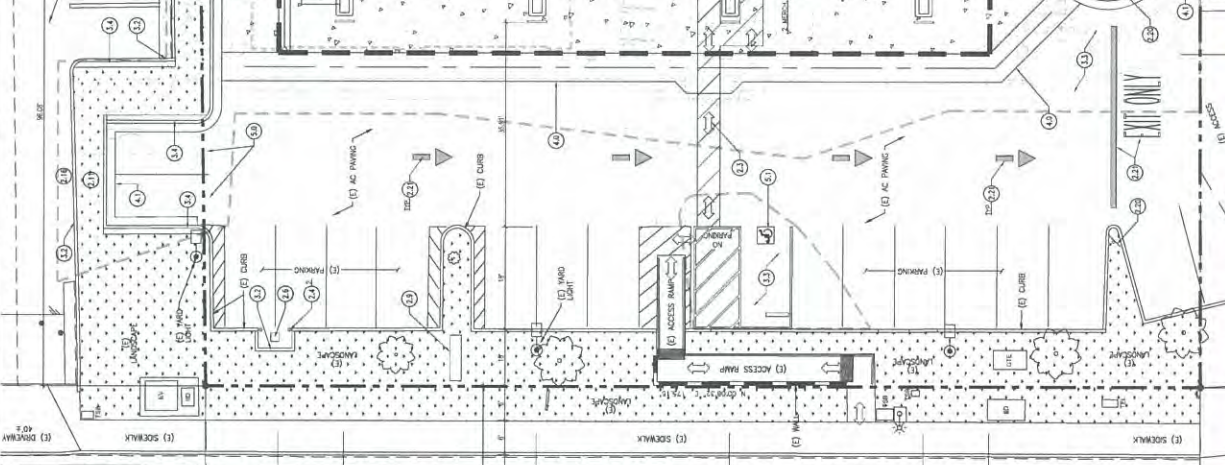
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Version 131127

Exhibit #5

LEGEND

- (1) NEW LANDSCAPE
- (2) EXISTING LANDSCAPE
- (3) EXISTING PAVEMENT
- (4) NEW AC PAVING
- (5) EXISTING CURBS
- (6) NEW CURBS
- (7) EXISTING CONCRETE
- (8) NEW CONCRETE
- (9) EXISTING DRIVEWAYS
- (10) NEW DRIVEWAYS
- (11) EXISTING SIDEWALKS
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CONSTRUCTION NOTES

SITE SCOPE OF WORK

- (1) NEW 7'x10' CANOPY
- (2) NEW 4'x6' RESTROOM
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RAIPH'S

fireedgroup

Architects & Engineers

3525 W. Third Street
Irvine, CA 92614
(949) 261-9991
fireedgroup.com

Kroger

Supermarket Group
17400 Washington St.
Beverly Hills, CA 90209

RALPHS #81

NEW 7'x10' CANOPY
NEW 4'x6' RESTROOM
NEW 4'x6' RESTROOM
NEW 4'x6' RESTROOM

42140 WASHINGTON ST.
BEVERLY HILLS, CA 90209

DATE: 12/16/13

BY: [Signature]

PROJECT NO: 13569

SITE PLAN

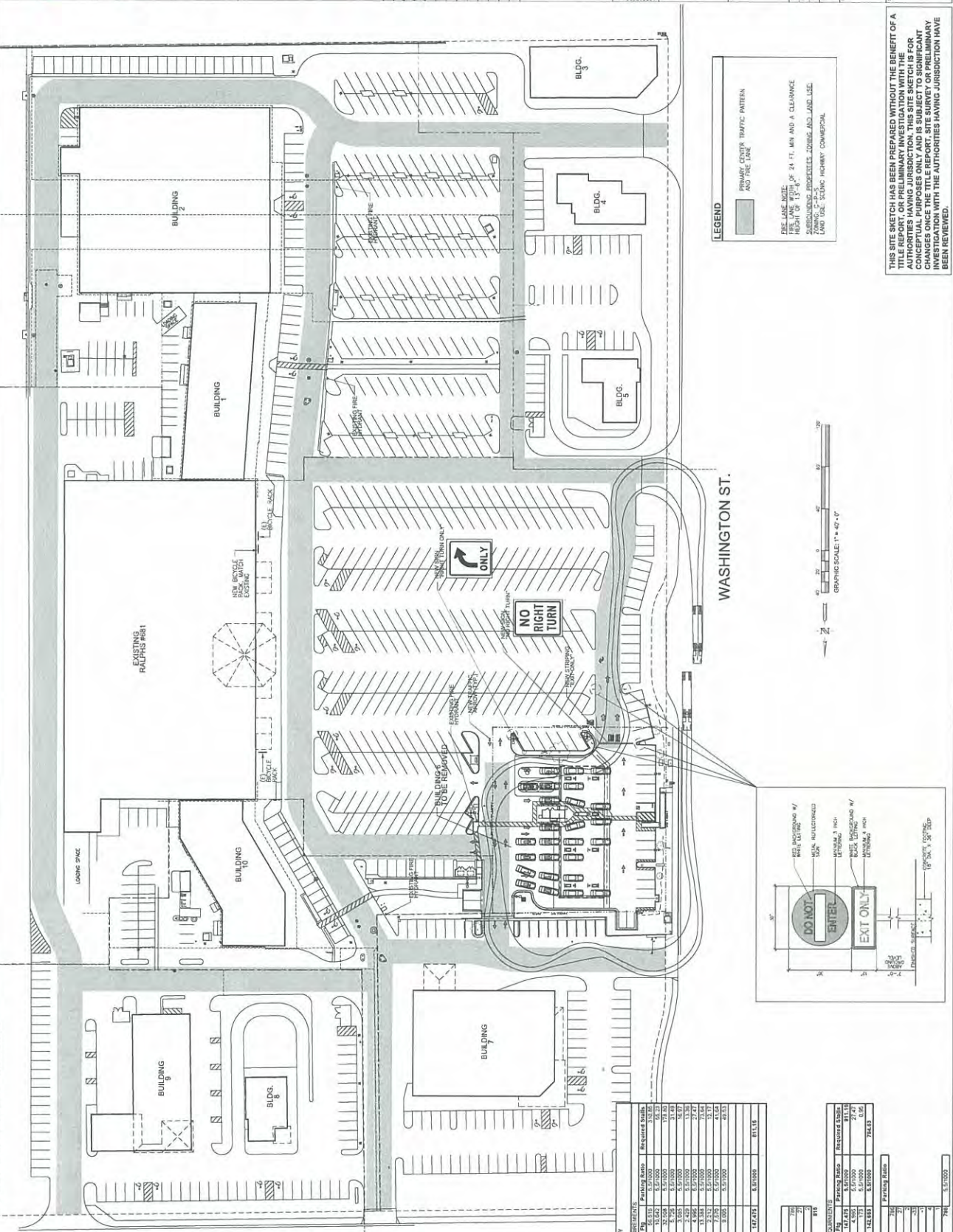
C1

CASE #: PP25376 AMD#1

EXHIBIT: A

DATED: 12/16/13

PLANNER: P. RULL



Happy Hill - Simon Town - Parking Study

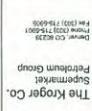
Building	SR ST	Parking Ratio	Requires Stalls
Building 1	15,242	3.5/1,000	53,347
Building 2 - Home Depot	12,508	3.5/1,000	43,778
Building 3	11,871	3.5/1,000	41,649
Building 4 - Whole Foods	3,525	3.5/1,000	12,338
Building 5 - 7-Eleven	1,350	3.5/1,000	4,725
Building 6 - Walgreens	13,588	3.5/1,000	47,558
Building 7 - Fire Station	3,432	3.5/1,000	12,012
Building 8 - 7-Eleven	1,350	3.5/1,000	4,725
Building 9	3,925	3.5/1,000	13,738
Building 10	10,215	3.5/1,000	35,753
42ND AVENUE - 42ND ST	12,425	3.5/1,000	43,488
TOTAL EXISTING/REQUIRED			372,631

EXISTING PARKING SPACES	SR ST	Parking Ratio	Requires Stalls
EXISTING RAMPAGE	7,231	3.5/1,000	25,208
EXISTING DRIVEWAYS	4,900	3.5/1,000	16,650
EXISTING DRIVEWAYS	142,263	3.5/1,000	497,920
TOTAL EXISTING/REQUIRED			729,778

PROPOSED PARKING REQUIREMENTS	SR ST	Parking Ratio	Requires Stalls
Existing Building - Home Depot	12,508	3.5/1,000	43,778
Building 1 - 7-Eleven	1,350	3.5/1,000	4,725
Building 2 - Fire Station	3,432	3.5/1,000	12,012
Building 3 - Walgreens	13,588	3.5/1,000	47,558
Building 4 - 7-Eleven	1,350	3.5/1,000	4,725
Building 5 - 7-Eleven	3,925	3.5/1,000	13,738
Building 6 - Whole Foods	13,588	3.5/1,000	47,558
Building 7 - Home Depot	12,508	3.5/1,000	43,778
Building 8 - Fire Station	3,432	3.5/1,000	12,012
Building 9 - Walgreens	13,588	3.5/1,000	47,558
Building 10 - Home Depot	12,508	3.5/1,000	43,778
NEW DRIVEWAY/STREET			1,274
TOTAL PROPOSED/REQUIRED			316,624



fredlergroup
Architects & Engineers
2224 W. Third Street
Los Angeles, CA 90027
(310) 241-7994
fredlergroup.com



Kroger
The Kroger Co.
Supermarket
Petroleum Group
Phone: (513) 752-8233
Fax: (513) 752-8208

NO.	DATE	REVISION DESCRIPTION
1	11/20/17	ISSUE FOR PERMITS

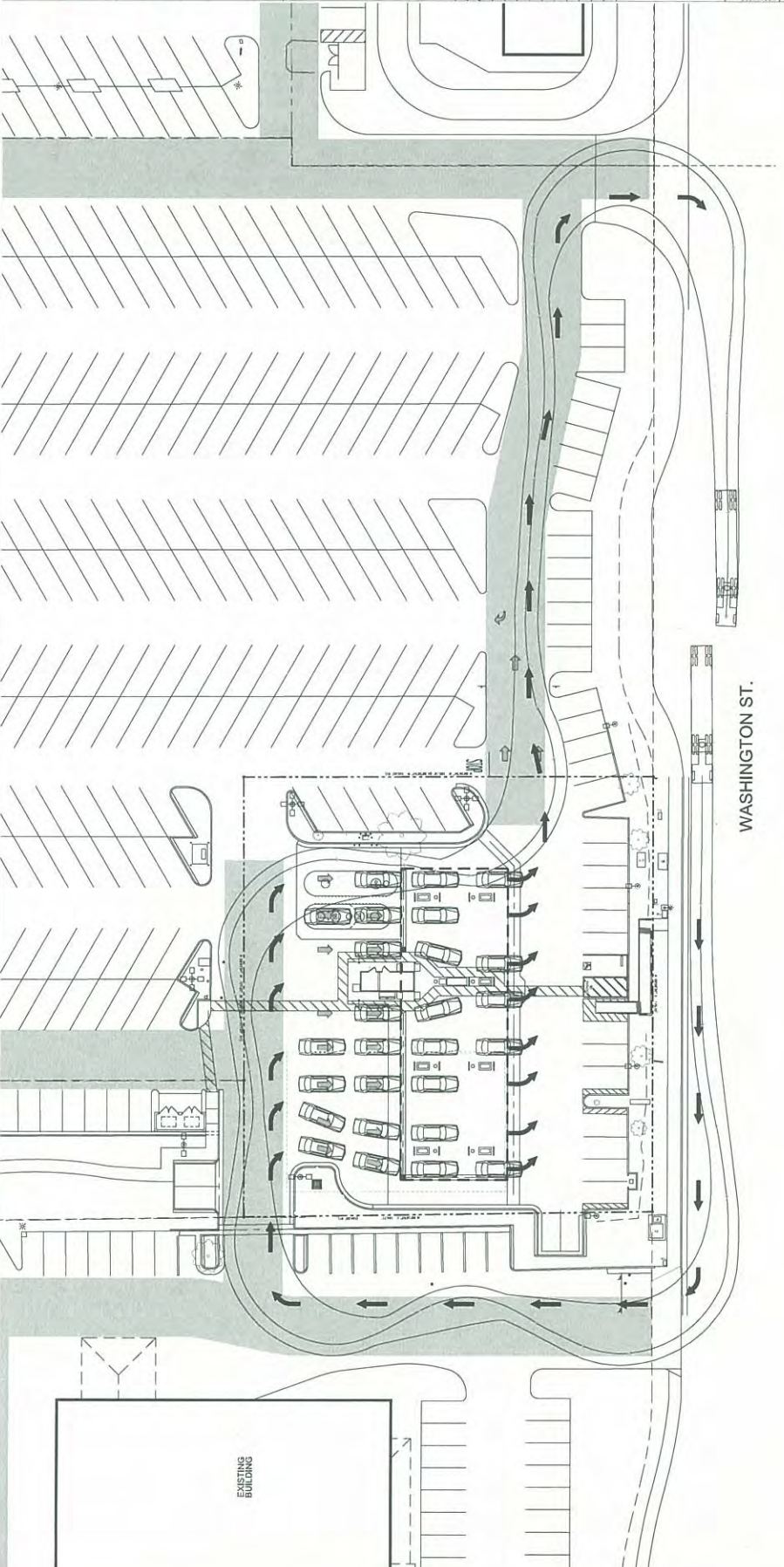
CONTRACT/PROJECT INFORMATION:
Ralphs #681
NEW 7 M.P.D. CANOPY
NEW U.G. STORAGE TANKS
NEW RESTROOM
NEW RESTROOM
NEW RESTROOM

SITE ADDRESS:
42140 WASHINGTON ST.
BENHARTVILLE, CA 94523

DESIGNED BY	DATE	SCALE
JK	11/20/17	AS SHOWN
REVISION NO.	DATE	DESCRIPTION
00/04/2013	135/09	

PROJECT TITLE:
DETAILED TRAFFIC MOVEMENT

PROJECT NO.:
C1.1.1



LEGEND

- PRIMARY CENTER TRAFFIC PATTERN AND FEE LANE

FEE LANE NOTE:
HEIGHT: 24 FT. MIN AND A CLEARANCE SURROUNDING PROPERTIES ZONING AND LAND USE ZONING: C-2 COMMERCIAL HIGHWAY CHEMICAL



THIS SITE SKETCH HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT, OR PRELIMINARY INVESTIGATION WITH THE AUTHORITIES HAVING JURISDICTION. THIS SITE SKETCH IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE BENEFIT OF A PRELIMINARY INVESTIGATION ONCE THE TITLE REPORT, SITE SURVEY OR PRELIMINARY INVESTIGATION WITH THE AUTHORITIES HAVING JURISDICTION HAVE BEEN REVIEWED.

NO.	DATE	REVISION/DESCRIPTION
1	10/27/11	FINAL OF SHEET

LEGEND

- (X) NUMBER OF EXISTING STALLS TO BE MAINTAINED
- (X) NUMBER OF NEW PARKING STALLS
- MODIFIED PARKING AREA

SITE ADDRESS:
 42140 WASHINGTON ST.
 NEW 7 M.P.D. CANOPY
 NEW U.G. STORAGE TANKS
 NEW WALKWAY
 NEW RESTROOM

CLIENT INFORMATION:
 RALPHS #681
 NEW U.G. STORAGE TANKS
 NEW WALKWAY
 NEW RESTROOM

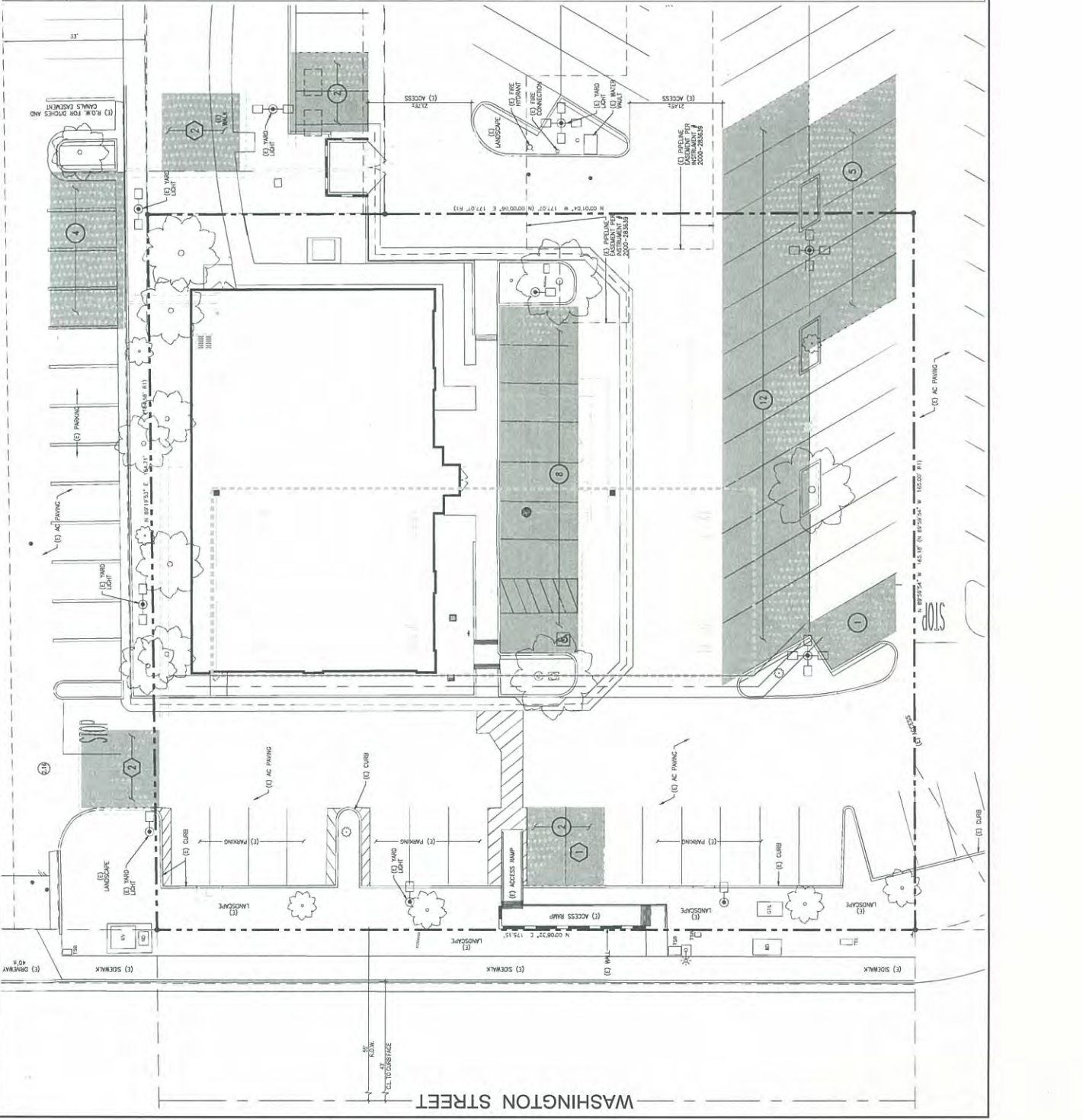
PROJECT INFORMATION:
 SHEET NO. C1.2
 PROJECT NO. 13509
 DATE: 08/09/2013

PARKING MODIFICATION PLAN

C1.2

CURRENT PARKING REQUIREMENTS			
Building	SA/Fing	Parking Ratio	Required Stalls
Building 1	10,212	3.5/1,000	35,742
Building 2 - Home Goods	12,908	3.5/1,000	45,178
Building 3 - Home Goods	12,908	3.5/1,000	45,178
Building 4 - Home Goods	12,908	3.5/1,000	45,178
Building 5 - Home Goods	12,908	3.5/1,000	45,178
Building 6 - Home Goods	12,908	3.5/1,000	45,178
Building 7 - First Floor	2,425	3.5/1,000	8,488
Building 8 - Walkway	13,355	3.5/1,000	47,183
Building 9 - Walkway	13,355	3.5/1,000	47,183
Building 10 - Walkway	13,355	3.5/1,000	47,183
Building 11 - Walkway	13,355	3.5/1,000	47,183
Building 12	9,325	3.5/1,000	32,688
TOTAL SHOPPING CENTER SA/Fing	107,232	3.5/1,000	371,132

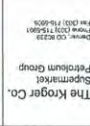
PROPOSED PARKING REQUIREMENTS			
Building	SA/Fing	Parking Ratio	Required Stalls
Building 1	10,212	3.5/1,000	35,742
Building 2 - Home Goods	12,908	3.5/1,000	45,178
Building 3 - Home Goods	12,908	3.5/1,000	45,178
Building 4 - Home Goods	12,908	3.5/1,000	45,178
Building 5 - Home Goods	12,908	3.5/1,000	45,178
Building 6 - Home Goods	12,908	3.5/1,000	45,178
Building 7 - First Floor	2,425	3.5/1,000	8,488
Building 8 - Walkway	13,355	3.5/1,000	47,183
Building 9 - Walkway	13,355	3.5/1,000	47,183
Building 10 - Walkway	13,355	3.5/1,000	47,183
Building 11 - Walkway	13,355	3.5/1,000	47,183
Building 12	9,325	3.5/1,000	32,688
TOTAL SHOPPING CENTER SA/Fing	107,232	3.5/1,000	371,132



WASHINGTON STREET



2525 W. Third Street,
Los Angeles, CA 90027
(310) 348-7891
friedlergroup.com



NO.	DATE	REVISION/DESCRIPTION
1	05/15/2013	ISSUED FOR PERMITS
2	05/15/2013	REVISIONS TO PERMITS

CONTRACTOR: JONATHAN B. HARRIS
PROJECT NO.: 2000-32833
SHEET NO.: 13559
DATE: 05/15/2013

RALPHS #81
NEW 7 MPD CANNOPY
STORAGE BANKS
NEW SALES OFFICE
WIRESTROOM

42140 WASHINGTON ST.
REDWOOD BLVD. CA 92323

CONCEPTUAL
GRADING PLAN

C2



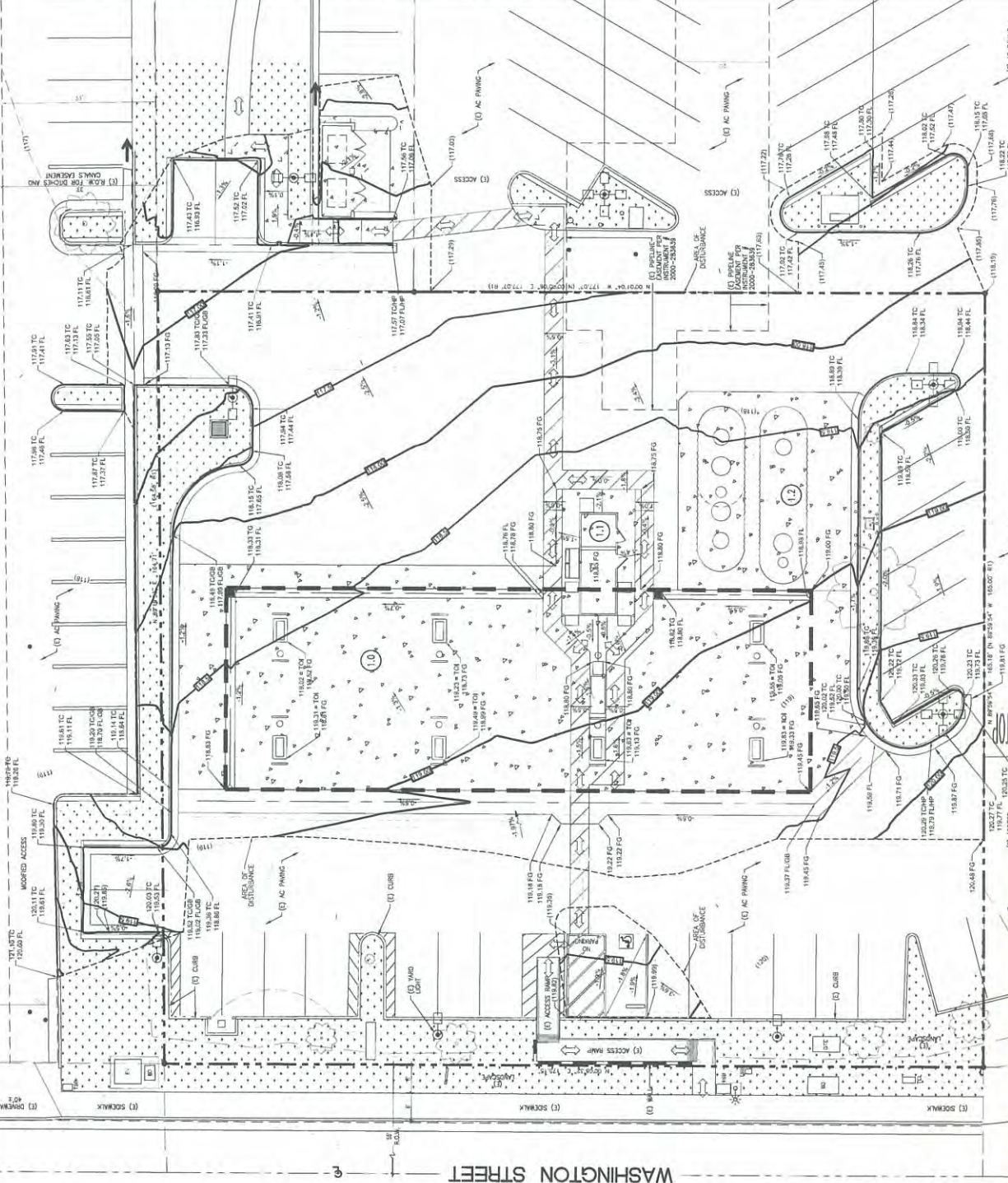
CONSTRUCTION NOTES
SITE SCOPE OF WORK
(1) NEW 7 MPD CANNOPY
(2) NEW 450K W/ RESTROOM

LEGEND
AREA OF DISTURBANCE = 23,530 SQ. FT. (0.47 ACRES)



BENCHMARK
CITY OF PALM DESERT BENCH MARK NO. 331
ELEVATION: 25,007 FEET (NAVD83 DATUM) YEAR 2006
E.D. BRASS 2506, STAMPED CITY OF P.D. BM 1317 AT THE SOUTHWEST
CORNER OF THE INTERSECTION OF ROYAL LANE (E.G.P.) TO THE SOUTH
OF E.C.R. ON TOP OF CURB. FLUSH

IMPERVIOUS PRE & POST DEVELOPMENT
PRE DEVELOPMENT AREA 20,464 SF
IMPERVIOUS AREA 4,448 SF PERCENT IMPERVIOUS 21.7%
PERVIOUS AREA 15,016 SF PERCENT PERVIOUS 73.3%
POST DEVELOPMENT
IMPERVIOUS AREA 4,448 SF PERCENT IMPERVIOUS 21.7%
PERVIOUS AREA 15,016 SF PERCENT PERVIOUS 73.3%



CASE #: PP25376 AMD#1
EXHIBIT: G
DATED: 12/6/13
PLANNER: P. RULL



Fiedlergroup
Architects & Engineers
3255 W. Third Street
Los Angeles, CA 90027
(213) 381-7861
fiedlergroup.com

The Kroger Co.
Supermarket
Kroger Food Stores
10000 W. 10th Street
Overland Park, KS 66211
(913) 786-8000



DATE: 12/16/13
PROJECT: NEW SALES KIOSK
WIRESTROOM

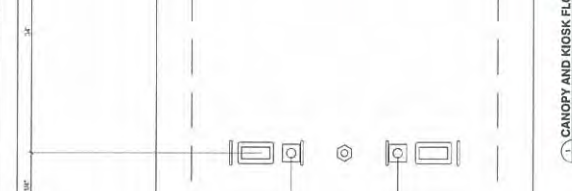
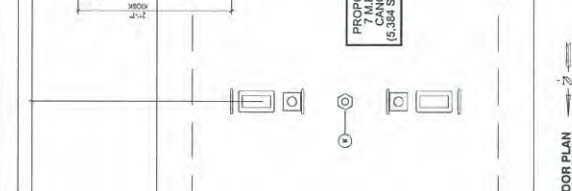
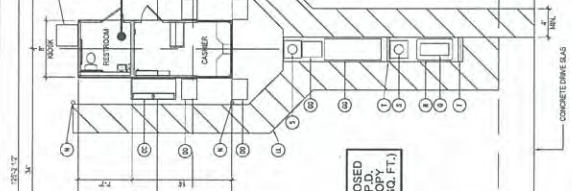
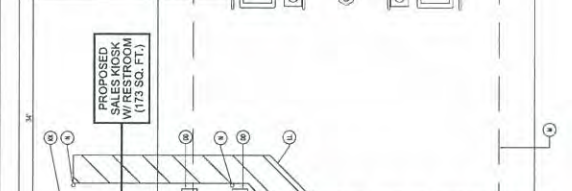
42140 WASHINGTON ST.
BERMUDA DUNEE, CA 94023

PROJECT NO: 13509
DATE: 02/21/2013

EXTERIOR ELEVATIONS

A1

ITEM	DESCRIPTION	COLOR
A	ELECTRICAL PANELS	DRY CREAM
B	EQUIPMENT SCHEDULE (MISC. PANELS) - C.C. TO PAINT	DRY CREAM
C	BRICK	DRY CREAM
D	BRICK TRIM	DRY CREAM
E	SCOFFS	DRY CREAM
F	CANOPY FACIA	DRY CREAM
G	CANOPY FACIA	DRY CREAM
H	GLASS (GALLERY INSTANT)	DRY CREAM
I	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
J	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
K	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
L	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
M	CANOPY	DRY CREAM
N	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
O	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
P	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
Q	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
R	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
S	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
T	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
U	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
V	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
W	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
X	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
Y	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
Z	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AA	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AB	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AC	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AD	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AE	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AF	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AG	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AH	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AI	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AJ	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AK	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AL	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM
AM	GLASS (GALLERY INSTANT) - SEE PER LOCAL	DRY CREAM



CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR AND PAINT SAMPLES TO KROGER APPROVAL PRIOR TO ORDERING MATERIALS

METAL BRIDGE CANOPY TRUCK CAN CONTROL, SEALED CONTROL, GALLIUM FINISH (SEE PER LOCAL) SHALL BE USED FOR ALL METAL BRIDGE CANOPY TRUCK CAN CONTROL. SEE PER LOCAL FOR ALL METAL BRIDGE CANOPY TRUCK CAN CONTROL.

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

CASE #: PP25376 AMD#1
EXHIBIT: B & C
DATED: 12/6/13
PLANNER: P. RULL



fiedlergroup
Architecture & Engineering
3325 W. Third Street
Los Angeles, CA 90027
(213) 381-3841
fiedlergroup.com

The Kroger Co.
Supermarket
Petroleum Group
10000 W. Washington Blvd.
Los Angeles, CA 90024
(213) 381-3841



NO. DATE REVISION DESCRIPTION

PROJECT NO. 13509
SHEET NO. SN1

PROJECT NAME: SIGN PROGRAM
PROJECT NO.: 13509
SHEET NO.: SN1

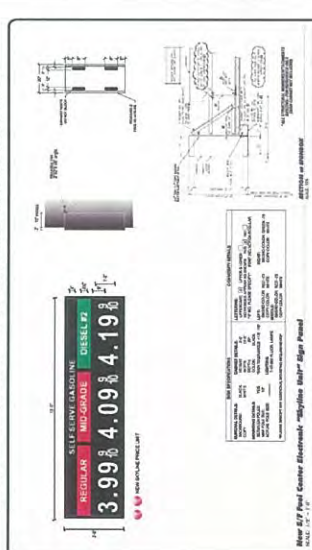
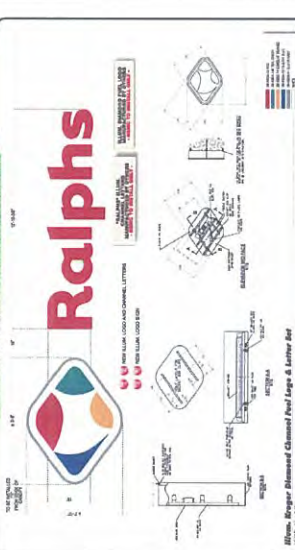
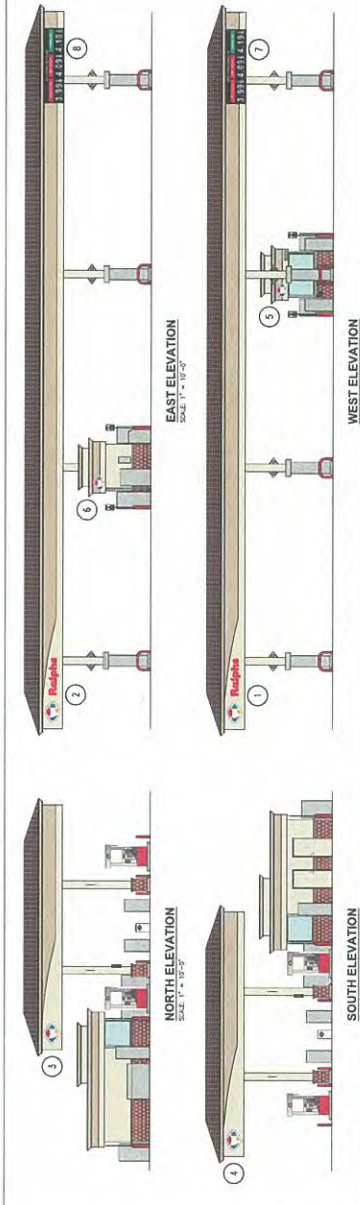
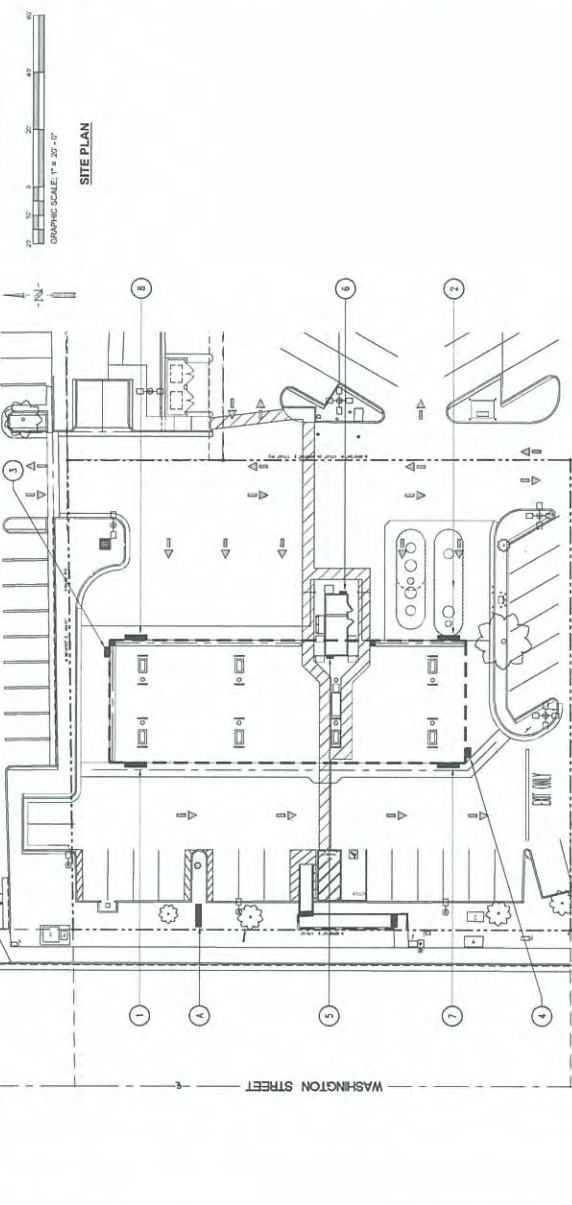
PROJECT ADDRESS:
42140 WASHINGTON ST.
BERMUDA DUNES CA 92023

PROJECT NO.: 13509
SHEET NO.: SN1

PROJECT NAME: SIGN PROGRAM

SHEET NO.

SN1



CASE #: PP25376 AMD#1
EXHIBIT: S
DATED: 12/6/13
PLANNER: P. RULL



NO.	DATE	REVISION/DESCRIPTION



CONTRACTOR'S ATTENTION:
 ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT.
 ALL MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS.
 ALL MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS.

DATE: 10/16/2013
 PROJECT NO.: 13509
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN

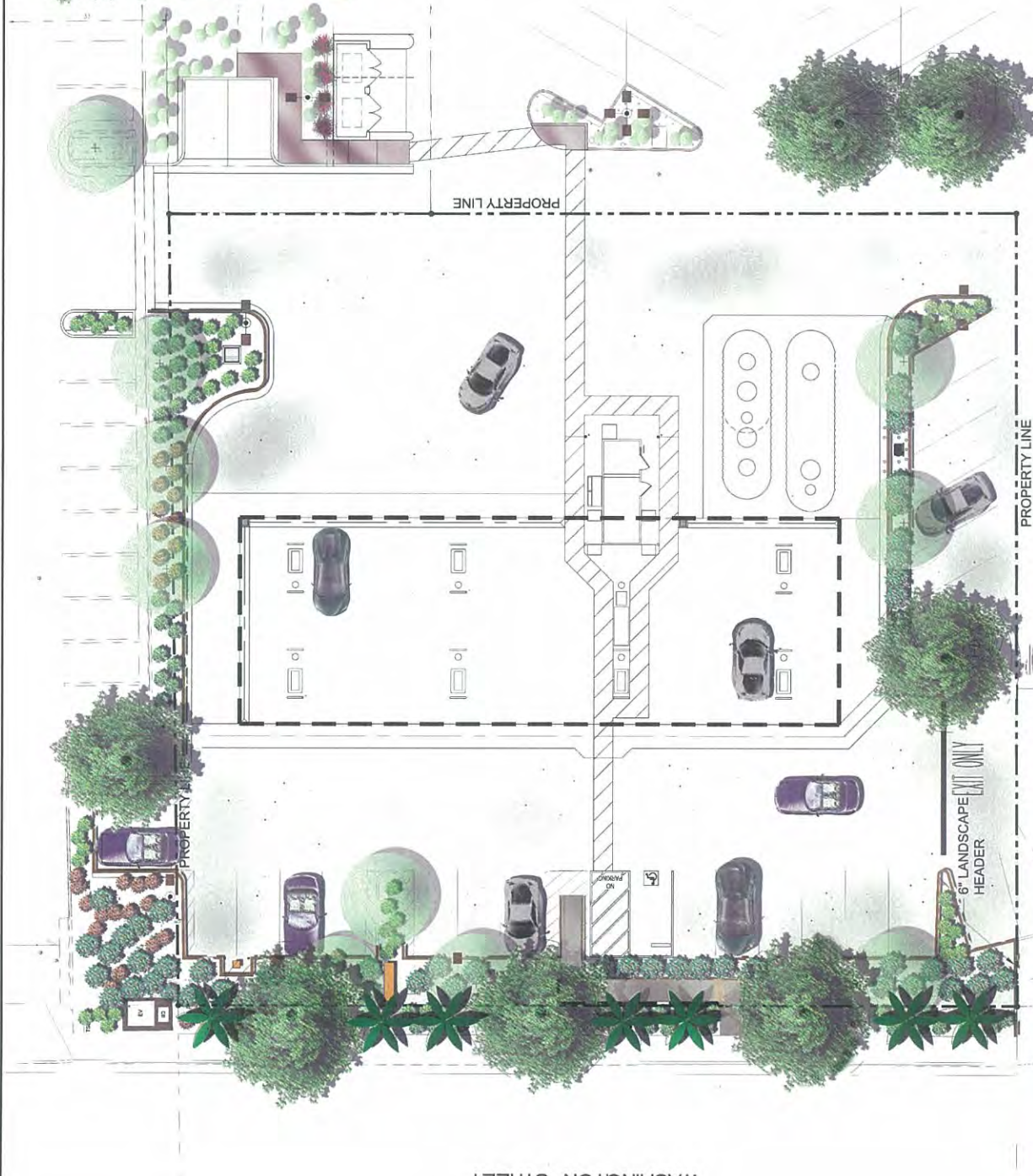
LANDSCAPE PLAN

42140 WASHINGTON ST.
 8470 AVE.
 BERMUNDO, CALIF. 94520

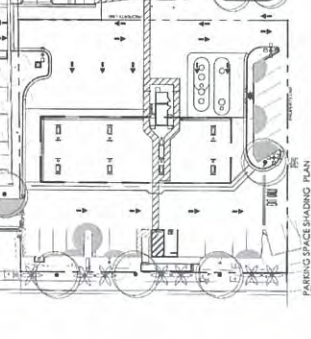
L1.0

PLANT LEGEND

SYM.	COMMON NAME	SITE	HTY. CAL.	QTY.	WVF
[Symbol]	SPRING BURNING BUSH	2" BOX	12 CAL.	7	LOW
[Symbol]	SPRING BURNING BUSH	12" GAL.	12 CAL.	7	MEDIUM
[Symbol]	SPRING BURNING BUSH	24" GAL.	12 CAL.	10	LOW
[Symbol]	SPRING BURNING BUSH	36" GAL.	12 CAL.	7	LOW
[Symbol]	SPRING BURNING BUSH	48" GAL.	12 CAL.	4	LOW



NOTES
 ALL PLANTING TO BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS.
 ALL MATERIALS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE SPECIFICATIONS.



SCALE: 1"=10'-0"
 NORTH

4807 E. Thibe Road Dr.
 Suite 100
 Fresno, CA 93724
 P: 559-261-4300
 F: 559-261-2305
4FO
 LANDSCAPE DESIGN

CASE #: PP25376 AMD#1
EXHIBIT: L
DATED: 12/6/13
PLANNER: P. RULL



NO.	DATE	REVISION DESCRIPTION

L2.0

DATE: 10/14/2013
 DRAWING NO: 13509
 SHEET TITLE: IRRIGATION PLAN
 SHEET NO:

DESIGNED BY: MJE
 CHECKED BY: MJE
 DRAWN BY: MJE
 PROJECT NO:

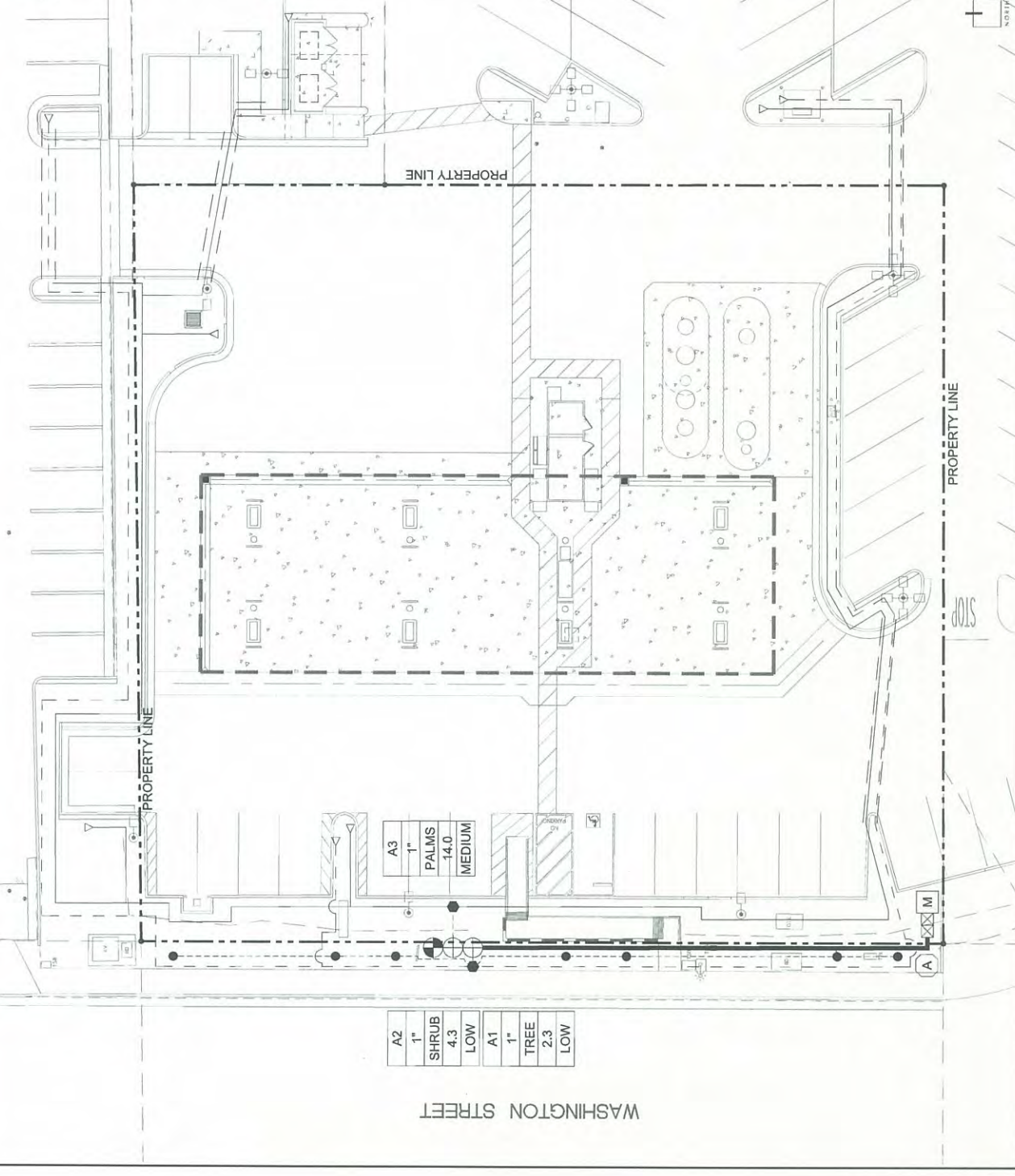
42140 WASHINGTON ST.
 BERNARDINO COUNTY, CA 92403

RALPH'S #881
 NEW 7 MP D. CANOPY
 NEW U/G STORAGE TANKS
 NEW U/G CONTROL WIRESTRUM

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	NOTE
(M)	WALKWAY	1" WATER NERVE SEE DETAIL 313.2 FOR EXACT LOCATION. SEE DETAIL 313.2 FOR ELECTRICAL ACQUISITION PLANS.
(A)	CONTROLLER	1" WATER NERVE SEE DETAIL 313.2 FOR ELECTRICAL ACQUISITION PLANS.
(X)	REDUCED PRESSURE BACKFLOW PREVENTER	1" WATER NERVE SEE DETAIL 313.2 FOR ELECTRICAL ACQUISITION PLANS.
(+)	ADJUSTABLE VALVE	1" WATER NERVE SEE DETAIL 313.2 FOR ELECTRICAL ACQUISITION PLANS.
(-)	CONTROL VALVE	1" WATER NERVE SEE DETAIL 313.2 FOR ELECTRICAL ACQUISITION PLANS.
(•)	DSP PRESSURE REGULATOR	1" WATER NERVE SEE DETAIL 313.2 FOR ELECTRICAL ACQUISITION PLANS.
(•)	BUBBLER	1" WATER NERVE SEE DETAIL 313.2 FOR ELECTRICAL ACQUISITION PLANS.
(•)	FLOODING HD CAP	1" WATER NERVE SEE DETAIL 313.2 FOR ELECTRICAL ACQUISITION PLANS.
(-)	MAIN LINE	1" PVC - CALLS 200 PIPE
(-)	LATERAL LINE	3/4" CL 200
(-)	DSP LINE (SHUB)	3/4" CL 200
(-)	DSP LINE (TREE)	SEE DETAIL 313.1 FOR SIZING
(-)	PRESSURIZED PIPER	REFER TO ELECTRICAL ACQUISITION PLANS FOR EXACT CONFIGURATION
(-)	NOT SHOWN - DSP PAPER	15' GA. COMMON, 12' GA. CONTROL
(-)	CONTROL WIRE	15' GA. COMMON, 12' GA. CONTROL
(A1)	VALVE	VALVE REFERENCE
(1")	PLANT TYPE	PLANT TYPE
(FLOW)	FLOW	FLOW
(LOW)	LOW	LOW

NOTES:
 MAINLINE AND DSP LINE SHOWN ARE DIAGRAMATIC. REFER TO DETAILS FOR EXACT CONFIGURATION.
 PROVIDE IRIGATION EQUIPMENT AND MATERIALS AS SPECIFIED OR AS ALL LATERAL FROM DSP VALVE TO SECURE REGULATOR SHALL BE 1" UNLESS OTHERWISE NOTED.
 PROVIDE PIPY AND WIRE STRIVING UNDER ALL ROAD CROSSINGS. CONCRETE MARKING, MARKS AND TRAP CROSSINGS REFER TO DETAIL 313.1 FOR SIZING.



48 design inc.
 4800 N. 11th Street, Suite 100
 Phoenix, AZ 85044
 Phone: 602-417-3304
 Fax: 602-417-3306

NO.	DATE	REVISION DESCRIPTION

PROJECT LOCATION:
Ralphs #681
NEW 7 FLR D. CANOPY
SOIL AND 50% PREPARED SOIL ADVERTISE
NEW SALES NOOK
WIRESTROOM

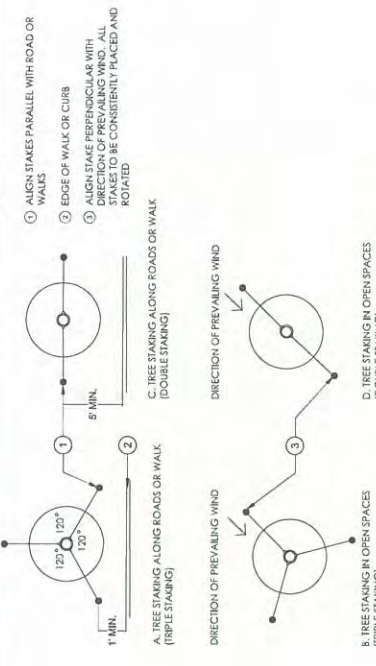
SITE ADDRESS:
42140 WASHINGTON ST.
B BOND AVE
BEMUDA HILLS, CA 90703

DESIGNED BY: THE FIEDLER GROUP
DATE: 10/14/2013
PROJECT NO.: 135509
DATE: 10/14/2013
DATE: 10/14/2013
DATE: 10/14/2013

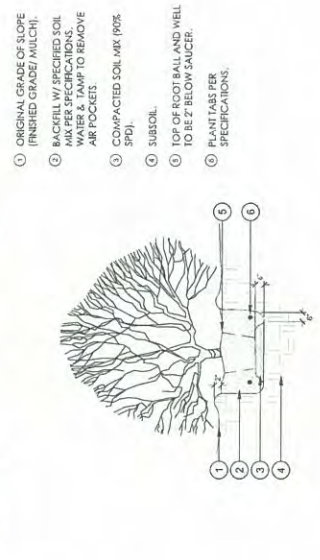
PLANTING DETAILS

SHEET NO.
L3.0

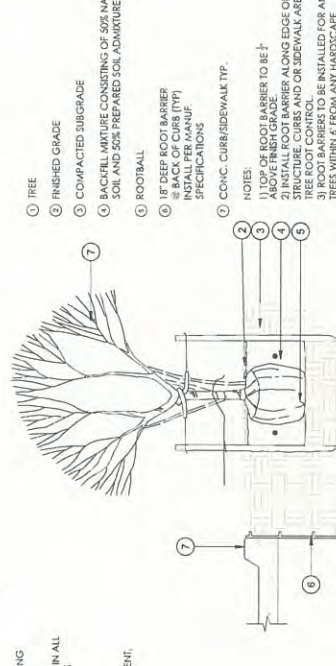
40%
40% GREEN ROOF
40% GREEN WALL
40% GREEN CURB
40% GREEN SIDEWALK
40% GREEN DRIVEWAY
40% GREEN PARKING
40% GREEN BIKEWAY
40% GREEN WALKWAY
40% GREEN PLAYWAY
40% GREEN COURTYARD
40% GREEN TERRACE
40% GREEN BALCONY
40% GREEN PORCH
40% GREEN PATIO
40% GREEN DECK
40% GREEN STAIRWAY
40% GREEN RAMPWAY
40% GREEN DRIVEWAY
40% GREEN PARKING
40% GREEN BIKEWAY
40% GREEN WALKWAY
40% GREEN PLAYWAY
40% GREEN COURTYARD
40% GREEN TERRACE
40% GREEN BALCONY
40% GREEN PORCH
40% GREEN PATIO
40% GREEN DECK
40% GREEN STAIRWAY
40% GREEN RAMPWAY



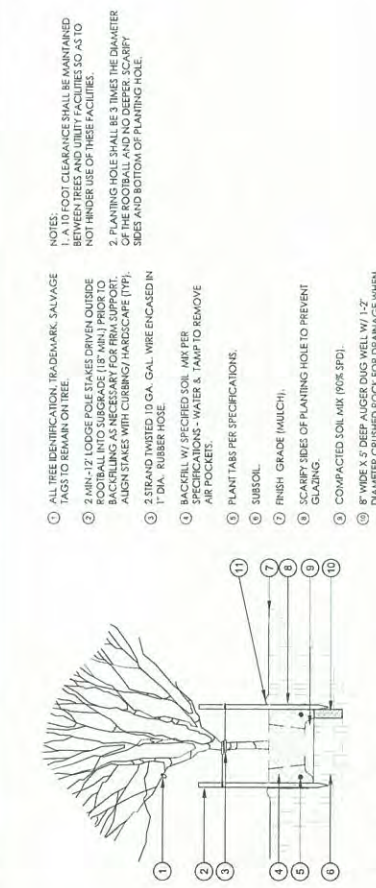
1 TREE STAKING DETAIL
SCALE: NTS
DATE: _____



2 TREE STAKING DETAIL
SCALE: NTS
DATE: _____



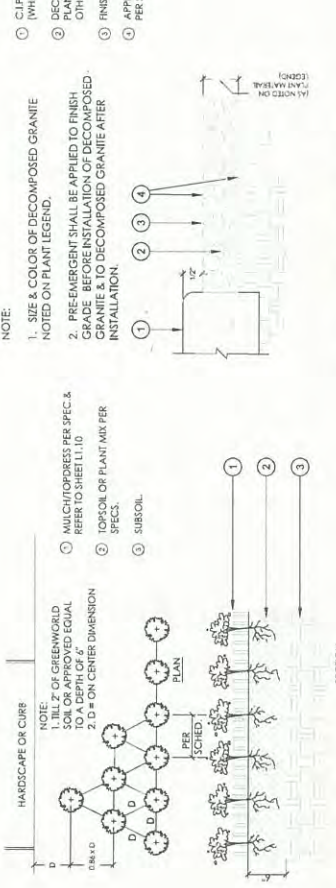
3 SHRUB PLANTING
SCALE: NTS
DATE: _____



4 GROUND COVER PLANTING
SCALE: NTS
DATE: _____



5 DECOMPOSED GRANITE DETAIL
SCALE: NTS
DATE: _____



6 PALM TREE PLANTING
SCALE: NTS
DATE: _____



7 ROOT BARRIER
SCALE: NTS
DATE: _____

NOTES:
1. ALL TREE IDENTIFICATION, TAG-DEWARA, SALVAGE TAGS TO REMAIN ON TREE.
2. 2 MIN-1/2 LUGGE POLE STAKES DRIVEN OUTSIDE FOOTBALL INTO SUBGRADE (18" MIN.) PRIOR TO BACKFILLING AS NECESSARY FOR TRUNK SUPPORT.
3. ALIGN STAKES WITH CURB/EDGE OF HARDSCAPE (TYP.).
4. 2 STRAND TWISTED 19 GA. GAL. WIRE ENCASED IN 1" DIA. RUBBER HOSE.
5. BACKFILL W/ SPECIFIED SOIL MIX PER SPECIFICATIONS - WATER & TAMP TO REMOVE AIR POCKETS.
6. PLANT TABS PER SPECIFICATIONS.
7. SUBSOIL.
8. FINISH GRADE (MULCH).
9. ESCAPE REBES OF PLANTING HOLE TO PREVENT GLAZING.
10. COMPACTED SOIL MIX (90% SPO).
11. 8" WIDE X 5" DEEP AUGER DUG WELL W/ 1/2" DIA-METER CRUSHED ROCK FOR DRAINAGE WHEN IN HARDSPAN CONDITIONS.
12. WATER LEVEL 4" DIA. (RTP).

NOTES:
1. THE FRONTS IN 2 PLACES. REMOVE AFTER NEW GROWTH APPEARS.
2. REMOVE OLDER FRONTS FROM BASE OF CROWN.
3. BOTTOM OF CROWN.
4. FINISH GRADE.
5. 4" PER F.P.V.C. WRAP W/ FILTER FABRIC AND PIPE CAP. FILL W/ CLEAN STONE. 2 PER PALM.
6. PLANT MIN. 1"0" DEEPER THAN ROOT BALL.
7. GRADUALLY SLOPE GRADE TO FORM A 4" DEPRESSION AT TRUNK.
8. TOP OF ROOTBALL.
9. OBSERVATION PIPE. 3" PERE. P.V.C. WRAP W/ FILTER FABRIC AND PIPE CAP.
10. COMPACTED SOIL MIX.
11. SCARIFY SIDES OF PLANTING HOLE TO PREVENT GLAZING.

NOTE:
1. SIZE & COLOR OF DECOMPOSED GRANITE NOTED ON PLANT LEGEND.
2. PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE BEFORE INSTALLATION OF DECOMPOSED GRANITE & TO DECOMPOSED GRANITE AFTER INSTALLATION.

NOTE:
1. 1. 1/2" Z" OF GREENWORLD SOIL OR APPROVED EQUAL REFER TO SHEET L1.10
2. 2. 2" D. 4" ON CENTER DIMENSION
3. PER SCHED. PLAN

NOTE:
1. 1. 1/2" Z" OF GREENWORLD SOIL OR APPROVED EQUAL REFER TO SHEET L1.10
2. 2. 2" D. 4" ON CENTER DIMENSION
3. PER SCHED. PLAN



Fredler Group
Architecture & Engineering
2525 W. Third Street
Los Angeles, CA 90027
(310) 348-7891
fredlergroup.com



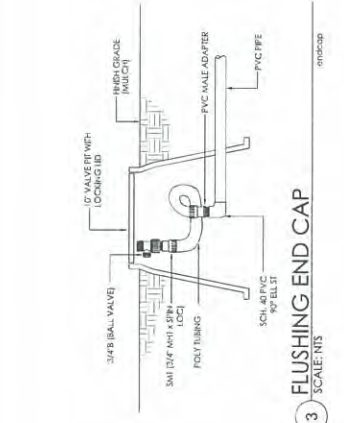
PROPOSED EMISSIONS: 13,000 GPH
TOTAL EMISSIONS: 13,000 GPH
EMITTERS: 13,000 GPH
PLANT TYPE: 13,000 GPH
... [REPEATING] ...

RALPHS #881
NEW 7 M.P.D. CANOPY
NEW 6.0 SLOTTED LINKS
NEW 3.0 SLOTTED LINKS
WIRESROOM
42140 WASHINGTON ST.
BERMUDA DUNES, CA 90303

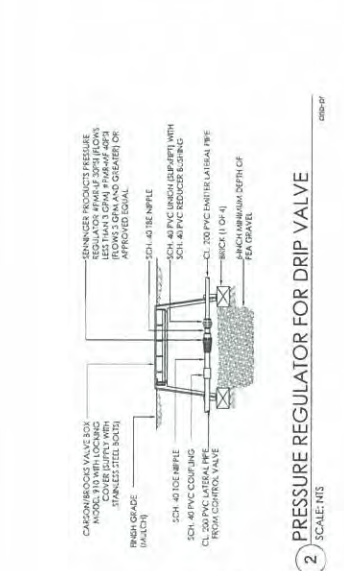
CLIENT	DATE	SCALE
RALPHS #881	10/14/2013	1:5000
PROJECT NO.	13509	
SHEET NO.		

BRIGATION DETAILS
SHEET NO.

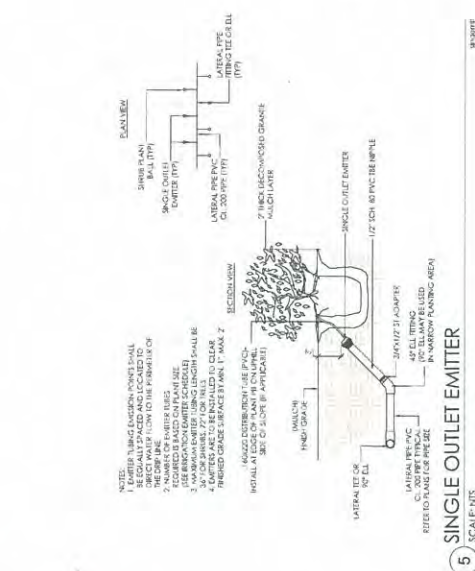
L3.1



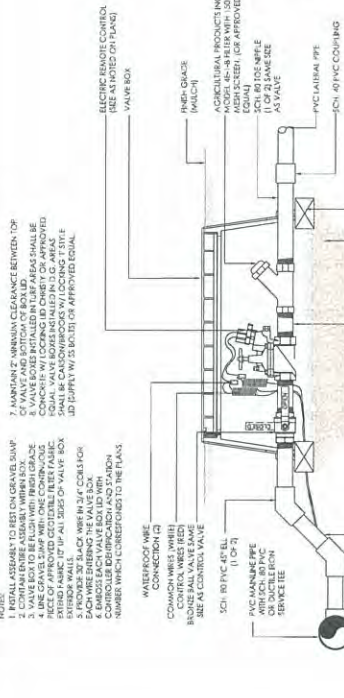
3 FLUSHING END CAP
SCALE: N1S



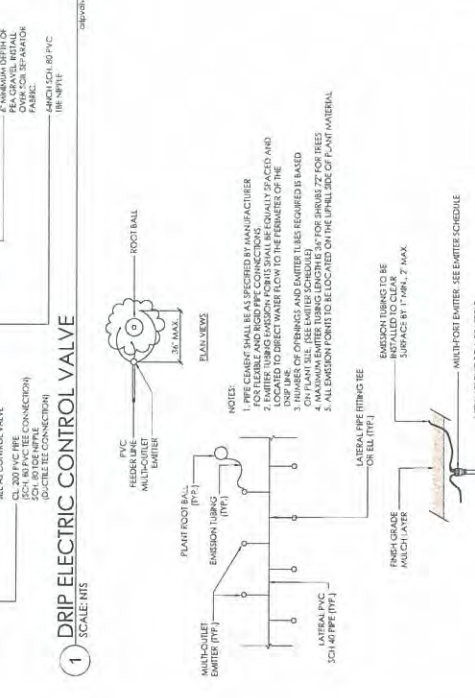
2 PRESSURE REGULATOR FOR DRIP VALVE
SCALE: N1S



4 MULTI-OUTLET EMITTER
SCALE: N1S



1 DRIP ELECTRIC CONTROL VALVE
SCALE: N1S



5 SINGLE OUTLET EMITTER
SCALE: N1S

NOTES:
1. INSTALL ASSEMBLY TO REST ON GRAVEL SURF.
2. CONTAINER ASSEMBLY, WITH BALL SOX,
MUST BE INSTALLED ON GRAVEL SURF.
3. BALL SOX MUST BE INSTALLED IN 3\"/>

NOTES:
1. MULTI-TUBING EMISSION POINTS SHALL
BE EQUALLY SPACED AND LOCATED TO
THE DRIP LINE, WITH A MINIMUM
SEPARATION OF 2\"/>

PIPE SLEEVING CHART
SCALE: N.A.

PPE SIZE	O.D.	SCH. 40 SLEEVE SIZE	I.D.
CL. 315	1/2\"/>		

EMITTER SCHEDULE
SCALE: N1S

PLANT TYPE	EMITTERS PER PLANT	GPH PER OUTLET	NUMBER OF COULERS	TOTAL GPH PER PLANT
INTELS	10	130	4	1300
INTELS	10	130	4	1300
SHRUBS	10	130	4	1300
SHRUBS	10	130	4	1300
GEORCH/GEORCH/VAL	10	130	4	1300

48" Dia Design * 18"
Ralphs #881
Project: L3.1
Sheet: L3.1
Date: 10/14/2013

papayan@papayan.com

emittertech

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42599
Project Case Type (s) and Number(s): Plot Plan No. 25376
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Paul Rull
Telephone Number: (951) 955-0972
Applicant's Name: Fiedler Group
Applicant's Address: 2322 W. 3rd Street, Los Angeles CA 90057

I. PROJECT INFORMATION

A. Project Description: To demolish an existing 5,040 sq.ft. building and establish a gas station which includes a 5,418 sq.ft. fueling canopy, 178 sq.ft. service kiosk building, 7 fueling pumps dispensers, and 2 underground storage fuel tanks on 0.67 gross acres within an existing Ralphs shopping center. There are no concurrent beer and wine sales allowed.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 0.67 gross acres

Residential Acres:	Lots:	Units:	Projected No. of Residents:
Commercial Acres: 0.67	Lots:	Sq. Ft. of Bldg. Area: 178	Est. No. of Employees: 2
Industrial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other:			

D. Assessor's Parcel No(s): 609-020-044

E. Street References: Northerly of Hidden River Road, easterly of Washington Street, southerly of 42nd Avenue, and westerly of Yucca Lane.

F. Section, Township & Range Description or reference/attach a Legal Description:
Township 5 South, Range 7 East, Section 18

1. **Brief description of the existing environmental setting of the project site and its surroundings:** This project site consists of an existing but abandoned retail commercial building (Blockbusters Video) located within an existing commercial shopping center. The proposed project will demolish the Blockbusters Video building and establish a gas station which includes a 5,418 sq.ft. fueling canopy, 178 sq.ft. service kiosk building, 7 fueling pumps dispensers, and 2 underground storage fuel tanks. The project is located in an urbanized area of Bermuda Dunes with surrounding land uses consisting of golf course country club, commercial retail center, apartment complexes, and single family residences. The City of Palm Desert is located on the opposite side of Washington Street to the west of the project.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The proposed project meets the requirements of the Community Development: Commercial Retail General Plan Land Use designation. The proposed project meets all other applicable land use policies.

2. **Circulation:** The project has adequate circulation to the site with paved streets including Washington Street. Therefore, it is consistent with the Circulation Element of the General Plan. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project has allowed for sufficient provision of emergency response services to the customers and employees. The proposed project meets with all other applicable Safety element policies.
5. **Noise:** The proposed project will permanently increase the ambient noise levels in the project vicinity compared to existing levels without the project being submitted (currently an abandoned Blockbuster Video store). However sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
6. **Housing:** The proposed project is not subject to Housing Element Policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all applicable Air Quality Element policies.

B. General Plan Area Plan(s): Western Coachella Valley Area Plan

C. Foundation Component(s): Community Development

D. Land Use Designation(s): Commercial Retail

E. Overlay(s), if any: Not Applicable

F. Policy Area(s), if any: Not Applicable

G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any: The project site is surrounded by properties which are located within the Western Coachella Valley Area Plan and designated Commercial Retail, Very Low Density Residential, Medium Density Residential and High Density Residential. Also the City of Palm Desert is located on the opposite side of Washington Street west of the project.

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** Not Applicable

2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable

I. Existing Zoning: Scenic Highway Commercial

J. Proposed Zoning, if any: Not Applicable

K. Adjacent and Surrounding Zoning: The project site is surrounded by properties which are zoned Scenic Commercial Highway, One-Family Dwelling and General Residential. Also the City of Palm Desert is located on the opposite side of Washington Street west of the project.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED

I find that the proposed project **COULD NOT** have a significant effect on the environment, and a **NEGATIVE DECLARATION** will be prepared.

I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A **MITIGATED NEGATIVE DECLARATION** will be prepared.

I find that the proposed project **MAY** have a significant effect on the environment, and an **ENVIRONMENTAL IMPACT REPORT** is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

January 13, 2014

Date

Paul Rull, Project Planner

Printed Name

For Juan C. Perez, Interim Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

- a) The project site is located within the urbanized areas of Bermuda Dunes. There are no scenic highways in the general vicinity. The project will have a less than significant impact on scenic highway corridors.
- b) The project site is located within the urbanized developed areas of Bermuda Dunes. There are no scenic resources in the general vicinity as the surrounding land uses has been developed as single and multifamily residences, a country club golf course, commercial retail and roads. The project site itself is located within an existing developed shopping center. There are no scenic resources located on the project site. The project will have a less than significant impact on scenic highway corridors.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
2. Mt. Palomar Observatory				
	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) The project site is located approximately 41.91 miles from Mt. Palomar Observatory and is within the Zone B boundaries of Ordinance No. 655. It has the potential to interfere with the Observatory. The project is required to comply with Ordinance No. 655 of the Riverside County Standards and Guidelines. The purpose of Ordinance NO. 655 is to restrict the use of certain light fixtures emitting into the night sky that can create undesirable light rays and detrimentally affect astronomical observations and research. Ordinance No. 655 mandates that all outdoor lighting, aside from street lighting, be low to the ground, shielded or hooded in order to obstruct shining onto adjacent properties and streets. These requirements are considered standards and not mitigation for CEQA purposes; therefore, less than significant impacts are anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
3. Other Lighting Issues				
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Description

Findings of Fact:

a) The project could create a new source of light, however, any new source of light is not anticipated to reach a significant level due to the size, scope and surrounding lighted uses in the developed urban area of Bermuda Dunes. The source of light created from the project would be primarily from the gas station canopy, however this is facing downwards and will not adversely affect nighttime views in the sky. Additionally, any existing or new lighting is conditioned to be hooded and facing downwards thereby reducing any lighting impacts (Condition of Approval 10.PLANNING.7). Impacts would be less than significant.

b) The nearest residential neighborhood is located east of the project and behind the Ralphs commercial shopping building. There is already an existing amount of light created by the Ralphs shopping center as well as light generated from all the existing residential and commercial uses in the area. Light creation from the project will be less than significant as it will not significantly impact this residential neighborhood. The Ralphs grocery building will act

as a buffer and shield the neighborhood from most of the light created from by the project. Impacts to light levels are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AGRICULTURE & FOREST RESOURCES Would the project				
4. Agriculture	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials

Findings of Fact:

a-d) The project is not affected by agriculture programs and land use standards of the Riverside County General Plan. The project site is not designated as farmland of "local importance", it is designated as "other lands". The project is not adjacent to, or within 300 feet of agricultural zones (A-1, A-2, CV, A-D and A-P). The project does not involve changes to the existing environment that could result in conversion of Farmland to non-agricultural use. Therefore, there would be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

5. Forest

a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?

b) Result in the loss of forest land or conversion of forest land to non-forest use?

c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The project is not located within the boundaries of a forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)). Therefore, the proposed project will not impact land designated as forest land, timberland, or timberland zoned Timberland Production.

b) According to General Plan, the project is not located within forest land and will not result in the loss of forest land or conversion of forest land to non-forest use; therefore, no impact will occur as a result of the proposed project.

c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AIR QUALITY Would the project				
6. Air Quality Impacts				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2, Greenhouse Gas Study prepared by Rincon Associates dated September 2013

Findings of Fact: The South Coast Air Quality Management District (SCAQMD) is responsible for developing a regional air quality management plan to ensure compliance with state and federal air quality standards. The SCAQMD has adopted the 2012 Air Quality Management Plan (AQMP). The primary implementation responsibility assigned to the County (i.e. local governments) by the 2012 AQMP is the implementation of air quality control measures associated with transportation facilities. This project does not propose any transportation facilities that would require transportation control measures, and therefore will not obstruct implementation of the AQMP.

- a) The 2012 AQMP is based on socio-economic forecasts (including population estimates) provided by the Southern California Association of Governments (SCAG). The County General Plan is consistent with SCAG's Regional Growth Management Plan and SCAQMD's Air Quality Management Plan. This project is consistent with the General Plan Land Use designations, and population estimates. The population proposed by this project will not obstruct the implementation of the 2012 AQMP. Therefore, impacts are considered less than significant.
- b) Air quality impacts would occur during business operations which would majority come from vehicle trips to the proposed gas station. Vehicle trips and the air quality emissions that are associated with them are anticipated to be less than significant due to the fact that the gas station is being located within an existing shopping center, where it is reasonable to assume that a portion of the shoppers will get their gas services from the proposed project. This will lead to a reduction in air quality emissions from the same vehicles having to travel elsewhere to get gas services. In addition, the proposed gas station is comparable to the previous commercial use it is replacing; a Blockbuster Video store. The ITE Trip Generation manual indicates that gas stations and video rental stores have comparable afternoon peak hour rates. In addition, a greenhouse gas study was prepared by Rincon Associates that analyzed the potential vehicle trips created by the project and the associated levels of greenhouse gas. It was determined that the project would generate approximately 913.3 metric tons of carbon dioxide equivalent emissions per year, below the South Coast Air Quality Management District recommended thresholds of significance. The Transportation Department did not require a traffic study as they determined that the project would not significantly increase the traffic in the area based on the use and the existing site infrastructure and road improvements. In addition, the project is consistent with Air Resource Board recommendations of locating gas stations 50 feet from sensitive receptors. The nearest single family residence is approximately 500 feet east of the project behind the existing Ralphs grocery store building. The operational emissions would not exceed SCAQMD thresholds, and therefore, impacts are considered less than significant.
- c) The project will not result in a cumulatively considerable net increase of any criteria pollutant for which the project region is in non-attainment status pursuant to any applicable federal or state ambient air quality standard. Therefore, less than significant impacts are expected.
- d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive

receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools, playgrounds, child care centers, and athletic facilities. Surrounding land uses include existing surface mining facility and vacant land which are not considered sensitive receptors. The nearest residential community is located east of the project behind the existing Ralph grocery building. The project is not expected to generate substantial point-source emissions. The project will not include major transportation facilities or generate significant odors. Therefore, less than significant impacts are expected.

- e) Surrounding uses do not include significant localized CO sources, toxic air contaminants or odors. Therefore, the proposed project will not involve the construction of a sensitive receptor located within one mile of an existing substantial point-source emitter. Therefore, less than significant impacts are expected.
- f) The project will not create objectionable odors affecting a substantial number of people since there are no permanent buildings being established, nor the processing of any materials to create significant and intensive odors. Any impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES Would the project				
7. Wildlife & Vegetation				
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Have a substantial adverse effect on any riparian	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?

f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

Source: GIS database, CV-MSHCP, Environmental Programs Division (EPD) review

Findings of Fact:

- a) The proposed project is not located within the Coachella Valley Multiple Species Habitat Conservation Plan (MSHCP). A review and site visit was done by the Environmental Programs Division of the Planning Department. Their review resulted in a finding that no significant impacts would occur based on the fact the project site is already developed as a commercial center, and the proposed use is not proposing any development beyond the existing developed area footprint. EPD has condition for a nesting bird survey prior to the demolition of the existing Blockbuster Video building to ensure that nesting habitats are not impacted. These requirements are considered standard and not mitigation for CEQA purposes; therefore, less than significant impacts are anticipated. Therefore, the impact is considered less than significant.
- b) The County of Riverside Environmental Programs Division (EPD) did not identify the presence of any endangered or threatened species which are listed in the Title 14 of the California Codes of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12). The project site is already developed as a commercial center, and the proposed use is not proposing any development beyond the existing developed area footprint. Therefore, the impact is considered less than significant.
- c) The County of Riverside Environmental Programs Division (EPD) did not identify the presence of any species listed as sensitive species on California Department of Fish and Wildlife. The project site is already developed as a commercial center, and the proposed use is not proposing any development beyond the existing developed area footprint. Therefore, the impact is considered less than significant.
- d) The site features no natural water bodies or waterways. The project site is already developed as a commercial center, and the proposed use is not proposing any development beyond the existing developed area footprint. Therefore, the impact is considered less than significant.
- e) The County of Riverside Environmental Programs Division (EPD) did not identify the presence of any riparian habitat. The project site is already developed as a commercial center, and the proposed use is not proposing any development beyond the existing developed area footprint. Therefore, the impact is considered less than significant.
- f) The County of Riverside Environmental Programs Division (EPD) did not identify the presence of any federally protected wetlands. There are no waterbodies on the project site except. No impact would occur.

- g) Based on a review by Environmental Programs Division, the project is consistent with all biological policies of the General Plan, the MSHCP, and all other policies that impact the site. The project is consistent with all applicable Ordinances. There are no Oak trees on the site. No impact would occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
CULTURAL RESOURCES Would the project				
8. Historic Resources				
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials, County Archaeologist review

Findings of Fact:

- a) The project was reviewed by the County Archaeologist and it was determined that the project would not alter or destroy an historic site. The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. No historic buildings or sites will be impacted by the project. Therefore, impacts are considered less than significant.
- b) The project was reviewed by the County Archaeologist and it was determined that the project would not cause an adverse change in the significance of historical resources. The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. No resources have been previously identified on this site. In the case of an inadvertent archaeological find, the project has been conditioned to stop all ground disturbance activities and contact the County Archaeologist to discuss the significance of the find (Condition of Approval 10.PLANNING.1). These requirements are considered standard and not mitigation for CEQA purposes Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

		Mitigation Incorporated	Impact	
9. Archaeological Resources		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, County Archaeologist review

Findings of Fact:

- a) The project was reviewed by the County Archaeologist and it was determined that the project would not alter or destroy an archaeological site. The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. No archaeological sites will be impacted by the project. Therefore, impacts are considered less than significant.
- b) The proposed project is not expected to impact archaeological resources. If, however, during any building tenant improvements or ground disturbing activities, unique cultural resources are discovered, all ground disturbances shall halt until a meeting is held between the developer, archaeologist, and Native American representative to discuss the significance of the find (Condition of Approval 10.PLANNING.1). There is minimal grading and resurfacing proposed as part of this project. Therefore, impacts are considered less than significant.
- c) There may be a possibility that tenant improvements and ground disturbing activities will expose human remains. The project is subject to State Health and Safety Code Section 7050.5 if human remains are discovered during ground disturbing activities. Therefore, impacts are considered less than significant.
- d) The project will not restrict existing religious or sacred uses within the potential impact area. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
10. Paleontological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, County Geologist review

Findings of Fact:

- a) According to GIS database, this site has been mapped as having a low potential for paleontological resources. The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. If any paleontological resources are discovered during site development, the project is conditioned to stop earthmoving activities and contact the County Geologist (10.PLANNING.3). These requirements are considered standard and not mitigation for CEQA purposes; therefore, less than significant impacts are anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GEOLOGY AND SOILS Would the project				
11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, Geology Report prepared by Salem Engineering Group date October 28, 2013, County Geologist review

Findings of Fact:

- a-b) According to RCLIS (GIS database), the proposed project is located within an area with relatively high seismicity, although no active faulting exists at the subject site, nor is the project located within 1/2 a mile of a fault. Therefore, the potential for this site to be affected by surface fault rupture is considered low. Therefore impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
12. Liquefaction Potential Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be subject to seismic-related ground failure,	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

including liquefaction?

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", GIS Database, County Geologist review

Findings of Fact:

a) According to the County Geologist, the potential for liquefaction is low to moderate at this site. All potential future buildings improvements shall be constructed in accordance with the California Building Code (CBC). Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
13. Ground-shaking Zone Be subject to strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), County Geologist review

Findings of Fact:

a) There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The proposed development will be required to comply with the latest edition of the California Building Code (CBC 2012) which takes into consideration earthquake risk. This requirement is not considered a unique mitigation for CEQA purposes. Therefore the impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
14. Landslide Risk a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope", Geologist review

Findings of Fact:

a) According to the RCLIS (GIS database) and the Riverside County Geologist, landslides and slope instability/rockfall pose a very low risk. The County Geologist has reviewed the project and determined that no significant impact would occur on the project. The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
15. Ground Subsidence				
a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, County Geologist review

Findings of Fact:

a) According to GIS database, the site is located in an active area susceptible to subsidence. The County Geologist has reviewed the project and determined that no significant impact would occur on the project. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to a less than significant level. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA purposes. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
16. Other Geologic Hazards				
a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, County Geologist review

a) According to the County Geologist, tsunamis and seiching are not potential hazards to the site. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
17. Slopes				
a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

- a) The project proposes minimal grading which may alter the sites natural topography although it is anticipated that it will have a less than significant impact change to the existing topography on the subject site. The grading will follow the natural slopes and not alter any significant elevated topographic features located on the site. Therefore, the impact is considered less than significant.
- b) No slopes with a slope ratio greater than two to one (2:1) (horizontal run: vertical rise) are proposed. The project site is relatively flat and has been fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. The project is required to limit the steepness of slopes to this ratio of 2:1 unless otherwise approved (Condition of Approval 10.BS GRADE.9). This is a standard condition of approval and is, therefore, not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.
- c) No infiltration lines will be disturbed as a result of the project. No infiltration lines currently exist onsite. The project is conditioned to connect to the Coachella Valley Water District sewer facilities. Therefore, the impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
18. Soils				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

Source: General Plan figure S-6 "Engineering Geologic Materials Map", Project Application Materials, Building and Safety Grading review

- a) The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. The result in significant soil erosion or loss of top soil is anticipated to be very minimal. The development of the project site may have the potential to result in soil erosion during grading and construction. Standard conditions of approval have been issued regarding soil erosion that will further ensure protection of public health, safety, and welfare upon final engineering of the project and are no considered mitigation for CEQA implementation purposes (Condition of Approval 10.BSGRADE.7). Therefore, the impacts are considered less than significant.
- b) The expansion potential of the onsite soils is considered low and no special design provisions relative to expansive soils are needed. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to a less than significant level. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA purposes. Therefore, impacts are considered less than significant.
- c) There are no existing septic tank located on the project site, nor is the project proposing any septic tanks. The project will be connecting to the Coachella Valley Water District sewer facilities. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
19. Erosion				
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Flood Control District review, Project Application Materials

Findings of Fact:

- a) The project site is not located near the channel of a river, or stream, or the bed of a lake. The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. Thus the proposed project does not change deposition, siltation or erosion that may modify the channel of a river or stream or bed of a lake. Therefore, impacts are considered less than significant.

- b) The project site is fully developed as a commercial retail center with existing driveaisles, buildings and landscaping. The project will replace an existing Blockbuster Video commercial building with a gas station. The project may result in an increase in water erosion on or off site. The Building and Safety Department has provided standard conditions of approval to ensure erosion impacts are managed to less than significant level upon final engineering and are not considered mitigation for CEQA implementation purposes (Conditions of Approval 10.BSGRADE.7). Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
20. Wind Erosion and Blowsand from project either on or off site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?				

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

- a) The project site lies within a high wind erosion susceptibility area. The project site is not anticipated to be impacted by blowsand from off site because current levels of wind erosion on adjacent properties that would impact this site are considered less than significant. A condition has been placed on the project to control dust created during grading activities (Condition of Approval 10.BSGRADE.8). This is a standard condition and, therefore, is not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GREENHOUSE GAS EMISSIONS Would the project				
21. Greenhouse Gas Emissions				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project application materials, Greenhouse Gas Study dated September 2013 prepared by Rincon Associates

Findings of Fact:

- a) A Greenhouse Gas Impact Analysis dated September, 2013, prepared by Rincon Associates for the subject property indicates the project's total annual GHG emissions would be 913.3 metric tons per year (MTY) of CO₂-equivalents (CO₂e). This total is well below the threshold of 3,000 MTY CO₂e for small projects established by the South Coast Air Quality Management District (SCAQMD). The project annual total of 913.3 MTY CO₂e includes both direct (amortized construction, area source and mobile emissions) and indirect (electricity, natural gas, solid waste and water usage) GHG emissions. Hence, the project would not result in significant generation of greenhouse gases, either directly or indirectly, and would not have a significant impact on the environment due to greenhouse gas emissions.

- b) The project is consistent with the Riverside County General Plan's land use designation (Community Development: Commercial Retail) for the site with the proposed General Plan Amendment associated with the project. Hence the project does not represent development in excess of the State's "Business As Usual" (BAU) scenario. Further, the project would be subject to a variety of measures that would reduce the project's greenhouse gas emissions to below the BAU level. These measures include the following:
 - a. Compliance with all applicable policies, measures and regulations promulgated through, or as a result of, AB 32, California's "Global Warming Solutions Act of 2006," including measures outlined by the California Air Resources Board in their *Climate Change Scoping Plan* (December 2008) for AB 32 implementation.

 - b. Compliance with County Ordinance No. 859, *Water-Efficient Landscaping Standards*.

As a result of implementation of, and compliance with, the above measures, the project would further reduce greenhouse gas emissions below that expected for a business-as-usual project, consistent with the policies and plans of the County and the State, AB 32 in particular. These measures ensure the project would not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions, and that this project's affect on the attainment of these plans is less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HAZARDS AND HAZARDOUS MATERIALS Would the project				
22. Hazards and Hazardous Materials				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

- a) Development of the proposed project may increase the use and disposal of such gas station related substances as gas, oils etc. The proposed project is consistent with the Scenic Highway Commercial zone. This zone permits for certain land uses which might use hazardous materials. The proposed gas station will involve handling and transporting gasoline to the site. Existing state and federal laws restrict and control the transport and storage of gasoline. The management of such hazardous materials is also subject to the Department of Environmental Health (EHS) policies. The EHS Department has incorporated several conditions related to hazardous materials including reviews for the underground fuel storage tanks, the requirement for a business emergency plan for the storage of hazardous materials, and further review for any other additional environmental health issues that may arise (90.E HEALTH.1, 90.E HEALTH.2, 90.E HEALTH.3, 90.E HEALTH.4). These are standard conditions for gas stations and, therefore, are not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.
- b) The proposed project is not anticipated to create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. The EHS Department has incorporated several conditions related to hazardous materials including reviews for the underground fuel storage tanks, the requirement for a business emergency plan for the storage of hazardous materials, and further review for any other additional environmental health issues that may arise (90.E HEALTH.1, 90.E HEALTH.2, 90.E HEALTH.3, 90.E HEALTH.4). These are standard conditions for gas stations and, therefore, are not considered unique mitigation pursuant to CEQA. Therefore, less than significant impacts are expected.
- c) The proposed project will not impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan. The project allows for adequate emergency access. Therefore, less than significant impacts are expected.
- d) There are no existing or proposed schools within 1/4 mile from the project site. Therefore, less than significant impacts are expected.
- e) The proposed project is not located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, would not create a significant hazard to the public or the environment. Therefore, less than significant impacts are expected.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
23. Airports				
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database, Airport Land Use Commission review

a-d) The project site is located within Zone E of the Bermuda Dunes Airport Influence Area. A review by the Airport Land Use Commission (ALUC) dated September 23, 2013, determined that the project was consistent with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan subject to ALUC's conditions (Condition of Approval 10.PLANNING.31). These are standard conditions for gas stations and, therefore, are not considered unique mitigation pursuant to CEQA. As such the project will not be a safety hazard for people residing or working in the project area. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
24. Hazardous Fire Area				
a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) The project site is not located in a high fire area. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project				
25. Water Quality Impacts				
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

- a) The topography of the area consists of urbanized developed land. The project site is located within an existing shopping center that has been graded and constructed with sidewalks, landscaping and asphalt paving. The project is not anticipated to substantially alter the existing drainage patterns of the project site. There are minimal grading activities being proposed by the project that could potentially alter existing drainage patterns. The entire commercial center has been previously graded and improved with asphalt and concrete sidewalks, and designed

mitigate onsite flows. The proposed project will continue to be consistent with the overall drainage pattern and design for the shopping. Therefore, impacts are considered less than significant.

- b) The proposed project will not violate any water quality standards or waste discharge requirements. BMPs minimizing urban runoff, minimizing the impervious footprint, conserving natural areas, and minimizing directly connected impervious areas have been conditioned as part of the project (Condition of Approval 10.FLOOD.16). These are standard conditions for gas stations and, therefore, are not considered unique mitigation pursuant to CEQA. Therefore, impacts are considered less than significant.
- c) Water service is provided by the Coachella Valley Water District. The proposed project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted). Therefore, impacts are considered less than significant.
- d) The project will not contribute to additional polluted runoff water as there is minimal grading and resurfacing expected. However, the project will not exceed the capacity of existing or planned stormwater drainage systems. The project provides for adequate drainage facilities and/or appropriate easements. Therefore, the impact is considered less than significant.
- e) The proposed project will not place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map. Therefore, impact is less than significant.
- f) The project does not contain structures within a FEMA 100-year flood hazard area which would impede or redirect flood flows. Therefore, the impact is considered less than significant.
- g) The proposed project is not anticipated to substantially degrade water. There are minimal grading activities and construction activities being proposed that could potentially degrade water quality. BMPs minimizing urban runoff, minimizing the impervious footprint, conserving natural areas, and minimizing directly connected impervious areas have been conditioned as part of the project (Condition of Approval 10.FLOOD.16). The underground fueling tanks will be reviewed and permitted up to codes from the Hazardous Materials Division which will reduce the likelihood of it impacting water quality (90.EHEALTH.1). These are standard conditions for gas stations and, therefore, are not considered unique mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.
- h) The site has existing drainage infrastructure as part of its design and construction of the overall commercial retail center. Therefore, the proposed project does not include the construction of new or retrofitted storm water Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands). Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

Potentially Significant Impact	Less than Significant with	Less Than Significant	No Impact
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	Mitigation Incorporated	Impact
26. Floodplains		
Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.		
NA - Not Applicable <input checked="" type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

- a) The topography of the area consists of urbanized developed land. The project site is located within an existing shopping center that has been graded and constructed with sidewalks, landscaping and asphalt paving. The project is not anticipated to substantially alter the existing drainage patterns of the project site. There are minimal grading activities being proposed by the project that could potentially alter existing drainage patterns. The entire commercial center has been previously graded and improved with asphalt and concrete sidewalks, and designed mitigate onsite flows. The proposed project will continue to be consistent with the overall drainage pattern and design for the shopping. Therefore, impacts are considered less than significant.
- b) It is not anticipated that offsite flows will be substantially affected by implementation of the proposed project due to existing drainage improvements. Therefore, the impact is considered less than significant.
- c) The proposed project would not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam due to the existing drainage improvements. In addition, the project site is not located in an area susceptible to the impacts of the failure of a levee or dam. Therefore, impacts are considered less than significant.
- d) The proposed project is not expected to change the amount of surface water in any body of water. There is no natural water body located on the project site. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
LAND USE/PLANNING Would the project				
27. Land Use				
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database, Project Application Materials

Findings of Fact:

- a) The project would not result in a substantial alteration of the present land use of the area. The proposed gas station is replacing an existing Blockbuster Video building, with both uses being consistent with the Community Development: Commercial Retail (CD: CR) land use designation. In addition, both existing and proposed use are consistent with the surrounding commercial-retail uses within the existing shopping center, and with the commercial-retail uses in the surrounding vicinity. Therefore, impacts are considered less than significant.
- b) The project is located within the Sphere of Influence (SOI) of the City of Palm Desert. However, no comments have been received from the city as of the writing of this document based on transmittals sent by the county. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
28. Planning				
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

- a) The project is consistent with the site's existing Scenic Highway Commercial (C-P-S) zone due to the service-commercial nature of the project. Therefore, impacts are considered less than significant.
- b) The project is consistent with the existing surrounding zoning of Scenic Highway Commercial (C-P-S), One-family Dwelling (R-1) and General Residential (R-3) due to the service-commercial nature of the project. Therefore, impacts are considered less than significant.
- c) The project is located within an urbanized developed area of Bermuda Dunes with existing commercial-retail and residences in the surrounding vicinity. The proposed gas station is consistent and compatible with both commercial-retail and residential uses. Therefore, impacts are considered less than significant.
- d) The project is consistent with the land use designations of Community Development: Commercial Retail (CD: CR), and also compatible with the surrounding land use designations in the vicinity including Community Development: Medium Density Residential (CD: MDR) and Community Development: High Density Residential (CD: HDR) due to the service-commercial nature of the project. Therefore, impacts are considered less than significant.
- e) The project will not disrupt or divide the physical arrangement of an established community. The project is located within an existing developed shopping center and will be located approximately on the same development footprint as the existing Blockbuster Video building. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
MINERAL RESOURCES Would the project				
29. Mineral Resource				
a. Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

- a) The project area has not been used for mining. The project is located within an existing developed shopping center and will be located approximately on the same development footprint as the existing Blockbuster Video building. Therefore, the project would not result in the loss of availability of a known mineral resource in an area classified or designated by the State that would be of value to the region or the residents of the State. Therefore, impacts are considered less than significant.
- b) The project site has not been used for mineral resources. The project is located within an existing developed shopping center and will be located approximately on the same development footprint as the existing Blockbuster Video building. Therefore, the project will not result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan. Therefore, impacts are considered less than significant.
- c) Surrounding the project site are existing commercial-retail and residential uses. There are no existing surface mines surrounding the project site; therefore the project is compatible with the surrounding uses and will not be located adjacent to a State classified, designated area, or existing surface mine. Therefore, impacts are considered less than significant.
- d) The project site is not located adjacent or near an abandoned quarry mine; therefore, the project will not expose people or property to hazards from quarry mines. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map, Staff review

Findings of Fact:

- a) The proposed project site is located within the Bermuda Dunes Airport Compatibility Zone B. Based on the review by the Industrial Hygiene Department, and the location of the project surrounded by existing commercial-retail uses, the project will not expose people residing on the project site to excessive noise levels related to air traffic. Therefore, impacts are considered less than significant.
- b) The project site is located within 2 miles of the Bermuda Dunes airport. However, based on the review by the Industrial Hygiene Department, and the location of the project surrounded by existing commercial-retail uses, the project will not expose people residing on the project site to excessive noise levels related to air traffic. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

					Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
31. Railroad Noise								
NA	A	B	C	D	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: The proposed project is not located in the immediate vicinity of any railroads. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

					Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
32. Highway Noise								
NA	A	B	C	D	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact: The proposed project is not located in the immediate vicinity of any highways. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
33. Other Noise				
NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, GIS database

Findings of Fact: No additional noise sources have been identified near the project site that would contribute a significant amount of noise to the project. Therefore, there will be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
34. Noise Effects on or by the Project				
a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

- a) A noise study was not required by the Industrial Hygiene Department due to the extensive distance of the nearest sensitive receptors and surrounding zoning and uses. The project will not create a substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project. The proposed gas station will not substantially increase ambient noise levels. Therefore, impacts are considered less than significant.

- b) The proposed project may create a substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project based on events and activities which are temporary. The project will be consistent with the County Noise Ordinance No. 847, therefore, impacts are considered less than significant.
- c) The proposed project will not expose people to or generate noise levels in excess of standards established in the local general plan, noise ordinance (County Ordinance No. 847), or applicable standards of other agencies. Exterior noise levels will be limited to less than or equal to 45 dB(A) 10-minute LEQ between the hours of 10:00 p.m. to 7:00 a.m., and 65 dB(A) at all other times pursuant to County Ordinance No. 847 (Condition of Approval 10.E HEALTH.2). Therefore, impacts are expected to be less than significant.
- d) The proposed project will not expose people to or generate excessive ground-borne vibration or ground-borne noise levels. Therefore, impacts are expected to be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
POPULATION AND HOUSING Would the project				
35. Housing				
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The proposed project will not displace any existing residences due to the existing developed project site location of commercial-retail buildings and uses. Therefore, there is no impact.

- b) The proposed project would not create a demand for additional housing due to the commercial service nature of the project. Therefore, there is no impact.
- c) The project site will not displace substantial numbers of people due to commercial service nature of the project, necessitating the construction of replacement housing elsewhere.
- d) The project is not located within or near a County Redevelopment Project Area.
- e) The project would permit and existing business with approximately two (2) employees. This population increase will not exceed official regional or local population projections.
- f) The project will not induce substantial population growth in an area since the business already exists and is limited to approximately two (2) employees. Any impacts would be less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
36. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Safety Element

Findings of Fact:

The proposed gas station will have a less than significant impact on the demand for Fire services. Prior to the issuance of a certificate of occupancy, the applicant shall comply with the provisions of Ordinance 659.10 which requires payment of the appropriate fees related to the funding and construction of facilities necessary to address the direct cumulative environmental effect generated by new development projects (Condition of Approval 90.PLANNING.32). With compliance to Ordinance No 659.10, impacts to Fire services are viewed as less than significant.

Additionally, the project will not result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities. As such, this project will not cause additional construction that would result in any significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
37. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

The Riverside County Sheriff's Department (RCSD) provides law enforcement and crime prevention services to the project site. Similar to fire protection services, the proposed project will incrementally increase the demand for sheriff services in the project area; however, due to its scope and location, the proposed project will not create a less than significant impact on sheriff services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
38. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database

Findings of Fact:

The Desert Sands Unified School District provides public education services for the project area. The applicant of this project may be conditioned to pay the school impact fees as set by State Law. Fees are required to be paid prior to issuance of any future building permits. Therefore, with payment of school fees the potential impact is mitigated to a less than significant level.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
39. Libraries	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

The proposed project will not create an incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
40. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

The project will not create a significant additional need for additional health services. However, these types of services are normally user fee or tax-supported services. No shortage in the provision of health care service is expected as a result of the proposed project. The proposed project will not have a significant impact on health services and no mitigation measures are required.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

RECREATION

41. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

- a) The scope of the proposed project does not involve the construction or expansion of recreational facilities that would have an adverse physical effect on the environment since the land is part of an existing business park. Therefore, there is no impact.
- b) The proposed use is not anticipated to generate impacts to nearby parks or recreational facilities. Therefore, there would be no impact.
- c) The project is not subject to Quimby fees at this time since no subdivision is proposed. Thus, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
42. Recreational Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact: The General Plan does not identify a Class I Bikeway/Regional Trail in this area, therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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TRANSPORTATION/TRAFFIC Would the project

43. Circulation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

- a) The proposed project replace an existing Blockbuster Video building with a gas station will not significantly impact vehicular traffic in the vicinity. The Transportation Department did not require a traffic study or street widening for the proposed project due to existing street improvements. However, they did condition for improvements on the westerly driveway on 42nd Avenue for a redesign of the driveway for safety and circulation reasons (Condition of Approval 90.TRANS.5). The Institute of Transportation Engineers Trip Generation Manual indicates that both the existing Blockbuster Video use and the proposed gas station project have similar peak time traffic volumes, thus having less than significant impact on traffic. The project will not cause an increase in traffic which is substantial in relation to the existing traffic loads and capacity of the street system subject to road dedications and improvements. Nor will the project conflict with any County policy regarding mass transit. The project also submitted an internal circulation plan showing the internal vehicle pathways throughout the site which was used in the proposed project site design and layout. The internal circulation plan was reviewed by both Planning and Transportation Department and was determined that the internal circulation with the proposed project will not have a substantial impact on vehicle traffic circulation. Therefore, impacts are considered less than significant.
- b) The project site meets all parking requirements of Ordinance No. 348 Section 18.12 "Off-street parking". The project will not conflict with an applicable congestion management plan.
- c) The proposed project is located within the Bermuda Dunes Airport Influence Area. However, the project will not change air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks. Therefore, there is no impact.
- d) The proposed project is not located near water, rail or air traffic and therefore will not alter any water, rail or air traffic. Therefore, there is no impact.

- e) The proposed project will not substantially increase hazards to a design feature. In fact, the project is seeking to redesign the existing driveway on 42nd Avenue to help improve public health and safety (Condition of Approval 90.TRANS.5) regarding the shopping center's egress and ingress. Therefore, impacts are considered less than significant.
- f) The roads adjacent to the project (Washington Street and 42nd Avenue) has already been constructed and improved. The project will cause a slight increase in the population of the area, thus creating an increase in maintenance responsibility. A portion of property taxes are provided to the Community Services District to offset the increased cost of maintenance. Therefore, there is a less than significant impact.
- g) It is not anticipated that there will be a substantial effect upon circulation during the proposed project's construction. Most of the street improvements on Washington Street and 42nd Avenue have already been completed. The project has been conditioned to improve the westerly driveway on 42nd Avenue which will require a temporary detour to the other driveways within the commercial center during construction. Construction of the project site will also not substantially impact the internal circulation of the project as motorists can use detour the area using alternative driveaisles. Therefore, the impact is considered less than significant.
- h) The project will not result in an inadequate emergency access or access to nearby uses. The shopping center has currently five driveways accessing 42nd Avenue and Washington Street. The project site will have sufficient points of access from any of these five driveways as well as internally via internal driveaisles. Therefore, the impact is considered less than significant.
- i) The proposed project will not conflict with adopted policies supporting alternative transportation (e.g. bus turnouts, bicycle racks). Bicycle racks will be provided at the Ralphs grocery store. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact: The project is not located adjacent to or nearby any designated bike trails. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: Department of Environmental Health Review

- a) The proposed project is served by Coachella Valley Water District. It is not anticipated that the proposed project will require the construction of new water treatment facilities as there is only one permanent fixture (restroom) being proposed. Therefore, impacts are considered less than significant.
- b) The project is served by Coachella Valley Water District. Therefore, it is anticipated that the project will have sufficient water supplies available and would not require new or expanded entitlements to serve the project. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
46. Sewer				
a. Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review

Findings of Fact:

- a) The proposed project is served by Coachella Valley Water District. It is not anticipated that the proposed project will require the construction of new wastewater treatment facilities as there is only one permanent fixture (restroom) being proposed. Therefore, impacts are considered less than significant.
- b) The proposed project is served by Coachella Valley Water District. It is anticipated that the project will have sufficient water supplies available and would not require new or expanded entitlements to serve the project. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
47. Solid Waste				
a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) The project will not generate significant amounts of waste. Some minor construction is planned with the tenant improvement including the kiosk building/ and restrooms. The project will be served by Riverside County. The proposed project will not require nor result in the construction of new landfill facilities, including the expansion of existing facilities, and does comply with all legislation related to solid wastes. Therefore, impacts are less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
48. Utilities				
Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?				
a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a-g) No letters have been received eliciting responses that the proposed project would require substantial new facilities or expand facilities. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
49. Energy Conservation				
a) Would the project conflict with any adopted energy conservation plans?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a) The proposed project will not project conflict with any adopted energy conservation plans. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

- Earlier Analyses Used, if any: SCAQMD CEQA Air Quality Handbook
- GP: Riverside County General Plan
- RCLIS: Riverside County Land Information System

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92505

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3,

21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is to demolish an existing 5,040 sq.ft. building and establish a gas station which includes a 5,418 sq.ft. fueling canopy, a 178 sq.ft. service kiosk building, 7 fueling pump dispensers, and 2 underground storage fuel tanks on 0.67 gross acres within an existing Ralphs shopping center. There are no concurrent beer and wiles sales allowed.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

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10. GENERAL CONDITIONS

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 25376 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 25376,
Exhibit A, Amended No.1, dated 12/6/13.
Exhibit B and C, Amended No.1, dated 12/6/13
Exhibit G, Amended No.1, dated 12/6/13
Exhibit L, Amended No.1, dated 12/6/13
Exhibit S, Amended No.1, dated 12/6/13

10. EVERY. 4 USE - 90 DAYS TO PROTEST RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

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10. GENERAL CONDITIONS

10.BS GRADE. 6

USE - NPDES INSPECTIONS

RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is

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10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.) RECOMMND

required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

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10. GENERAL CONDITIONS

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK

RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC):
Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit. The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building or structure.

In non-residential applications, separate building permits may include a permit for the structure (Shell building), signage, grading, tenant improvements, accessory structures and/or equipment, which may include trash enclosures, light standards, block walls/fencing etc.

A demolition permit from the building department shall be obtained prior to the demolition of the existing Blockbuster building facility.

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

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10. GENERAL CONDITIONS

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.) RECOMMND

ACCESSIBLE PATH OF TRAVEL:

The building department plan submittal shall include a site plan providing all required continuous accessible path of travel details. The site plan shall include the following information for the required continuous paved accessible path of travel:

- 1.Connection to the public R.O.W.
- 2.Connection to all buildings, and/or structures.
- 3.Connection to accessible designed fuel station.
- 4.Connection to accessible designed trash enclosures.
- 5.Connection to kiosks.
- 6.Connection to accessible parking loading/unloading areas.

THE DETAILS SHALL INCLUDE:

- 1.Accessible path construction type (Concrete or asphalt)
- 2.Path width.
- 3.Path slope%, cross slope%.
- 4.Ramp and curb cut-out locations.
- 5.Level landing areas at all entrance and egress points.

E HEALTH DEPARTMENT

10.E HEALTH. 1 CVWD WATER AND SEWER SERVICE RECOMMND

The subject property is currently receiving potable water service and sanitary sewer service from Coachella Valley Water District (CVWD). It is the responsibility of this facility to ensure that all requirements to continue receiving potable water and sanitary sewer service are met with CVWD as well as all applicable agencies.

10.E HEALTH. 2 INDUSTRIAL HYGIENE-COMMENTS RECOMMND

A noise study is not required based upon the submitted diagrams, surrounding zoning, and distance of sensitive receivers. However, they still need to follow:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library or nursing home", must not exceed the following worst-case noise levels: 45 dB(A) - 10 minute noise equivalent level ("leq"), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB(A) - 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard).
2. Whenever a construction site is within one-quarter (1/4)

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10. GENERAL CONDITIONS

10.E HEALTH. 2 INDUSTRIAL HYGIENE-COMMENTS (cont.) RECOMMND

of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exceptions to these standards shall be allowed only with the written consent of the building official.

3. All construction vehicles, equipment fixed or mobile shall be equipped with properly operating and maintained mufflers.

4. During construction, best efforts should be made to locate stockpiling and/or vehicle staging area as far as practicable from existing residential dwellings.

Please contact Industrial Hygiene if you have any questions at (951) 955-8982.

FIRE DEPARTMENT

10.FIRE. 1 SP-#01B-INDIO RESPONSIBILITY RECOMMND

It is the responsibility of the recipient of these Fire Department conditions to forward them to all interested parties. The building permit number is required on all correspondence from general contractor, superintendent, owner, subcontractors, etc.

Any questions contact the Riverside County Fire Department, Planning 77933 Las Montanas Rd.Ste.201,Palm Desert, CA 92211. Phone (760) 863-8886 Fax (760) 863-7072.

10.FIRE. 2 SP-#47 SECONDARY ACCESS RECOMMND

In the interest of Public Safety, the project shall provide an Alternate or Secondary Access(s) as stated in the Transportation Department Conditions. Said Alternate or Secondary Access(s) shall have concurrence and approval of both the Transportation and Fire Departments and shall be maintained through out any phasing.

10.FIRE. 3 SP-#86-WATER MAINS RECOMMND

All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the

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10. GENERAL CONDITIONS

10.FIRE. 3 SP-#86-WATER MAINS (cont.) RECOMMND

appropriate sections of Riverside County Ordinance 460 and/or No.787, subject to the approval by the Riverside County Fire Department.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP-INADVERTENT ARCHAEO FIND RECOMMND

INADVERTENT ARCHAEOLOGICAL FIND

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, cultural resources* are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed:

1.All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist**, and the County Archaeologist to discuss the significance of the find.

2The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

3At the meeting, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.

* A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

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10. GENERAL CONDITIONS

10.PLANNING. 1 MAP-INADVERTENT ARCHAEO FIND (cont.) RECOMMND

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and continue monitoring of all future site grading activities as necessary.

10.PLANNING. 2 MAP-IF HUMAN REMAINS FOUND RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:
The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and convene a meeting with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to a meeting between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 3 USE - LOW PALEO RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil

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10. GENERAL CONDITIONS

10.PLANNING. 3

USE - LOW PALEO (cont.)

RECOMMND

remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains

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10. GENERAL CONDITIONS

10.PLANNING. 3 USE - LOW PALEO (cont.) (cont.)

RECOMMND

will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet.

8.The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

10.PLANNING. 4 USE - GEO02337

RECOMMND

County Geologic Report (GEO) No. 2337, submitted for this project (PP25376) was prepared by Salem Engineering Group, Inc. and is entitled: "Geotechnical Engineering Investigation, proposed Fuel Center at Food 4 Less Store No. 315, 42140 Washington Street, Bermuda Dunes, California", dated April 30, 2013. In addition, Salem prepared "Report Addendum and Response to Comments, Geotechnical Engineering Investigation, Proposed Fuel Center at Ralphs Store No. 681, 42140 Washington Street, Bermuda Dunes, California", dated October 28, 2013. This document is herein incorporated as a part of GEO02337.

GEO02337 concluded:

1.The subject site is considered subject to relatively high seismicity.

2.Active faulting does not exist at the subject site.

3.The site soils have a low potential for liquefaction under seismic conditions.

4.Landslide/slope instability/rock fall issues pose a very low risk.

5.Tsunamis and inundation by seiche are not considered significant hazards.

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10. GENERAL CONDITIONS

10.PLANNING. 4 USE - GEO02337 (cont.)

RECOMMND

6.The site would generally be considered to have a slight potential for hydroconsolidation.

GEO02337 recommended:

1.Disturbed soils within building pad and exterior flatwork areas should be removed and/or recompacted.

2.Undocumented fill materials are not suitable to support any future structures and should be replace with Engineered Fill.

3.Recommendations pertaining to the removal and recompaction of onsite soils are presented in the body of the report.

GEO No. 2337 satisfies the requirement for a fault study for Planning/CEQA purposes. GEO No. 2337 is hereby accepted for Planning purposes. Engineering and other Uniform Building Code parameters were not included as a part of this review or approval. This approval is not intended and should not be misconstrued as approval for grading permit. Engineering and other building code parameters should be reviewed and additional comments and/or conditions may be imposed by the City upon application for grading and/or building permits.

10.PLANNING. 5 USE - COMPLY WITH ORD./CODES

RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 6 USE - FEES FOR REVIEW

RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be

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10. GENERAL CONDITIONS

10.PLANNING. 6 USE - FEES FOR REVIEW (cont.) RECOMMND

accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 7 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 8 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT B and C and the Bermuda Dunes Design Guidelines.

10.PLANNING. 10 USE - HOURS OF OPERATION RECOMMND

Use of the facilities approved under this plot plan shall be 24 hours a day, 7 days a week, and is attended between 5:00 a.m. to 11:00 p.m.

10.PLANNING. 11 USE - BASIS FOR PARKING RECOMMND

Parking for this project was determined primarily on the basis of County Ordinance No. 348, Section 18.12. a.(2).b). The proposed 23 parking stalls are sufficient.

10.PLANNING. 12 USE - LIMIT ON SIGNAGE RECOMMND

Signage for this project shall be limited to the canopy fuel pricing signs and monument signs shown on APPROVED EXHIBIT A. Any additional signage shall be approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 13 USE - NO OUTDOOR ADVERTISING RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

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10. GENERAL CONDITIONS

10.PLANNING. 19 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

10.PLANNING. 23 USE - PREVENT DUST & BLOWSAND RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the State air quality management authorities.

10.PLANNING. 25 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 26 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 28 USE - ORD 875 O S FEE (1) RECOMMND

In accordance with Riverside County Ordinance No. 875, to assist in providing revenue to acquire and preserve open space and habitat, an Open Space Mitigation Fee shall be paid for each development project or portion of an expanded

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10. GENERAL CONDITIONS

10.PLANNING. 28 USE - ORD 875 O S FEE (1) (cont.)

RECOMMND

development project to be constructed in Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

Any area identified as "NO USE PROPOSED" on the APPROVED EXHIBIT shall not be included in the Project Area.

10.PLANNING. 31 USE - ALUC

RECOMMND

1.Any outdoor lighting that is installed shall be hooded or shielded so as to prevent either the spillage of lumens or reflection into the sky, Outdoor lighting shall be downward facing.

2.The following uses shall be prohibited:

a) Any use which would direct a steady light or flashing light of red, white, green or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

c) Any use which would generate smoke or water vapor or which attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, recycling centers containing putrescible wastes, and construction and demolition debris facilities.

d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

3. The attached Notice of Airport in Vicinity shall be provided to all potential tenants and purchasers.

4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the

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10.PLANNING. 31 USE - ALUC (cont.) RECOMMND

retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping. 5. The maximum elevation of the proposed gas station canopy shall not exceed 144.7 feet above mean sea level.

If the above provision cannot be met, the building shall not be constructed until the Federal Aviation Administration Obstruction Evaluation Service has issued a "Determination of No Hazard to Air Navigation" for the building pursuant to the Form 7460-1 process.

10.PLANNING. 33 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 34 USE - NO ALCOHOL SALES RECOMMND

The sale of alcohol is not permitted as part of Plot Plan No. 25376. A Conditional Use Permit is required for the sales of alcohol.

TRANS DEPARTMENT

10.TRANS. 1 USE - NO ADD'L ON-SITE R-O-W RECOMMND

No additional on-site right-of-way shall be required on Washington Street since adequate right-of-way exists.

10.TRANS. 3 USE-LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

1) Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2) Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

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10. GENERAL CONDITIONS

10.TRANS. 3

USE-LC LANDSCAPE REQUIREMENT (cont.)

RECOMMND

3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.

2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.TRANS. 4

USE - DRIVEWAY (42ND AVENUE)

RECOMMND

The existing driveway on 42nd Avenue (westerly to the shopping center) does not meet latest County driveway standard. Therefore, above mentioned driveway shall be removed and replaced with per County Standard 207A. It will be necessary to relocate existing street lights, irrigation lines and landscaping to achieve the reconstruction.

10.TRANS. 5

USE - FLOOD HAZARD RPT

RECOMMND

Plot Plan No. 25376 is a proposal for a gas station facility which include a 5,418 square foot (sf.) fueling canopy, a 178 sf. service kiosk, seven (7) fueling pump, (14) dispensers, and two (2) underground storage tanks. The 0.67 gross acre site is located in the Bermuda Dunes aea, north of Hidden River Road, south of 42nd Avenue, east of Washington Street and west of Yucca Lane.

It should be noted that the Transportation Department's

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10. GENERAL CONDITIONS

10.TRANS. 5 USE - FLOOD HAZARD RPT (cont.)

RECOMMND

review is limited to the water quality aspects. Drainage aspects/impacts will be reviewed by the Coachella Valley Water District.

The development of this site adversely impacts water quality. To mitigate for these impacts, proper design and maintenance of the fueling area are proposed. Additionally, bioretention and catch basins inserts are proposed to address areas outside the proposed canopy. The submittal reflects the general drainage and water quality plan for the development and meets the requirements for the development review process. However, Transportation Department does not accept catch basin inserts, however, catch basin inserts may be allowed as a last resort, but needs to be a part of BMP agreements for the developer to maintain. Fueling dispensing area shall be redesigned to meet the 2 - 4 percent (%) slope requirement. There is adequate area to address these issues in the plan check stage or as approved by the Transportation Department.

10.TRANS. 6 USE - WQMP ESTABL MAINT ENTITY

RECOMMND

This project proposes BMP facilities that will require maintenance by public agency or commercial property owner association. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, Transportation Department will require an acceptable financial mechanism be implemented to provide for maintenance of treatment control BMPs in perpetuity. This may consist of a mechanism to assess individual benefiting property owners, or other means approved by the District. The site's treatment control BMPs must be shown on the project's improvement plans - either the street plans, grading plans, or landscaping plans. The type of improvement plans that will show the BMPs will depend on the selected maintenance entity.

10.TRANS. 7 USE - SUBMIT FINAL WQMP=PRELIM

RECOMMND

In compliance with Santa Ana Region and San Diego Region Regional Water Quality Control Board Orders, and Beginning January 1, 2005, projects submitted within the western region of the unincorporated area of Riverside County for discretionary approval will be required to comply with the Water Quality Management Plan for Urban Runoff (WQMP). The WQMP addresses post-development water quality impacts from

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10. GENERAL CONDITIONS

10.TRANS. 7 USE - SUBMIT FINAL WQMP=PRELIM (cont.) RECOMMND

new development and redevelopment projects. The WQMP requirements will vary depending on the project's geographic location (Santa Ana, Santa Margarita or Whitewater River watersheds). The WQMP provides detailed guidelines and templates to assist the developer in completing the necessary studies. These documents are available on-line at: www.floodcontrol.co.riverside.ca.us under Programs and Services, Stormwater Quality.

To comply with the WQMP a developer must submit a "Project Specific" WQMP. This report is intended to a) identify potential post-project pollutants and hydrologic impacts associated with the development; b) identify proposed mitigation measures (BMPs) for identified impacts including site design, source control and treatment control post-development BMPs; and c) identify sustainable funding and maintenance mechanisms for the aforementioned BMPs. A template for this report is included as 'exhibit A' in the WQMP.

The developer has submitted a report that meets the criteria for a Preliminary Project Specific WQMP. The report will need to be revised to meet the requirements of a Final Project Specific WQMP. Also, it should be noted that if 401 certification is necessary for the project, the Water Quality Control Board may require additional water quality measures.

10.TRANS. 8 USE - BMP MAINTENANCE& INSPECT RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to Transportation Department for review and approval prior to the issuance of occupancy permits.

20. PRIOR TO A CERTAIN DATE

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20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP

RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

30. PRIOR TO ANY PROJECT APPROVAL

FIRE DEPARTMENT

30.FIRE. 1 SP* - ACCESS-EGRESS

RECOMMND

Will need: Fire access and egress. (CFC 2010 Chapt.10)
Seperate tank permit. (Riv.Co.Fire Dept.)
Hydrants spaced according (CFC 2010)

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP

RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB).

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 USE - NPDES/SWPPP (cont.) RECOMMND

The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS (cont.) RECOMMND

of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 13 USE- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 14 USE - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

60.BS GRADE. 15 USE -PM10 PLAN REQUIRED RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit.

1.NOTE: The PM 10 plan shall require the posting of signs in accordance with Building and Safety form "Signage Recommendations".

2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

60.BS GRADE. 17 USE- PM 10 CLASS REQUIRED RECOMMND

Prior to the issuance of a grading permit, as a requirement of the CIP, the owner, developer, contractor, and their assignees must attend the PM10 class conducted by SCAQMD. Currently, classes are scheduled monthly by SCAQMD.

PLANNING DEPARTMENT

60.PLANNING. 2 USE - RECIPROCAL ACCESS PARKIN RECOMMND

Prior to the issuance of a grading permit, reciprocal access and parking agreements shall be reviewed and approved.

60.PLANNING. 7 USE - EXISTING BUILDING DEMO RECOMMND

Prior to grading permit issuance, demolition of the existing Blockbuster Video building shall be completed within the requirements of the Building and Safety Department.

60.PLANNING. 9 USE - CVWD CLEARANCE RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 9 USE - CVWD CLEARANCE (cont.) RECOMMND

Department verifying compliance with the conditions stated in their letter dated September 4, 2013.

TRANS DEPARTMENT

60.TRANS. 1 USE - WATER QUALITY MGMT PLANS RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Transportation Department for review and approval.

60.TRANS. 2 USE - SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to Transportation Department for review. The plans must receive Transportation's approval prior to the issuance of grading permits.

60.TRANS. 3 USE -EROS CNTRL AFTER RGH GRAD RECOMMND

Temporary erosion control measures shall be implemented immediately following rough grading to prevent deposition of debris onto downstream properties or drainage facilities. Plans showing these measures shall be submitted to Transportation Department for review.

60.TRANS. 4 USE - SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to Transportation Department for review and approval.

80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL

RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

PLANNING DEPARTMENT

80.PLANNING. 5 USE - LIGHTING PLANS

RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 6 USE - CONFORM TO ELEVATIONS

RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 6 USE - CONFORM TO ELEVATIONS (cont.) RECOMMND

conformance with the elevations shown on APPROVED EXHIBIT B and C.

80.PLANNING. 7 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT B and C.

80.PLANNING. 8 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

80.PLANNING. 16 USE - PLANS SHOWING BIKE RACKS RECOMMND

Bike rack spaces shall be provided at the Ralphs Grocery store located within the same shopping center as the project.

80.PLANNING. 22 USE - AGENCY CLEARANCE RECOMMND

A clearance letter from the Riverside County Waste Department shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated July 1, 2013.

80.PLANNING. 24 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Desert Sands Unified School District shall be mitigated in accordance with California State law.

TRANS DEPARTMENT

80.TRANS. 1 USE - TUMF RECOMMND

Prior to the issuance of a building permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

80.TRANS. 2 USE - WATER QUALITY MGMT PLANS RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Riverside County Transportation Department for review and approval.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 3

USE-LC LANDSCAPE PLOT PLAN

RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a completed Agreement for Payment of Costs of Application Processing form to the Riverside County Transportation Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping. At minimum, plans shall include the following components:

- 1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;
- 2)Weather-based controllers and necessary components to eliminate water waste;
- 3)A copy of the "stamped" approved grading plans; and,
- 4)Emphasis on native and drought tolerant species.
When applicable, plans shall include the following components:
 - 1)Identification of all common/open space areas;
 - 2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;
 - 3)Shading plans for projects that include parking lots/areas;
 - 4)The use of canopy trees (24" box or greater) within the parking areas;
 - 5)Landscaping plans for slopes exceeding 3 feet in height;
 - 6)Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,
 - 7)If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE: 1) Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 3 USE-LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The Transportation department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Transportation Department shall clear this condition.

80.TRANS. 4 USE - LC LANDSCAPE SECURITY

RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Transportation Department, Landscape Division. Once the Transportation Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

NOTE: A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.TRANS. 5 USE-LC LNDS CP PROJECT SPECIFIC

RECOMMND

In addition to the requirements of the Landscape and Irrigation Plan submittal, the following project specific conditions shall be imposed:

- a. Comply with Coachella Valley Water District Guidelines if applicable.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 6 USE - SUBMIT PLANS RECOMMND

A copy of the improvement plans, grading plans, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to Transportation Department for review. The plans must receive Transportation's approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Flood Control Deposit Based Fee Worksheet and the appropriate plan check fee deposit.

80.TRANS. 7 USE - SUBMIT FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to Transportation Department for review and approval.

90. PRIOR TO BLDG FINAL INSPECTION

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 3 USE - BMP GPS COORDINATES (cont.) RECOMMND

treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Sub-grade inspection prior to base placement.

2.Base inspection prior to paving.

3.Precise grade inspection of entire permit area.

a.Inspection of Final Paving

b.Precise Grade Inspection

c.Inspection of completed onsite storm drain facilities

d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL (cont.) RECOMMND

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT TANKS RECOMMND

Construction plans must be reviewed and approved by the Hazardous Materials Division prior to the installation of the underground storage tank (UST) system. There is a construction fee based on the number of UST's installed. Permits from the Hazardous Materials Division must be obtained for the operation of the UST's prior to occupancy.

90.E HEALTH. 2 USE - HAZMAT REVIEW RECOMMND

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

PLOT PLAN:TRANSMITTED Case #: PP25376

Parcel: 609-020-044

90. PRIOR TO BLDG FINAL INSPECTION

90.E HEALTH. 3 USE - HAZMAT CONTACT RECOMMND

Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

90.E HEALTH. 4 USE - HAZMAT BUS PLAN RECOMMND

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

FIRE DEPARTMENT

90.FIRE. 5 FINAL INSPECTION RECOMMND

Prior to occupancy a Fire Department inspection is required to verify all conditions stated at plan check are met.

Riverside office (951)955-4777
Indio Office (760)863-8886

PLANNING DEPARTMENT

90.PLANNING. 6 USE - PARKING PAVING MATERIAL RECOMMND

A minimum of twenty-three (23) parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 7 USE - ACCESSIBLE PARKING RECOMMND

A minimum of one (1) accessible parking space for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from

PLOT PLAN:TRANSMITTED Case #: PP25376

Parcel: 609-020-044

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 7 USE - ACCESSIBLE PARKING (cont.)

RECOMMND

the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ___ or by telephoning ____."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 20 USE - TRASH ENCLOSURES

RECOMMND

One (1) trash enclosure which is adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with decorative block and landscaping screening and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 26 USE - CONDITION COMPLIANCE

RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

PLOT PLAN:TRANSMITTED Case #: PP25376

Parcel: 609-020-044

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 30 USE - ORD 875 O S FEE (2)

RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP)], whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 875, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 25376 is calculated to be 0.6 net acres. In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 875 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 31 USE - FEE STATUS

RECOMMND

Prior to final building inspection for Plot Plan No. 25376, the Planning Department shall determine the status of the deposit based fees. If there are fees owed to the County, the permit holder shall pay the outstanding balance.

90.PLANNING. 32 USE - ORD NO. 659 (DIF)

RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project

PLOT PLAN:TRANSMITTED Case #: PP25376

Parcel: 609-020-044

90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 32 USE - ORD NO. 659 (DIF) (cont.) RECOMMND

development. The Project Area for Plot Plan No. 25376 has been calculated to be 0.6 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

TRANS DEPARTMENT

90.TRANS. 1 USE - WATER QUALITY MGMT PLANS RECOMMND

The developer shall submit Water Quality Management Plans (WQMP) to Riverside County Transportation Department for review and approval.

90.TRANS. 2 USE-LC LNDSCP INSPECT DEPOSIT RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of the Pre-Installation, the Installation, and One-Year Post-Establishment landscape inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Section. The Transportation Department shall clear this condition upon determination of compliance.

90.TRANS. 3 USE-LNDSCP INSPECTION RQMT RECOMMND

The permit holder's landscape architect is responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a INSTALLATION INSPECTION with the Transportation Department at least five (5) working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the INSTALLATION INSPECTION, the applicant will arrange for an 6th month INSTALLATION INSPECTION at least five (5) working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Transportation

PLOT PLAN:TRANSMITTED Case #: PP25376

Parcel: 609-020-044

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 3 USE-LNDSCP INSPECTION RQMT (cont.) RECOMMND

Department's 80.TRANS.4 condition entitled "USE-LANDSCAPE SECURITY" and the 90,TRANS.2 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Transportation Department's landscape inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Transportation Department. The Transportation Department shall clear this condition upon determination of compliance.

90.TRANS. 4 USE-LC COMPLY W/LNDSCP/IRRIGA RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Transportation Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Transportation Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Transportation Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Transportation Department shall clear this condition.

90.TRANS. 5 USE - DRIVEWAY RECOMMND

Westerly driveway on 42nd Avenue to existing shopping center shall be redesigned and reconstructed in accordance with County Standard No. 207A as approved by the Transportation Department. An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the County road right-of-way. Above mentioned reconstruction shall require relocating existing street lights, irrigation lines and landscaping.

90.TRANS. 6 USE-CERTIFY BMP IMPLEMENTATION RECOMMND

The developer must provide to Transportation Department documentation signed by a registered engineer, under the

PLOT PLAN:TRANSMITTED Case #: PP25376

Parcel: 609-020-044

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 6 USE-CERTIFY BMP IMPLEMENTATION (cont.) RECOMMND

state of California, stating that the BMPs are implemented and constructed as shown on the plan.

90.TRANS. 7 USE - BMP-EDUCATION RECOMMND

The developer shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to all initial users. The developer may obtain NPDES Public Educational Program materials from the District's NPDES Section by either the District's website www.floodcontrol.co.riverside.ca.us, e-mail fcnpdes@co.riverside.ca.us, or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all orders.

The developer must provide to Transportation's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

If conditioned for a Water Quality Management Report (WQMP), a copy of the notarized affidavit must be placed in the report. Transportation Department MUST also receive the original notarized affidavit with the plan check submittal, by mail or in person in order to clear the appropriate condition. Placing a copy of the affidavit in the WQMP without submitting the original will not guarantee clearance of the condition.

90.TRANS. 8 USE - IMPLEMENT WQMP RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. It shall be demonstrated that the applicant is prepared to implement all non-structural BMPs described in the approved project specific WQMP and that copies of the approved project-specific WQMP are available for the future owners/occupants. The Transportation Department will not release occupancy permits for any portion of the project exceeding 80% of the project area prior to the completion of these tasks.

03/10/14
12:16

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 38

PLOT PLAN:TRANSMITTED Case #: PP25376

Parcel: 609-020-044

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 9

USE - BMP MAINTENANCE& INSPECT

RECOMMND

The BMP maintenance plan shall contain provisions for all treatment controlled BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to Transportation Department for review and approval prior to the issuance of occupancy permits.

**LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409**

DATE: June 19, 2013

TO:

Riv. Co. Transportation Dept.-Palm Desert
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health – Industrial Hygiene
Riv. Co. Public Health
Riv. Co. Flood Control District
Riv. Co. Fire Department-Palm Desert
Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check
Regional Parks & Open Space District
Riv. Co. Environmental Programs Division
P.D. Geology Section

P.D. Landscaping Section
P.D. Archaeology Section
SunLine Transit Agency
Riv. Co. Sheriff's Dept.
Riv. Co. Waste Management Dept.
EDA-County Service Area 121
ALUC
Bermuda Dunes Airport
Community Council Bermuda Dunes
4th District Supervisor
4th District Planning Commissioner

City of Palm Desert-Planning Department
Desert Sans Unified School District
Coachella Valley Water District
Imperial Irrigation District
The Gas Company
General Telephone & Electric (GTE)
Time Warner Cable
Air Quality Management District – Mojave
Desert

PLOT PLAN NO. 25376 - EA42599 – Applicant: Fiedler Group, Attn: Ken Barton – Representative: William Cunningham – Fourth/Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan: Community Development: Commercial Retail (CD: CR) (0.20 - 0.35 Floor Area Ratio) – Location: Northerly of Hidden Rider Road, southerly of 42nd Avenue, easterly of Washington Street and westerly of Yucca Lane– 0.67 Gross Acres – Zoning: Scenic Highway Commercial (C-P-S) – **REQUEST: Proposal for a gas station which include a 5,418 sq.ft. fueling canopy, a 178 sq.ft. service kiosk, 7 fueling pump dispensers, and 2 underground storage tanks on 0.67 gross acres within an existing Ralphs shopping center. The proposed gas station facility will require the demolition of an existing Blockbuster building. – APN: 609-020-044**

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **DRT meeting on July 11, 2013**. All LDC/DRT Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact Paul Rull, Project Planner, at (951) 955-0972 or email at prull@rctlma.org / MAILSTOP# 1070.

Public Hearing Path: DH: PC: BOS:

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
2nd CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: August 28, 2013

TO

Riv. Co. Transportation Dept. Desert

Riv. Co. Environmental Health Dept. Desert

Riv. Co. Public Health-Michael Osur

Riv. Co. Flood Control District

Coachella Valley Water District

Riv. Co. Fire Dept.-Desert

Riv. Co. Building & Safety – Grading

Riv. Co. Building & Safety – Plan Check

Riv. Co. Parks & Open Space District

Riv. Co. Environmental Programs Dept.

P.D. Geology Section

P.D. Landscaping Section

P.D. Archaeology Section

Bermuda Dunes Community Council

PLOT PLAN NO. 25376 - EA42599 – Applicant: Fiedler Group, Attn: Ken Barton – Representative: William Cunningham – Fourth/Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan: Community Development: Commercial Retail (CD: CR) (0.20 - 0.35 Floor Area Ratio) – Location: Northerly of Hidden Rider Road, southerly of 42nd Avenue, easterly of Washington Street and westerly of Yucca Lane– 0.67 Gross Acres – Zoning: Scenic Highway Commercial (C-P-S) – REQUEST: Proposal for a gas station which include a 5,418 sq.ft. fueling canopy, a 178 sq.ft. service kiosk, 7 fueling pump dispensers, and 2 underground storage tanks on 0.67 gross acres within an existing Ralphs shopping center. The proposed gas station facility will require the demolition of an existing Blockbuster building. – APN: 609-020-044

Please review the attached 1st Amended map(s) and/or exhibit(s) for the above-mentioned project. Any further comments, recommendations, and/or conditions are requested prior to the pending **DRT Comment Agenda September 5, 2013** deadline, in order that they may be incorporated in the staff report package for this project.

Should you have any questions regarding this item, please do not hesitate to contact Paul Rull, (951) 955-0972, Project Planner, or e-mail at PRULL@rctlma.org / MAILSTOP #: 1070

Public Hearing Path: Administrative Action: DH: PC: BOS:

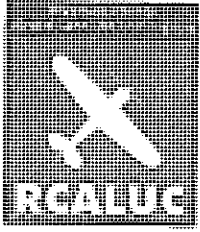
COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

September 23, 2013

CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Glen Holmes
Hemet

Greg Pettis
Cathedral City

Richard Stewart
Moreno Valley

STAFF

Director
Ed Cooper

John Guerin
Russell Brady
Barbara Santos

County Administrative Center
4080 Lemon St., 14th Floor.
Riverside, CA 92501
(951) 955-5132

www.aluc.org

Mr. Paul Rull, Contract Planner
County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92501
VIA HAND DELIVERY

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW
File No.: ZAP1050BD13
Related File No.: Plot Plan 25376
APN: 609-020-044

Dear Mr. Rull:

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above- referenced proposal to develop a gas station with 7 dispensers, 178 square foot kiosk, 2 underground storage tanks, and associated fueling system components on 0.67 acres located easterly of Washington Street, southerly of 42nd Avenue, and northerly of Hidden River Road, in the unincorporated community of Bermuda Dunes.

The site is located in Airport Compatibility Zone E of the 2004 Bermuda Dunes Airport Land Use Compatibility Plan. The existing and proposed maximum grade is approximately 120 feet above mean sea level (AMSL), with the gas station canopy at a height of 22.25 feet for a total height of 142.25 feet AMSL. Based on the distance of the parcel to the end of the runway at 7,130 feet and the elevation of the end of the runway at 73.4 feet AMSL, FAA Obstruction Evaluation review would be required for any structure exceeding 144.7 feet AMSL. However, since the proposed canopy would not exceed this elevation, FAA Obstruction Evaluation review is not required.

As ALUC Director, I hereby find the above-referenced project **CONSISTENT** with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, subject to the following conditions:

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION September 23, 2013

final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

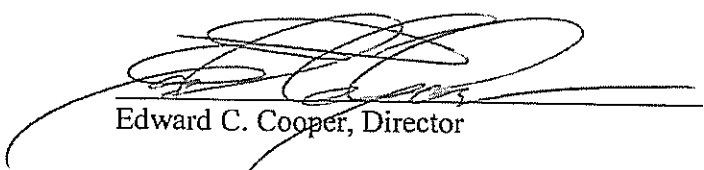
- (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, recycling centers containing putrescible wastes, and construction and demolition debris facilities.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.
3. The attached "Notice of Airport in Vicinity" shall be provided to all potential tenants and purchasers.
 4. Any new retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around the retention basin(s) that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.
 5. The maximum elevation of the proposed gas station canopy shall not exceed 144.7 feet above mean sea level.

If the above provision cannot be met, the building shall not be constructed until the Federal Aviation Administration Obstruction Evaluation Service has issued a "Determination of No Hazard to Air Navigation" for the building pursuant to the Form 7460-1 process.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

RB:bks

Attachment: Notice of Airport in Vicinity

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION September 23, 2013

cc: Greg Lukosky, Ralphs Grocery Company
Ken Barton, Fiedler Group
Ohno Properties, c/o Bernstein Rein Advertising, Inc.
Mike Smith, Manager, Bermuda Dunes Executive Airport
ALUC Staff

Y:\AIRPORT CASE FILES\Bermuda Dunes\ZAP1050BD13\ZAP1050BD13.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influence area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)

Exhibit A

PROJECT DESCRIPTION

Site is currently a vacant Blockbuster Video store. The vacant Blockbuster Video store will be demolished. Proposed is a new Ralphs gasoline station to include: (1) 43 ft. x 126 ft. (5,418 sq. ft.) fueling canopy, (1) 178 sq. ft. kiosk, 7 dispensers, 2 underground storage tanks and associated fueling system components. Station is proposed within the existing Ralphs shopping center. A net reduction of 30 parking spaces will occur with the Blockbuster demolition and construction of the new fuel center. Modifications to the on-site landscape planters are included in the proposed project. Alcohol sales, and a convenience store are NOT proposed with the subject project. The fuel station's proposed hours of operation are 24 hours a day / 7 days a week, and is attended 5am to 11pm.



THE KROGER CO.
 2140 WASHINGTON ST.
 SEASIDE, CA 92083

Kroger
 THE KROGER CO.
 2140 WASHINGTON ST.
 SEASIDE, CA 92083

DATE	01/11/2011
PROJECT	NEW 70,000 SQ. FT. SUPERMARKET
CLIENT	THE KROGER CO.
DESIGNER	FREDBERG GROUP
SCALE	AS SHOWN

RALPHS #397
 NEW 70,000 SQ. FT. SUPERMARKET
 2140 WASHINGTON ST.
 SEASIDE, CA 92083

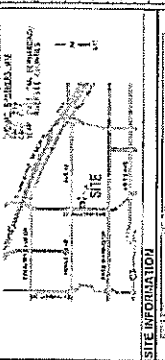
2140 WASHINGTON ST.
 SEASIDE, CA 92083

01/11/2011
 00397013 13500

SITE PLAN

C1

- CONSTRUCTION NOTES**
- 1. SEE ALL NOTES ON OTHER SHEETS.
 - 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SEASIDE SPECIFICATIONS.
 - 3. ALL UTILITIES SHALL BE DEPTH MARKED AND PROTECTED.
 - 4. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND NOT REMOVED UNLESS SPECIFICALLY NOTED OTHERWISE.
 - 5. ALL NEW UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SEASIDE SPECIFICATIONS.
 - 6. ALL CONCRETE SHALL BE 4000 PSI COMPRESSIVE STRENGTH.
 - 7. ALL REINFORCING SHALL BE #4 BARS.
 - 8. ALL FOUNDATION SHALL BE 18" MIN. THICK CONCRETE ON 4" MIN. SAND.
 - 9. ALL EXTERIOR WALLS SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND.
 - 10. ALL INTERIOR WALLS SHALL BE 8" MIN. THICK CONCRETE ON 4" MIN. SAND.
 - 11. ALL FLOORS SHALL BE 4" MIN. THICK CONCRETE ON 4" MIN. SAND.
 - 12. ALL ROOFS SHALL BE 4" MIN. THICK CONCRETE ON 4" MIN. SAND.
 - 13. ALL ROOFING SHALL BE 2" MIN. THICK POLYURETHANE FOAM INSULATION WITH 2" MIN. THICK GYP-SOLAR BOARD ON TOP.
 - 14. ALL ROOF DRAINAGE SHALL BE TO THE STREET OR TO A DRAINAGE SYSTEM.
 - 15. ALL EXTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE CITY OF SEASIDE SPECIFICATIONS.
 - 16. ALL INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE CITY OF SEASIDE SPECIFICATIONS.
 - 17. ALL MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SEASIDE SPECIFICATIONS.
 - 18. ALL MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SEASIDE SPECIFICATIONS.
 - 19. ALL MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SEASIDE SPECIFICATIONS.
 - 20. ALL MECHANICAL, ELECTRICAL AND PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY OF SEASIDE SPECIFICATIONS.



SITE INFORMATION

PROJECT NAME	NEW 70,000 SQ. FT. SUPERMARKET
CLIENT	THE KROGER CO.
DESIGNER	FREDBERG GROUP
SCALE	AS SHOWN
DATE	01/11/2011
PROJECT NO.	00397013
SHEET NO.	13500

LEGAL DESCRIPTION

THE PROPERTY IS DESCRIBED AS FOLLOWS: ...

UTILITY PURVEYORS

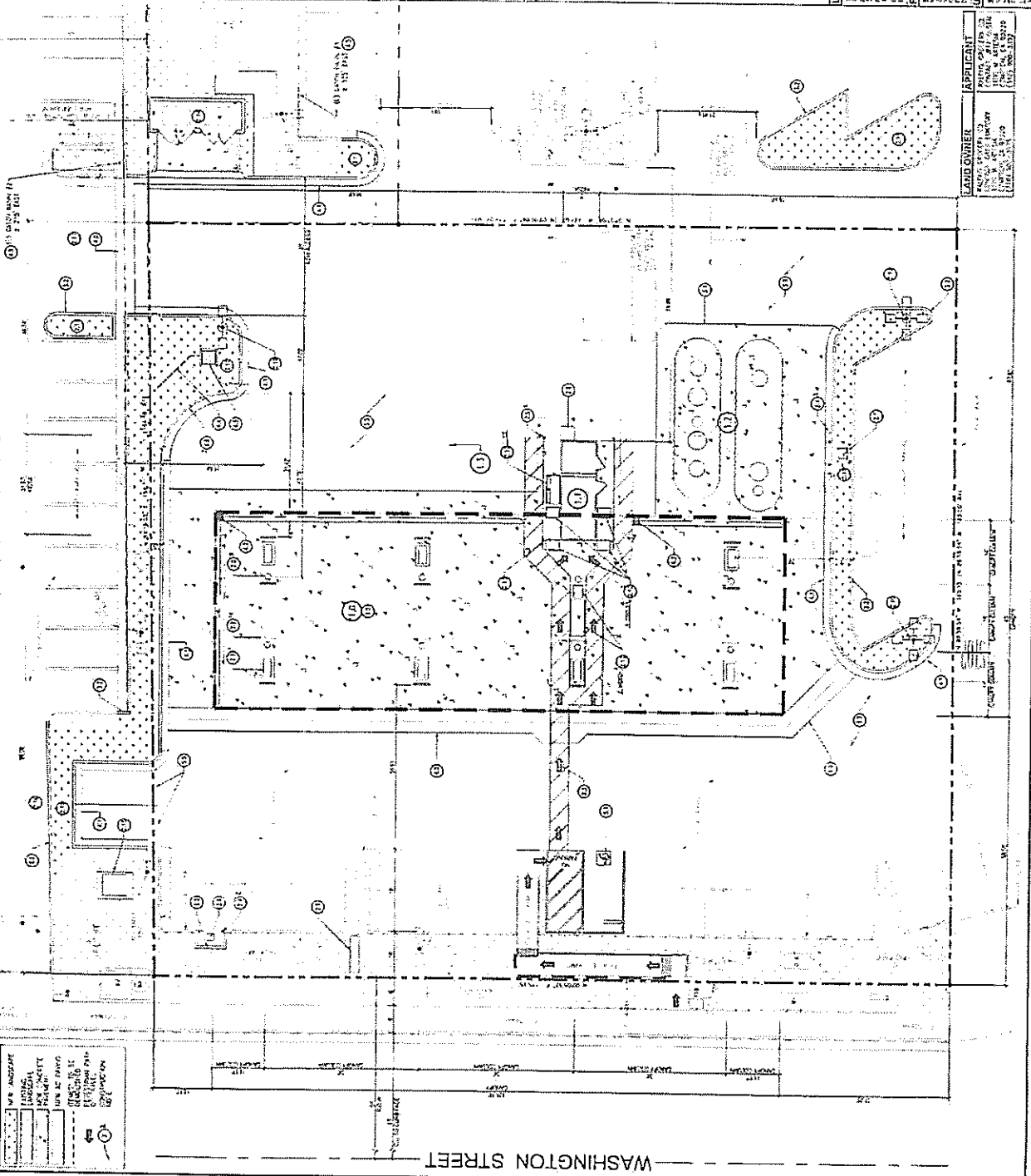
ALL UTILITIES SHALL BE DEPTH MARKED AND PROTECTED.

LAND OWNER

THE KROGER CO.
 2140 WASHINGTON ST.
 SEASIDE, CA 92083

APPLICANT

THE KROGER CO.
 2140 WASHINGTON ST.
 SEASIDE, CA 92083



LEGEND

1. DRIVE	---
2. DRIVE AISLE	---
3. DRIVEWAY	---
4. DRIVEWAY CURB	---
5. DRIVEWAY CURB	---
6. DRIVEWAY CURB	---
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WASHINGTON STREET

Community Council Advisory Project Review Report—Fourth District Planning Projects

Council:	Bermuda Dunes Community Council	Address	42140 Washington St, Bermuda Dunes CA
Meeting date:	9-10-13	Cross streets:	42 nd Avenue
Project name:	Ralph's #638	Parcel number(s):	609-020-044-1
Case number:	PP25376; EA42599/APPL		

5	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Advisory Action (number of votes): Support NOT Support Abstain Absent Continue to

Advisory Motion

APPROVAL- Contingent that the following recommended changes are addressed. (Reasoning for each condition are listed in the "Advisory Discussion, Comments and Recommendations" section identified by corresponding number) See "Exhibit A" for visual representation.

1. That the ingress and egress are changed to consider traffic that flows north along Washington St.
2. That the Trash Bin enclosure be turned to face north.
3. That an Electric Vehicle Charging Station be included in this project site.
4. That the 9 (nine) parking spaces be converted to desert landscape between Building 7 and the gas station stalls while the current narrow strip of desert landscape be converted to pavement/concrete to allow cars to get around all the stall in case of an emergency.
5. That 12 (twelve) parking spaces be removed on the south side of the gas station to allow customer vehicles who enter the center near Building 5 to turn left to enter the gas station on the south side.
6. That the side walk leading from Building 10 through the gas station stalls be changed to follow along the desert landscaping area between Building 7 and the gas station.
7. Posting of signage to help direct traffic

Advisory Discussion, Comments and Recommendations

1. The public was concerned that Washington St. traffic travels at a high rate of speed. Customers that will turn into the shopping center will slow traffic and create a dangerous slowing for drivers who want to continue to travel north along Washington. It was recommended by the public that a turning lane be created to help customer vehicles slow down out of traffics way.
2. The trash enclosure currently faces east. Keeping the trash enclosure facing this direction will block the entrance (near Walgreens Building #7) of the gas station during Burrtec twice a week pick up of trash. By facing the trash enclosure north this will allow the entrance to remain free and keep traffic from backing up on Washington St.
3. Currently Ralph's Kroger has a program which includes ECotality where both companies contributed \$1.5 million dollars each to add EV stations to Kroger markets in Southern California. The applicant mentioned that ECotality has filed for bankruptcy but that Kroger was still looking for places to install EV stations. The Applicant said that they currently needed a vendor to install the EV station.
Recent news articles about Kroger EV Program
(<http://www.bloomberg.com/news/2013-04-08/ecotality-to-install-225-electric-car-chargers-at-kroger-stores.html> and <http://articles.latimes.com/2013/apr/09/autos/la-fi-hy-autos-ev-charging-supermarkets-20130409>)
4. The 9 (nine) parking spots that are between Building 7 and the gas station will not be used. If they are used they will create a dangerous situation when customer vehicles enter the center and cause traffic to

Directions: The council secretary or designated council member must complete, sign and return this document to the Supervisors liaison immediately following advisory action. This document will be filed to officially record community input on the project.

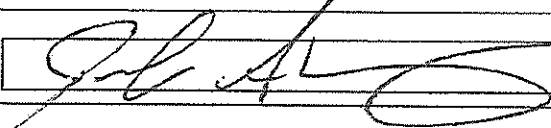
back up onto Washington St. Council suggested that a variance be allowed if needed for a reduced amount of parking spaces since these spots will not be utilized during the busiest time of the season.

5. By removing the 12 (twelve) parking spots this will allow customer vehicles to enter through the south side of the gas station. This will keep customer vehicles from having to dodge pedestrians that are coming and going to Ralphs and Building 10. Council suggested that a variance be allowed if needed for a reduced amount of parking spaces since these spots will not be utilized during the busiest time of the season. This condition is critical to the project to maximize access to the fueling stations and minimizes vehicle/pedestrian interaction.
6. The side walk in its current path would make pedestrians have to walk through the gas station and in-between idle and fueling vehicles. The suggested change would keep the pedestrians away from the vehicles and their emissions.
7. That Resident Signage be installed to help direct traffic.

Comments-

- a) Applicant said LED lighting was planned for the canopy lighting in response to what kind of energy efficiency would be incorporated into the project by Council.
- b) A council member and a member of the public had concern about the gas station being open 24 hours because of graffiti, crime, and that an attendant would be on site throughout the night and early morning in case of a safety issue. It was stated by the Applicant that this is not a requirement of Riverside County as it is with LA County.

Date: 9-18-2013

Signature: 

Print name and title: Jacob Alvarez, Secretary

Supervisor's Comments

Empty box for Supervisor's Comments.

Directions: The council secretary or designated council member must complete, sign and return this document to the Supervisors liaison immediately following advisory action. This document will be filed to officially record community input on the project.

Exhibit A

The form is a complex document with multiple sections. The text is extremely faint and difficult to read due to the halftone printing. However, some headings and structure are visible. The form appears to be a checklist or a set of instructions for a council meeting, with various boxes and lines for input or marking.

Directions: The council secretary or designated council member must complete, sign and return this document to the Supervisors liaison immediately following advisory action. This document will be filed to officially record community input on the project.



Established in 1918 as a public agency
Coachella Valley Water District

Directors:

John P. Powell, Jr., President - Div. 3
Franz W. De Kloitz, Vice President - Div. 1
Ed Pack - Div. 2
Peter Nelson - Div. 4
Debi Livesay - Div. 5

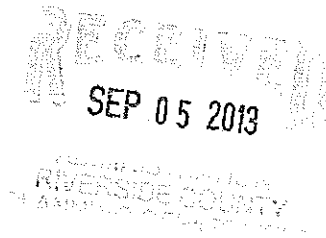
Officers:

Jim Barrell, Acting General Manager
Julia Fernandez, Board Secretary

September 4, 2013

Redwine and Sherrill, Attorneys

File: 0163.1
0421.1
0721.1
1150.011
Geo. 050718-2
PZ 13-4830



Paul Rull
Riverside County Planning Department
4080 Lemon Street, 9th Floor
Riverside, CA 92501

Dear Mr. Rull:

Subject: Plot Plan No. 25376 (APN 609-020-044, Gas Station)

This area is designated Zone X on Federal Flood Insurance rate maps, which are in effect at this time by the Federal Emergency Management Agency (FEMA).

This project is within the limits of the Bermuda Dunes Drainage Study area. The Bermuda Dunes Drainage Study established a requirement for new developments to retain 100 percent of the runoff for a 100-year event and was agreed upon by all of the participating agencies, including Riverside County and the Cities of Palm Desert, Indian Wells, La Quinta and Indio.

The County shall require mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. These measures shall require 100 percent on-site retention of runoff from the 100-year storm.

This project lies within the Study Area Boundary of the 2010 Coachella Valley Water Management Plan Update.

The Coachella Valley Water District (CVWD) will provide domestic water and sanitation service to this area and such service will be subject to the satisfaction of terms and conditions established by CVWD and exercised from time to time, including but not limited to fees and charges, water conservation measures, etc.

This notice of domestic water and sanitation service availability can only be used and relied upon for the specific property for which it was issued and shall expire three (3) years from date of issuance.

Paul Rull
Riverside County
Planning Department

2

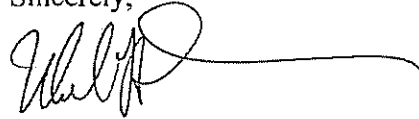
September 4, 2013

Domestic water and sanitation service remains at all times subject to changes in regulations adopted by CVWD's Board of Directors including reductions in or suspensions of service

CVWD requires detail, repair and lube auto shops, car washes, and maintenance facilities to install an oil and sand separator, including a sample box, sanitary tee and running trap with cleanout, prior to any discharge to its sanitation facilities. The size of the oil and sand separator will be determined and approved by CVWD. Installation of the oil and sand separator will be inspected by CVWD.

If you have any questions please call Tommy Fowlkes, Development Services Supervisor, extension 3535.

Sincerely,



Mark L. Johnson
Director of Engineering

cc: Majeed Farshad
Riverside County Department of Transportation
38-686 El Cerrito Road
Palm Desert, CA 92211

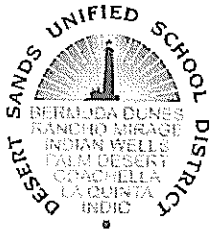
Alan French
Riverside County Department of Transportation
4080 Lemon Street, 8th Floor
Riverside, CA 92501

Mike Mistica
County of Riverside, Department of Environmental Health
Land Use & Water Resources Program
3880 North Lemon Street, Suite 200
Riverside, CA 92501-3374

Ralphs Grocery Co.
Attention: Jeff Olsen
1100 W. Artesia
Compton, CA 90220



SL:ch/eng/sw/13/Sept/Plot Plan No. 25376

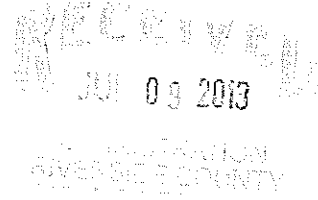


Desert Sands Unified School District

47-950 Dune Palms Road • La Quinta, California 92253 • (760) 771-8515 • FAX: (760) 771-8522

June 24, 2013

Paul Rull, Project Planner
County of Riverside
Planning Department
P.O. Box 1409
Riverside, CA 92502-1409



Request for Comments: Plot Plan No. 25376 – EA 42599 – Proposal for a gas station with 7 fueling pump dispensers located in the Ralph's shopping center located on Avenue 42 and Washington Street in Bermuda Dunes and will require demolition of the Blockbuster Video building.

Dear Mr. Rull,

This is in response to your request for input on the above referenced project and its effect on public schools.

All actions toward commercial development will potentially result in an impact on our school system. The District's ability to meet the educational needs of the public with new schools has been seriously impaired in recent years by local, state and federal budget cuts that have had a devastating impact on the financing of new schools.

As you are aware, there is a school mitigation fee that is currently collected on all new development at the time building permits are issued.

Please feel free to call me if you have further questions. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "Patrick Cisneros". The signature is fluid and extends across the width of the page.

Patrick Cisneros, Director
Facilities Services



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

July 1, 2013

Paul Rull, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RECEIVED
JUL 09 2013
ADMINISTRATION
RIVERSIDE COUNTY

RE: Plot Plan (PP) No. 25376
Proposal: The PP proposes to build a 5,418 sq. ft. gas station on .67 gross acres requiring the demolition of an existing building.
APN: 609-020-044

Dear Mr. Rull:

The Riverside County Waste Management Department (RCWMD) has reviewed the proposed project located north of Hidden Rider Road, east of Washington Street, south of 42nd Avenue and west of Yucca Lane, in the Western Coachella Valley Area Plan. In order to mitigate the project's potential solid waste impacts and help the County comply with AB 939 (Integrated Waste Management Act), AB 1327 (California Solid Waste Reuse and Recycling Access Act), the California Green Building Standards, and AB 341 (Mandatory Commercial Recycling) through diverting solid waste from landfill disposal, the RCWMD recommends that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to **Design Guidelines for Recyclables Collection and Loading Areas**, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department.
3. **Prior to issuance of a building permit**, a Waste Recycling Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

4. **Prior to issuance of an occupancy permit**, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.
5. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234.
6. AB 341 focuses on increased commercial waste recycling as a method to reduce greenhouse gas (GHG) emissions. The regulation requires businesses and organizations that generate four or more cubic yards of waste per week and multifamily units of 5 or more, to recycle. A business shall take at least one of the following actions in order to reuse, recycle, compost, or otherwise divert commercial solid waste from disposal:
 - Source separate recyclable and/or compostable material from solid waste and donate or self-haul the material to recycling facilities.
 - Subscribe to a recycling service with their waste hauler.
 - Provide recycling service to their tenants (if commercial or multi-family complex).
 - Demonstrate compliance with the requirements of California Code of Regulations Title 14.

For more information, please visit:

www.rivcowm.org/opencms/recycling/recycling_and_compost_business.html#mandatory

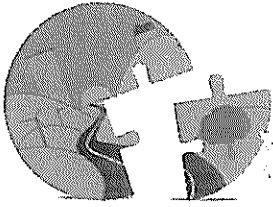
7. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3200.

Sincerely,



Ryan Ross
Principal Planner



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

PROPOSED LAND USE: Gasoline station

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: Article IXb (C-P-S Zone) Section 9.50.a (97)

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: _____ DATE SUBMITTED: _____

APPLICATION INFORMATION

Applicant's Name: Fiedler Group (attn: Ken Barton) E-Mail: ken.barton@fiedlergroup.com

Mailing Address: 2322 W. 3rd St.
Street
Los Angeles CA 90057
City State ZIP

Daytime Phone No: (213) 381-3128 Fax No: (213) 381-1517

Engineer Representative's Name: William Cunningham E-Mail: william.cunningham@fiedlergroup.com

Mailing Address: 2322 W. 3rd St.
Street
Los Angeles CA 90057
City State ZIP

Daytime Phone No: (213) 381-7033 Fax No: (213) 381-1517

Property Owner's Name: OHNO Properties, LLC E-Mail: derekfeagans@bradv.com
(attn: Derek Feagans)

Mailing Address: 4600 Madison Ave., Suite 1500
Street
Kansas City MO 64112
City State ZIP

Daytime Phone No: (816) 960-5000 Fax No: (310) 900-3557

Riverside Office • 4080 Lemon Street, 12th Floor
P.O. Box 1409, Riverside, California 92502-1409
(951) 955-3200 • Fax (951) 955-1811

Desert Office • 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 • Fax (760) 863-7555

APPLICATION FOR LAND USE PROJECT

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Ken Barton

PRINTED NAME OF APPLICANT

SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

OHNO Properties, LLC

PRINTED NAME OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

SIGNATURE OF PROPERTY OWNER(S)

Robert A. Bernstein - Managing Member

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 609-020-044-1

Section: 18 Township: 55 Range: 7E

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: 0.67 acres

General location (nearby or cross streets): North of Hidden River Rd., South of 42nd Avenue, East of Washington St., West of Yucca Lane.

Thomas Brothers map, edition year, page number, and coordinates: 2003 Edition, page 819, F5

Project Description: (describe the proposed project in detail)

Proposed is a new Ralphs gasoline station to include: (1) 43 ft. x 126 ft. (5,418 sq. ft.) fueling canopy, (1) 178 sq. ft. kiosk, 7 dispensers, 2 underground storage tanks and associated fueling system components. Station is proposed within the existing Ralphs shopping center. Approximately 28 existing parking spaces will be removed to accommodate the project. Additionally, approximately 3 on-site parking landscape planters will be modified as well. Alcohol sales, and a convenience store are NOT proposed with the subject project.

Related cases filed in conjunction with this application: The fuel station's proposed hours of operation are 24 hours a day / 7 days a week, and is attended 5am to 11pm.

N/A

Is there a previous application filed on the same site: Yes No (Site was a previous Blockbuster Video)

If yes, provide Case No(s). PP16741 (Plot Plan) (Parcel Map, Zone Change, etc.)

E.A. No. (if known) EA38095 E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No (not yet)

If yes, indicate the type of report(s) and provide a copy: _____

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 800 CY

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 1/8/2014,

The attached property owners list was prepared by Riverside County GIS,

APN (s) or case numbers PP25376 For

Company or Individual's Name Planning Department,

Distance buffered 800'

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

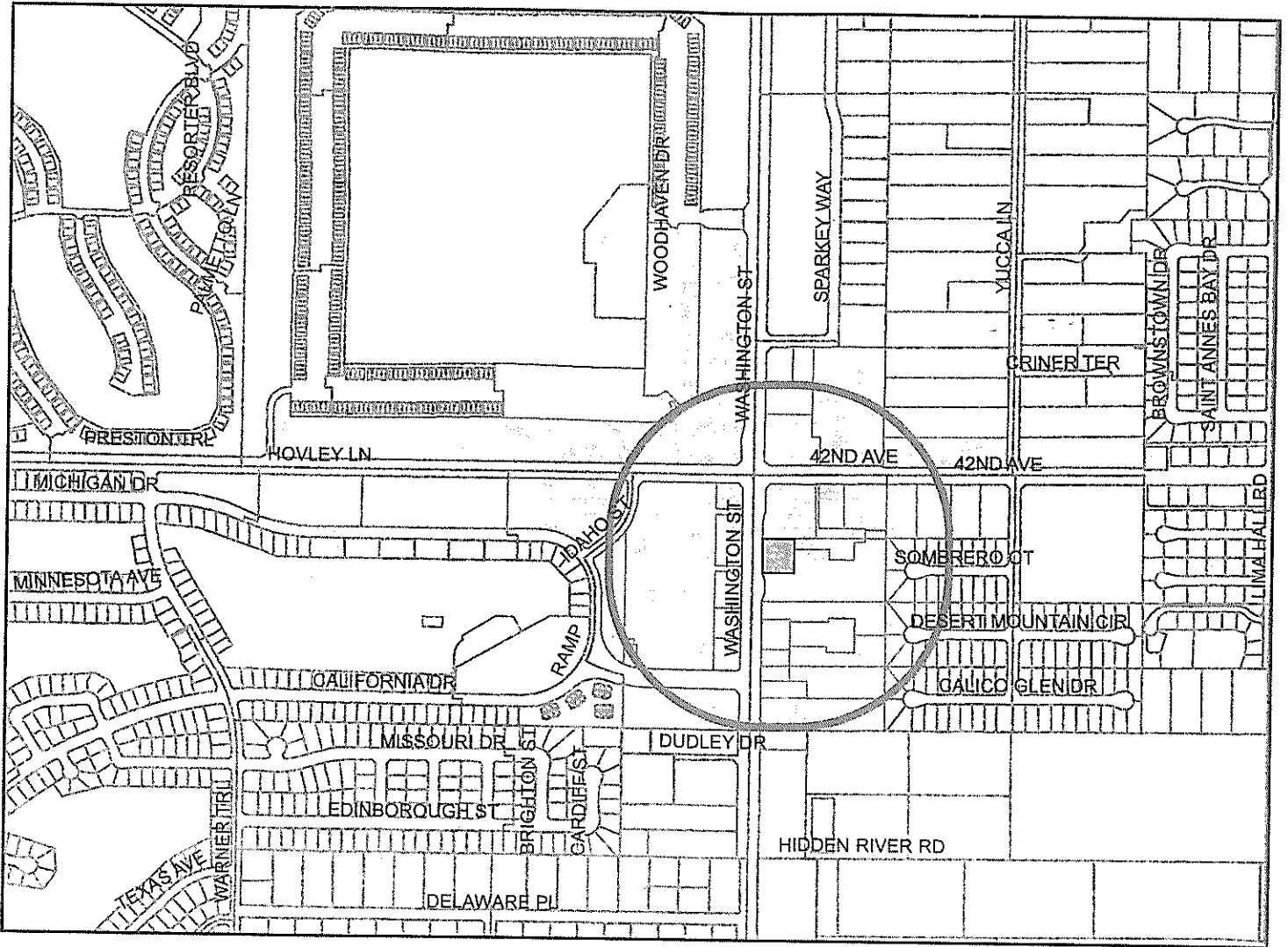
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

PP25376 (800 feet buffer)



Selected Parcels

609-020-042 609-020-045 609-020-049 609-020-050 609-020-051 607-130-013 609-500-037 609-500-014 609-500-032 609-500-035
 607-130-010 607-130-012 609-500-019 609-500-053 609-500-030 609-500-054 607-130-009 609-500-012 609-020-024 609-500-034
 609-500-033 609-500-015 637-072-013 637-072-006 609-500-017 609-020-044 609-020-053 609-020-048 609-500-010 609-500-055
 637-072-001 637-072-011 637-072-014 637-072-015 637-072-012 609-500-038 609-500-016 607-130-008 609-500-036 609-500-001
 637-061-001 609-500-002 609-500-013 609-020-041 609-020-043 609-020-046 609-020-055 637-071-002 609-020-054 637-072-016
 637-072-017 609-500-011 632-104-029 609-500-018 609-020-038 609-500-031 632-100-014 632-102-061 632-104-061 609-020-047
 609-020-052



830 415 0 830 Feet

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



ASMT: 609500030, APN: 609500030
 VONDA MCFADDEN, ETAL
 72925 FRED WARING DR 204
 PALM DESERT CA 92260

ASMT: 609500037, APN: 609500037
 MARGARET LOGSDON, ETAL
 78157 DESERT MOUNTAIN CIR
 BERMUDA DUNES CA 92203

ASMT: 609500031, APN: 609500031
 WILLIAM GATHERUM
 44244 SILVER CANYON LN
 PALM DESERT CA 92260

ASMT: 609500038, APN: 609500038
 DEBORAH SUER, ETAL
 78169 DESERT MOUNTAIN CIR
 BERMUDA DUNES CA 92203

ASMT: 609500032, APN: 609500032
 HEATHER DREW, ETAL
 78160 DESERT MOUNTAIN CIR
 BERMUDA DUNES CA 92203

ASMT: 609500053, APN: 609500053
 CAROLYN MARTIN
 80163 CAMINO SAN MATEO
 INDIO CA 92203

ASMT: 609500033, APN: 609500033
 DONNA BERARDO
 78148 DESERT MOUNTAIN CIR
 BERMUDA DUNES CA 92203

ASMT: 609500054, APN: 609500054
 SUSAN KORDELL, ETAL
 78150 CALICO GLEN DR
 INDIO, CA. 92203

ASMT: 609500034, APN: 609500034
 DERRYL COUSINS
 534 ARENA ST
 EL SEGUNDO CA 90245

ASMT: 609500055, APN: 609500055
 SUNNI KINSEY, ETAL
 78138 CALICO GLEN DR
 BERMUDA DUNES CA 92203

ASMT: 609500035, APN: 609500035
 ANGELIA PAPINAW, ETAL
 78133 DESERT MOUNTAIN CIR
 BERMUDA DUNES CA 92203

ASMT: 632100014, APN: 632100014
 WOODHAVEN COUNTRY CLUB HOMEOWNERS
 C/O CARL MCCULLOUGH
 41865 BOARDWALK STE 101
 PALM DESERT CA 92211

ASMT: 609500036, APN: 609500036
 NICHOLAS TREVINO
 78145 DESERT MOUNTAIN CIR
 BERMUDA DUNES CA 92203

ASMT: 632104029, APN: 632104029
 JUDY SMITH, ETAL
 NO 102 15164 PROSPECT AVE
 WHITE ROCK BC
 CANADA V4B2B9



ASMT: 607130008, APN: 607130008
 CHRISTINA PIERSON, ETAL
 41951 YUCCA LN
 BERMUDA DUNES CA 92203

ASMT: 609020043, APN: 609020043
 RALPHS GROCERY CO
 C/O REAL ESTATE DEPT
 P O BOX 54143
 LOS ANGELES CA 90054

ASMT: 607130009, APN: 607130009
 COUNTY OF RIVERSIDE
 C/O REAL ESTATE DIVISION
 P O BOX 1180
 RIVERSIDE CA 92502

ASMT: 609020044, APN: 609020044
 GROCERY RALPHS
 1100 W ARTESIA BLVD
 COMPTON CA 90220

ASMT: 607130010, APN: 607130010
 POLK MEADOWS, ETAL
 16400 PAC COAST HWY NO 207
 HUNTINGTON BEACH CA 92649

ASMT: 609020046, APN: 609020046
 RALPHS GROCERY CO
 C/O KROGER CO
 1014 VINE ST 7TH FL
 CINCINNATI OH 45202

ASMT: 607130012, APN: 607130012
 POLK MEADOWS, ETAL
 C/O THRIFTY PAYLESS INC
 P O BOX 3165
 HARRISBURG PA 17105

ASMT: 609020048, APN: 609020048
 M MAK, ETAL
 C/O MARIANNE MAK
 31 WATERLOO CT
 BELMONT CA 94002

ASMT: 607130013, APN: 607130013
 42ND AVENUE
 C/O LUKO MANAGEMENT
 16400 PACIFIC COAST 207
 HUNTINGTON BEACH CA 92649

ASMT: 609020051, APN: 609020051
 WASHINGTON SQUARE BD, ETAL
 C/O MILAN CAPITAL
 888 S DISNEYLAND DR
 ANAHEIM CA 92802

ASMT: 609020024, APN: 609020024
 DENISE GOODMAN
 79520 VIA SIN CUIDADO
 LA QUINTA CA 92253

ASMT: 609020052, APN: 609020052
 WORLD SVGS BANK
 C/O WELLS FARGO & CO
 333 MARKET ST 10TH FL
 SAN FRANCISCO CA 94105

ASMT: 609020038, APN: 609020038
 M H SHERMAN CO, ETAL
 C/O REAL ESTATE TAX DEPT STORE 04757
 P O BOX 1159
 DEERFIELD IL 60015

ASMT: 609020053, APN: 609020053
 HENRY RANDAZZO
 75883 VIA CORTONA
 INDIAN WELLS CA 92210





ASMT: 609020054, APN: 609020054
 GEORGE GERONSIN, ETAL
 181 S OLD SPRINGS RD
 ANAHEIM CA 92808

ASMT: 609500013, APN: 609500013
 LAURA GREGOR, ETAL
 78146 SOMBRERO CT
 BERMUDA DUNES CA 92203

ASMT: 609020055, APN: 609020055
 BONITA ROGENES, ETAL
 20735 VIA MARISA
 YORBA LINDA CA 92886

ASMT: 609500014, APN: 609500014
 RAYMOND YARBROUGH, ETAL
 C/O RAYMOND K YARBROUGH
 78134 SOMBRERO CT
 BERMUDA DUNES CA 92203

ASMT: 609500001, APN: 609500001
 PALM DESERT CHURCH OF CHRIST
 134 VISTA ROYALE
 PALM DESERT CA 92260

ASMT: 609500015, APN: 609500015
 HELEN GALINDO, ETAL
 78131 SOMBRERO CT
 BERMUDA DUNES CA 92203

ASMT: 609500002, APN: 609500002
 PATHFINDER COMMUNITY OF RISEN CHRIST
 78175 AVENUE 42
 BERMUDA DUNES CA 92203

ASMT: 609500016, APN: 609500016
 MELANIE FESMIRE
 45071 PARK ST
 INDIO CA 92201

ASMT: 609500010, APN: 609500010
 JAMES PALMER
 78182 SOMBRERO CT
 BERMUDA DUNES CA 92203

ASMT: 609500017, APN: 609500017
 ALICE FREUND, ETAL
 78155 SOMBRERO CT
 BERMUDA DUNES CA 92203

ASMT: 609500011, APN: 609500011
 MARTHA DESNOYERS, ETAL
 78170 SOMBRERO CT
 BERMUDA DUNES CA 92203

ASMT: 609500018, APN: 609500018
 TRACI KAYLOR
 78167 SOMBRERO CT
 BERMUDA DUNES CA 92203

ASMT: 609500012, APN: 609500012
 TARA JOHNSTON THATCHER, ETAL
 78158 SOMBRERO CT
 INDIO, CA. 92203

ASMT: 609500019, APN: 609500019
 CAROL MARIETTA
 78179 SOMBRERO CT
 BERMUDA DUNES CA 92203





ASMT: 632104061, APN: 632104061
WOODHAVEN DEVELOPERS INC
41555 WOODHAVEN DR E
PALM DESERT CA 92211

ASMT: 637072017, APN: 637072017
FRANK GOODMAN, ETAL
77900 AVENUE OF THE STATE
PALM DESERT CA 92211

ASMT: 637061001, APN: 637061001
PALM DESERT SPE
1109 WESTWOOD BLV
LOS ANGELES CA 90024

ASMT: 637071002, APN: 637071002
REDEVELOPMENT AGENCY CITY OF PALM DE
C/O CITY CLERK
73510 FRED WARING DR
PALM DESERT CA 92260

ASMT: 637072001, APN: 637072001
LOT 3 TRACT 2137 COMMUNITY ASSN
40175 CALLE LOMA ENTRADA
INDIO CA 92203

ASMT: 637072006, APN: 637072006
CHEVRON USA INC, ETAL
P O BOX 548
NEW HOPE PA 18938

ASMT: 637072015, APN: 637072015
FKC PALM DESERT, ETAL
C/O DEPT 70428 CORPORATE TAX
P O BOX 20
BOISE ID 83726

ASMT: 637072016, APN: 637072016
FRANK GOODMAN, ETAL
77900 AVE OF THE STATES
PALM DESERT, CA. 92260



Airport Land Use Commission
Attn: John Guerin
Mail Stop: 1070

Bermuda Dunes Community Council
P.O. Box 2127 Palm Springs
CA 92263

Coachella Valley Water District
P.O. Box 1058
Coachella CA 92236

4th District Planning Commissioner
Attn: Bill Sanchez
Mail Stop: 1070

4th District Supervisor Office
Attn: Joe Pradetto
Mail Stop: 1004

Desert Sands Unified School District
47-950 Dune Palms Road
La Quinta CA 92253

City of Palm Desert
Attn: Community Development Director
73-510 Fred Waring Drive
Palm Desert CA 92260

Bermuda Dunes Airport
Attn: General Manager
79880 Avenue 42
Bermuda Dunes CA 92201-1453

Fiedler Group
Attn: Ken Barton
2322 W 3rd Street
Los Angeles CA 90057

William Cunningham
2322 W 3rd Street
Los Angeles CA 90057

OHNO Prop
4600 Madison Avenue Suite 1500
Kansas City MO 64112

Fiedler Group
Attn: Ken Barton
2322 W 3rd Street
Los Angeles CA 90057

William Cunningham
2322 W 3rd Street
Los Angeles CA 90057

OHNO Prop
4600 Madison Avenue Suite 1500
Kansas City MO 64112

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2322 W 3rd Street
Los Angeles CA 90057

OHNO Prop
4600 Madison Avenue Suite 1500
Kansas City MO 64112



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42599, Plot Plan No. 25376

Project Title/Case Numbers

Paul Rull

County Contact Person

(951) 955-0972

Phone Number

N/A

State Clearinghouse Number (if submitted to the State Clearinghouse)

Fiedler Group: Attn Ken Barton

Project Applicant

2322 W 3rd Street, Los Angeles CA 90057

Address

Northerly of Hidden River Road, southerly of 42nd Avenue, easterly of Washington Street and westerly of Yucca Lane

Project Location

To demolish an existing 5,040 sq.ft. building and establish a gas station which includes a 5,418 sq.ft. fueling canopy, 178 sq.ft. service kiosk building, 7 fueling pumps dispensers, and 2 underground storage fuel tanks on 0.67 gross acres within an existing Ralphs shopping center. There are no concurrent beer and wine sales allowed.

Project Description

This is to advise that the Riverside County Planning Director, as the lead agency, has approved the above-referenced project on _____, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act. (\$2,181.25 + \$50)
3. Mitigation measures WERE NOT made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS NOT adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Title

Date

Date Received for Filing and Posting at OPR: _____

Revised 8/25/2009

Y:\Planning Case Files-Riverside office\PP25376\DH-PC-BOS Hearings\DH-PC\NOD Form.docx

Please charge deposit fee case#: ZEA42599 ZCFG05975

FOR COUNTY CLERK'S USE ONLY



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

NEGATIVE DECLARATION

Project/Case Number: PLOT PLAN NO. 25376

Based on the Initial Study, it has been determined that the proposed project will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Paul Rull Title: Project Planner Date: January 22, 2014

Applicant/Project Sponsor: Fiedler Group Date Submitted: June 10, 2013

ADOPTED BY: Planning Director

Person Verifying Adoption: _____ Date: _____

The Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Paul Rull, Project Planner at 951-955-0972.

Revised: 10/16/07

Y:\Planning Case Files-Riverside office\PP25376\DH-PC-BOS Hearings\DH-PC\Mit. Negative Declaration.docx

Please charge deposit fee case#: ZEA42599 ZCFG05975

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * R1305193

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: FIEDLER GROUP \$2,156.25
paid by: CK 11064
EA42599
paid towards: CFG05975 CALIF FISH & GAME - NEG DECL
at parcel: 42400 WASHINGTON ST BERM
appl type: CFG1

By _____ Jun 10, 2013 09:08
MGARDNER posting date Jun 10, 2013

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,156.25

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

R1400405

4080 Lemon Street Second Floor Riverside, CA 92502 (951) 955-3200	39493 Los Alamos Road Suite A Murrieta, CA 92563 (951) 600-6100	38686 El Cerrito Road Palm Desert, CA 92211 (760) 863-8277
--	--	--

Received from: FIEDLER GROUP \$25.00
paid by: CK 11251
paid towards: CFG05975 CALIF FISH & GAME - NEG DECL
EA42599
at parcel #: 42400 WASHINGTON ST BERM
appl type: CFG1

By _____ Jan 15, 2014 11:51
MGARDNER posting date Jan 15, 2014

* Account Code	Description	Amount
* 658353120100208100	CF&G TRUST	\$25.00

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * R1305194

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: FIEDLER GROUP \$50.00
paid by: CK 11067
EA42599
paid towards: CFG05975 CALIF FISH & GAME - NEG DECL
at parcel: 42400 WASHINGTON ST BERM
appl type: CFG1

By _____ Jun 10, 2013 09:09
MGARDNER posting date Jun 10, 2013

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$50.00

Overpayments of less than \$5.00 will not be refunded!

Agenda Item No.:
 Area Plan: Western Coachella Valley
 Zoning District: Bermuda Dunes
 Supervisorial District: Fourth
 Project Planner: Paul Rull
 Directors Hearing: April 14, 2014

PLOT PLAN NO. 23977 REVISED NO. 1
 Addendum to Environmental Assessment No.
 42120
 Applicant: Holt Architect
 Engineer/Representative: Hunsaker &
 Associates

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

PLOT PLAN NO. 23977 REVISED PERMIT NO.1 to revise original Plot Plan No. 23977 for Desert Academy private school (preschool through 12th grade) with changes to the site design layout and building design type on 48.7 gross acres.

The private school facility will contain classrooms, administrative buildings, library, courtyard, cafeteria, maintenance building, stadium facility consisting of 490 seats with football/soccer field and an athletic track, baseball and softball fields, athletic gymnasium, pool, outdoor tennis and basketball courts, volleyball courts, playground areas, fire/service access roads and related infrastructure improvements including three on-site detention basins, 510 parking spaces, and 433,510 cubic yards of grading. Off-site improvements include road improvements and widening a portion of Washington Street, the realignment of Avenue 38 from the westerly project boundary to Varner Road, and construction of a regional storm drainage channel parallel to Avenue 38. To meet Flood Control District requirements, the buildings have been reoriented to the western portion of the site and raised from the existing flood plain grade. The project is proposed in four phases. At full phased build out, the school facility will accommodate 1,578 students, 86 teachers, and 35 staff members. The typical hours of operation during the academic year will be 7:00 a.m. to 4:00 p.m. with after school hours ranging from 3:00 p.m. to 10:00 p.m. Special events will run infrequently throughout the entire year with times ranging from 6:00 a.m. to 10:00 p.m. Special events types will include indoor and outdoor sporting events, theatrical performances, community events, and church group meetings.

The project proposes approximately 300,400 square feet of total building area that will include:

Pre-School

- One (1) single-story, 32,300 sq. ft. Pre-School building (Phase 1 – 19,300 sq. ft.; Future – 13,000 sq. ft., 26'-6" high)

Elementary & Junior High School

- Two (2) two-story Elementary buildings that will include; two (2) 31,584 sq. ft. K-5th grade buildings (34'-0")

Middle School

- One (1) two-story classroom building; one (1) 31,584 sq. ft. 6th - 8th grade building (34'-0" high)

High School

- One (1) two-story classroom building; one (1) 31,584 sq. ft. 9th – 12th grade building (34'-0" high)
- Administration & Library/Learning Center
 One (1) two-story 32,400 sq. ft. building (46'-0" high)

- Gymnasium & Auxiliary Gym
One (1) 72,100 sq. ft. Gymnasium and Auxiliary Gym (49'-0")
- Cafeteria/Multi-Purpose Room
One (1) one-story 11,300 sq. ft. building (25'-4" high)
- Fine Arts Building
One (1) two-story 21,300 sq. ft. building (42'-0" high)
- Maintenance Building
One (1) 4,600 sq. ft. building (22'-0" high)

The project will also include 769,849 square feet of recreation area, 372,671 square feet of parking and pavement area, 186,997 square feet of hardscape area, and 605,659 square feet of landscape area. 510 total parking stalls will be provided within the school site, including 21 handicap stalls.

Other features of the project include offsite improvements to adjacent roadways including the widening of Washington Street from approximately Avenue 38 to Las Montanas Road/Del Webb Boulevard to its ultimate general plan classification width, the realignment of Avenue 38 with full Major Highway (118' ROW) roadway improvements from the project's westerly boundary to Washington Street and offsite access road improvements for Avenue 38 (60' ROW) from the westerly project boundary to Varner Road. Lastly, drainage improvements will consist of a storm drain collection system and three onsite detention basins to handle project runoff and water quality treatment.

The original project Plot Plan No. 23977 was approved on March 1, 2010, at the Riverside County's Directors Hearing meeting.

The project is located approximately northerly of Flora Road, westerly of Washington Street, and southerly of 38th Avenue.

ISSUES OF POTENTIAL CONCERN:

CEQA Analysis

Environmental Assessment No. 42120 was originally approved on March 1, 2010 at the Riverside County's Directors Hearing meeting. Since that time, there have been minor revisions to the project's design and layout which is why a revised permit to the original plot plan was required. In addition to the changes to the physical project, there have been updates to CEQA requirements that required that greenhouse gas emissions be analyzed. Therefore, staff has prepared an addendum to Environmental Assessment No. 42120 that analyzed greenhouse gas (GHG) emissions. The addendum analyzed the potential GHG impacts created by the project and determined that the impact would be less than significant with mitigation measures incorporated.

Street Right-Of-Way

Prior to Building Permit Issuance, sufficient public right-of-way shall be provided along 38th Avenue to establish a 118 foot full width right-of-way and along Washington Street to establish a 76 foot half width right-of-way that transitions into a 64 foot half-width right-of-way. Avenue 38 is designated a Major Highway and shall be designed and improved prior to building final inspection to the ultimate full section

within the westerly project boundary and Washington Street, with a five-foot (5') meandering sidewalk on the south side of Avenue 38, and a ten-foot (10') wide meandering sidewalk on the north side of Avenue 38. The off-site portions of Avenue 38, coordinated with Tentative Tract Map No. 35058 (Mirasera) and Tentative Tract Map No. 34651 (Valante), shall be constructed per County Standard No. 106, (32' / 60') prior to building final inspection.

Regional Flood

Prior to issuance of grading permits, the portion of the proposed storm drain channel alignment adjacent to the project site and the neighboring projects of Tentative Tract Map No. 35058 (Mirasera Specific Plan No. 338) and Tentative Tract Map No. 34651 (Valante Specific Plan No. 360) shall be constructed in coordination with the Coachella Valley Water District (CVWD), the United States Corps of Army Engineers, and the Riverside County Transportation Department, together with a bridge to span Washington Avenue and connect to stormwater improvements in the neighboring Sun City – Del Webb community (Specific Plan No. 281A5). The storm drain channel and bridge shall be constructed prior to grading permit issuance, as detailed in the Coachella Valley Water District letter dated July 1, 2009, and the conditions of approval.

SUMMARY OF FINDINGS:

- | | |
|--|---|
| 1. Existing General Plan Land Use (Ex. #5): | Community Development: Commercial Retail, and Medium Density Residential |
| 2. Surrounding General Plan Land Use (Ex. #5): | Open Space: Conservation Habitat, and Recreation, Community Development: Commercial Retail, Medium Density Residential, Very High Density Residential, and Light Industrial |
| 3. Existing Zoning (Ex. #2): | Controlled Development Area-10 acre minimum |
| 4. Surrounding Zoning (Ex. #2): | Controlled Development Area, Specific Plan, Manufacturing-Service Commercial, Industrial Park, Natural Assets |
| 5. Existing Land Use (Ex. #1): | Vacant |
| 6. Surrounding Land Use (Ex. #1): | Vacant, commercial, industrial business park, mixed-use development (Sun City Palm Desert), Coachella Valley Preserve |
| 7. Project Data: | Total Acreage: 48.7 gross acres
Building Area: 300,400 sq.ft |
| 8. Environmental Concerns: | See attached environmental assessment |

RECOMMENDATIONS:

CONSIDERATION of an **ADDENDUM TO AN ADOPTED MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42120**, based on the finding that all potentially significant effects were adequately analyzed in that environmental document pursuant to applicable legal standards and while some changes and/or additions are necessary, none of the conditions described in California Code of Regulations, Section 15162 exist; and,

APPROVAL of **PLOT PLAN NO. 23977 REVISED NO.1**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings and in the attached environmental assessment, which is incorporated herein by reference.

1. The project site is designated Community Development: Commercial Retail and Medium Density Residential on the Western Coachella Valley Area Plan.
2. As a result of Section 3.2.I, and in accordance with Section 3.2.J. of Ordinance No. 460, the applicant has provided written assurance(s) (copies of which are attached) from the owner(s) of the property(ies) underlying the off-site improvement/alignment (as shown on the Tentative Map) that sufficient right-of-way can and will be provided. In the event the above referenced property owner(s) or their successor(s)-in-interest does/do not provide to the Transportation Department and/or Flood Control District the necessary dedication(s), eminent domain proceedings may need to be instituted by the Riverside County Board of Supervisors.
3. The proposed use, an education facility, is consistent with the Community Development: Commercial Retail and Medium Density Residential designation.
4. The project site is surrounded by properties which are designated Open Space: Conservation Habitat to the north, Very High Density Residential to the west (*Specific Plan No. 338 – Mirasera*); Medium Density Residential to the east (*Specific Plan 281- Del-Webb*); and Light Industrial and the City of Palm Desert and Interstate 10 Freeway to the south.
5. The zoning for the subject site is Controlled Development Area-10 acre minimum. The proposed use, an education facility is consistent with the uses permitted for a Controlled Development Area per Ordinance No. 348 Section 15.1.C.(2),(7), which permits educational institutions, churches, and other places of religious use with an approved plot plan.
6. The proposed use, an education facility, is consistent with the development standards set forth in the Controlled Development Area-10 acre minimum Controlled Development Area-10 acre minimum zone.
7. The project site is surrounded by properties which are zoned Controlled Development Area-10 acre minimum zone, Specific Plan, Manufacturing-Service Commercial, Industrial Park, Natural Assets.
8. The existing project site is vacant. The surrounding uses include vacant land, commercial, industrial business park, mixed-use development (Sun City Palm Desert), and the Coachella Valley Preserve.
9. This project is not located within a Criteria Area of the Multi-Species Habitat Conservation Plan.
10. This project is located within the City Sphere of Influence of the City of Palm Desert. A project notice was sent to the City of Palm Desert's Planning Department. No comments have been received.
11. The Addendum to Environmental Assessment No. 42120 identified the following potentially significant impacts:

- | | |
|-----------------------------|------------------------------|
| a. Aesthetics | e. Hydrology/Water Quality |
| b. Air Quality | f. Noise |
| c. Biological Resources | g. Transportation/Traffic |
| d. Greenhouse Gas Emissions | h. Utilities/Service Systems |

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

12. Pursuant to CEQA Guidelines 15162, the Riverside County Planning Department has determined that the proposed project would not have a significant effect on the environment and nothing further is required because all potentially significant effects have been adequately analyzed in an earlier Mitigated Negative Declaration pursuant to applicable legal standards and this addendum to the Mitigated Negative Declaration; and have been avoided or mitigated pursuant to that earlier Mitigated Negative Declaration, including revisions or mitigation measures that are imposed upon the proposed project.
- a. No new substantial changes are proposed in the project which will require major revisions of the previous Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects;
 - b. No new substantial changes occur with respect to the circumstances under which the project is undertaken which will require major revisions of the previous Mitigated Negative Declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or,
 - c. No new information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the Mitigated Negative Declaration, was certified.
 - d. Since the time of the certification of Environmental Assessment No. 42120, there have been two additions to CEQA Guidelines and reviewable impacts; Greenhouse Gas emissions and Forest Resources. An addendum to Environmental Assessment No. 42120 was prepared as part of this project to analyze the potential impacts of Greenhouse Gas emissions and Forest Resources. The addendum revealed that these two new environmental categories either have no impact or less than significant impact with mitigation measures incorporated.

CONCLUSIONS:

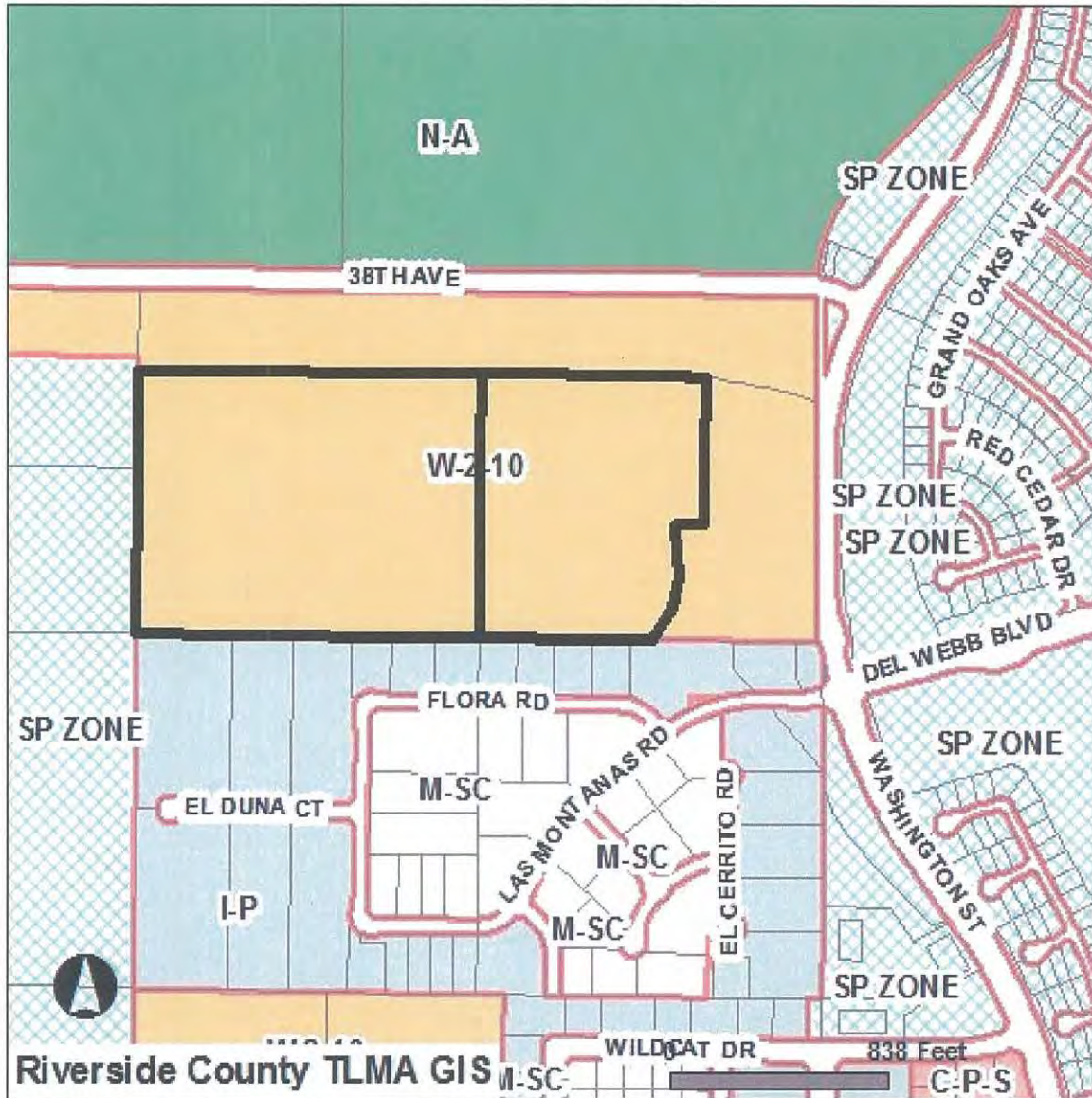
- 1. The proposed project is in conformance with the Community Development: Commercial Retail and Medium Density Residential Land Use Designation, and with all other elements of the Riverside County General Plan.
- 2. The proposed project is consistent with the Controlled Development Area-10 acre minimum zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
- 3. The public's health, safety, and general welfare are protected through project design.

4. The proposed project is clearly compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Coachella Valley Multiple Species Habitat Conservation Plan (MSHCP).

INFORMATIONAL ITEMS:

1. As of this writing, no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. Tribal lands;
 - b. Zoning overlay;
 - c. Historic Preservation District;
 - d. Specific Plan;
 - e. Agricultural Preserve;
 - f. Redevelopment Area;
 - g. Conservation Area;
 - h. High Fire Area; and
 - i. Fault Zone.
3. The project site is located within:
 - a. The boundaries of the Desert Sands Unified School District;
 - b. The Thousand Palms Community Council;
 - c. Compatibility Zones D and E of the Bermuda Dunes Airport;
 - d. Flood Zone AO of the FEMA Flood Plain;
 - e. The City of Palm Desert Sphere of Influence; and
 - f. An area subject to the Mt. Palomar Lighting Ordinance No. 655 (Zone B).
4. The subject site is currently designated as Assessor's Parcel Numbers 626-150-037 and 626-150-038.

PP23977R1 Zoning Map



Selected parcel(s):
626-150-037 626-150-038

IMPORTANT

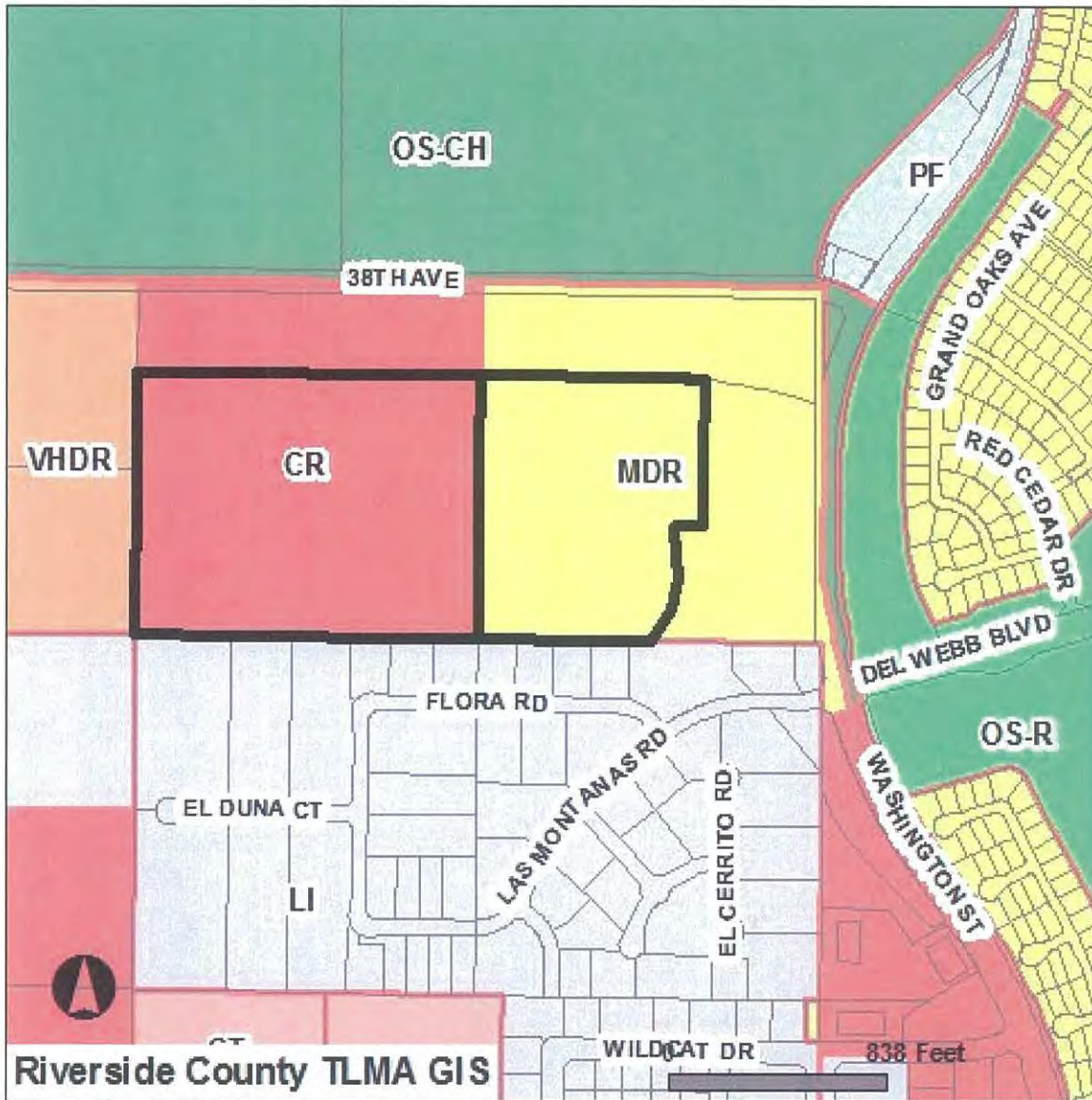
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jan 23 09:20:19 2014

Version 131127

Exhibit #2

PP23977R1 General Plan Land Use Map



Selected parcel(s):
626-150-037 626-150-038

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jan 23 09:21:32 2014

Version 131127

Exhibit #5

PP23977R1 Vicinity Map



Selected parcel(s):
626-150-037 626-150-038

IMPORTANT

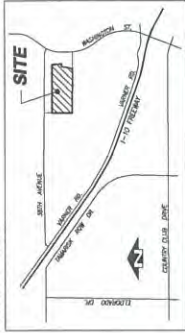
Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Thu Jan 23 09:19:00 2014

Version 131127

Exhibit #1

VICINITY MAP



NOTES:

1. ALL ZONING MAPS, PARCELS, AND LOTS SHOWN ON THIS MAP ARE SUBJECT TO THE EXISTING ZONING MAP AND ALL APPLICABLE ORDINANCES.
2. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
3. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
4. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
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7. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
8. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
9. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
10. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
11. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
12. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
13. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
14. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
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17. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
18. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
19. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.
20. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.

UTILITIES

- ELECTRIC: METROPOLITAN EDISON DISTRICT (760) 358-2511
- SEWER: METROPOLITAN EDISON DISTRICT (760) 358-2511
- GAS: METROPOLITAN EDISON DISTRICT (760) 358-2511
- WATER: METROPOLITAN EDISON DISTRICT (760) 358-2511
- TELEPHONE: METROPOLITAN EDISON DISTRICT (760) 358-2511
- CABLE: METROPOLITAN EDISON DISTRICT (760) 358-2511

EASEMENT NOTES

1. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
2. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
3. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
4. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
5. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
6. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
7. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
8. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
9. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
10. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
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15. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
16. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
17. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
18. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
19. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.
20. EASEMENT FOR ROAD PURPOSES PER R.C. 209-211 OF ACTS 149.

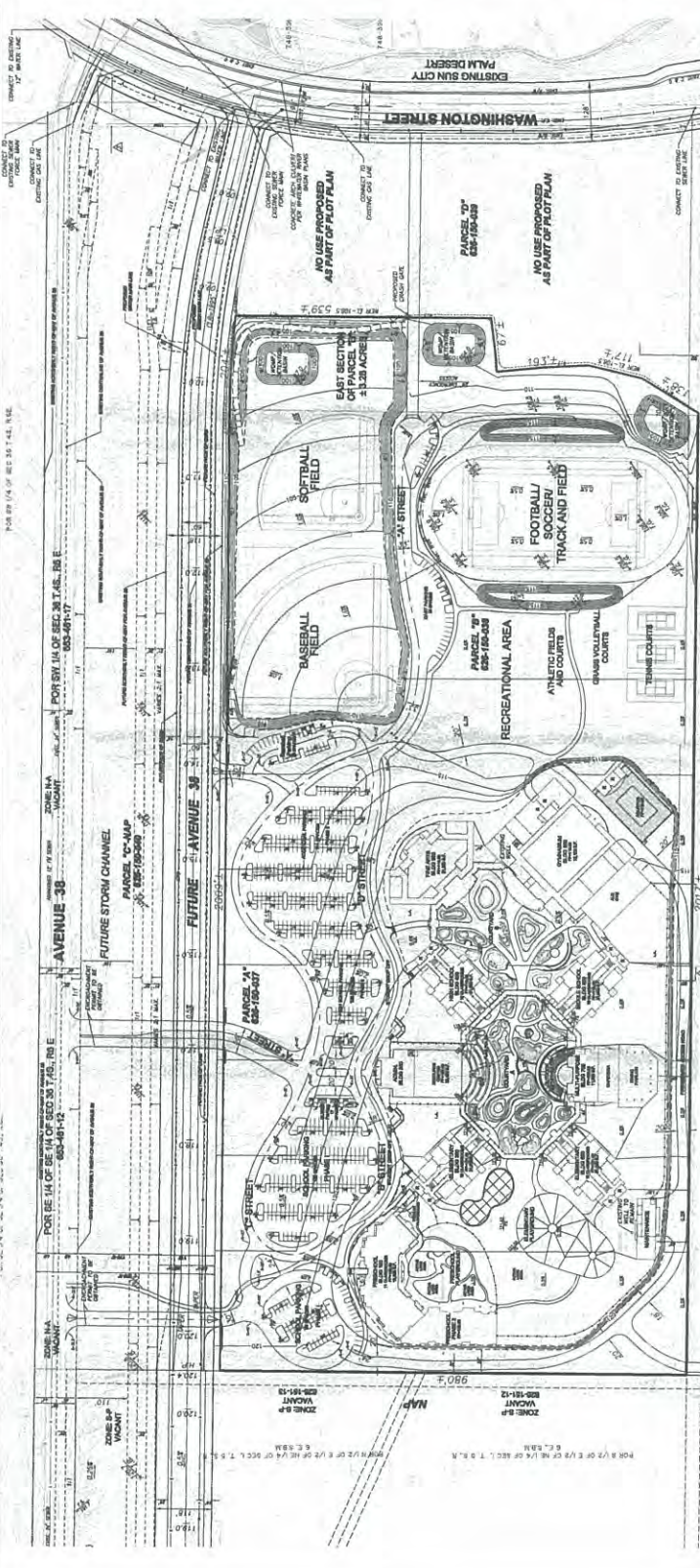
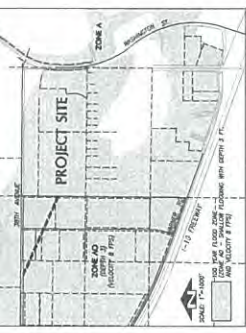
LEGAL DESCRIPTION

PROJECT SITE IS LOCATED WITHIN THE BOUNDARY OF THE BODINHOE TRACT COMMUNITY PLAN, AS SHOWN ON THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN, AND IS DESCRIBED AS FOLLOWS:

PROJECT DESCRIPTION

PROPOSED DEVELOPMENT IS A 100,000 SQ. FT. COMMUNITY CENTER AND RECREATION CENTER WITH A SOFTBALL FIELD, BASEBALL FIELD, FOOTBALL/SOCCER TRACK AND FIELD, AND TENNIS COURTS. THE PROJECT SITE IS LOCATED WITHIN A LOCAL COMMUNITY PLAN AREA PER THE CITY OF PALM DESERT'S LOCAL COMMUNITY PLAN.

FLOOD ZONE DETAIL



PARCEL NO.	PARCEL AREA (ACRES)	ZONING	REMARKS
1	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
2	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
3	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
4	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
5	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
6	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
7	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
8	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
9	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
10	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
11	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
12	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
13	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
14	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
15	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
16	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
17	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
18	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
19	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
20	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
21	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
22	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
23	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
24	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
25	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
26	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
27	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
28	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
29	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
30	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
31	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
32	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
33	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT
34	0.03	ZONING M-10 INDUSTRIAL	EXISTING VACANT

AREA CALCULATIONS

DESCRIPTION	SQ. FEET	ACRES	PERCENT
TOTAL PROJECT AREA	100,000	2.30	100%
TOTAL LOT AREA	100,000	2.30	100%
TOTAL COVERED AREA	100,000	2.30	100%
TOTAL OPEN AREA	100,000	2.30	100%
TOTAL NET AREA	100,000	2.30	100%

BUILDING SUMMARY

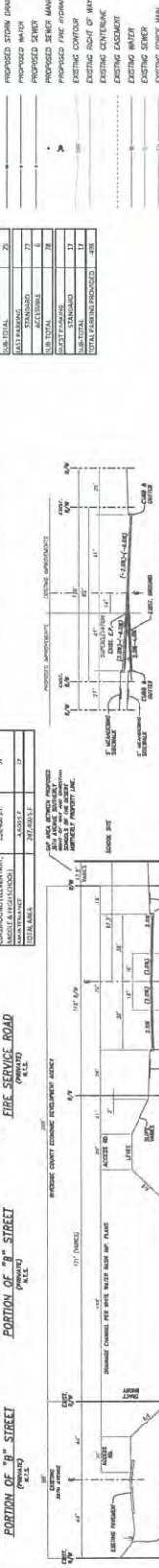
USE	AREA (SQ. FT.)	AREA (ACRES)
OFFICE	100,000	2.30
RECREATION	100,000	2.30
SPORTS FIELD	100,000	2.30
TRACK AND FIELD	100,000	2.30
TENNIS COURTS	100,000	2.30
PARKING	100,000	2.30
LANDSCAPE	100,000	2.30
TOTAL	100,000	2.30

ZONING SUMMARY

PARCEL	ZONING	AREA (ACRES)	PERCENT
1-30	ZONING M-10 INDUSTRIAL	2.30	100%
31-34	ZONING M-10 INDUSTRIAL	2.30	100%
TOTAL	ZONING M-10 INDUSTRIAL	2.30	100%

PARKING SUMMARY

TYPE	NUMBER	PERCENT
TOTAL	100	100%
STANDARD	100	100%
COMPACT	0	0%
TOTAL	100	100%



PREPARED FOR: Christian Schools of the Desert
 42-300 SADDLE CREEK AVENUE
 PALM DESERT, CA 92250
 (760) 358-2511

APPLICANT: HOLT ARCHITECTS
 1000 S. GARDEN AVENUE
 PALM DESERT, CA 92260
 (760) 358-2511

DATE: 09/21/17

APPROVED: [Signature]

CASE #: PP23977R1 AMD#1
 EXHIBIT: A (site plan)
 DATED: 3/4/14
 PLANNER: P. RULL



PROJECT DESCRIPTION:
 PROPOSED PRESCHOOL THROUGH 12TH GRADE INCLUDING CLASSROOMS AND ADMINISTRATIVE BUILDINGS, LIBRARY, CANOE AND BOAT LAUNCH, SPORTS FIELDS AND INFRASTRUCTURE IMPROVEMENTS. THIS DEVELOPMENT WILL CONSIST OF APPROXIMATELY 237,000 SQUARE FEET OF ONE AND TWO STORY STRUCTURES ON A SITE WITH A GROSS SUM OF APPROXIMATELY 48.7 ACRES AND NET SUM OF 46.5 ACRES.

BUILDINGS	OCCUPANTS	CONSTRUCTION TYPE
001 - PRESCHOOL	1	TYPE 1 A-B
002 - PRESCHOOL	2	TYPE 1 A-B
003 - PRESCHOOL	3	TYPE 1 A-B
004 - PRESCHOOL	4	TYPE 1 A-B
005 - PRESCHOOL	5	TYPE 1 A-B
006 - PRESCHOOL	6	TYPE 1 A-B
007 - PRESCHOOL	7	TYPE 1 A-B
008 - PRESCHOOL	8	TYPE 1 A-B
009 - PRESCHOOL	9	TYPE 1 A-B
010 - PRESCHOOL	10	TYPE 1 A-B
011 - PRESCHOOL	11	TYPE 1 A-B
012 - PRESCHOOL	12	TYPE 1 A-B
013 - PRESCHOOL	13	TYPE 1 A-B
014 - PRESCHOOL	14	TYPE 1 A-B
015 - PRESCHOOL	15	TYPE 1 A-B
016 - PRESCHOOL	16	TYPE 1 A-B
017 - PRESCHOOL	17	TYPE 1 A-B
018 - PRESCHOOL	18	TYPE 1 A-B
019 - PRESCHOOL	19	TYPE 1 A-B
020 - PRESCHOOL	20	TYPE 1 A-B
021 - PRESCHOOL	21	TYPE 1 A-B
022 - PRESCHOOL	22	TYPE 1 A-B
023 - PRESCHOOL	23	TYPE 1 A-B
024 - PRESCHOOL	24	TYPE 1 A-B
025 - PRESCHOOL	25	TYPE 1 A-B
026 - PRESCHOOL	26	TYPE 1 A-B
027 - PRESCHOOL	27	TYPE 1 A-B
028 - PRESCHOOL	28	TYPE 1 A-B
029 - PRESCHOOL	29	TYPE 1 A-B
030 - PRESCHOOL	30	TYPE 1 A-B
031 - PRESCHOOL	31	TYPE 1 A-B
032 - PRESCHOOL	32	TYPE 1 A-B
033 - PRESCHOOL	33	TYPE 1 A-B
034 - PRESCHOOL	34	TYPE 1 A-B
035 - PRESCHOOL	35	TYPE 1 A-B
036 - PRESCHOOL	36	TYPE 1 A-B
037 - PRESCHOOL	37	TYPE 1 A-B
038 - PRESCHOOL	38	TYPE 1 A-B
039 - PRESCHOOL	39	TYPE 1 A-B
040 - PRESCHOOL	40	TYPE 1 A-B
041 - PRESCHOOL	41	TYPE 1 A-B
042 - PRESCHOOL	42	TYPE 1 A-B
043 - PRESCHOOL	43	TYPE 1 A-B
044 - PRESCHOOL	44	TYPE 1 A-B
045 - PRESCHOOL	45	TYPE 1 A-B
046 - PRESCHOOL	46	TYPE 1 A-B
047 - PRESCHOOL	47	TYPE 1 A-B
048 - PRESCHOOL	48	TYPE 1 A-B
049 - PRESCHOOL	49	TYPE 1 A-B
050 - PRESCHOOL	50	TYPE 1 A-B
051 - PRESCHOOL	51	TYPE 1 A-B
052 - PRESCHOOL	52	TYPE 1 A-B
053 - PRESCHOOL	53	TYPE 1 A-B
054 - PRESCHOOL	54	TYPE 1 A-B
055 - PRESCHOOL	55	TYPE 1 A-B
056 - PRESCHOOL	56	TYPE 1 A-B
057 - PRESCHOOL	57	TYPE 1 A-B
058 - PRESCHOOL	58	TYPE 1 A-B
059 - PRESCHOOL	59	TYPE 1 A-B
060 - PRESCHOOL	60	TYPE 1 A-B
061 - PRESCHOOL	61	TYPE 1 A-B
062 - PRESCHOOL	62	TYPE 1 A-B
063 - PRESCHOOL	63	TYPE 1 A-B
064 - PRESCHOOL	64	TYPE 1 A-B
065 - PRESCHOOL	65	TYPE 1 A-B
066 - PRESCHOOL	66	TYPE 1 A-B
067 - PRESCHOOL	67	TYPE 1 A-B
068 - PRESCHOOL	68	TYPE 1 A-B
069 - PRESCHOOL	69	TYPE 1 A-B
070 - PRESCHOOL	70	TYPE 1 A-B
071 - PRESCHOOL	71	TYPE 1 A-B
072 - PRESCHOOL	72	TYPE 1 A-B
073 - PRESCHOOL	73	TYPE 1 A-B
074 - PRESCHOOL	74	TYPE 1 A-B
075 - PRESCHOOL	75	TYPE 1 A-B
076 - PRESCHOOL	76	TYPE 1 A-B
077 - PRESCHOOL	77	TYPE 1 A-B
078 - PRESCHOOL	78	TYPE 1 A-B
079 - PRESCHOOL	79	TYPE 1 A-B
080 - PRESCHOOL	80	TYPE 1 A-B
081 - PRESCHOOL	81	TYPE 1 A-B
082 - PRESCHOOL	82	TYPE 1 A-B
083 - PRESCHOOL	83	TYPE 1 A-B
084 - PRESCHOOL	84	TYPE 1 A-B
085 - PRESCHOOL	85	TYPE 1 A-B
086 - PRESCHOOL	86	TYPE 1 A-B
087 - PRESCHOOL	87	TYPE 1 A-B
088 - PRESCHOOL	88	TYPE 1 A-B
089 - PRESCHOOL	89	TYPE 1 A-B
090 - PRESCHOOL	90	TYPE 1 A-B
091 - PRESCHOOL	91	TYPE 1 A-B
092 - PRESCHOOL	92	TYPE 1 A-B
093 - PRESCHOOL	93	TYPE 1 A-B
094 - PRESCHOOL	94	TYPE 1 A-B
095 - PRESCHOOL	95	TYPE 1 A-B
096 - PRESCHOOL	96	TYPE 1 A-B
097 - PRESCHOOL	97	TYPE 1 A-B
098 - PRESCHOOL	98	TYPE 1 A-B
099 - PRESCHOOL	99	TYPE 1 A-B
100 - PRESCHOOL	100	TYPE 1 A-B

PARCEL # 626-150-037
SD-000
SCALE: 1" = 200'-0"
626-150-038



OWNER: DAVE FULTON
 40700 YUCCA LANE
 BERMUDA DUNES, CA 92201
 760.345.2848

APPLICANT: HOLT ARCHITECTS
 70225 HIGHWAY 111, SUITE D
 RANCHO MIRAGE, CA 92270
 760.328.5280

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul

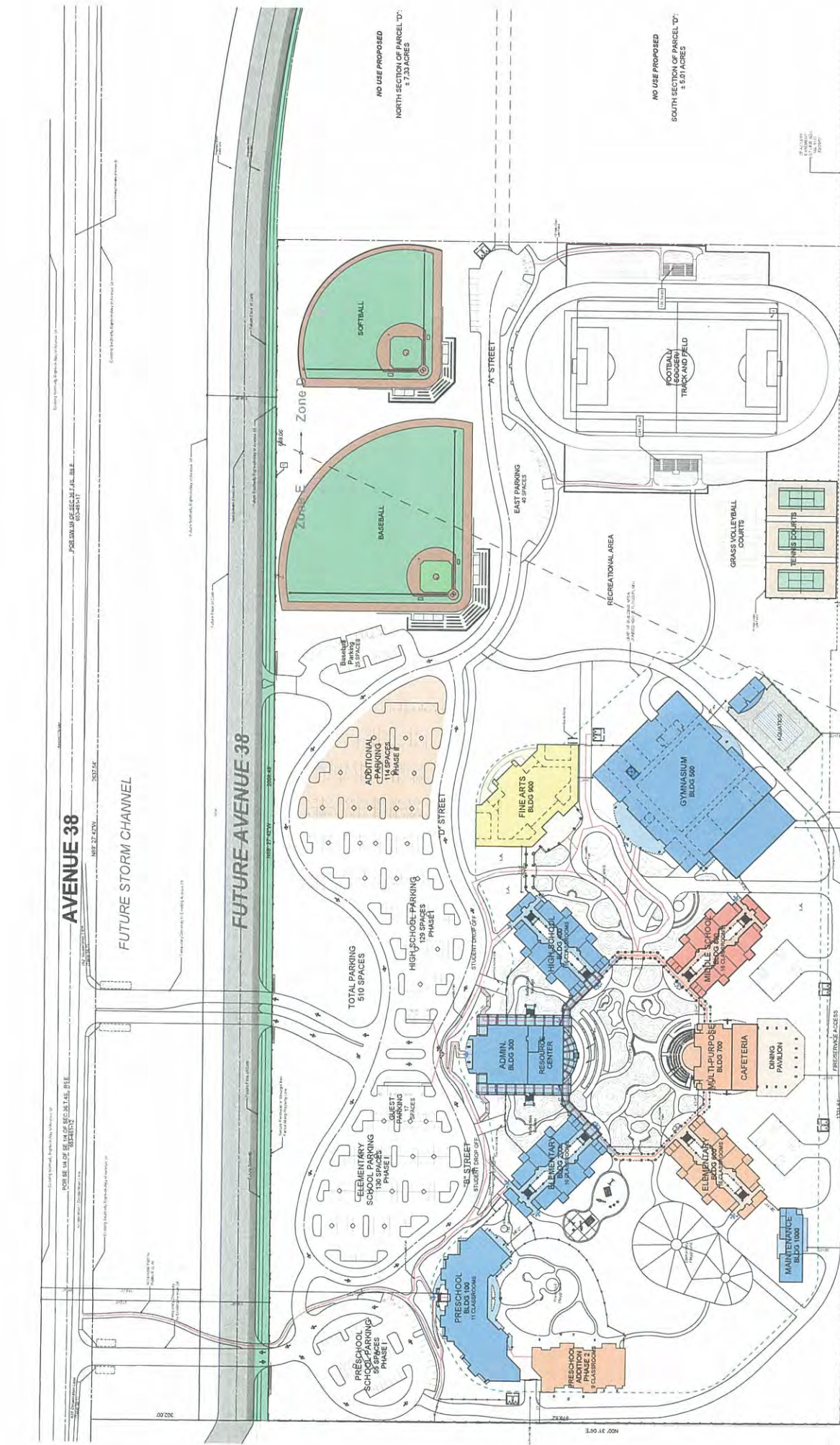


TITLE SHEET

AVENUE 38

FUTURE STORM CHANNEL

FUTURE AVENUE 38



NO USE PROPOSED
NORTH SECTION OF PARCEL 10*
1.73 ACRES

NO USE PROPOSED
SOUTH SECTION OF PARCEL 10*
1.51 ACRES

NO.	BUILDING USE	BUILDING SUMMARY		PARKING SUMMARY		AREA CALCULATIONS		PHASING OCCUPANCY		SITE LEGEND	
		BUILDING PFI	ADJACENT	STANDARD SPACES	ADA SPACES	PHASE	PREVIOUS PHASE	CURRENT PHASE	TOTAL	PAVING	LANDSCAPING
5	626-405-53 ZONE I-P INDUSTRIAL BUILDINGS	11	11	11	0	11	0	11	11	0	0
4	626-405-52 ZONE I-P INDUSTRIAL BUILDINGS	11	11	11	0	11	0	11	11	0	0
3	626-405-51 ZONE I-P INDUSTRIAL	11	11	11	0	11	0	11	11	0	0
1	626-405-49 ZONE I-P VACANT	11	11	11	0	11	0	11	11	0	0
2	626-405-50 ZONE I-P VACANT	11	11	11	0	11	0	11	11	0	0
23	626-405-23 ZONE I-P INDUSTRIAL	11	11	11	0	11	0	11	11	0	0
22	626-405-22 ZONE I-P INDUSTRIAL	11	11	11	0	11	0	11	11	0	0
21	626-405-21 ZONE I-P INDUSTRIAL	11	11	11	0	11	0	11	11	0	0



APR: 626-150-037 | SD-010
626-150-038
SCALE: 1" = 60'
MASTER SITE PLAN | November 2013

Owner: **Desert Christian Academy**
Applicant: **Dave Fulton**
40700 Via Arroyo
Bermuda Dunes, CA 92020
Rancho Mirage, CA 92270

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul



CASE #: PP23977R1 AMD#1
EXHIBIT: C (floor plans 1-11)
DATED: 3/4/14
PLANNER: P. RULL

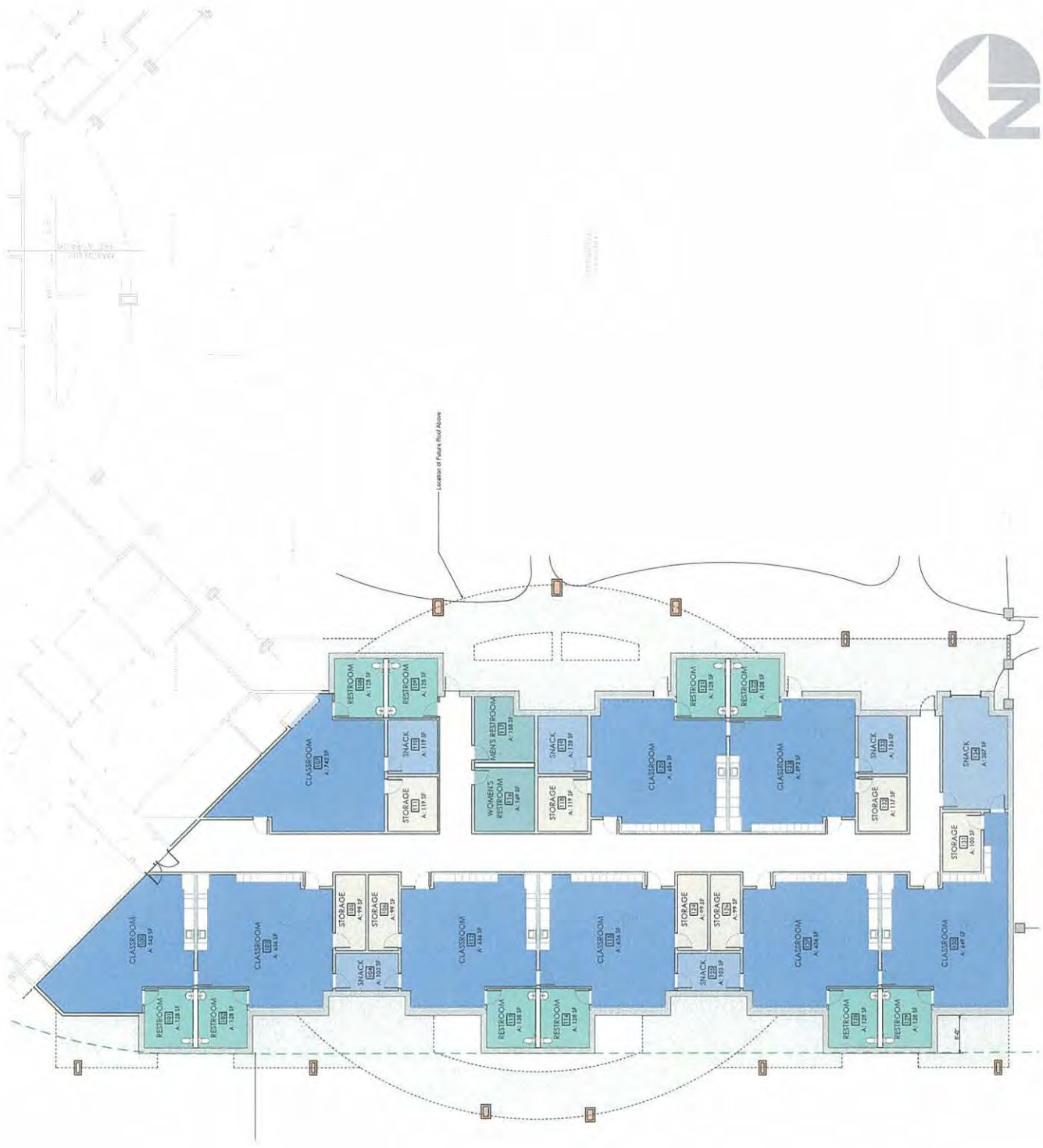
TOTAL SF: 19,300

Owner: Dave Fallon
 Applicant: Hoff Architects
 40700 Yucca Lane
 Bermuda Dunes, CA 92701

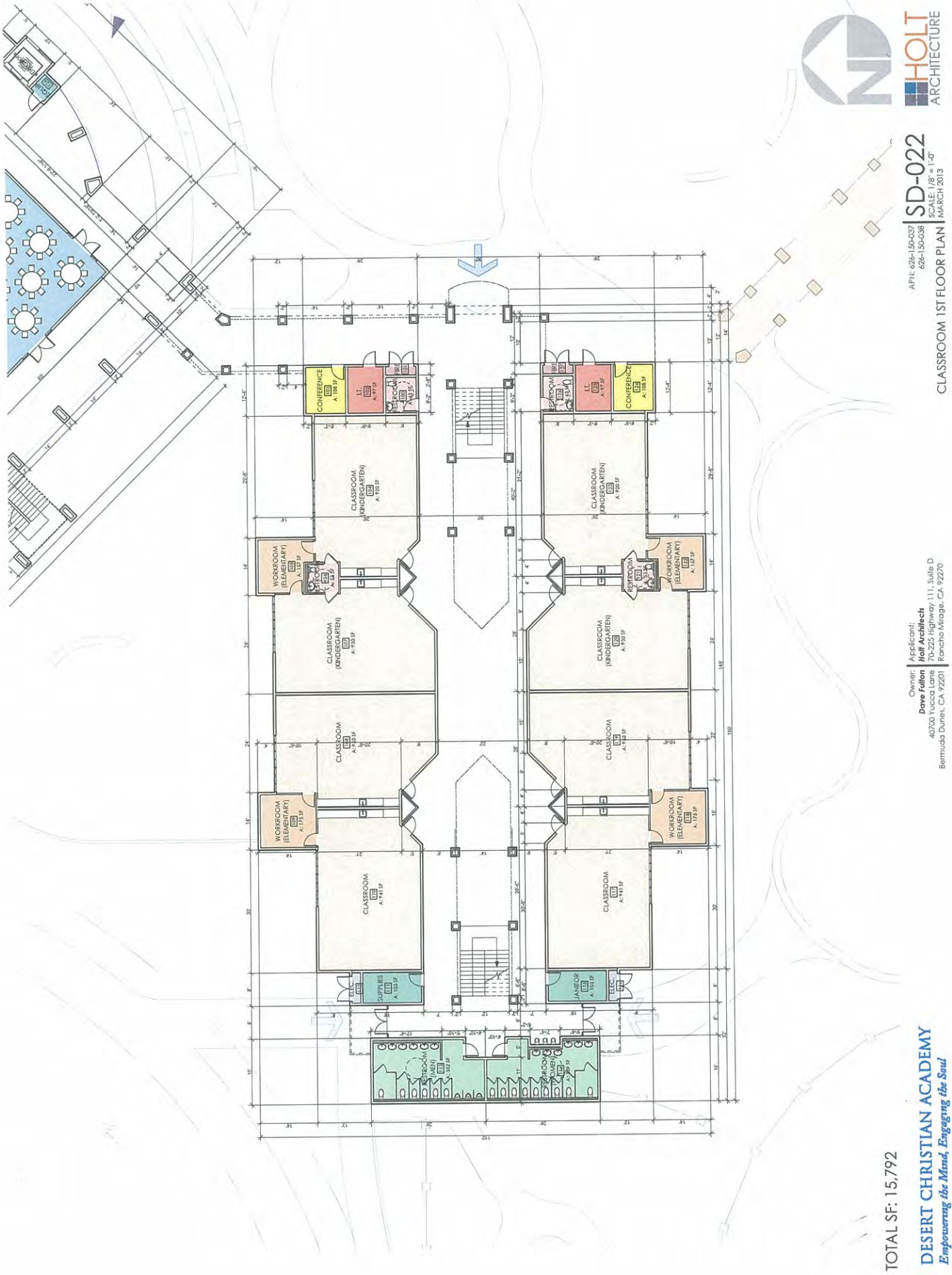
DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul

PARCEL # 626-150-037 | SD-020
 626-150-038
 Scale: 1/8" = 1'-0"
 PRESCHOOL FLOOR PLAN | MARCH 2013



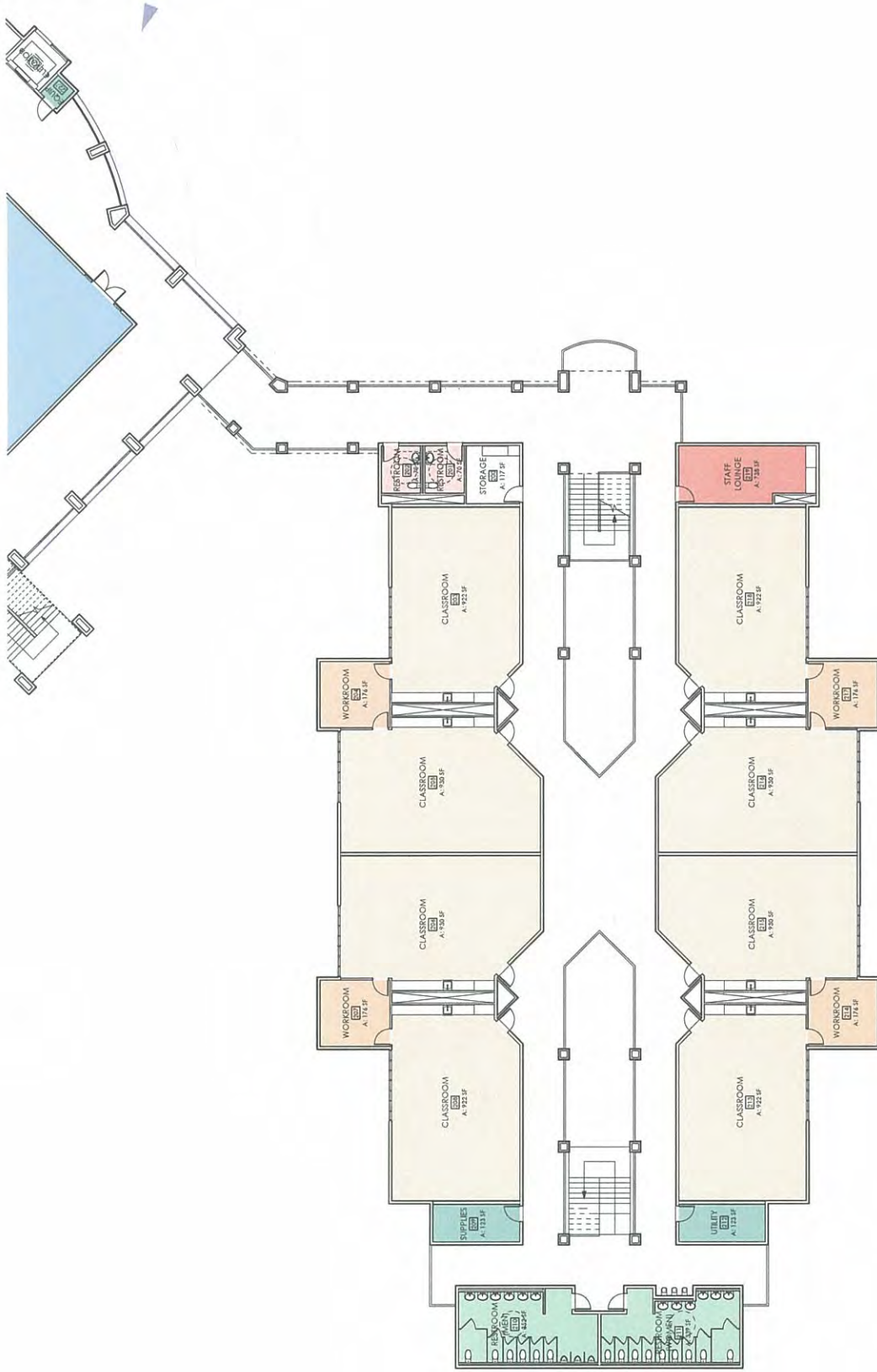


TOTAL SF: 13,000

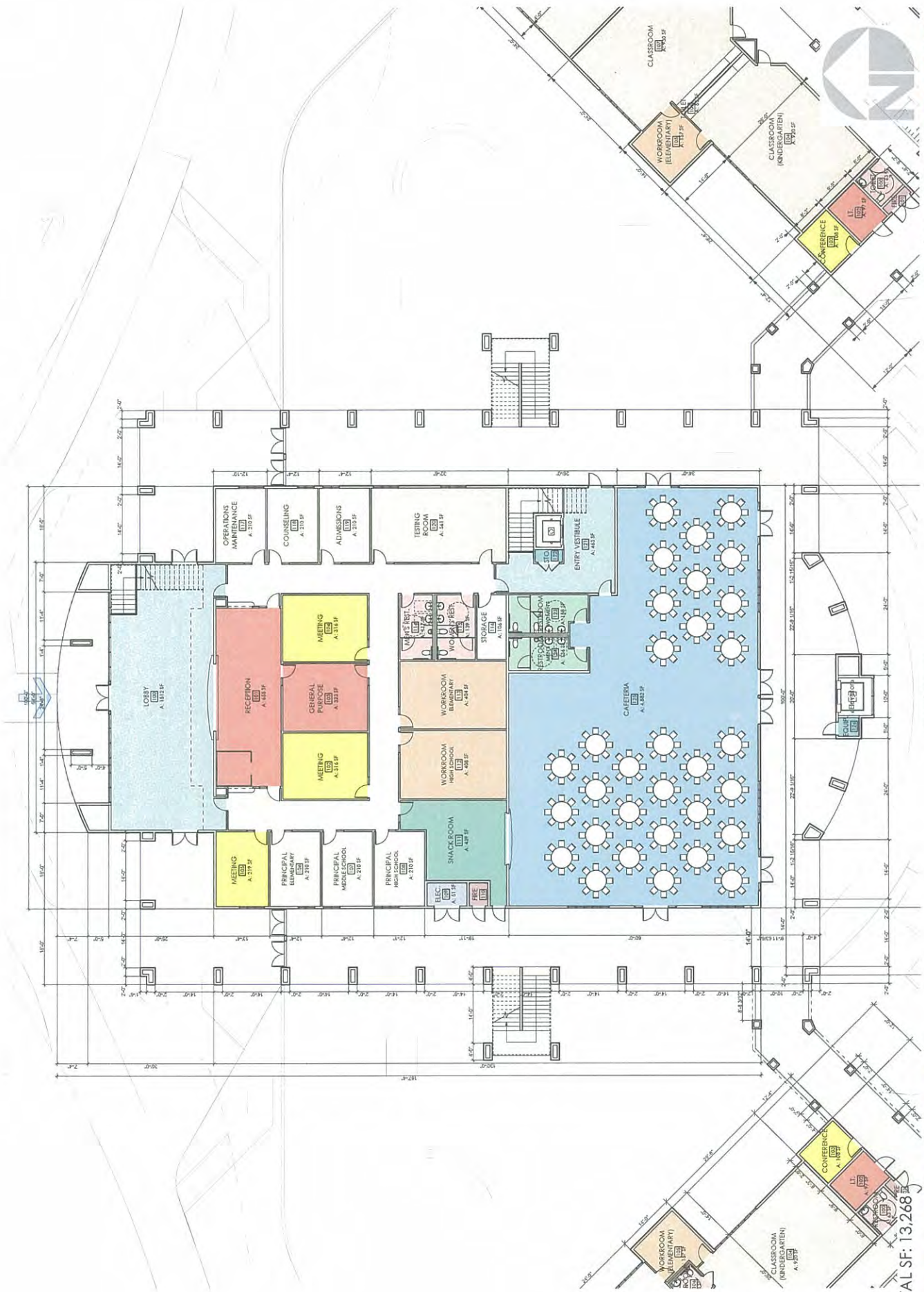


TOTAL SF: 15,792





TOTAL SF: 15,792



TOTAL SF: 13,268



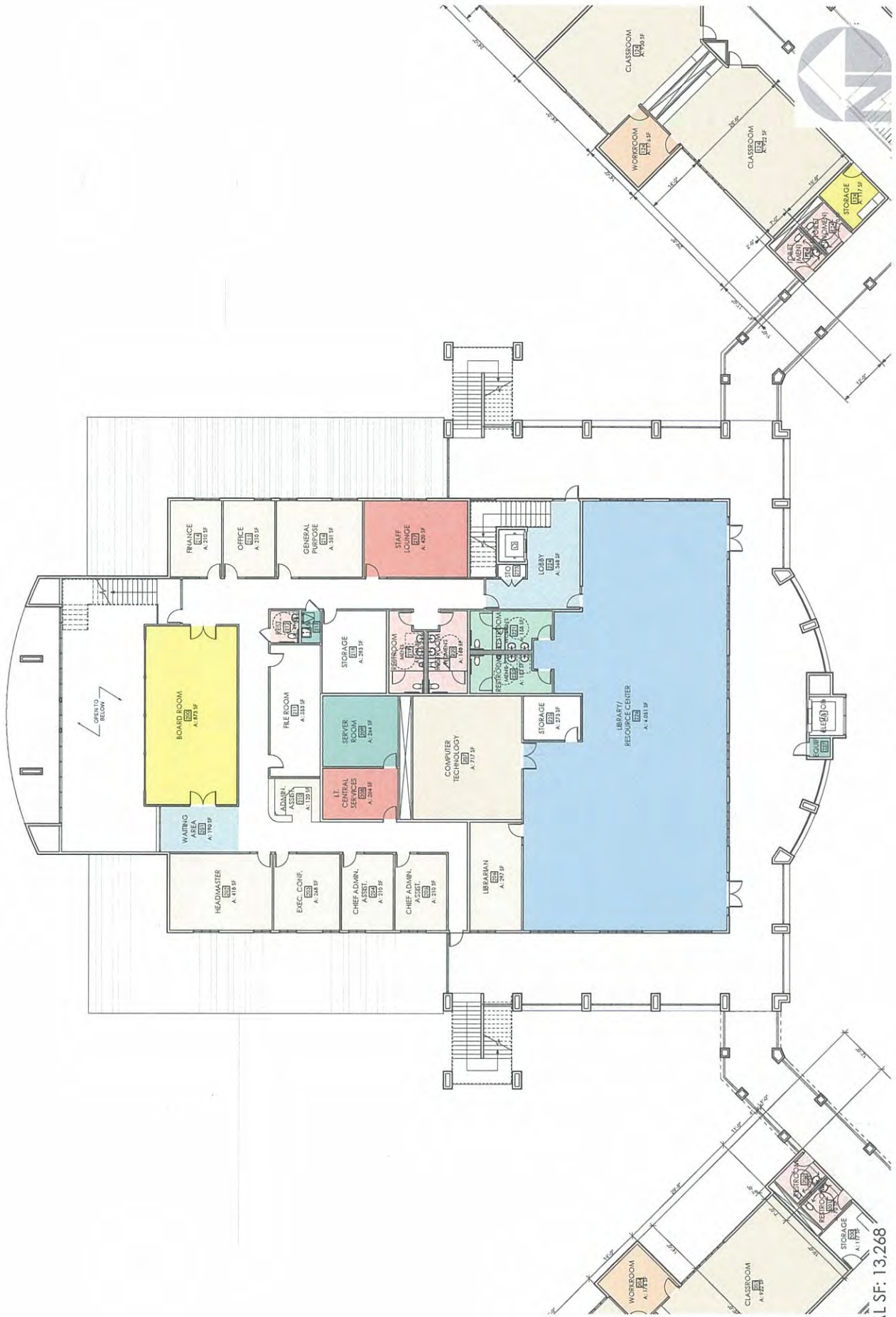
HOLT
ARCHITECTURE

SD-024
SCALE: 1/8" = 1'-0"
MARCH 2013

ADMINISTRATION 1ST FLOOR PLAN

Owner: Applicant:
Dave Fullon **Holt Architects**
40700 YuCCA Lane 70225 Highway 111, Suite D
Bermuda Dunes, CA 92201 | Rancho Mirage, CA 92270

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul



TOTAL SF: 13,268

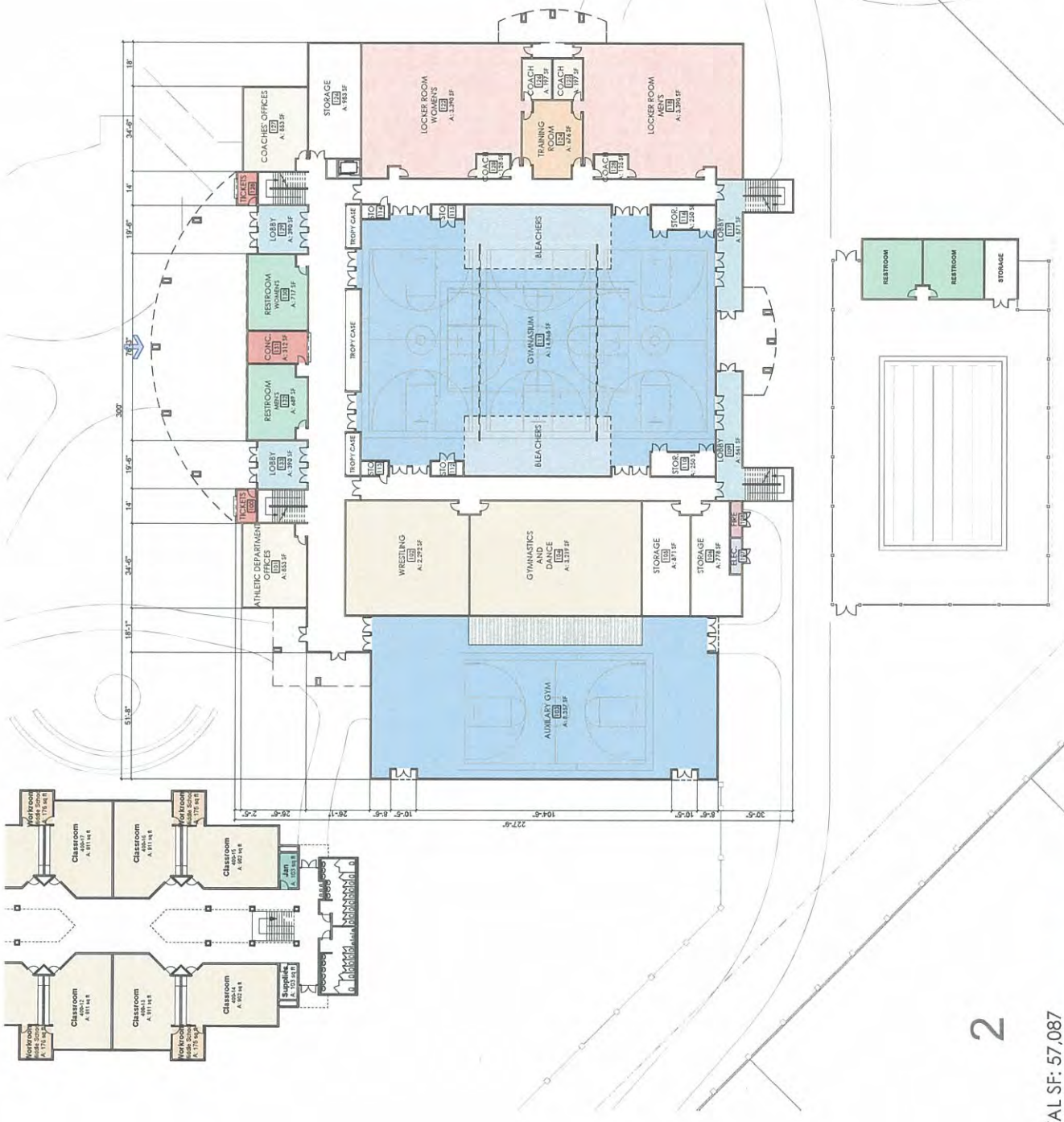


SD-025
 SCALE: 1/8" = 1'-0"
 ADMINISTRATION 2ND FLOOR | MARCH 2013

Owner: Applicant:
 Dave Fulton Holt Architects
 40700 Yucca Lane
 Bermuda Dunes, CA 92201 | Rancho Mirage, CA 92270

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul



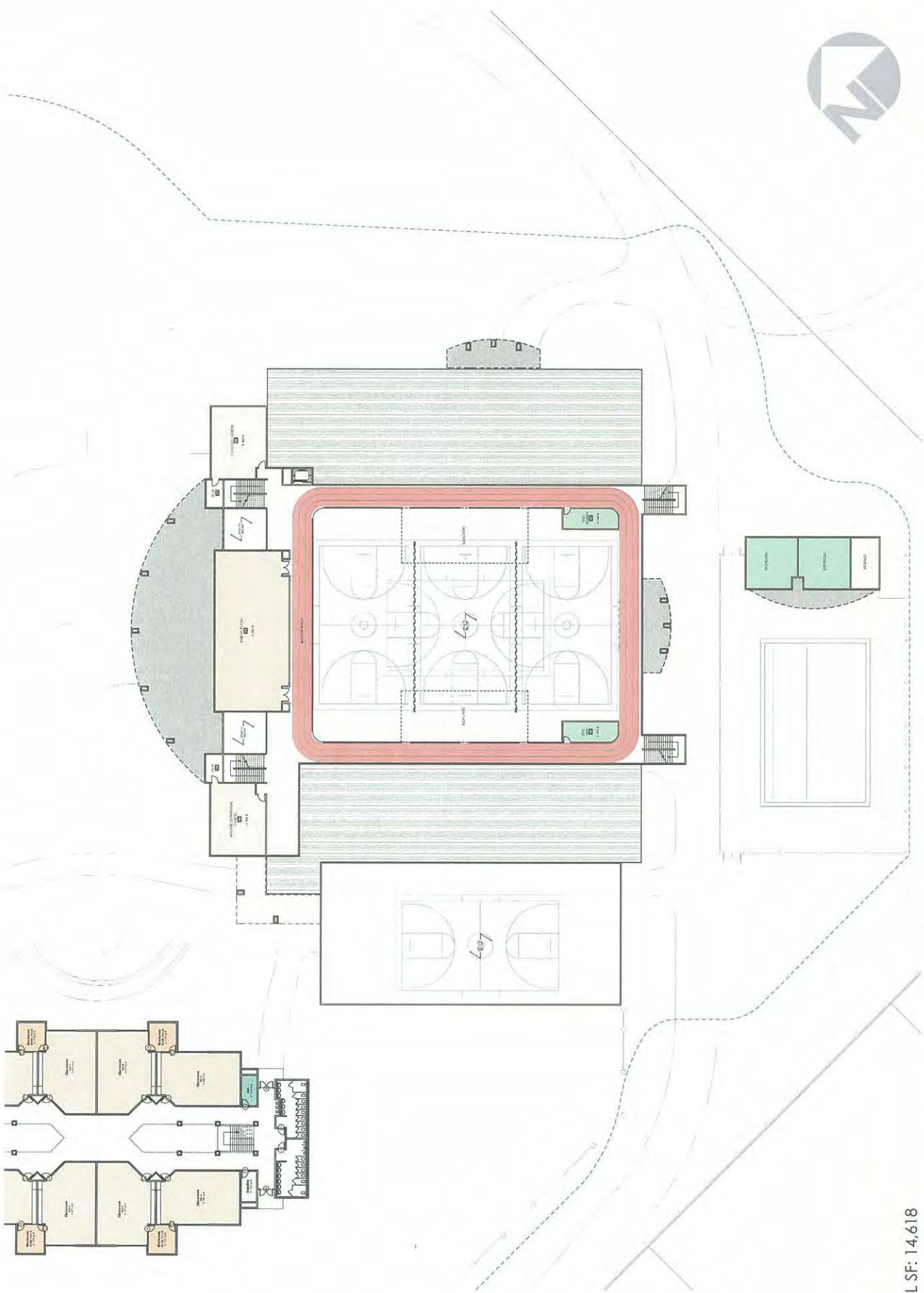


SD-026
 AFN-626-150407
 626-150-038
 SCALE: 1/16" = 1'-0"
 MARCH 2013
 GYMNASIUM 1ST FLOOR PLAN

Owner: Applicant:
 Dave Fuller
 HOLT Architects
 40700 Yucca Lane
 Bermuda Dunes, CA 92201

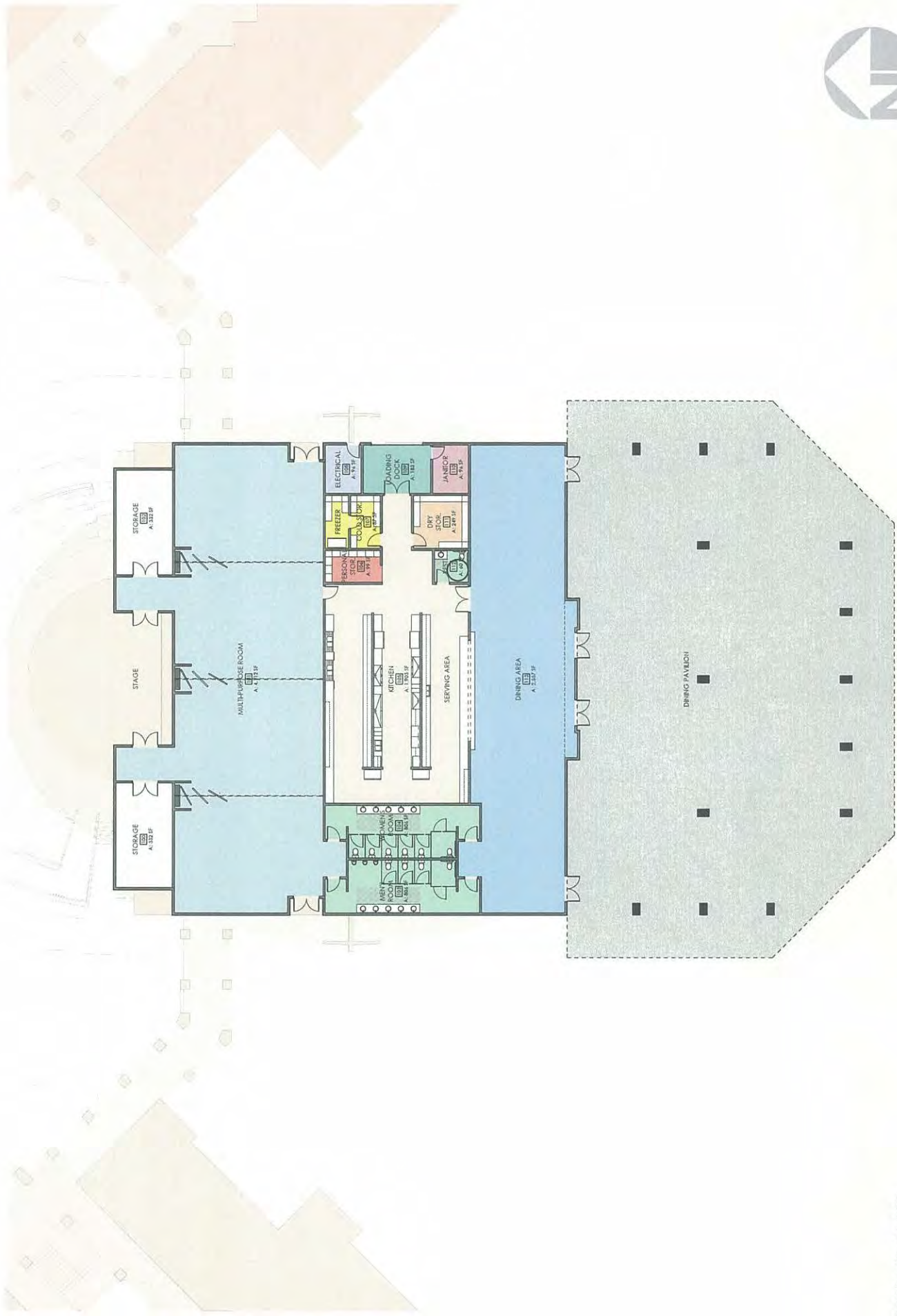
DESERT CHRISTIAN ACADEMY
 Empowering the Mind, Engaging the Soul

TOTAL SF: 57,087



TOTAL SF: 14,618





TOTAL SF: 11,575



TOTAL SF: 23,953



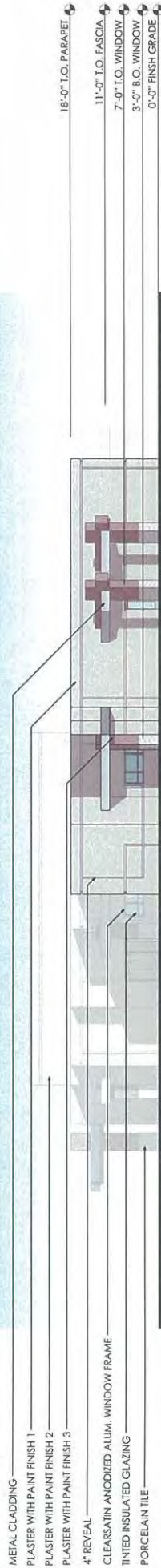
TOTAL SF: 4,534



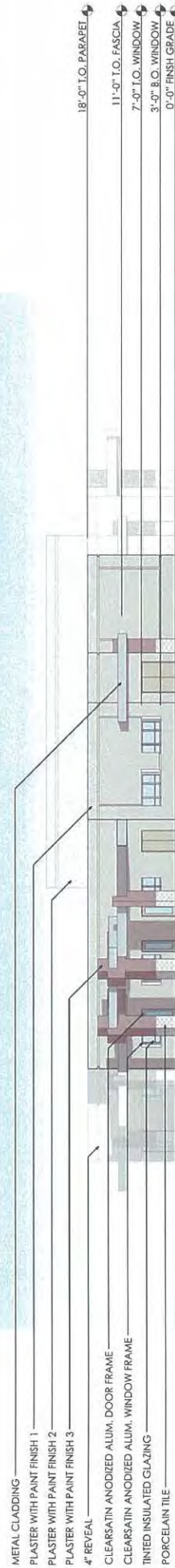
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 2
- METAL CLADDING
- PLASTER WITH PAINT FINISH 1
- 4" REVEAL
- PLASTER WITH PAINT FINISH 3
- CLEAR SATIN ANODIZED ALUM. DOOR FRAME
- CLEAR SATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE

- CLEAR SATIN ANODIZED ALUM. WINDOW FRAME
- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- CLEAR SATIN ANODIZED ALUM. DOOR FRAME
- PORCELAIN TILE

- METAL CLADDING
- PLASTER WITH PAINT FINISH 1
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- CLEAR SATIN ANODIZED ALUM. WINDOW FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE

- METAL CLADDING
- PLASTER WITH PAINT FINISH 1
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- CLEAR SATIN ANODIZED ALUM. DOOR FRAME
- CLEAR SATIN ANODIZED ALUM. WINDOW FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE

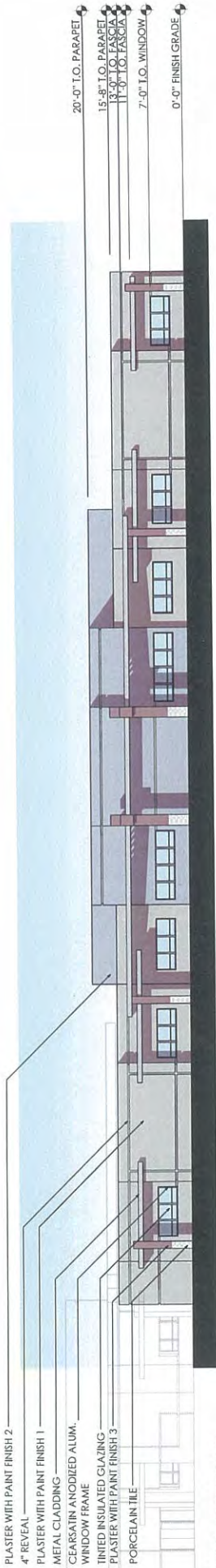
- 26'-6" T.O. PARAPET
- 18'-0" T.O. PARAPET
- 14'-0" T.O. FASCIA
- 11'-0" T.O. FASCIA
- 7'-0" T.O. WINDOW
- 3'-0" B.O. WINDOW
- 0'-0" FINISH GRADE

- 26'-6" T.O. PARAPET
- 18'-0" T.O. PARAPET
- 14'-0" T.O. FASCIA
- 11'-0" T.O. FASCIA
- 7'-0" T.O. WINDOW
- 3'-0" B.O. WINDOW
- 0'-0" FINISH GRADE

- 18'-0" T.O. PARAPET
- 11'-0" T.O. FASCIA
- 7'-0" T.O. WINDOW
- 3'-0" B.O. WINDOW
- 0'-0" FINISH GRADE

- 18'-0" T.O. PARAPET
- 11'-0" T.O. FASCIA
- 7'-0" T.O. WINDOW
- 3'-0" B.O. WINDOW
- 0'-0" FINISH GRADE

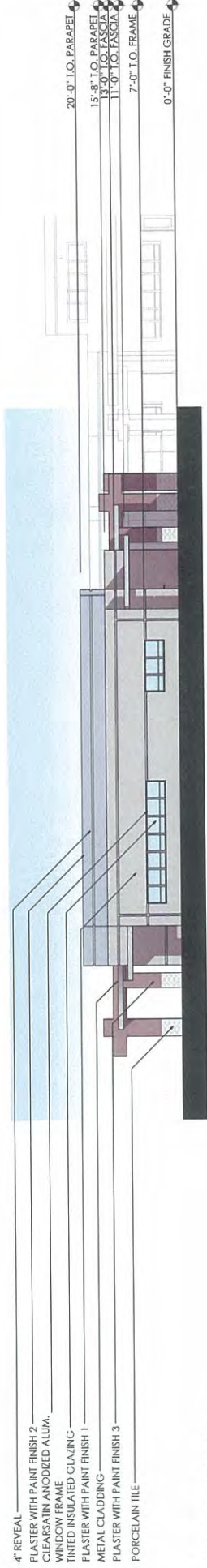
CASE #: PP23977R1 AMD#1
EXHIBIT: B (bidg. elev. 1-9)
DATED: 3/4/14
PLANNER: P. RULL



- PLASTER WITH PAINT FINISH 2
- 4" REVEAL
- PLASTER WITH PAINT FINISH 1
- METAL CLADDING
- CEARSATIN ANODIZED ALUM.
- WINDOW FRAME
- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 3
- PORCELAIN TILE

- 20'-0" I.O. PARAPET
- 15'-8" I.O. PARAPET
- 13'-0" I.O. FASCIA
- 7'-0" I.O. WINDOW
- 0'-0" FINISH GRADE

WEST ELEVATION



- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- CEARSATIN ANODIZED ALUM.
- WINDOW FRAME
- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 1
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- PORCELAIN TILE

- 20'-0" I.O. PARAPET
- 15'-8" I.O. PARAPET
- 13'-0" I.O. FASCIA
- 11'-0" I.O. FASCIA
- 7'-0" I.O. FRAME
- 0'-0" FINISH GRADE

SOUTH ELEVATION



- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- TINTED INSULATED GLAZING
- CEARSATIN ANODIZED ALUM.
- DOOR FRAME
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- METAL ROLL-UP WINDOW COVER
- PORCELAIN TILE

- 20'-0" I.O. PARAPET
- 15'-8" I.O. PARAPET
- 13'-0" I.O. FASCIA
- 11'-0" I.O. FASCIA
- 7'-0" I.O. FRAME
- 0'-0" FINISH GRADE

EAST ELEVATION

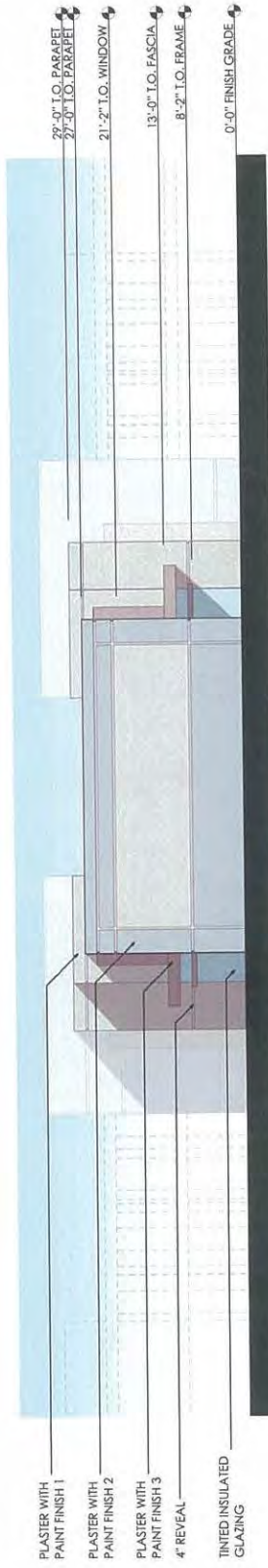
Owner: **Dave Fuller**
 40700 Yucca Lane
 Bermuda Dunes, CA 92201

Applicant: **Holt Architects**
 70-225 Highway 111, Suite D
 Rancho Mirage, CA 92270



PARCEL # 626-150-037 | **SD-032**
 626-150-038
 Scale: 1/8" = 1'-0"
 PRESCHOOL ADDITION ELEVATIONS | MARCH 2013

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul



- PLASTER WITH PAINT FINISH 1
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- TINTED INSULATED GLAZING

- 28'-0" I.O. PARAPET
- 27'-0" I.O. PARAPET
- 21'-2" I.O. WINDOW
- 13'-0" I.O. FASCIA
- 8'-2" I.O. FRAME
- 0'-0" FINISH GRADE

NORTH ELEVATION



- PLASTER WITH PAINT FINISH 1
- 4" REVEAL
- METAL CLADDING
- PLASTER WITH PAINT FINISH 2
- METAL RAILING
- PLASTER WITH PAINT FINISH 3
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- PORCELAIN TILE

- 28'-0" I.O. PARAPET
- 27'-0" I.O. PARAPET
- 24'-0" I.O. FASCIA
- 19'-0" I.O. FRAME
- 12'-0" F.F. 2nd STORY
- 7'-2" I.O. FRAME
- 0'-0" FINISH GRADE

SOUTH ELEVATION



- PLASTER WITH PAINT FINISH 2
- 4" REVEAL
- PLASTER WITH PAINT FINISH 1
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- METAL RAILING
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- PORCELAIN TILE

- 34'-0" I.O. PARAPET
- 29'-0" I.O. PARAPET
- 27'-0" I.O. PARAPET
- 21'-2" I.O. WINDOW
- 13'-0" I.O. FASCIA
- 9'-0" I.O. FRAME
- 0'-0" FINISH GRADE

EAST ELEVATION



- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- METAL CLADDING
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE

- 34'-0" I.O. PARAPET
- 28'-0" I.O. PARAPET
- 27'-0" I.O. FASCIA
- 24'-0" I.O. FASCIA
- 12'-0" F.F. 2nd STORY
- 9'-0" I.O. FRAME
- 0'-0" FINISH GRADE

WEST ELEVATION

Owner: **Dave Fallon**
 48700 Yucca Lane
 Bermuda Dunes, CA 92201

Applicant: **Holt Architects**
 628-150-037
 628-150-038

APN: 628-150-037

SD-033
 SCALE: 1/8" = 1'-0"
 MARCH 2013

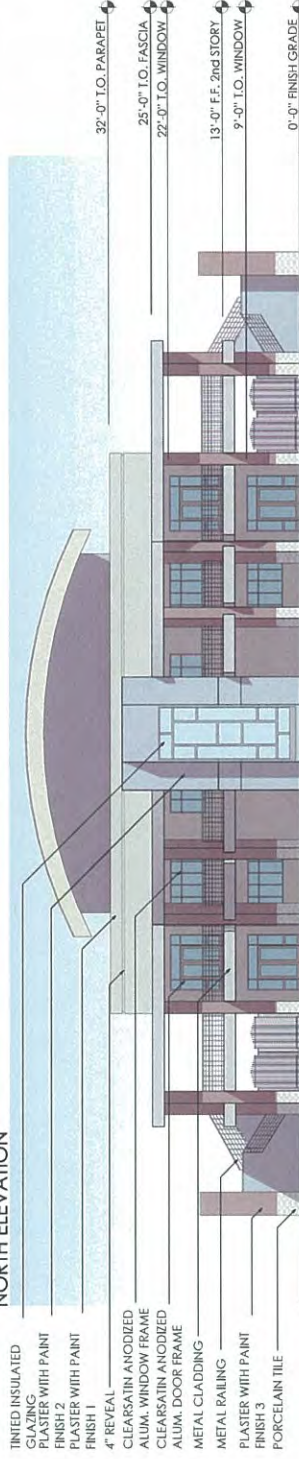
CLASSROOM ELEVATIONS





NORTH ELEVATION

- METAL CLADDING
- CLEAR ANODIZED ALUM. DOOR FRAME
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- 4" REVEAL
- METAL RAILING
- PLASTER WITH PAINT FINISH 3
- CLEAR ANODIZED ALUM. WINDOW FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE



SOUTH ELEVATION

- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- 4" REVEAL
- CLEAR ANODIZED ALUM. WINDOW FRAME
- CLEAR ANODIZED ALUM. DOOR FRAME
- METAL CLADDING
- METAL RAILING
- PLASTER WITH PAINT FINISH 3
- PORCELAIN TILE



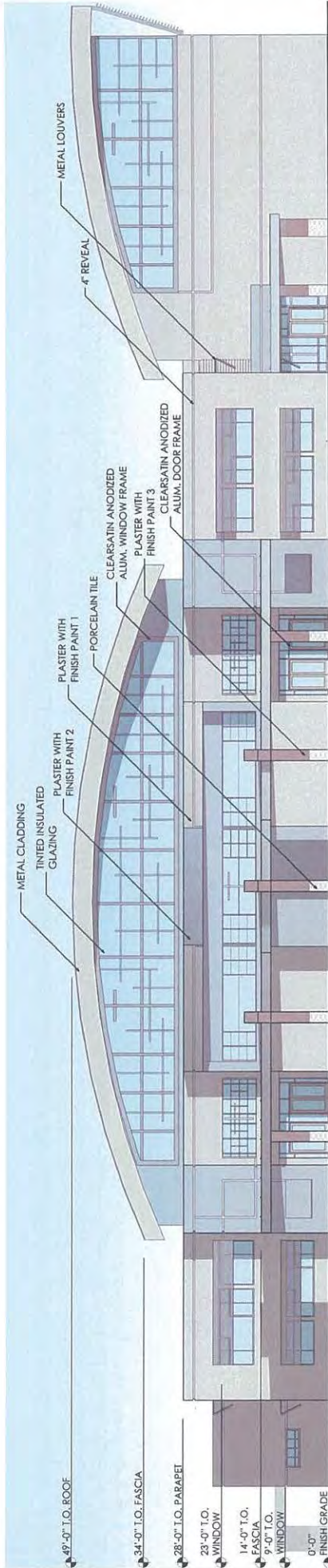
EAST ELEVATION

- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- CLEAR ANODIZED ALUM. WINDOW FRAME
- CLEAR ANODIZED ALUM. DOOR FRAME
- METAL RAILING
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- PORCELAIN TILE

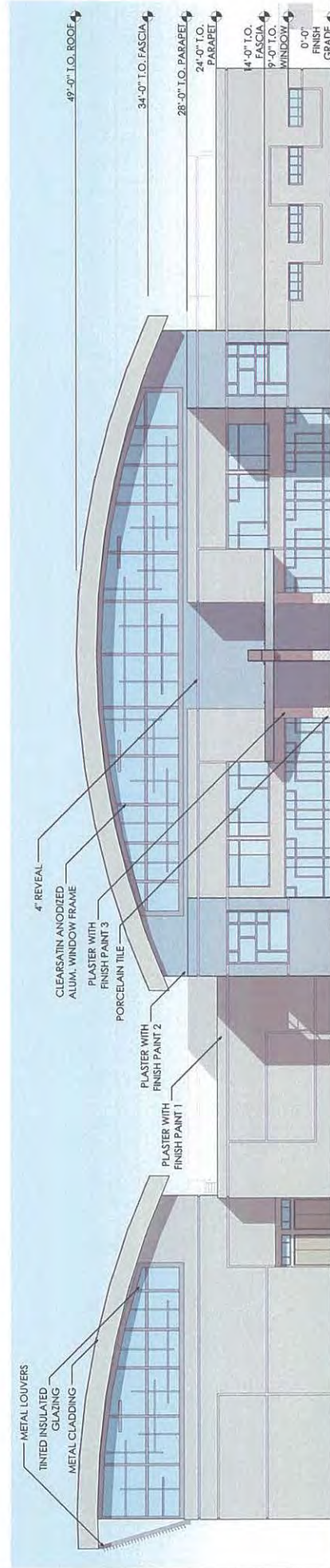


WEST ELEVATION

- STANDING SEAM METAL ROOF
- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- CLEAR ANODIZED ALUM. WINDOW FRAME
- CLEAR ANODIZED ALUM. DOOR FRAME
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- TINTED INSULATED GLAZING
- PORCELAIN TILE



NORTHWEST ELEVATION



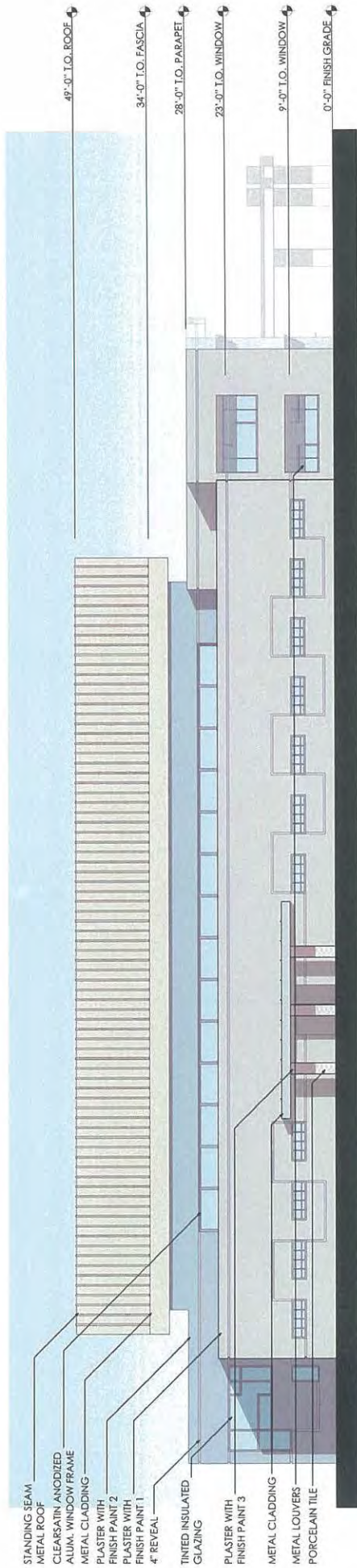
SOUTHWEST ELEVATION

Owner: **Dave Fullen**
 Applicant: **Holt Architects**
 40700 Yucca Lane
 Bermuda Dunes, CA 92201

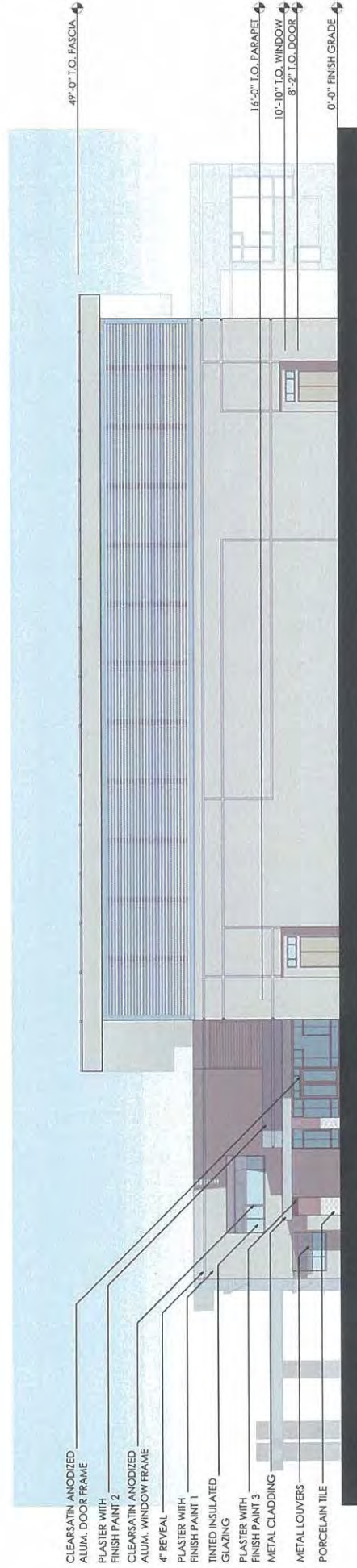


SD-035
 SCALE: 1/8" = 1'-0"
 MARCH 2013
 GYMNASIUM END ELEVATIONS

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul



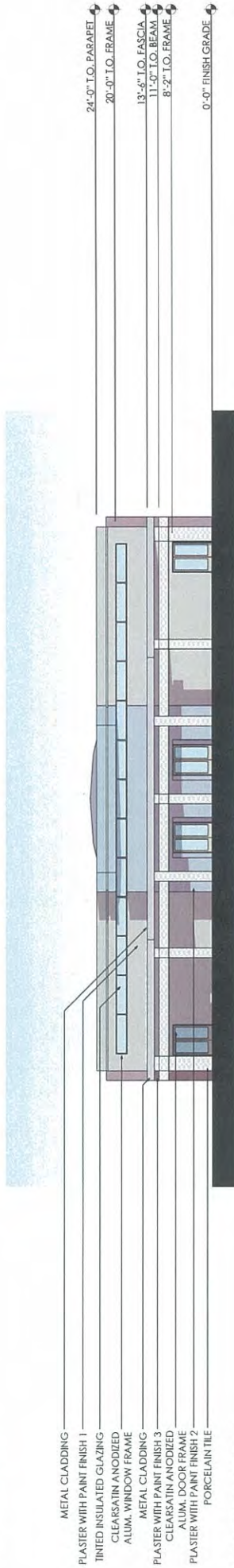
NORTHEAST ELEVATION



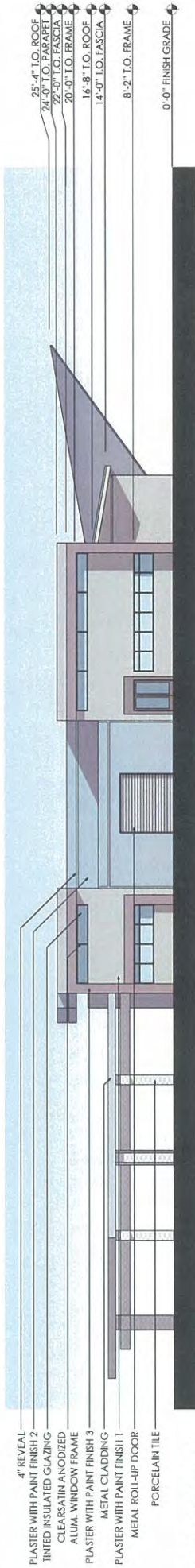
SOUTHEAST ELEVATION



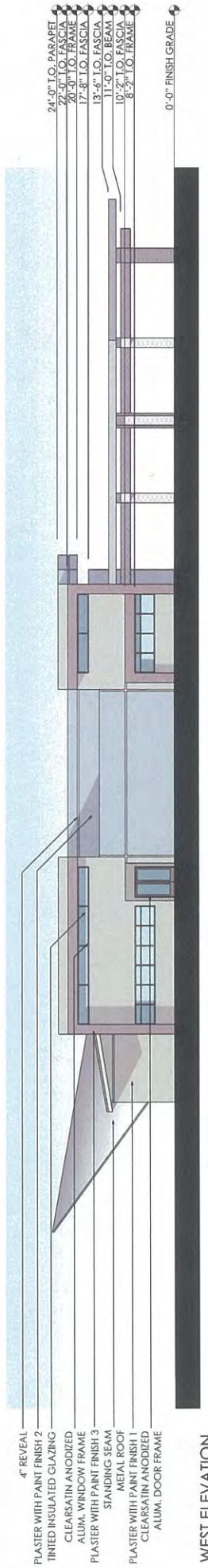
NORTH ELEVATION



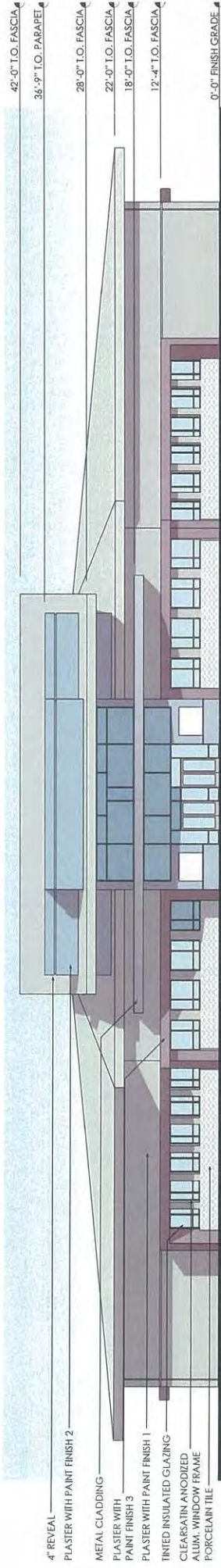
SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



42'-0" T.O. FASCIA
36'-9" T.O. PARAPET
28'-0" T.O. FASCIA
22'-0" T.O. FASCIA
18'-0" T.O. FASCIA
12'-4" T.O. FASCIA
0'-0" FINISH GRADE

SOUTHWEST ELEVATION

- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- PLASTER WITH PAINT FINISH 1
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE



36'-9" T.O. PARAPET
28'-0" T.O. FASCIA
22'-0" T.O. FASCIA
18'-0" T.O. FASCIA
12'-4" T.O. FASCIA
0'-0" FINISH GRADE

SOUTHEAST ELEVATION

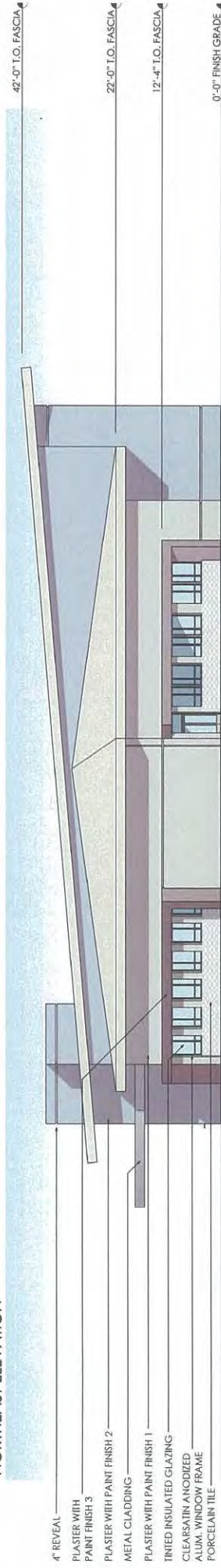
- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE



42'-0" T.O. FASCIA
22'-0" T.O. FASCIA
12'-4" T.O. FASCIA
0'-0" FINISH GRADE

NORTHEAST ELEVATION

- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE



42'-0" T.O. FASCIA
22'-0" T.O. FASCIA
12'-4" T.O. FASCIA
0'-0" FINISH GRADE

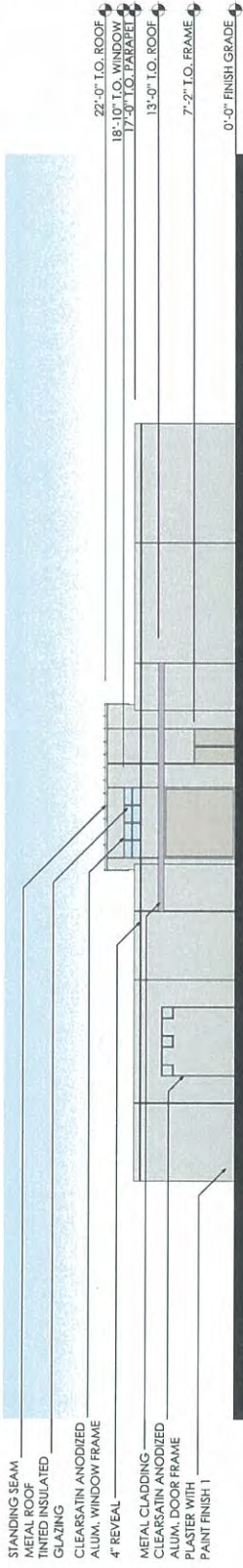
NORTHWEST ELEVATION

- 4" REVEAL
- PLASTER WITH PAINT FINISH 3
- PLASTER WITH PAINT FINISH 2
- METAL CLADDING
- PLASTER WITH PAINT FINISH 1
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE

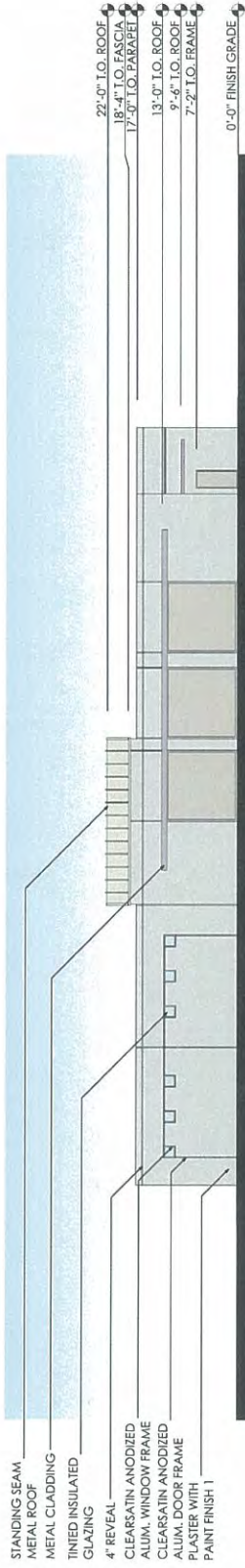
Owner: Dave Fullon
Applicant: **Holt Architects**
40700 YuCCA Lane
Bermuda Dunes, CA 92201 | Rancho Mirage, CA 92270



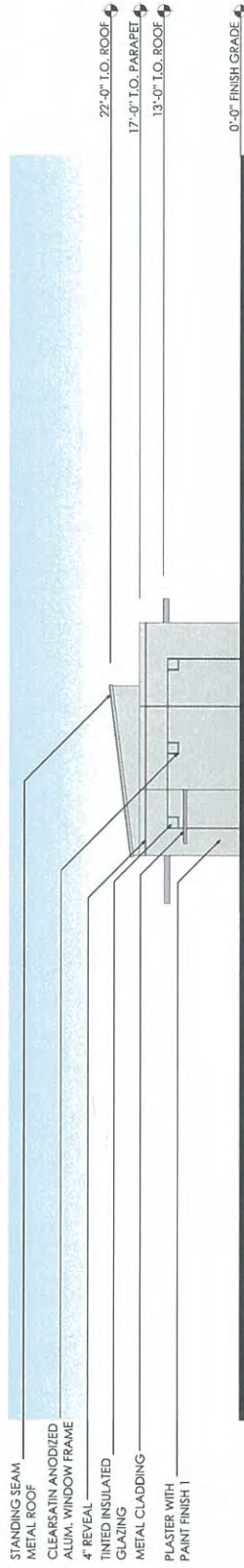
PARCEL # 626-150-037 | **SD-038**
626-150-038 | Scale: 1/8" = 1'-0"
FINE ARTS ELEVATIONS | MARCH 2013



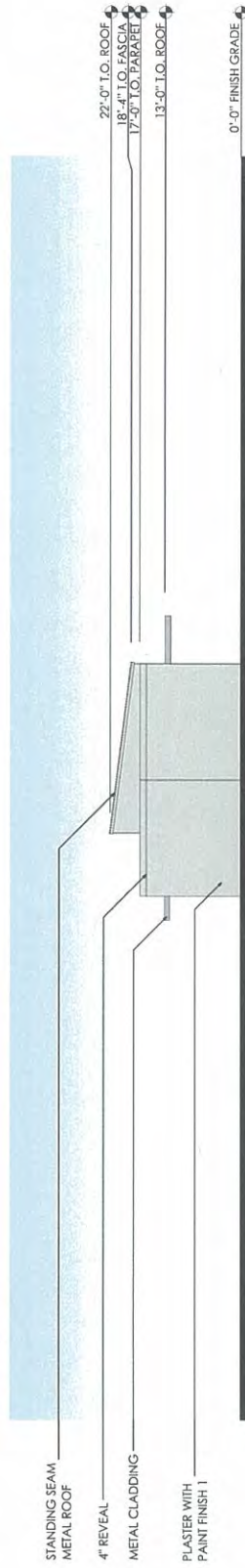
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

Owner: Dave Fulton
 Applicant: Holf Architects
 40700 Inca Lane
 Bermuda Dunes, CA 92201 | Rancho Mirage, CA 92270



PARCEL # 626-150-037 | SD-039
 626-150-038 | Scale: 1/8" = 1'-0"
 MAINTENANCE ELEVATIONS | MARCH 2013

NOTES:

1. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
2. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
3. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
4. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
5. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
6. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
7. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
8. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
9. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
10. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
11. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
12. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
13. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
14. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
15. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
16. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
17. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
18. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
19. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
20. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
21. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
22. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
23. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
24. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038
25. APPROVED PROJECT MAP NO. 609-136-010-P & 691-102-038

VICINITY MAP



UTILITIES

- ELECTRIC: SOUTHWEST CALIFORNIA GAS COMPANY (760) 338-4671, (760) 335-7629, (760) 778-3003
- TELEPHONE: VERIZON TELEPHONE COMPANY (760) 238-5571, (760) 238-4448
- CABLE: ADOLPHUS CABLE (760) 238-4448
- SEWER: PONCEILA VALLEY WATER DISTRICT (760) 381-3501

EASEMENT NOTES

- 1. EASEMENT FOR GAS MAINS AND WATERSHED SERVICE LOTS 3, 4 & 5.
- 2. EASEMENT FOR GAS MAINS AND WATERSHED SERVICE LOTS 3, 4 & 5.
- 3. EASEMENT FOR GAS MAINS AND WATERSHED SERVICE LOTS 3, 4 & 5.
- 4. EASEMENT FOR GAS MAINS AND WATERSHED SERVICE LOTS 3, 4 & 5.
- 5. EASEMENT FOR GAS MAINS AND WATERSHED SERVICE LOTS 3, 4 & 5.

LEGAL DESCRIPTION

THE PROJECT AREA IS PART OF THE COUNTY OF PALM DESERT, CALIFORNIA, AND MORE PARTICULARLY PART OF THE UNINCORPORATED TOWN OF PALM DESERT, CALIFORNIA. THE PROJECT AREA IS DESCRIBED AS FOLLOWS:

ACREAGE SUMMARY

TOTAL ACRES: 12.5
 PROJECT AREA: 4.8
 PUBLIC RIGHTS: 0.2
 TOTAL: 7.5

FLOOD ZONE DETAIL



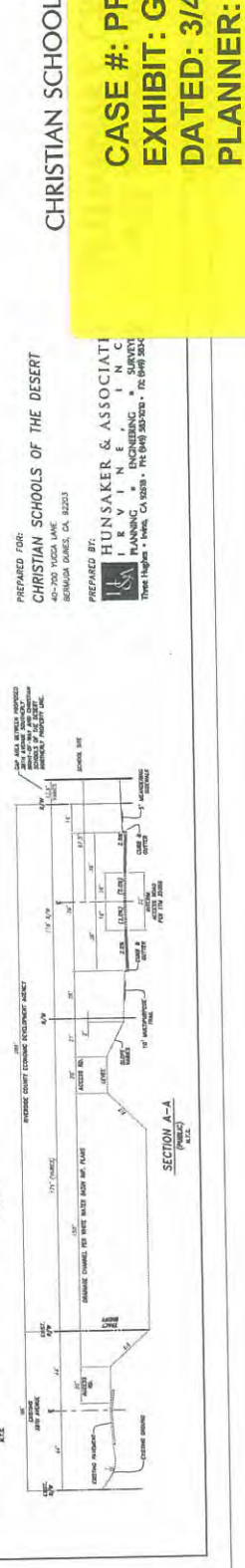
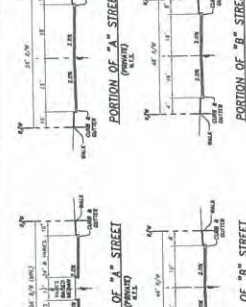
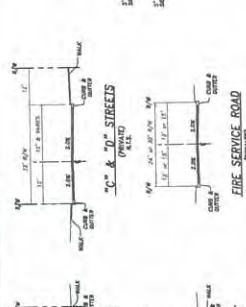
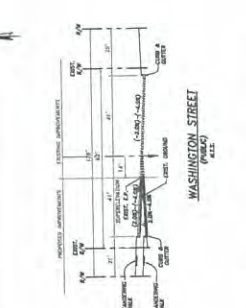
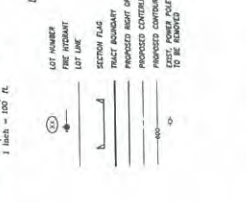
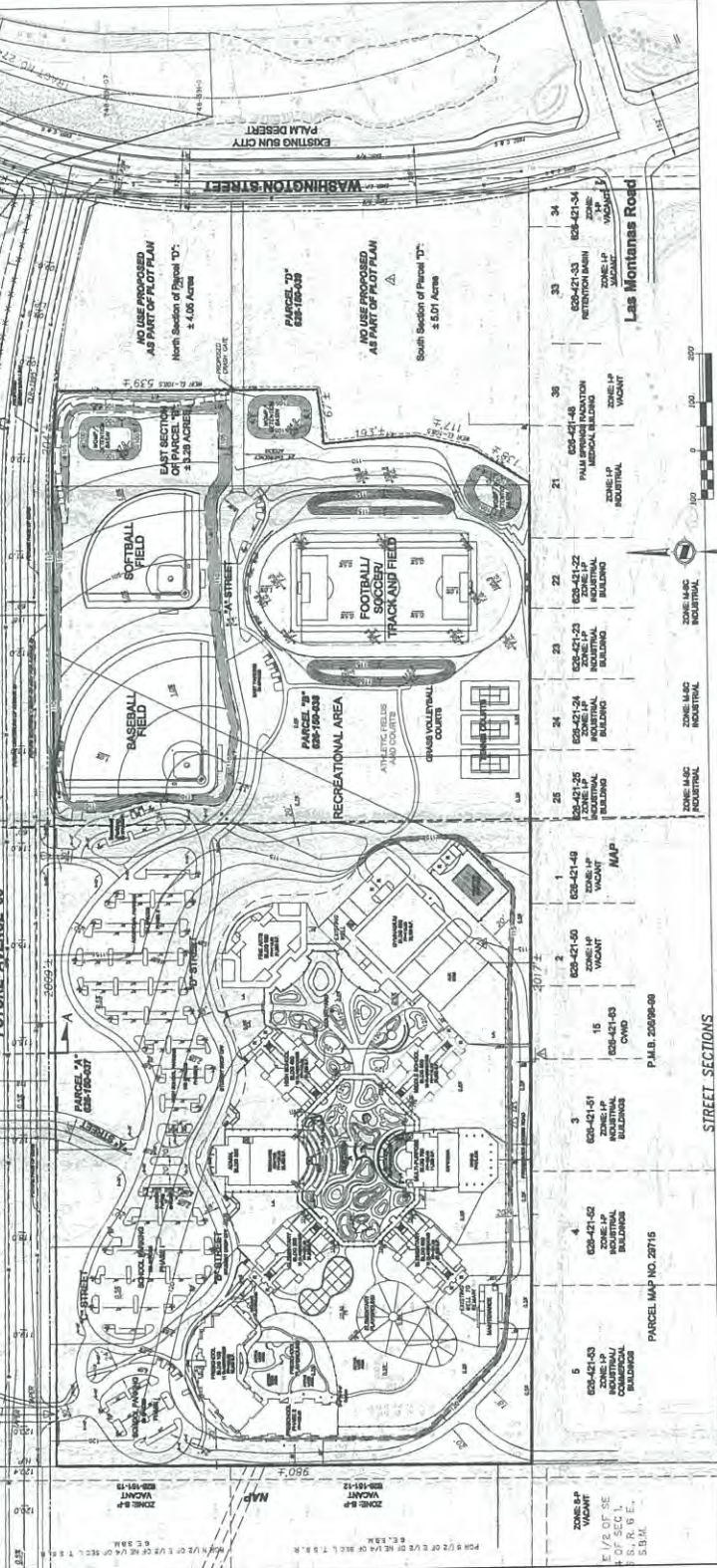
STATEMENT OF OWNERSHIP

I, the undersigned, hereby certify that I am the owner of the above described project and that the project is being developed in accordance with the terms and conditions of the project approval.

PARCEL MAP NO. 609-136-010-P & 691-102-038
 FOR THE CITY OF PALM DESERT, CALIFORNIA
 SHEET C-1

CHRISTIAN SCHOOLS OF THE DESERT CAMPUS

CASE #: PP23977R1 AMD#1
EXHIBIT: G (grading 1-3)
DATED: 3/4/14
PLANNER: P. RULL

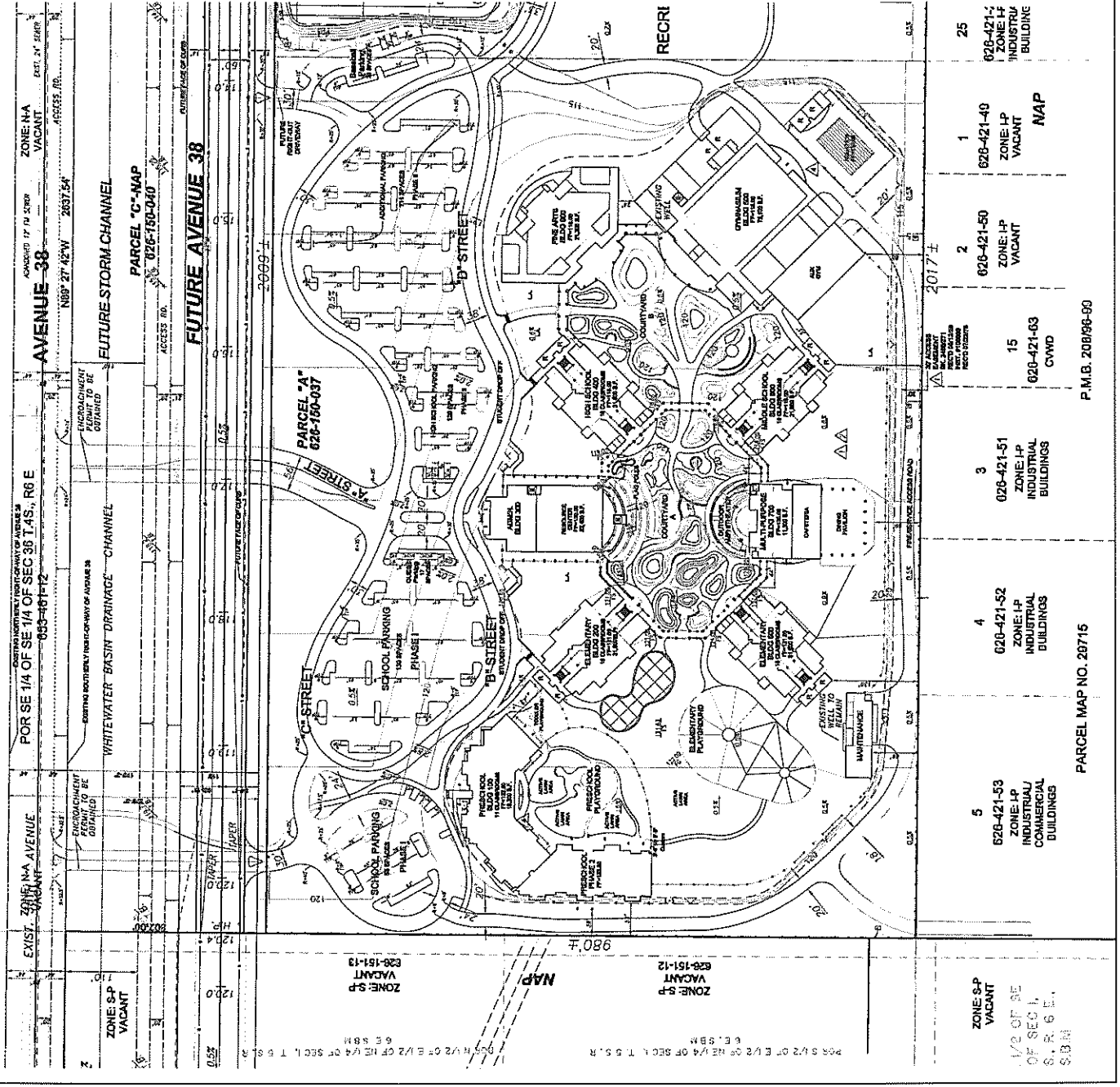


FOR SHEET NO. 609-136-010-P & 691-102-038
 FOR THE CITY OF PALM DESERT, CALIFORNIA
 SHEET C-1

PREPARED FOR:
CHRISTIAN SCHOOLS OF THE DESERT
 44150 S. LAS VEGAS AVENUE
 BERMUDA Dunes, CA, 92253

PREPARED BY:
HUNSAKER & ASSOCIATES
 CIVIL ENGINEERING & SURVEYING
 Three Hedges - Irvine, CA 92618 - TEL: 949-552-2026 - FAX: 949-552-2026

MATCH LINE SEE SHEET C-3



ZONE S-P VACANT
 1/2 OF SE OF SEC 1,
 S. R. 6 E.,
 S. 30 N.

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
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AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
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 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
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CONVEYANCE TO THE COUNTY OF AVAREAS FOR
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AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
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CONVEYANCE TO THE COUNTY OF AVAREAS FOR
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AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
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AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
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 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

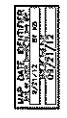
CONVEYANCE TO THE COUNTY OF AVAREAS FOR
 POR SE 1/4 OF SEC 38 T.4S., R.6 E
AVENUE 38
 N. 88° 27' 42" W
 2837.54'
 ENDEAVOR BY TO S. 2808
 ZONE NA
 VACANT
 EXT. AT SEER

EASEMENT NOTES

- 1. ALL EASEMENTS ARE 10' WIDE UNLESS OTHERWISE SPECIFIED.
- 2. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.
- 3. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.
- 4. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.
- 5. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.
- 6. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.
- 7. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.
- 8. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.
- 9. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.
- 10. ALL EASEMENTS ARE SUBJECT TO THE EASEMENTS SHOWN ON THE SURVEY.

LEGEND

- TOP OF SLOPE
- TOP OF CURB
- TOP OF DRIVEWAY
- TOP OF STAIR
- TOP OF WALL
- TOP OF ROOF
- TOP OF SLOPE
- TOP OF CURB
- TOP OF DRIVEWAY
- TOP OF STAIR
- TOP OF WALL
- TOP OF ROOF
- TOP OF SLOPE
- TOP OF CURB
- TOP OF DRIVEWAY
- TOP OF STAIR
- TOP OF WALL
- TOP OF ROOF
- TOP OF SLOPE
- TOP OF CURB
- TOP OF DRIVEWAY
- TOP OF STAIR
- TOP OF WALL
- TOP OF ROOF



PREPARED FOR:
CHRISTIAN SCHOOLS OF THE DESERT
 40-700 VECAL LANE
 BERMDA BEACH, CA 92023

PREPARED BY:
HUNSAKER & ASSOCIATES
 J. HUNSAKER, P.E.
 J. HUNSAKER, P.E.
 PLANNING, ENGINEERING, SURVEYING
 Three Hughes - Irvine, CA 92618 - Tel: (949) 261-1111

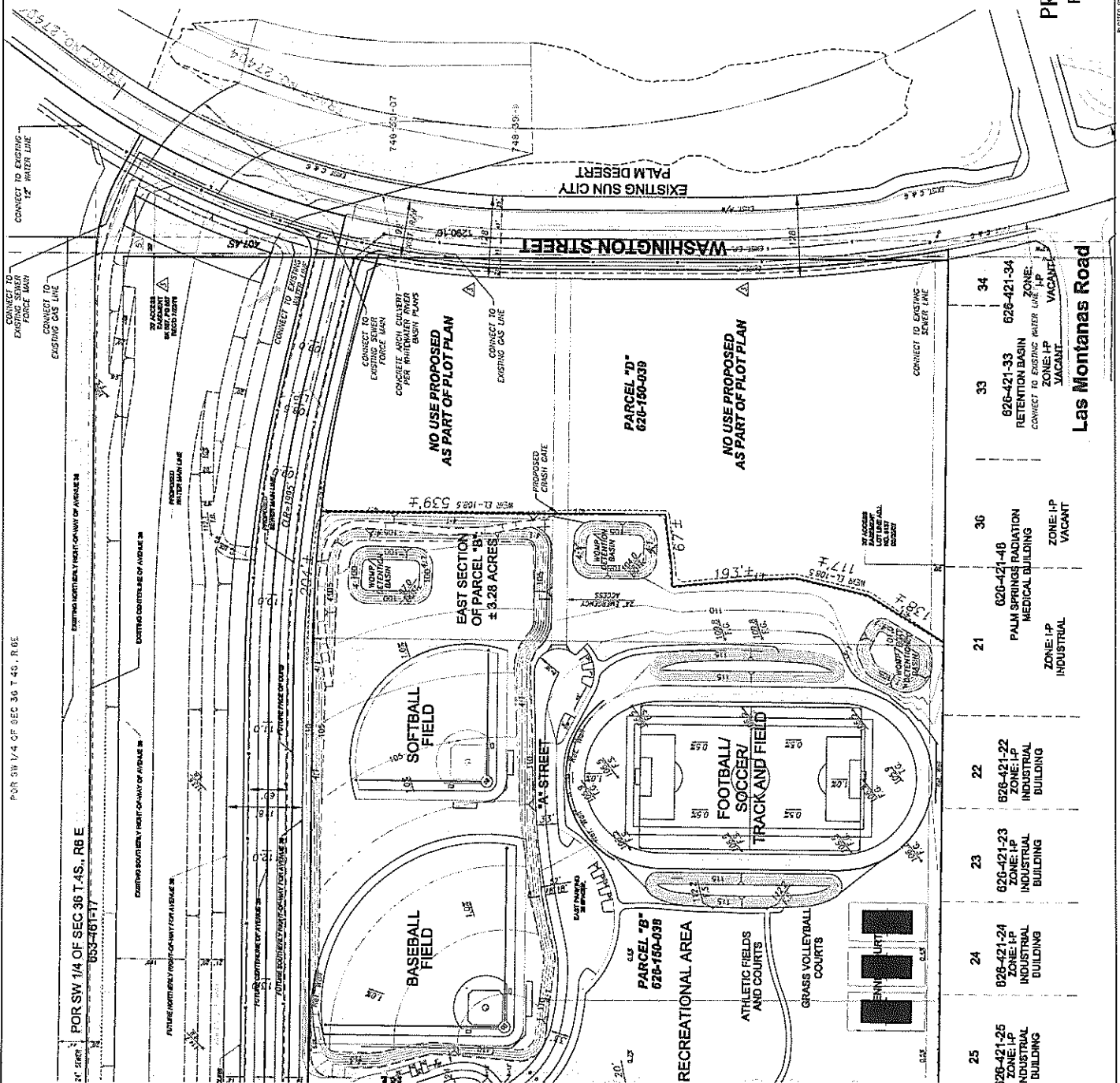
CHRISTIAN SCHOOLS OF THE DESERT CAMPUS PRELIMINARY GRADING / UTILITY PLAN PLOT PLAN FOR A PRIVATE CHRISTIAN SCHOOL

SHEET C-2

POR SW 1/4 OF SEC 36 T 40. R 06E

POR SW 1/4 OF SEC 36 T 40. R 06E

MATCH LINE SEE SHEET C-2

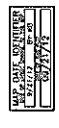


EASEMENT NOTES

- 1. ALL UTILITIES SHOWN ARE BASED UPON RECORD PLANS.
- 2. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.
- 3. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.
- 4. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.
- 5. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.
- 6. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.
- 7. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.
- 8. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.
- 9. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.
- 10. THE LOCATION OF ALL UTILITIES SHALL BE VERIFIED BY FIELD SURVEY.

LEGEND

- SET NUMBER
- PIPE MATERIAL
- PIPE SIZE
- SECTION FLAG
- PLATE ANCHORAGE
- PROMISED RIGHT OF WAY LINE
- PROMISED CENTERLINE
- PROMISED CENTERLINE
- EXISTING CENTERLINE
- EXISTING CENTERLINE
- TOP OF SLOPE
- BASE OF SLOPE
- OUTLET LINE
- PROMISED STORM DRAIN
- PROMISED WATER
- PROMISED STREET
- EXISTING CENTERLINE



PREPARED FOR:
CHRISTIAN SCHOOLS OF THE DESERT
 40-700 MONTELEONE LANE
 BEVERLY HILLS, CA 92023

PREPARED BY:
HUNSAKER & ASSOCIATES
 L I K V I N E I N C
 PLANNING • ENGINEERING • SURVEYING
 11000 Wilshire Blvd., Suite 200, Beverly Hills, CA 90210 • Tel: (310) 276-1000 • Fax: (310) 276-1001

**CHRISTIAN SCHOOLS OF THE DESERT CAMPUS
 PRELIMINARY GRADING / UTILITY PLAN
 PLOT PLAN FOR A PRIVATE CHRISTIAN SCHOOL**

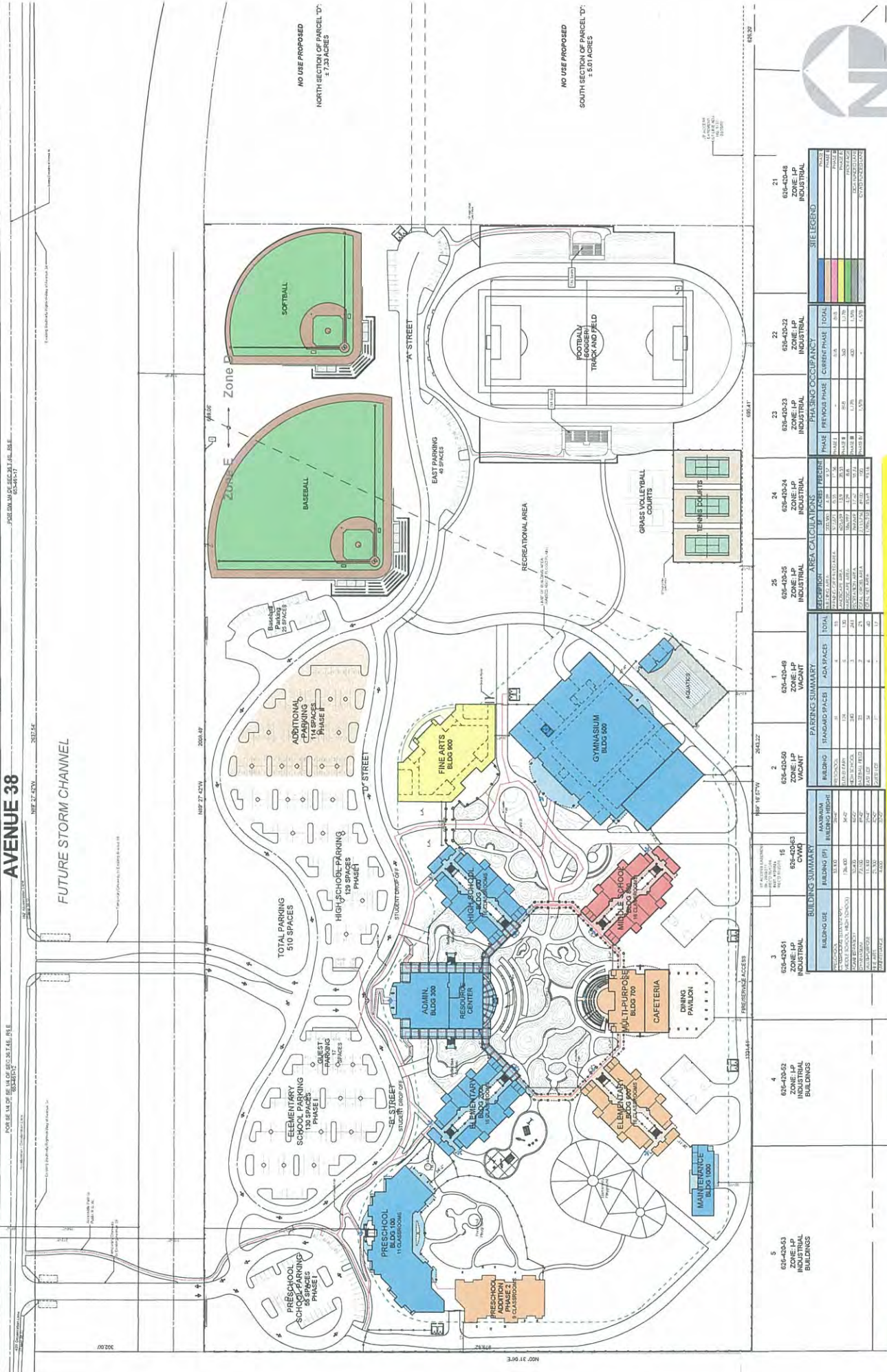


HOLT
ARCHITECTURE

AFN: 626-150-037 | **SD-011**
626-150-038 | November 2013

CASE #: PP23977R1 AMD#1
EXHIBIT: S (stormdrain 1-2)
DATED: 3/4/14
PLANNER: P. RULL

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul



AVENUE 38

FUTURE STORM CHANNEL

NO USE PROPOSED
NORTH SECTION OF PARCEL 'D'
± 7.33 ACRES

NO USE PROPOSED
SOUTH SECTION OF PARCEL 'D'
± 5.01 ACRES

NO.	BUILDING USE	BUILDING SUMMARY		PARKING SUMMARY		AREA CALCULATIONS		PHASING OCCUPANCY		SITE LEGEND	
		BUILDING (PT)	ADDITIONAL	STANDARD SPACES	ADA SPACES	TOTAL	PHASE	CURRENT PHASE	TOTAL	PHASE	TOTAL
5	626-00-53 ZONE: I-P INDUSTRIAL BUILDINGS	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100
4	626-00-52 ZONE: I-P INDUSTRIAL BUILDINGS	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100
3	626-00-51 ZONE: I-P INDUSTRIAL	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100
1	626-00-49 ZONE: I-P VACANT	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100
25	626-00-25 ZONE: I-P INDUSTRIAL	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100
24	626-00-24 ZONE: I-P INDUSTRIAL	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100
23	626-00-23 ZONE: I-P INDUSTRIAL	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100
22	626-00-22 ZONE: I-P INDUSTRIAL	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100
21	626-00-46 ZONE: I-P INDUSTRIAL	11,145	2,747	22	8	22	45	1,100	1,100	1,100	1,100



PRELIMINARY PLANTING PLAN
OVERALL
DESERT CHRISTIAN ACADEMY
PALM DESERT, CA

SHEET TITLE: PROJECT: SPECIFICATIONS

SHEET	BOOK
JOB CAPTAIN	RF
DRAWN	LT
CHECKED	RF/24
PROJ. NO.	7/19/13
DATE	1 - 80'-0"
SCALE	REVISIONS
	NO. DATE BY
	1 3/17/13 NNT
	2 3/17/13 LT
	3 3/17/13 LT
	4 3/17/13 LT
	5 3/17/13 LT
	6 3/17/13 LT
	7 3/17/13 LT
	8 3/17/13 LT
	9 3/17/13 LT
	10 3/17/13 LT

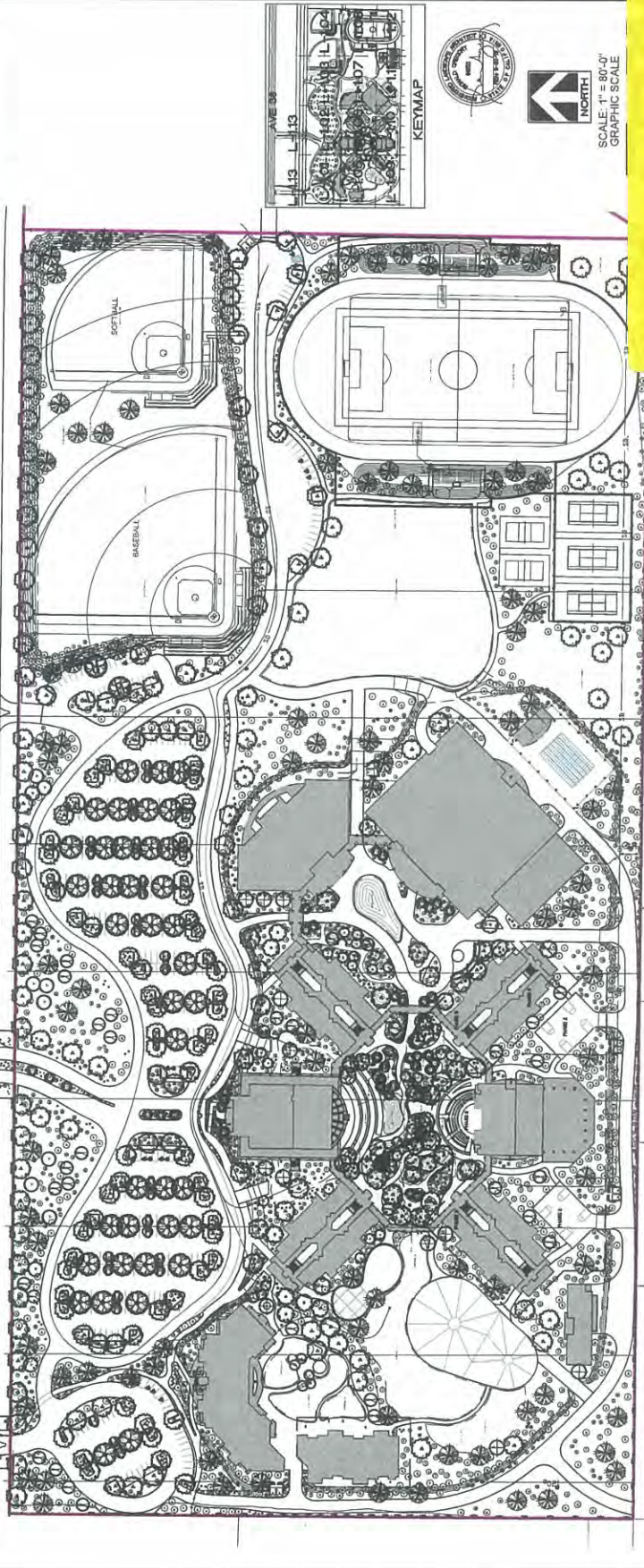
SHEET NO. PRELIM

PLANT LEGEND

SYMBOL	COMMON NAME	CITY	WATER USE	ZONE	HEIGHT	REMARKS
[Symbol]	DESERT WILLOW	48	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	49	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT YUCCA	50	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	51	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	52	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	53	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	54	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	55	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	56	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	57	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	58	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	59	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	60	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	61	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	62	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	63	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	64	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	65	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	66	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	67	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	68	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	69	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	70	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	71	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	72	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	73	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	74	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	75	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	76	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	77	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	78	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	79	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	80	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	81	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	82	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	83	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	84	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	85	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	86	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	87	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	88	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	89	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	90	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	91	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	92	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	93	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	94	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	95	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	96	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	97	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	98	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	CHRYSLER PLANT	99	LOW	MCKEYS	30' HIG OF BOK	
[Symbol]	DESERT WILLOW	100	LOW	MCKEYS	30' HIG OF BOK	

PARKING LOT SHADE CALCULATIONS
OVERALL PARKING - 644876 SF
PERCENT OF PARKING COVERED N
SHADE - 42.54%

NOTE:
RECOMMENDED GRASS PLANTING WITH 5' SPACING, WITHIN AND COMPACTED TO A 1" DEPTH
TO BE PLACED IN ALL PLANTING AREAS EXCEPT LAWN AND COBBLE AREAS.



CASE #: PP23977R1 AMD#1
EXHIBIT: L (landscape 1-14)
DATED: 3/4/14
PLANNER: P. RULL



PRELIMINARY PLANTING PLAN

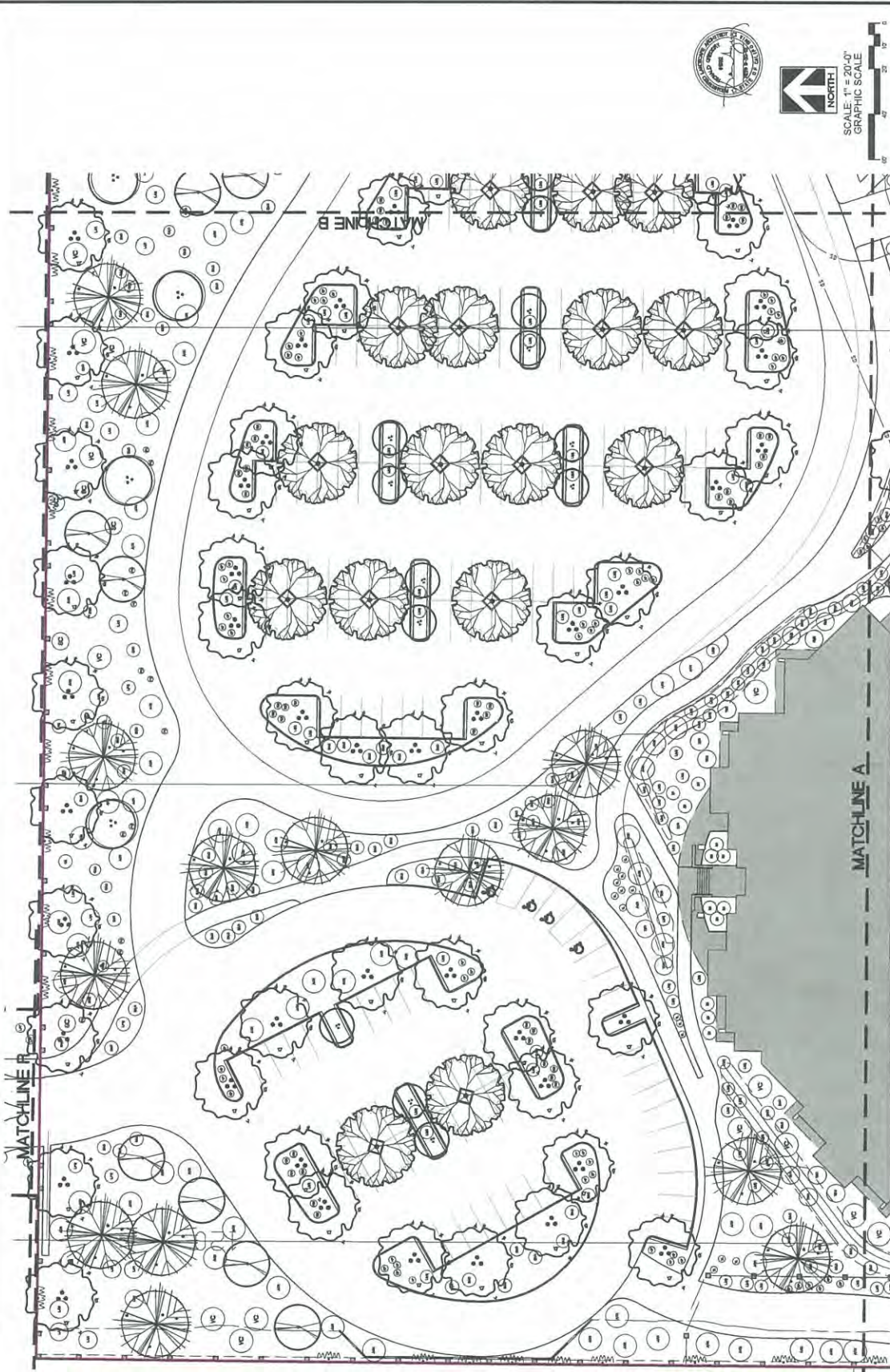
DESERT CHRISTIAN ACADEMY
 PALM DESERT, CA

SHEET TITLE: PROJECT

SPECIFICATIONS

SHEET	BOOK
JOB CAPTAIN	RP
DRAWN	LT
CHECKED	
PROJ. NO.	R1024
DATE	7/9/18
SCALE	1"=20'-0"
REVISIONS	PER COUNTY REVIEW
NO.	DATE
1	7/18/18
2	
3	
4	
5	
6	
7	
8	
9	
10	

SHEET NO: L-1.01



CWD LANDSCAPE APPROVAL

These plans have been reviewed by the County of San Diego's Water District 10 (CWSD) for compliance with the California Water Code and the County's Water Code. The CWSD's review is limited to the water code requirements and does not constitute an endorsement of the design or the accuracy of the information provided. The CWSD's review is not a guarantee of the accuracy of the information provided. The CWSD's review is not a guarantee of the accuracy of the information provided.

KEYMAP

SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
 ALL TREES TO BE SINGLE LEADER LOW BRANCHING WITH SIZE BRANCHING TO REMAIN PER AERON, INSETT STANDARDS

NOTE:
 TREES, PLANT, WALLS, BENCHES AND PERMANENT STRUCTURES OF ANY KIND SHALL NOT BE LIMITED, INSTALLED OR BUILT IN CWD AND MUST BE MAINTAINED AT ALL TIMES WITHOUT FURTHER APPROVAL FROM CWD.

IRRIGATION NOTE:
 IRRIGATION TO CONFORM TO FRESNO COUNTY ORDINANCE NO. 882

ROOT BARRIER NOTE:
 18" DEEP ROOT BARRIERS TO BE INSTALLED FOR ALL TREES WITHIN 6' FROM ANY FOUNDATION.



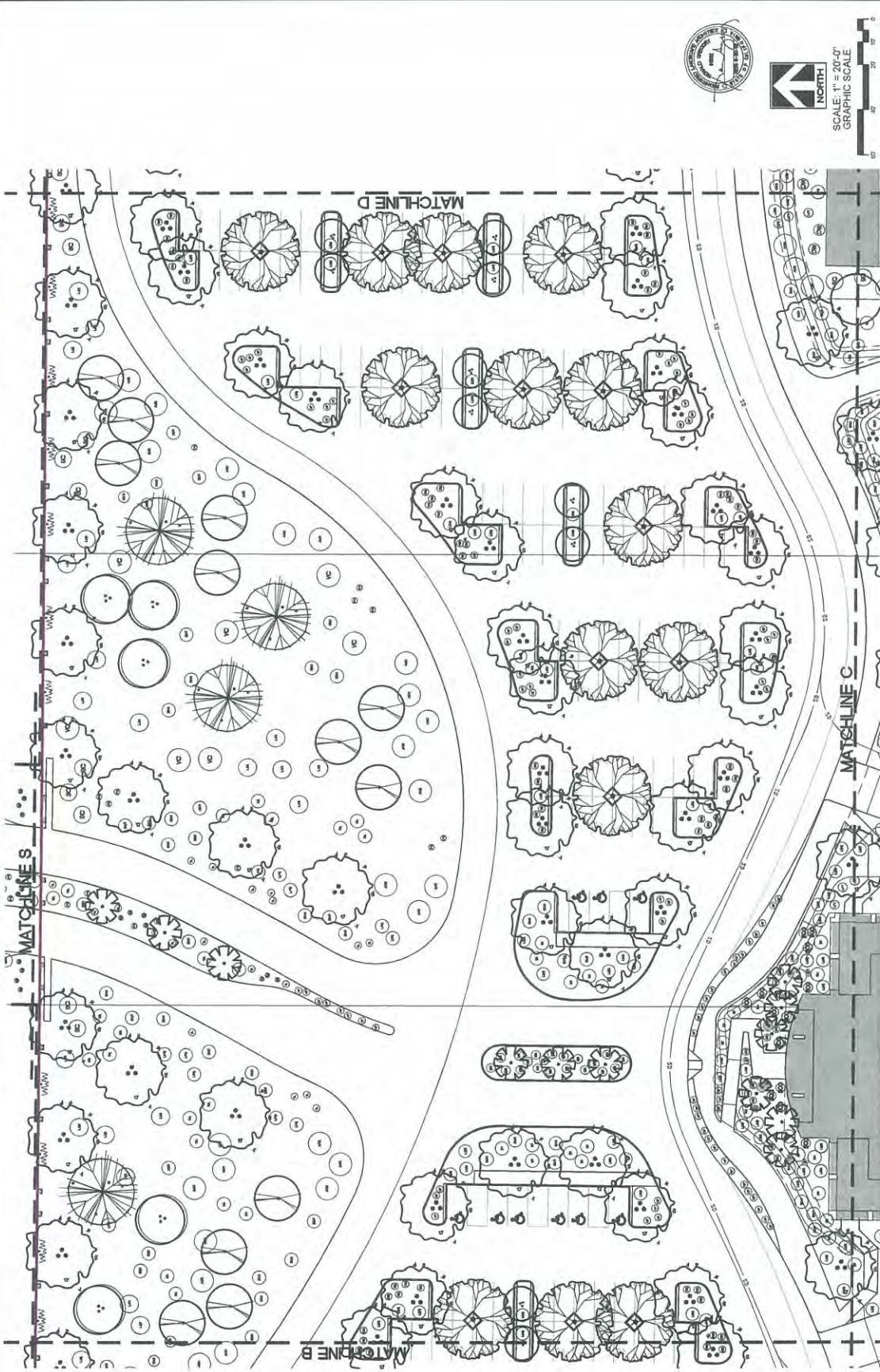
LANDSCAPE ARCHITECTS INC.
7000 E. PALMO, SUITE 200
PALM DESERT, CA 92260
7101 895-5604 FAX
7101 895-5604
E-MAIL: rca@rca-palms.com

PRELIMINARY PLANTING PLAN
DESERT CHRISTIAN ACADEMY
PALM DESERT, CA

SHEET TITLE: PROJECT:

SPECIFICATIONS	BOOK	LT
SHEET	RP	LT
JOB CAPTAIN	RP	LT
DRAWN	RP	LT
CHECKED	RP	LT
PROJ. NO.	RP024	LT
DATE	7/19/13	LT
SCALE	1"=20'-0"	LT
REVISIONS	PER COUNTY REVIEW	8/17/13
Δ COMMENTS		
Δ		
Δ		
Δ		
Δ		
Δ		
Δ		

SHEET NO:
L-1.02



SCALE: 1"=20'-0"
GRAPHIC SCALE

CWLD LANDSCAPE APPROVAL

This plan has been prepared by the County of San Diego, California, under the authority of the County Engineer. It is subject to the approval of the County Engineer. The County Engineer is not responsible for the accuracy of the information provided herein. The County Engineer is not responsible for the accuracy of the information provided herein. The County Engineer is not responsible for the accuracy of the information provided herein.

SEE SHEET L-1.4 FOR PLANTING LEGEND

SEE SHEET L-1.4 FOR PLANTING LEGEND

SEE SHEET L-1.4 FOR PLANTING LEGEND

SEE SHEET L-1.4 FOR PLANTING LEGEND

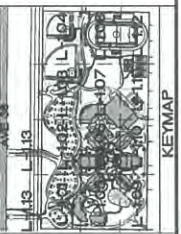
SEE SHEET L-1.4 FOR PLANTING LEGEND

IRRIGATION NOTE:
REFER TO CONFORM TO REVERSE COUNTY ORDINANCE NO. 9382

ROOT BARRIER NOTE:
LIGHT DEEP ROOT BARRIERS TO BE INSTALLED FOR ALL TREES WITHIN 6 FEET OF TRUNK

ROOT BARRIER NOTE:
LIGHT DEEP ROOT BARRIERS TO BE INSTALLED FOR ALL TREES WITHIN 6 FEET OF TRUNK

ROOT BARRIER NOTE:
LIGHT DEEP ROOT BARRIERS TO BE INSTALLED FOR ALL TREES WITHIN 6 FEET OF TRUNK



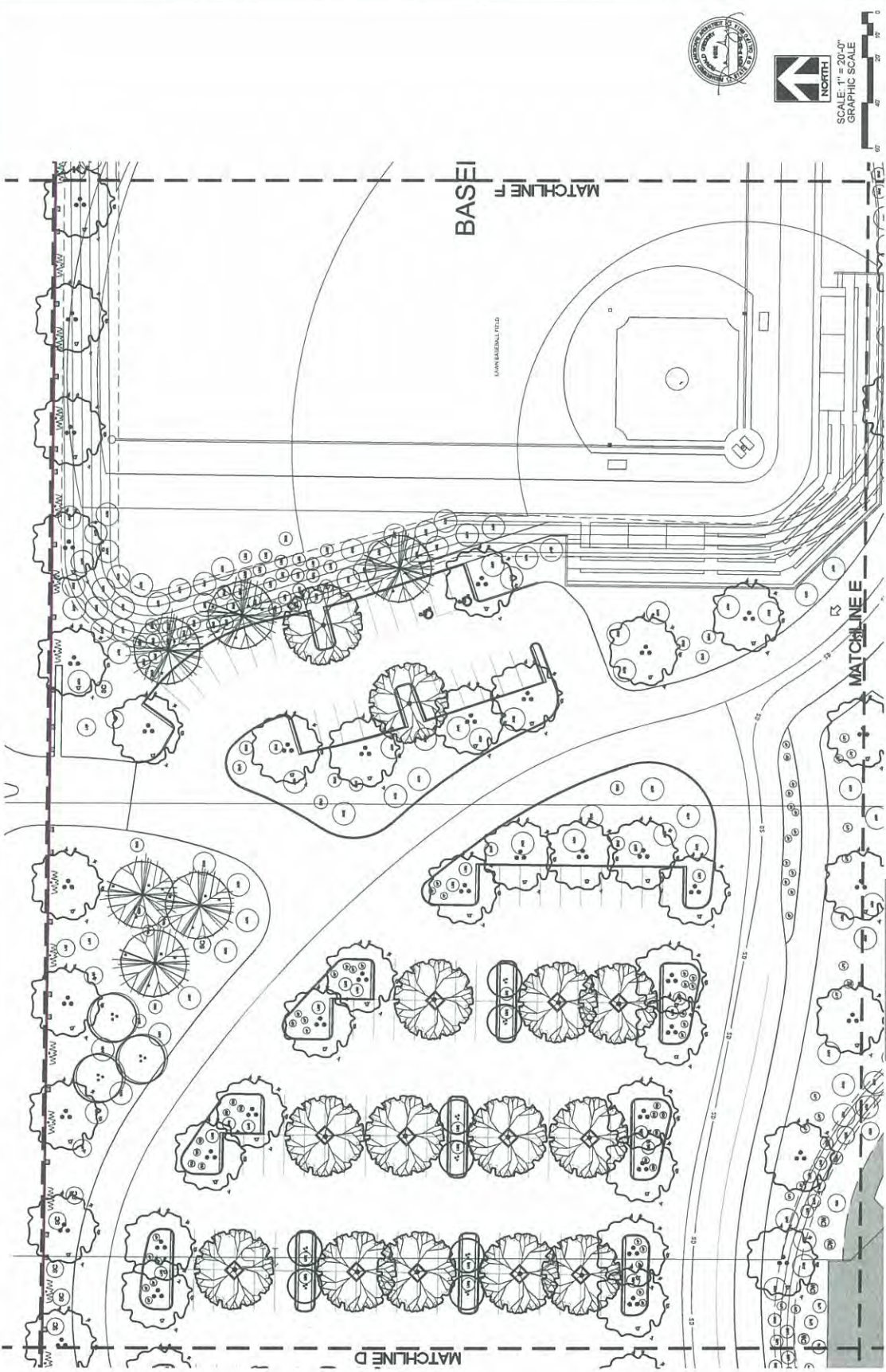
KEYMAP



PRELIMINARY PLANTING PLAN
 DESERT CHRISTIAN ACADEMY
 PALM DESERT, CA

SHEET TITLE:	PROJECT:
SPECIFICATIONS	SHEET BOOK
JOB CAPTAIN	RP
DRAWN	LT
CHECKED	LT
PROJ. NO.	RI024
DATE	7/9/15
SCALE	1"=20'-0"
REVISIONS	DATE
BY	BY
DATE	DATE
BY	DATE
BY	DATE
BY	DATE

SHEET NO:
 L-1.03



SCALE: 1" = 20'-0"
 GRAPHIC SCALE

CWLD LANDSCAPE APPROVAL

These plans have been reviewed by the Coachella Valley Water District for compliance with the Coachella Valley Water District's Landscape Ordinance. The District's review is limited to the information provided on these plans and does not constitute a warranty of any kind. The District is not responsible for any errors or omissions on these plans. The District is not responsible for any damage to property or persons resulting from the use of these plans. The District is not responsible for any damage to property or persons resulting from the use of these plans.

DATE: 7/27/15

BY: [Signature]

INTERPRETER: [Signature]

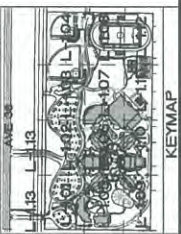
EXERCISE OF PROFESSION

TREE NOTE:
 ALL TREES TO BE SINGLE LEADER LOW BRANCHING WITH 180° BRANCHING TO REMAIN PER ARIZONA NURSERY STANDARDS.

NOTE:
 TREES PLANT WALLS, DIVISALS AND REMANENT STRUCTURES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR BUILT IN CWLD AND MUST COMPLY WITH ORIENT-OF-WAY WITHOUT FIRST OBTAINING AN ENCROACHMENT FROM CWLD.

IRRIGATION NOTE:
 IRRIGATION TO CONFORM TO RIVERSIDE COUNTY ORDINANCE NO. 1082.

ROOT BARRIER NOTE:
 LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITHIN 6' FROM ANY HARDSCAPE.

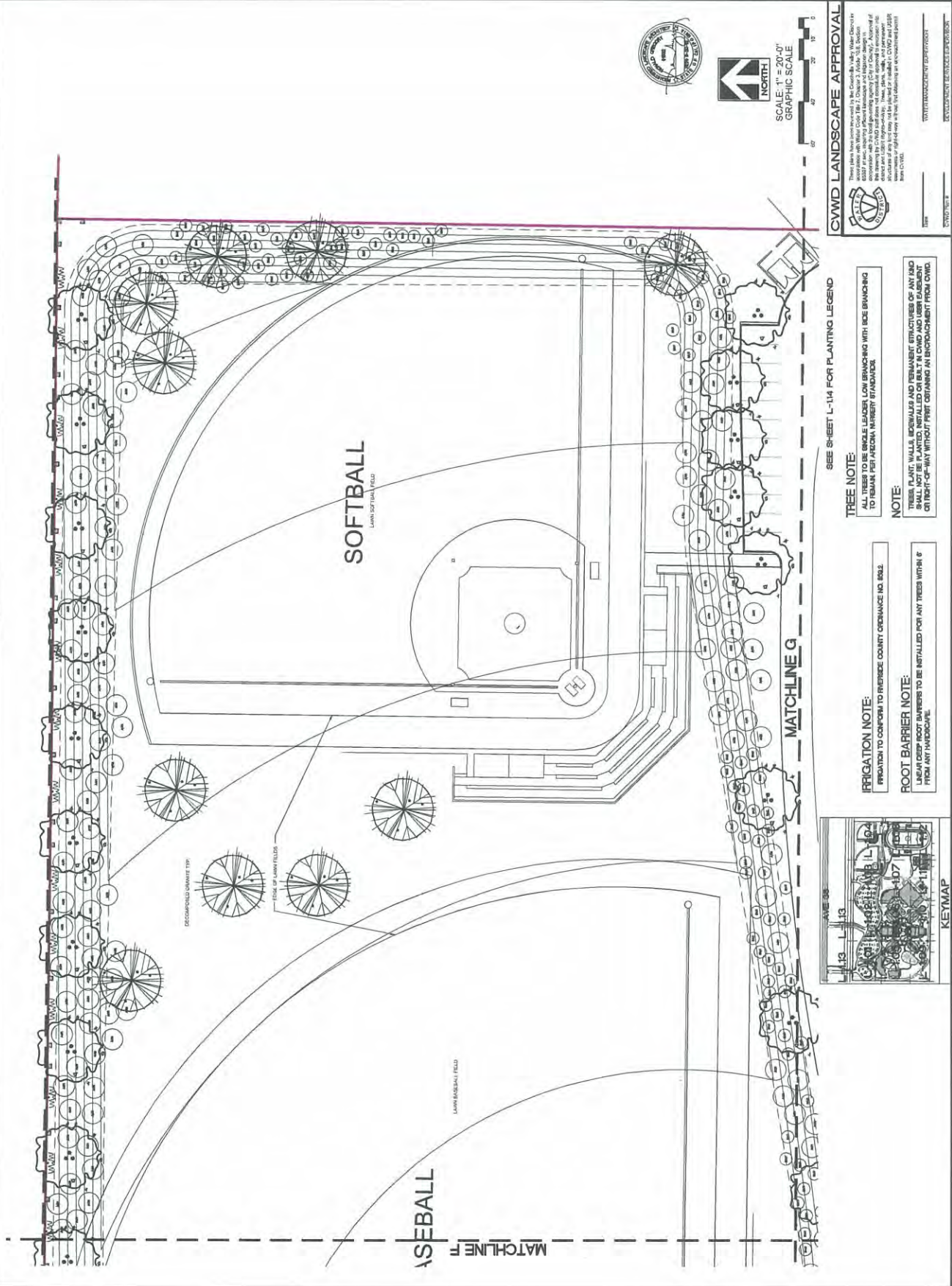


KEYMAP

SHEET TITLE: _____

SPECIFICATIONS

SHEET	BOOK
JOB CAPTAIN	RP
DRAWN	LT
CHECKED	-
PROJ. NO.	RI024
DATE	7/19/13
SCALE	1"=20'-0"
REVISIONS	INT
REVISIONS	8/17/13
COMMENTS	LT
Δ	-
Δ	-
Δ	-
Δ	-



CWLD LANDSCAPE APPROVAL

These plans have been reviewed by the County's Water District (CWLD) in accordance with the California Water Code, Section 106300, and the County's Water District (CWLD) in accordance with the local governing agency (City or County). Approval of these plans does not constitute an endorsement of the project or the contractor. The contractor shall be responsible for obtaining all necessary permits and for obtaining an encroachment permit from CWLD.

DATE: _____

APPROVED BY: _____

CWLD NO. _____

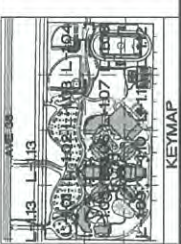
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
 ALL TREES TO BE SINGLE LEADER LOW BRANCHING WITH ICE BRANCHING TO REMAIN PER ARIZONA NURSERY STANDARDS.

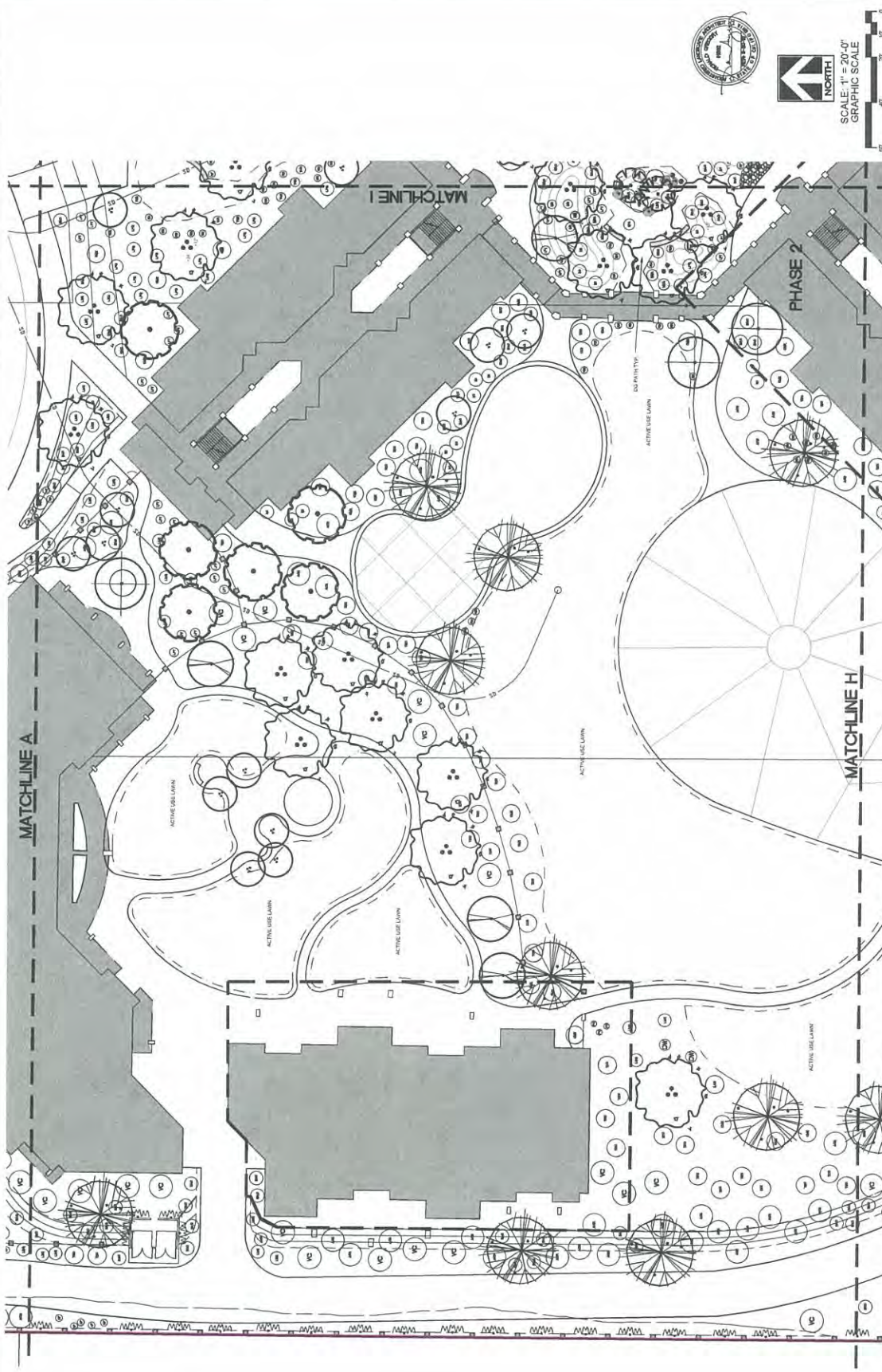
NOTE:
 TREES PLANT WALLS, BARRIERS AND PERMANENT STRUCTURES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR BUILT IN CWLD AND URBAN CANAL OR RIGHT-OF-WAY WITHOUT FIRST OBTAINING AN ENCROACHMENT FROM CWLD.

IRRIGATION NOTE:
 IRRIGATION TO CONFORM TO RIVERSIDE COUNTY ORDINANCE NO. 9046.

ROOT BARRIER NOTE:
 LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITHIN 6' FROM ANY HARDSCAPE.



PROJECT TITLE:	
SPECIFICATIONS	BOOK
SHEET	RP
JOB CAPTAIN	LT
DRAWN	LT
CHECKED:	RI024
PROJ. NO.	7/19/13
DATE:	1"-20'-0"
SCALE:	INT
REVISIONS	DATE
BY	BY
DATE	DATE
BY	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE
DATE	DATE



CWLD LANDSCAPE APPROVAL

This plan has been reviewed by the Coachella Valley Water District in accordance with the Coachella Valley Water District's Standard Specifications for Landscaping (City of Coachella). Approval of this plan does not constitute an endorsement of any product or material. The District is not responsible for any damage or injury resulting from the use of this plan.

DATE: _____
 PROJECT NO.: _____

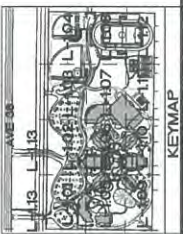
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
 ALL TREES TO BE SINGLE LEADER LOW BRANCHING WITH NO BRANCHING TO REMAIN PER ARIZONA NURSERY STANDARDS.

NOTE:
 TREES PLANT WALLS, BOLLARDS AND PERMANENT STRUCTURES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR BUILT IN CWLD AND USER ELEMENT OR RIGHT-OF-WAY WITHOUT FIRST OBTAINING AN ENCROACHMENT FROM CWLD.

IRRIGATION NOTE:
 IRRIGATION TO CONFORM TO FINDERSE COUNTY ORDINANCE NO. 1892L

ROOT BARRIER NOTE:
 LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITHIN 6' FROM ANY HARDSCAPE



SCALE: 1" = 20'-0"
GRAPHIC SCALE:

0 10 20 30 40 50

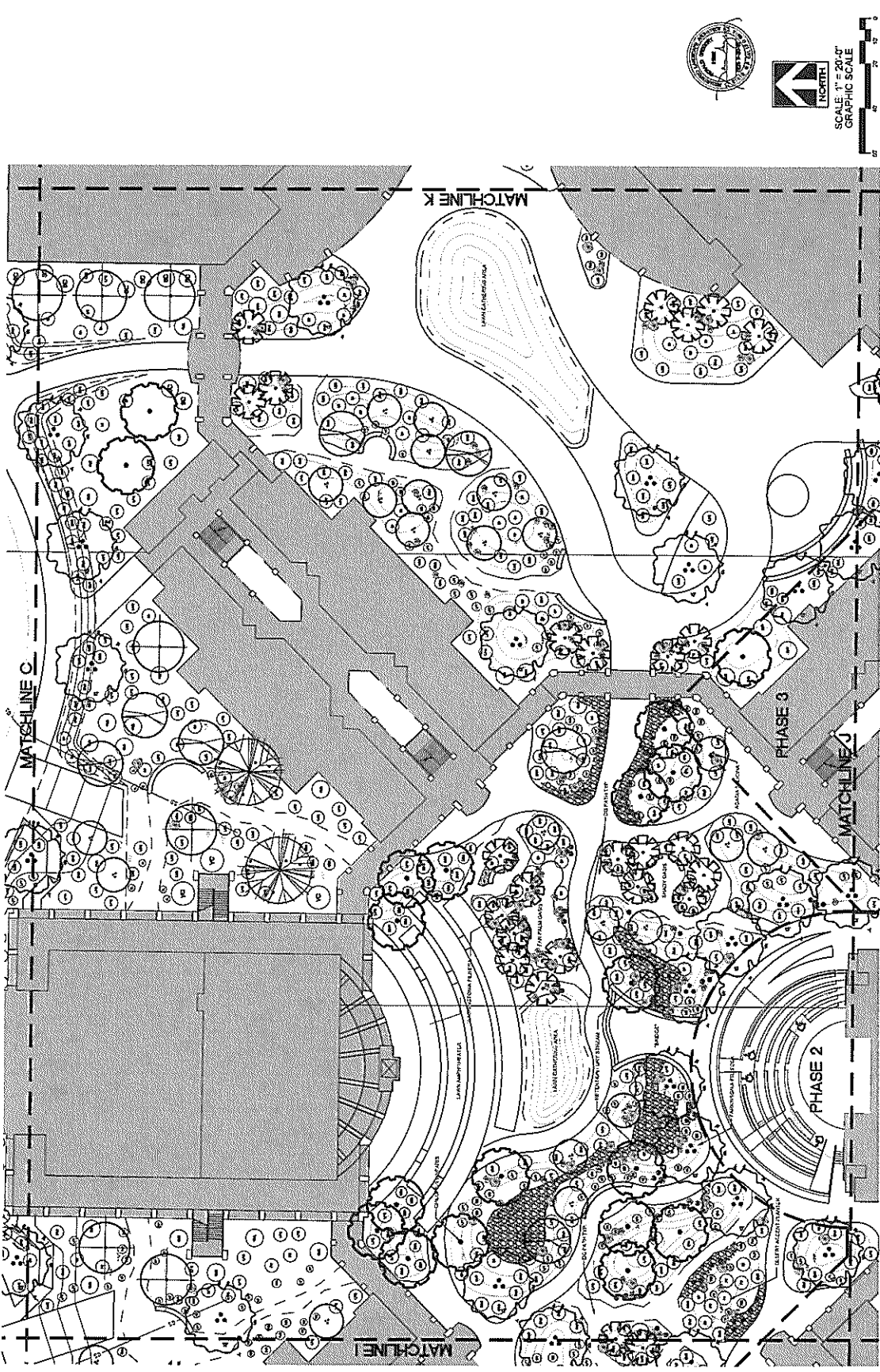


LANDSCAPE ARCHITECTURE INC.
 10000 W. BROADWAY
 PALM DESERT, CA 92250
 (760) 969-6884 FAX
 (760) 775-9893
 E-MAIL: RCA@RCADESIGN.COM

PRELIMINARY PLANTING PLAN
 DESERT CHRISTIAN ACADEMY
 PALM DESERT, CA

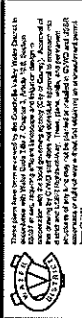
SPECIFICATIONS	
SHEET	BOOK
JOB CAPTAIN	RP
DRAWN	LT
CHECKED	-
PROJ. NO.	PROJ24
DATE	7/19/19
SCALE	1"=20'-0"
PERMITS	PERI COUNTY REVIEW
Δ COMMENTS	8/27/19 LT
Δ	-
Δ	-
Δ	-
Δ	-
Δ	-
Δ	-
Δ	-
Δ	-
Δ	-

SHEET NO.
 L-106



SCALE: 1" = 20'-0"
 GRAPHIC SCALE

CIVIL LANDSCAPE APPROVAL



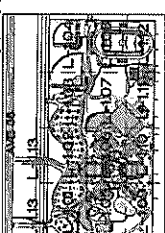
DESIGN HAS BEEN REVIEWED BY THE COUNTY OF CALIFORNIA CIVIL ENGINEERS BOARD AND APPROVED FOR THE CIVIL ENGINEERING PORTION OF THIS PROJECT. THIS REVIEW IS LIMITED TO THE CIVIL ENGINEERING PORTION OF THIS PROJECT AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED HEREON. CIVIL ENGINEER'S LICENSE NO. 45888
 CIVIL ENGINEER'S SIGNATURE: [Signature]
 DATE: 8/27/19

SEE NOTE:
 ALL TREES TO BE SINGLE LEADER, LOW BRANCHING WITH SIDE BRANCHING TO MAINTAIN FEEDBACK HEIGHT EVALUATION.

NOTE:
 TREE PLANT WALLS, BRUSH WALLS AND PERMANENT STRUCTURES OF ANY KIND SHALL BE INSTALLED WITHIN TREE CANOPIES AND SHALL BE MAINTAINED AT ALL TIMES.

IRRIGATION NOTE:
 IRRIGATION TO CORRELATE TO FUTURE COUNTY OVERLAP NO. 804.

ROOT BARRIER NOTE:
 ROOT BARRIERS TO BE INSTALLED FOR ALL TREES WITH A 6" ROOT BALL DIAMETER.



KEYMAP



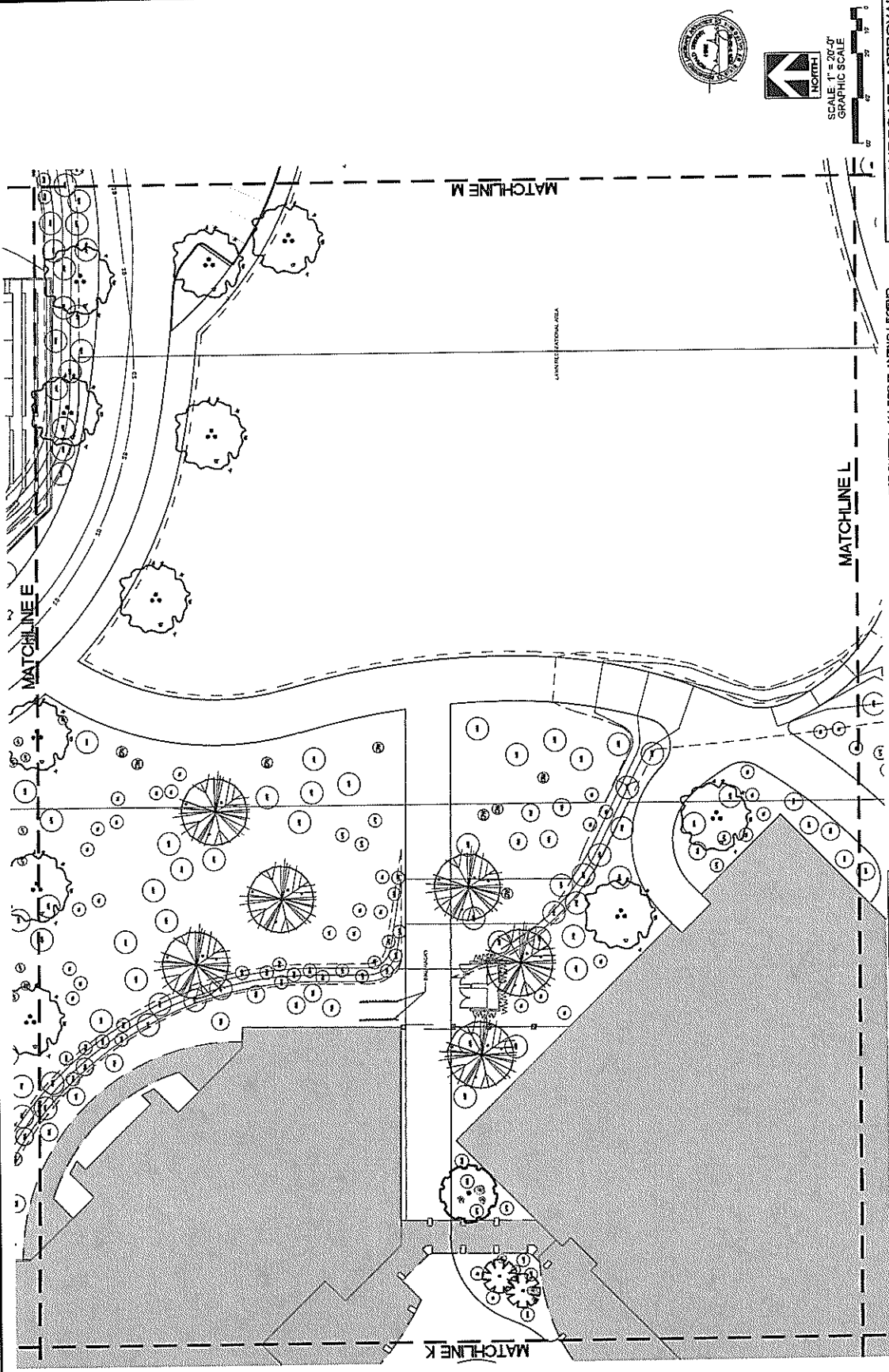
LANDSCAPE ARCHITECTURE
 1000 W. PALM DESERT BLVD
 PALM DESERT, CA 92260
 (760) 588-9824 FAX
 (760) 775-5895
 E-MAIL: info@rca.com

PRELIMINARY PLANTING PLAN
 DESERT CHRISTIAN ACADEMY
 PALM DESERT, CA

SHEET TITLE:

SPECIFICATIONS	BOOK
SHEET	RF
JOB CAPTAIN	LT
DRAWN	
CHECKED	
PROJ. NO.	11024
DATE	7/19/19
SCALE	1"=20'-0"
REV. NO.	
REV. DATE	
REV. BY	
REV. DESCRIPTION	
APPROVED	
DATE	
BY	

SHEET NO.
 L-107



SCALE 1" = 20'-0"
 GRAPHIC SCALE

CWD LANDSCAPE APPROVAL

These plans have been reviewed by the County of San Diego and approved for use in accordance with the California Building Code (CBC) and the California Fire Code (CFC). Approval of these plans does not constitute a warranty of any kind, either express or implied, and the County of San Diego is not responsible for any damage or injury resulting from the use of these plans.

DATE: 7/19/19

BY: [Signature]

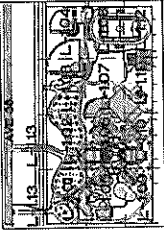
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
 ALL TREES TO BE SINGLE LEANED LOW BRANCHING WITH 50% BRACING IN ORDER TO REMAIN FOR A MINIMUM OF 10 YEARS.

NOTE:
 THESE PLANT WALLS, BERRILLIUM, AND OTHER PLANTING ELEMENTS OF ANY KIND SHALL BE INSTALLED IN ACCORDANCE WITH THE CWD AND WITHIN 60 DAYS OF THE DATE OF THIS PLAN WITHOUT FIRST OBTAINING AN ENCROACHMENT PERMIT FROM CWD.

IRRIGATION NOTE:
 REFER TO CONTRACT TO REVISIONS, COUNTY ORDINANCE NO. 2823

ROOT BARRIER NOTE:
 ALL TREES WITH ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITH 6" DBH AT INSTALLATION.



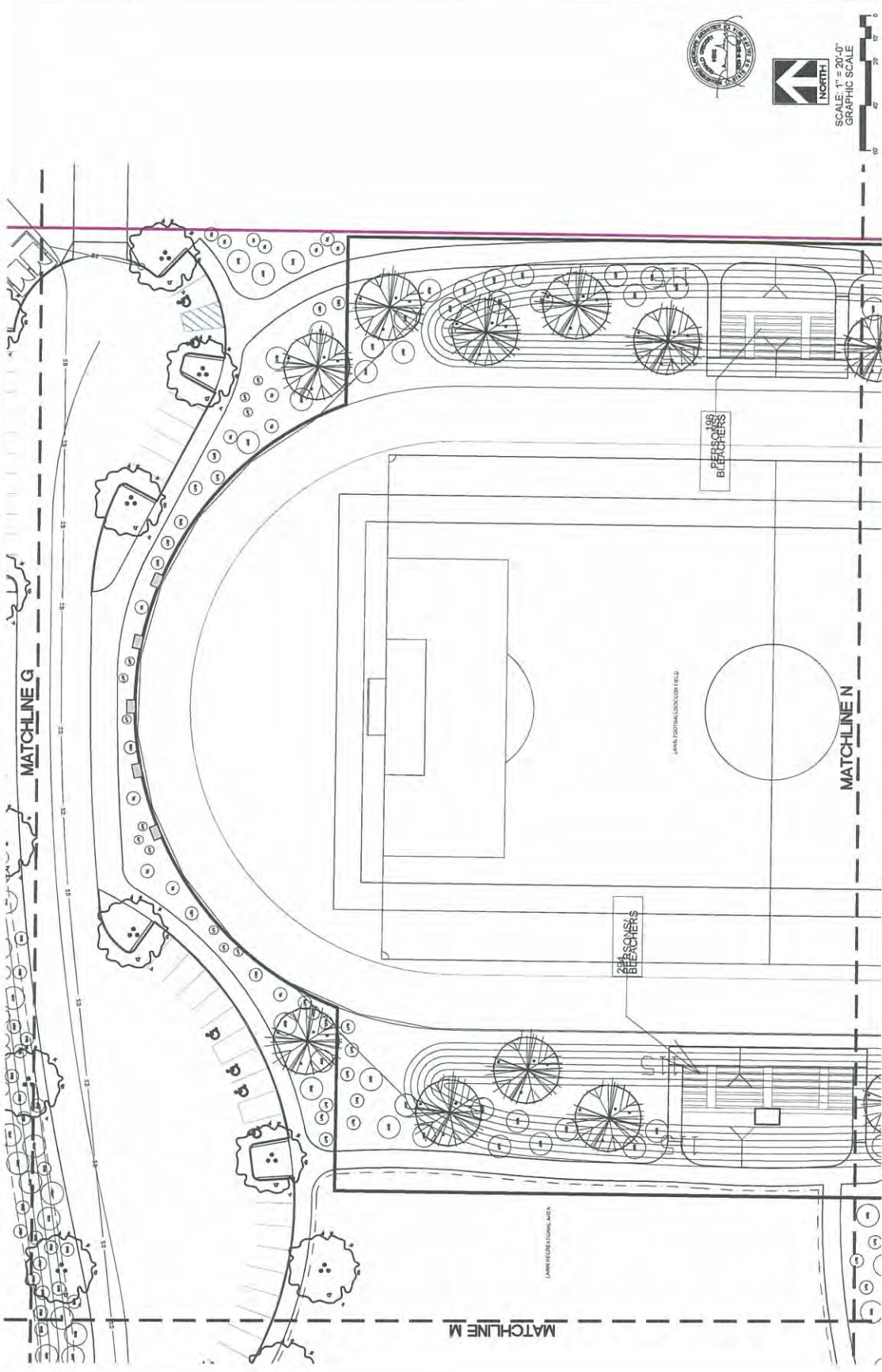
KEYMAP



PRELIMINARY PLANTING PLAN
DESERT CHRISTIAN ACADEMY
PALM DESERT, CA

SPECIFICATIONS	SHEET	BOOK
JOB CAPTAIN:	FP	
DRAWN:	LT	
CHECKED:		
PROJ. NO:	R0924	
DATE:	7/9/13	
SCALE:	1"=20'-0"	
REVISIONS:		
PER COUNTY REVIEW:		
COMMENTS:		

SHEET NO:
L-1.08



CWD LANDSCAPE APPROVAL

These plans have been prepared by RGA Landscape Architects, Inc. in accordance with the California Building Code, Title 24, Part 9.5. Approval of these plans does not constitute a warranty of any kind, and the user assumes all responsibility for the accuracy and completeness of the information provided. The user shall be responsible for obtaining all necessary permits from the City of Palmdale.

DATE: _____
DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
APPROVED BY: _____

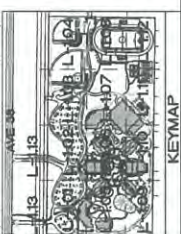
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
ALL TREES TO BE SINGLE LEADER LOW BRANCHING WITH VICE BRANCHING TO REMAIN FIRST PALMDALE NURSERY STANDARDS.

NOTE:
TREES, PLANT WALLS, BENCHES AND PERMANENT STRUCTURES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR BUILT IN CWD AND USER EASEMENT OR FRONT-OF-WAY WITHOUT FIRST OBTAINING AN ENCROACHMENT FROM CWD.

IRRIGATION NOTE:
IRRIGATION TO CONFORM TO INDIAN WELLS COUNTY ORDINANCE NO. 0042.

ROOT BARRIER NOTE:
LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ALL TREES WITHIN 6' FROM ANY HARDSCAPE.



IRIGATION TO CONFORM TO INDIAN WELLS COUNTY ORDINANCE NO. 0042.

ROOT BARRIER NOTE:
LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ALL TREES WITHIN 6' FROM ANY HARDSCAPE.



PRELIMINARY PLANTING PLAN
DESERT CHRISTIAN ACADEMY
PALM DESERT, CA

SHEET TITLE

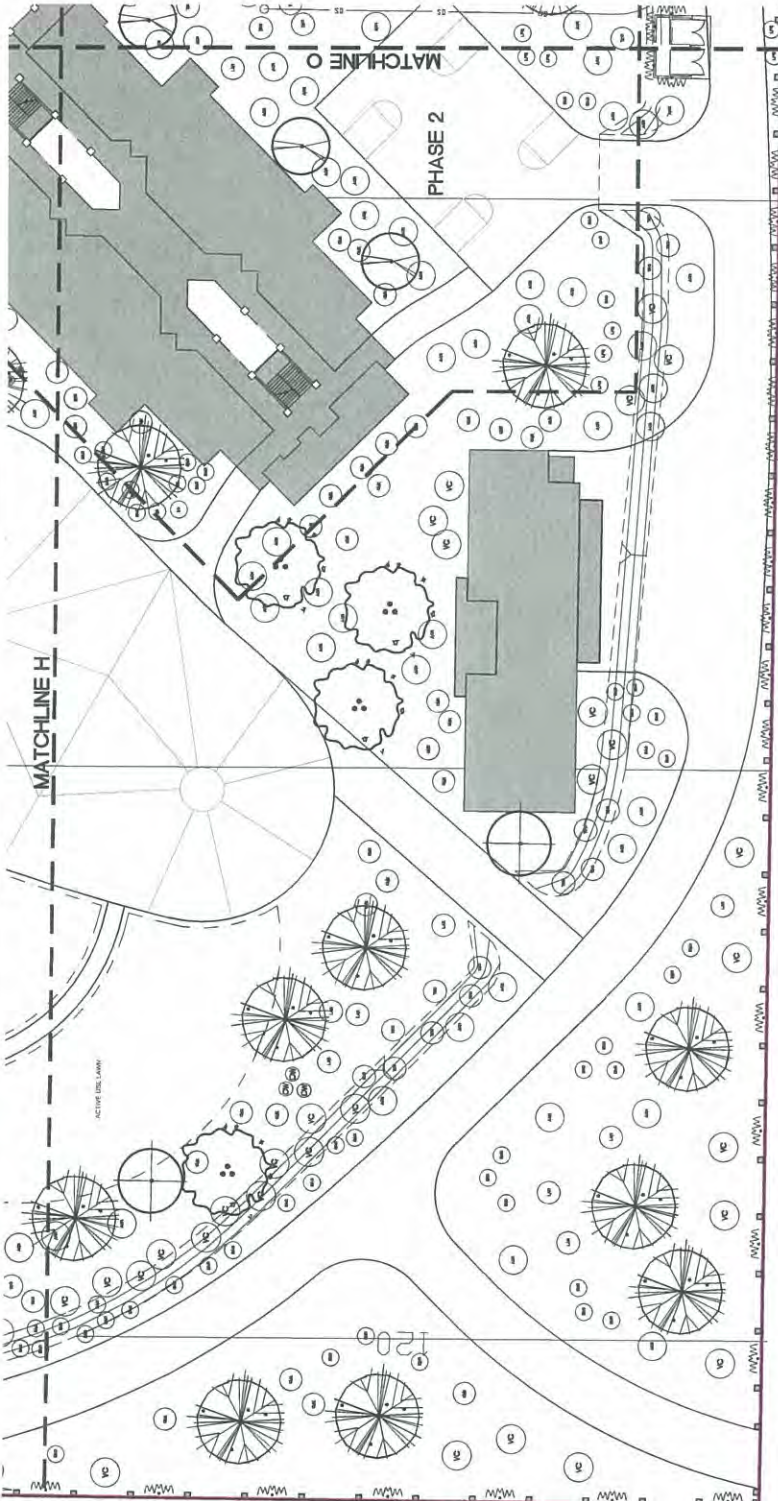
PROJECT: _____

SPECIFICATIONS

SHEET	BOOK
JOB CAPTAIN	RP
DRAWN	LT
CHECKED	-
PROJ. NO.	R024
DATE	7/9/18
SCALE	1"=20'-0"

REVISIONS	PER COUNTY REVIEW	DATE
1	8/7/18	LT
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NO.
L-1.09



NORTH

SCALE: 1" = 20'-0"

GRAPHIC SCALE

0 10 20 30 40 50 60 70 80 90 100

CWD LANDSCAPE APPROVAL

These plans have been reviewed by the County of Inyo, California, under the authority of the County Engineer, and approved for construction. This approval is based on the information provided and does not constitute a warranty of any kind. The County Engineer is not responsible for the accuracy of the information provided or for the results of the construction. The County Engineer is not responsible for the accuracy of the information provided or for the results of the construction.

DATE: _____

BY: _____

COUNTY ENGINEER

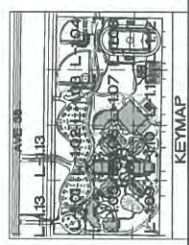
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
ALL TREES TO BE SINGLE LEADER LOW BRANCHED WITH WIDE SPACING TO REMAIN FOR WINDOWN PARKING STANDARDS.

NOTE:
TREES PLANT WALLS, SPECIALS AND PERMANENT STRUCTURES OF ANY KIND SHALL NOT BE PLANTED INSTALLED OR BUILT IN CWD AND MUST REMAIN ON FRONT-OF-WAY WITHOUT FIRST OBTAINING AN ENCROACHMENT FROM CWD.

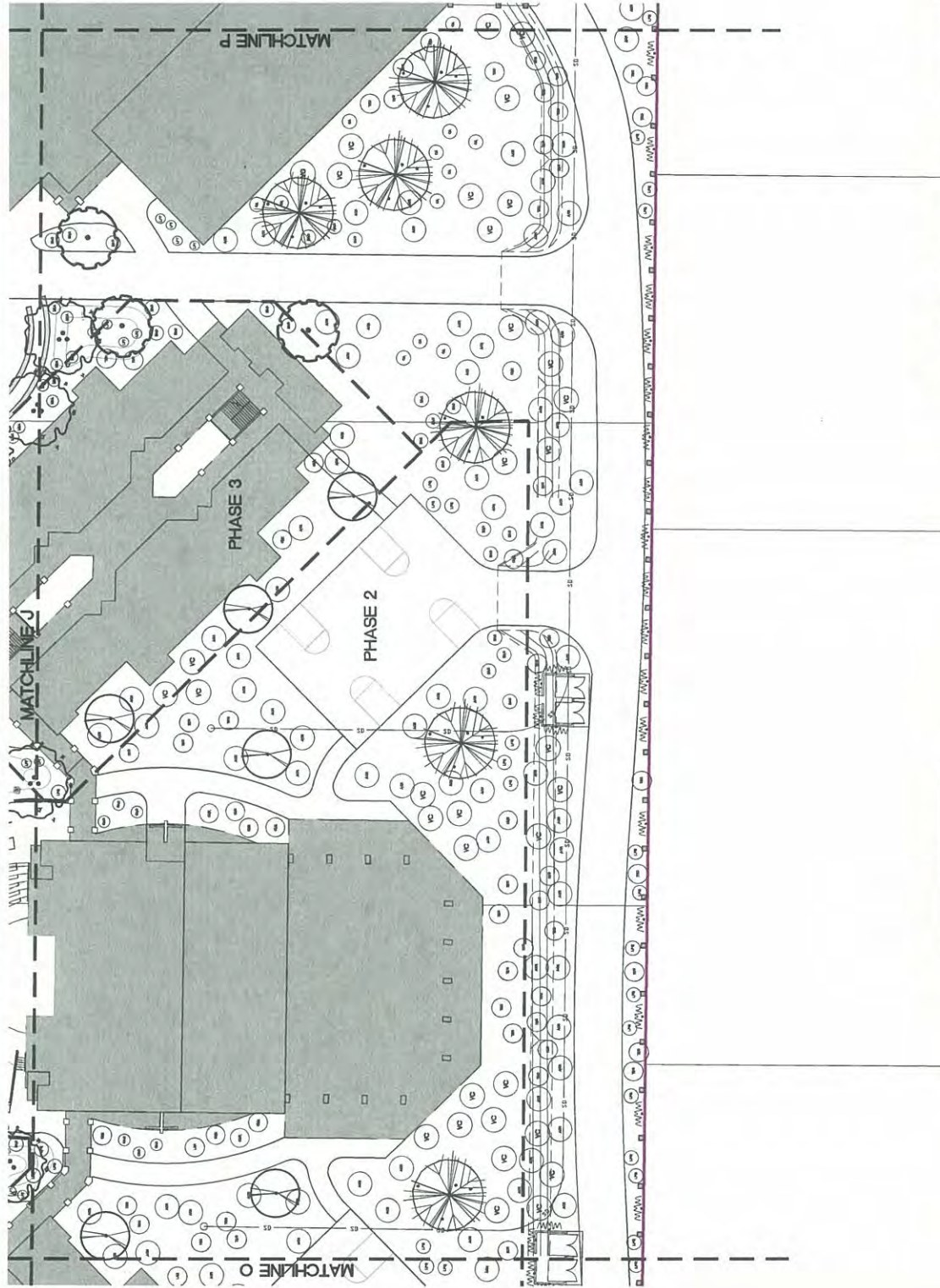
IRRIGATION NOTE:
IRRIGATION TO CONFORM TO INDIAN COUNTY ORDINANCE NO. 882.

ROOT BARRIER NOTE:
LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITHIN 6' FROM ANY HARDSCAPE.



SHEET TITLE: PROJECT: SPECIFICATIONS

SHEET	BOOK	
JOB CAPTAIN	RP	
DRAWN	LT	
CHECKED	-	
PROJ. NO.	R0224	
DATE	7/9/13	
SCALE	1"=20'-0"	
REVISIONS	DATE	BY
PER COUNTY REVIEW	9/7/13	LT
COMMENTS	-	-
-	-	-
-	-	-
-	-	-



SCALE: 1" = 20'-0"
 GRAPHIC SCALE

CWD LANDSCAPE APPROVAL

These plans have been reviewed by the County of Inyo, Water District #0007 for compliance with the California Water Districts Act (CWD Act) and the California Water Code. The County of Inyo is not responsible for the design or construction of the project. The County of Inyo is not responsible for the design or construction of the project. The County of Inyo is not responsible for the design or construction of the project.

DATE: 9/7/13

BY: [Signature]

FOR: [Signature]

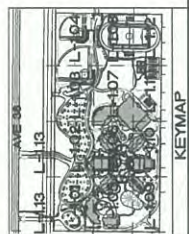
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
 ALL TREES TO BE SINGLE LEADER, LOW BRANCHING WITH ICE BRANCHING TO REMAIN PER ARIZONA NURSERY STANDARDS.

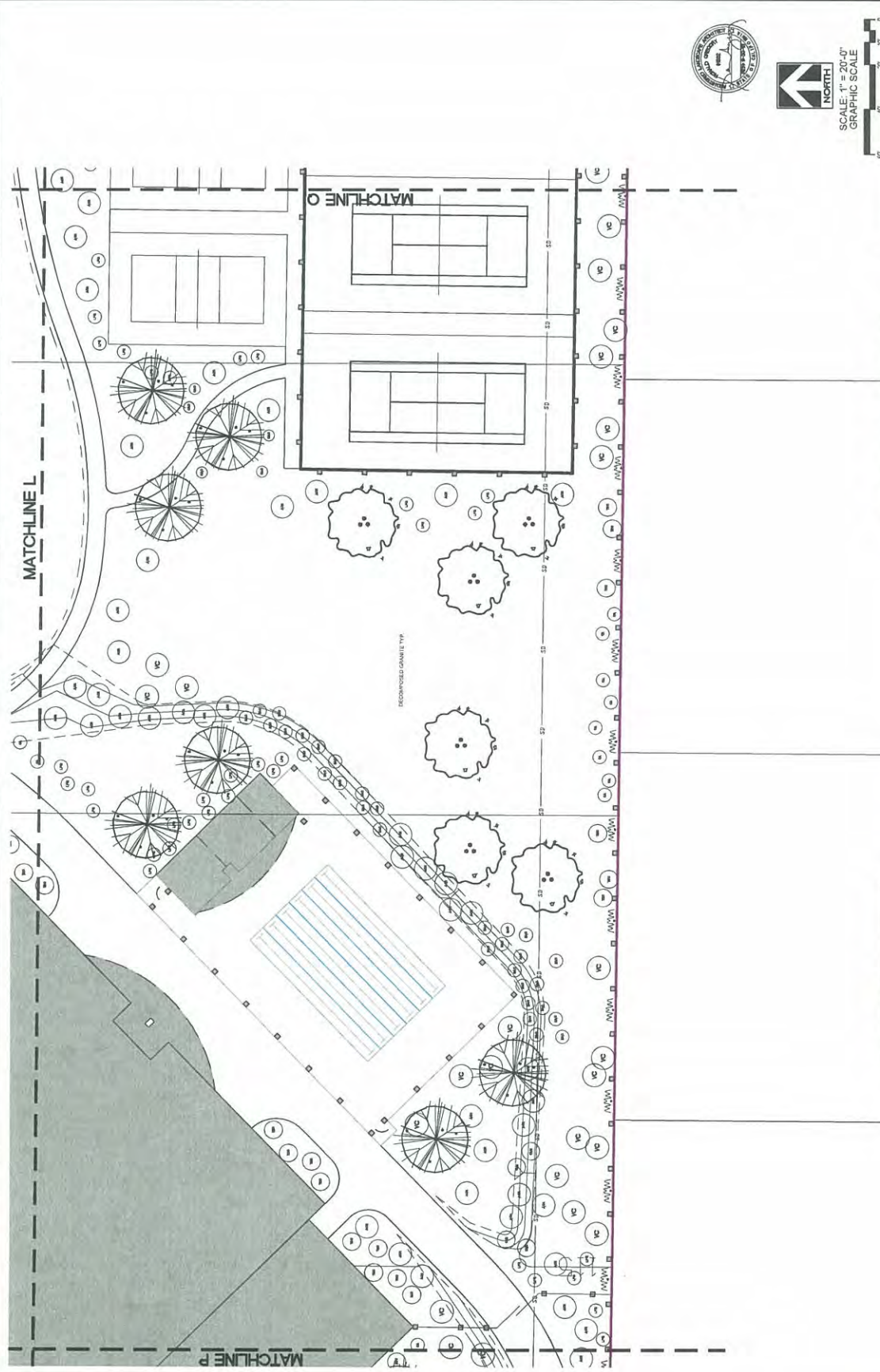
NOTE:
 TREES PLANT, WALLS, BOLLARDS AND REMAINING STRUCTURES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR SET IN CWD AND USER ELEMENT ON RIGHT-OF-WAY WITHOUT PERMIT OBTAINED AN ENCROACHMENT FROM CWD.

IRRIGATION NOTE:
 IRRIGATION TO CONFORM TO INYO COUNTY ORDINANCE NO. 108E.

ROOT BARRIER NOTE:
 LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITHIN 6 FEET FROM ANY HARDSCAPE.



SPECIFICATIONS	SHEET	BOOK
JOB CAPTAIN	RP	
DRAWN	LT	
CHECKED		
PROJ. NO.	RI024	
DATE	7/9/18	
SCALE	1"=20'-0"	
REVISIONS		
PER COUNTY REVIEW		
DATE	8/7/18	LT



CIVIL LANDSCAPE APPROVAL

These plans have been reviewed by the County of Palm Desert in accordance with the County Ordinance No. 10000, which requires that all landscape plans submitted for approval be prepared in accordance with the standards set forth in the County Ordinance No. 10000 and the standards set forth in the County Ordinance No. 10000. The County Engineer's Office is not responsible for the accuracy of the information provided on these plans, and the user assumes all responsibility for the accuracy of the information provided on these plans.

DATE: 8/7/18
 COUNTY ENGINEER: [Signature]

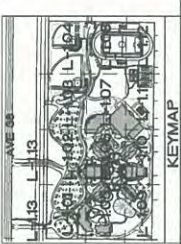
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
 ALL TREES TO BE SINGLE LEADER LOW BRANCHING WITH ICE BRANCHING TO REMAIN PER ARIZONA NURSERY STANDARDS.

NOTE:
 TREES PLANT WALLS, BOWLS AND REMAINING BRANCHES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR BUILT IN CVD AND USER GARMENT OR RIGHT-OF-WAY WITHOUT FIRST OBTAINING AN ENCROACHMENT FROM CVD.

IRRIGATION NOTE:
 IRRIGATION TO CONFORM TO RIVERSIDE COUNTY ORDINANCE NO. 10011.

ROOT BARRIER NOTE:
 LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITHIN 6' FROM ANY SIDEWALK.



SCALE: 1" = 20'-0"
GRAPHIC SCALE

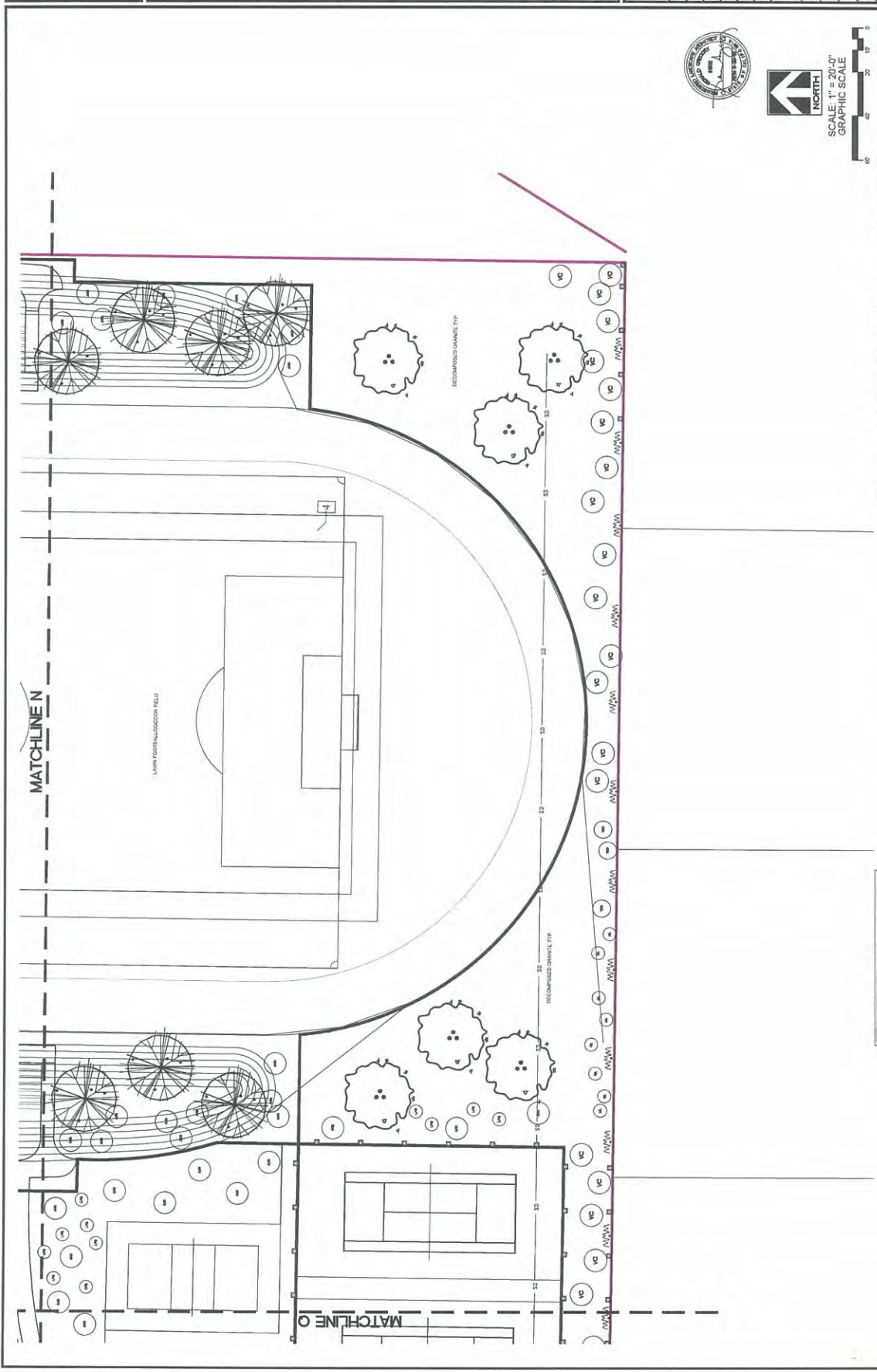
0 10 20 30 40 50

NORTH

PLANNING AND DESIGN DIVISION
 PALM DESERT, CALIFORNIA

SPECIFICATIONS

SHEET	BOOK
JOB CAPTAIN	RP
DRAWN	LT
CHECKED	-
PROJ. NO.	R1024
DATE	7/9/13
SCALE	1"=20'-0"
REVISIONS	DATE
1	9/7/13
2	-
3	-
4	-
5	-
6	-
7	-
8	-
9	-
10	-



SCALE: 1" = 20'-0"
 GRAPHIC SCALE

CWLD LANDSCAPE APPROVAL

These plans have been reviewed by the Coachella Valley Water District (CVWD) in accordance with the Coachella Valley Water District's (CVWD) 2011 Water Conservation Ordinance (WCO) and the 2011 Water Conservation Ordinance (WCO) amendments. The CVWD is not responsible for the design or construction of the landscape. The CVWD is only responsible for the review of the landscape plan for compliance with the WCO. The CVWD is not responsible for the design or construction of the landscape. The CVWD is only responsible for the review of the landscape plan for compliance with the WCO.

DATE: _____
 REVIEWER: _____

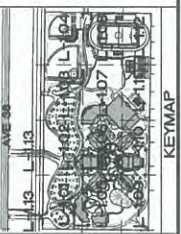
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
 ALL TREES TO BE SINGLE LEADER, LOW BRANCHING WITH 180° BRANCHING TO REMAIN PER ARIZONA NURSERY STANDARDS.

NOTE:
 TREES, PLANT, WALLS, SIDEWALKS AND PERMANENT STRUCTURES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR BUILT IN CWLD AND USER EQUIPMENT ON RIGHT-OF-WAY WITHIN FEET CONTAINING AN ENCROACHMENT FROM CWLD.

IRRIGATION NOTE:
 IRRIGATION TO CONFORM TO INLAND COUNTY ORDINANCE NO. 8922.

ROOT BARRIER NOTE:
 LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITHIN 6 FEET OF ANY FOUNDATION.



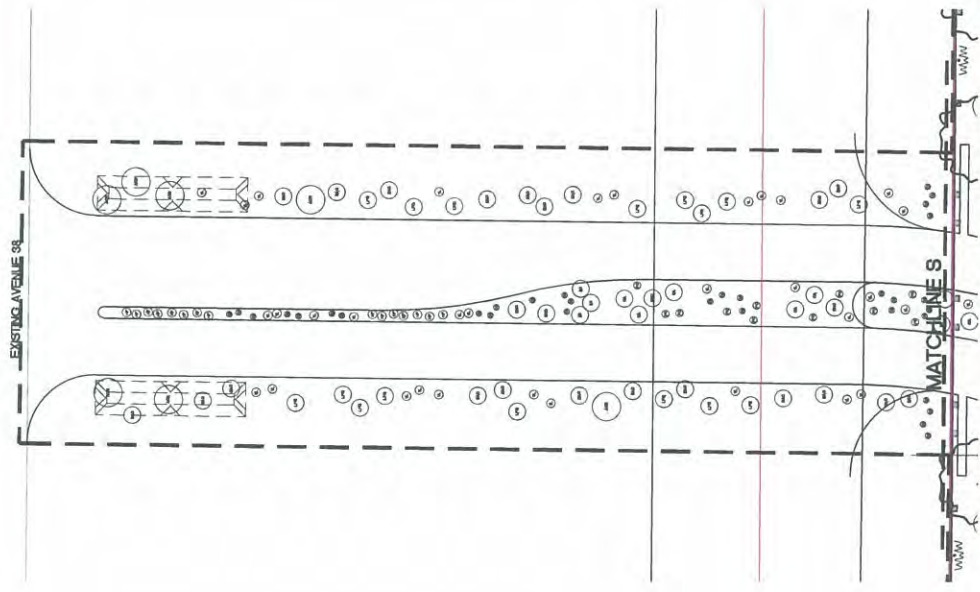
KEYMAP

PRELIMINARY PLANTING PLAN

SHEET TITLE:
 PROJECT:

SPECIFICATIONS	
SHEET	BOOK
JOB CAPTAIN	RP
DRAWN	LT
CHECKED	-
PROJ. NO.	R1024
DATE	7/19/18
SCALE	1"=20'-0"
REVISIONS	NT
REVISION #	DATE
REVISION DESCRIPTION	BY/DATE
1	8/17/18
2	-
3	-
4	-
5	-
6	-
7	-
8	-
9	-
10	-

SHEET NO.	L-113
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CWLD LANDSCAPE APPROVAL

These plans have been reviewed by the California Water District in accordance with the California Water Code, Section 80202. The approval is based on the information provided and does not constitute a warranty or representation by the District regarding the accuracy or completeness of the plans or the performance of any contractor or subcontractor who may be engaged in the construction of the project.

DATE: _____

BY: _____

PROJECT ENGINEER (REGISTERED)

REGISTRATION NO. _____

EXPIRES: _____

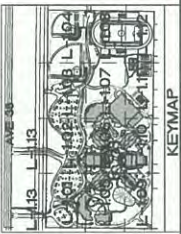
SEE SHEET L-114 FOR PLANTING LEGEND

TREE NOTE:
 ALL TREES TO BE SINGLE LEADER LOW BRANCHING WITH 15% BRANCHING TO REMAIN PER ARIZONA BARRIER STANDARD.

NOTE:
 TREES PLANT, WALLS, SIDEWALKS AND REMAINING STRUCTURES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR BUILT IN CWLD AND USER CEMENT OR TRIP-UP-WAY WITHOUT FIRST OBTAINING AN ENCROACHMENT FROM CWLD.

IRRIGATION NOTE:
 IRRIGATION TO CONFORM TO RIVERSIDE COUNTY ORDINANCE NO. 9811.

ROOT BARRIER NOTE:
 LINEAR DEEP ROOT BARRIERS TO BE INSTALLED FOR ANY TREES WITHIN 6' FROM ANY SIDEWALK.



KEYMAP

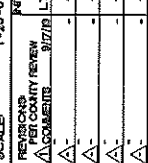


LANDSCAPE ARCHITECTS, INC.
 7500 W. CENTURY BLVD.
 PALM DESERT, CA 92260
 (760) 569-9024 FAX
 (760) 779-6065
 E-MAIL: rca@rca-land.com

PRELIMINARY PLANTING PLAN
 DESERT CHRISTIAN ACADEMY
 PALM DESERT, CA

SHEET TITLE PROJECT

SHEET NO.	1-114
DATE	7/19/13
SCALE	1"=20'-0"
PROJECT NO.	110284
PROJECT NAME	DESERT CHRISTIAN ACADEMY
PROJECT LOCATION	3000 W. CENTURY BLVD., PALM DESERT, CA 92260
PROJECT OWNER	DESERT CHRISTIAN ACADEMY
PROJECT ARCHITECT	DESERT CHRISTIAN ACADEMY
PROJECT LANDSCAPE ARCHITECT	RCA



CWD LANDSCAPE APPROVAL
 This plan has been prepared by the Contractor's Landscape Architect and is subject to the approval of the County of Orange. The Contractor shall be responsible for obtaining all necessary permits and approvals from the County of Orange and the City of Palm Desert. The Contractor shall be responsible for obtaining all necessary permits and approvals from the County of Orange and the City of Palm Desert. The Contractor shall be responsible for obtaining all necessary permits and approvals from the County of Orange and the City of Palm Desert.

PLANT LEGEND

SYMBOL	COMMON NAME	CONTRACT NAME	LOT	QUANTITY	DATE	REVISIONS
(Symbol)	Large Tree	... ..	...	...	...	...
(Symbol)	Medium Tree	... ..	...	...	...	...
(Symbol)	Small Tree	... ..	...	...	...	...
(Symbol)	Shrub	... ..	...	...	...	...
(Symbol)	Groundcover	... ..	...	...	...	...
(Symbol)	Accent	... ..	...	...	...	...
(Symbol)	Water	... ..	...	...	...	...

NOTE:
 1. PLANT MATERIALS TO BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF ORANGE AND THE CITY OF PALM DESERT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF ORANGE AND THE CITY OF PALM DESERT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE COUNTY OF ORANGE AND THE CITY OF PALM DESERT.

- IRRIGATION NOTE:**
 REFERENCE TO COMPANION TO INCLUDE COUNTY ORDINANCE 16C.06
- ROOT BARRIER NOTE:**
 ALL PLANT MATERIALS TO BE INSTALLED FOR ANY TREES WITHIN 6 FEET FROM ANY FOUNDATION
- TREE NOTE:**
 ALL TREES TO BE SINGLE LEADER LOW BRANCHING WITH SIDE BRANCHES TO REMAIN PER AGRICULTURE AGENCY STANDARDS
- NOTE:**
 THESE PLANT WALLS, BENCHES AND PERMANENT STRUCTURES OF ANY KIND SHALL NOT BE PLANTED, INSTALLED OR SET IN GRASS AND LOW GROUND COVER OTHER THAN WITHIN PERMITTED AREAS IDENTIFIED FROM OTHER

Water Use Calculations
 DESERT CHRISTIAN ACADEMY

Zone No.	Area (sq ft)	Planting Density	Water Use (gallons)
1
2
3
4
5
TOTAL

Estimated Total Water Use
 48849.51

Zone No.	Area (sq ft)	Planting Density	Water Use (gallons)
1
2
3
4
5
TOTAL	48849.51

SCHOOL USE (DAYTIME)

USE	HOURS OF OPERATION	DAYS IN CALENDAR YEAR	MAX ATTENDANCE	SQUARE FOOTAGE (SF)	PARKING CLASSIFICATION(S)	PARKING REQUIREMENTS	NUMBER OF SPACES
PRESCHOOL	7:00 AM - 3:00 PM	MID AUGUST - LATE MAY		19,300	EDUCATIONAL - PRESCHOOL	1 SPACE / 500 SF	39
ADMINISTRATION	7:00 AM - 4:00 PM	MID AUGUST - LATE MAY		20,270	GENERAL COMMERCIAL - PROFESSIONAL BUSINESS	LEASABLE AREA	89
GYMNASIUM (SCHOOL)	7:00 AM - 3:00 PM	MID AUGUST - LATE MAY		12,130	CIVIC/RELIGIOUS - LIBRARIES	1 SPACE / 300 SF GROSS FLOOR AREA	41
MULTI-PURPOSE CLASSROOMS (ELEMENTARY AND MIDDLE)	7:00 AM - 3:00 PM	MID AUGUST - LATE MAY	1,578**	72,100	GENERAL COMMERCIAL - PROFESSIONAL BUSINESS	* SEE EXPLANATION BELOW	0
HIGH SCHOOL	7:00 AM - 3:00 PM	MID AUGUST - LATE MAY		11,300	OFFICE	1 SPACE / 200 SF NET LEASABLE AREA	57
FINE ARTS BUILDING	7:00 AM - 10:00 PM	ALL YEAR		94,800	EDUCATIONAL - ELEMENTARY AND INTERMEDIATE	1 SPACE / CLASSROOM	48
MAINTENANCE	8:00 AM - 4:00 PM	ALL YEAR		31,600	EDUCATIONAL - HIGH SCHOOL	1 SPACE / EMPLOYEE, PLUS 1 SPACE / FACULTY AND 1 SPACE / 8 STUDENTS	109
				21,295	N/A	* SEE EXPLANATION BELOW	0
				4,600	GENERAL COMMERCIAL - MINI-WAREHOUSE	2 SPACES / 3 EMPLOYEES	2

* DURING SCHOOL HOURS GYMNASIUM OCCUPANCY WILL NOT EXCEED MAXIMUM CAMPUS CAPACITY. THE GYMNASIUM OCCUPANTS AT ANY GIVEN TIME DURING SCHOOL HOURS WILL BE BY STUDENTS AND FACULTY RELOCATING FROM CLASSROOMS NOT RESULTING IN ANY ADDITIONAL PARKING NEEDS.
 ** ATTENDANCE VOLUMES IS INCLUDING STUDENTS, FACULTY, STAFF, AND GUESTS.

MAXIMUM ATTENDANCE **	1,578 PEOPLE
MAXIMUM PARKING REQUIRED	385 SPACES
TOTAL PARKING PROVIDED	510 SPACES

**CASE #: PP23977R1 AMD#1
 EXHIBIT: P (park.calcs 1-4)
 DATED: 3/4/14
 PLANNER: P. RULL**

EXTRACURRICULAR USES (AFTER-HOURS)

USE	HOURS OF OPERATION	DAYS IN CALENDAR YEAR	MAX ATTENDANCE	SQUARE FOOTAGE (SF)	PARKING CLASSIFICATION(S)	PARKING REQUIREMENTS	NUMBER OF SPACES
GYMNASIUM (EVENT)	3:00 PM - 10:00 PM	MID AUGUST - LATE MAY	600	72,100	RECREATIONAL USES - GYMNASIUM	1 SPACE / 200 SF GROSS FLOOR AREA	361
FINE ARTS (EVENT)	3:00 PM - 10:00 PM	ALL YEAR	300	21,295	CIVIC/RELIGIOUS - AUDITORIUM WITH FIXED SEATS	1 SPACE / 3 SEATS	100
FOOTBALL	3:00 PM - 10:00 PM	LATE AUGUST - LATE NOVEMBER	600	2,667	RECREATIONAL USE - STADIUMS AND SPORTS ARENAS	1 SPACE / 30 SF NET ASSEMBLY AREA	89
BASKETBALL	3:00 PM - 9:00 PM	EARLY NOVEMBER - LATE MARCH	600	2,900	RECREATIONAL USE - STADIUMS AND SPORTS ARENAS	1 SPACE / 30 SF NET ASSEMBLY AREA	97
BASEBALL	3:00 PM - 9:00 PM	LATE FEBRUARY - MID MAY	100	500	RECREATIONAL USE - STADIUMS AND SPORTS ARENAS	1 SPACE / 30 SF NET ASSEMBLY AREA	17
SOFTBALL	3:00 PM - 9:00 PM	LATE FEBRUARY - MID MAY	100	500	RECREATIONAL USE - STADIUMS AND SPORTS ARENAS	1 SPACE / 30 SF NET ASSEMBLY AREA	17
SOCCER	3:00 PM - 9:00 PM	LATE NOVEMBER - MID FEBRUARY	100	2,667	RECREATIONAL USE - STADIUMS AND SPORTS ARENAS	1 SPACE / 30 SF NET ASSEMBLY AREA	89
TENNIS	3:00 PM - 9:00 PM	LATE FEBRUARY - MID MAY	100	3 COURTS	RECREATIONAL USES - GAME COURTS	1 SPACE / COURT	3
VOLLEYBALL	3:00 PM - 9:00 PM	LATE AUGUST - MID NOVEMBER	50	2 COURTS	RECREATIONAL USES - GAME COURTS	1 SPACE / COURT	2
TRACK AND FIELD	3:00 PM - 9:00 PM	LATE FEBRUARY - MID MAY	600	2,667	N/A	N/A	89
SWIMMING	3:00 PM - 9:00 PM	LATE AUGUST - MID MAY	100	3,600	RECREATIONAL USE - SWIMMING POOLS	1 SPACE / 250 SF OF POOL AREA	15
SPECIAL EVENTS	6:00 PM - 10:00 PM	ALL YEAR	1,000		N/A	N/A	

MAXIMUM ATTENDANCE **	1,600 PEOPLE
MAXIMUM PARKING REQUIRED	461 SPACES
TOTAL PARKING PROVIDED	510 SPACES

** ATTENDANCE VOLUMES IS INCLUDING STUDENTS, FACULTY, STAFF, AND GUESTS.

HIGH SCHOOL PARKING CALCULATIONS:

CLASSROOM	SQUARE FOOTAGE	OCCUPANCY CALCULATION	STUDENT CAPACITY	TEACHER CAPACITY	FACULTY QUANTITY*	STUDENT SPACES CALCULATION	STUDENT SPACES REQUIRED	TEACHER SPACES CALCULATION	TEACHER SPACES REQUIRED
104	920	20 net	46	1	0	1 SPACE / 8 STUDENTS	5.75	1 SPACE / TEACHER	1
107	930	20 net	46.5	1	0	1 SPACE / 8 STUDENTS	5.8125	1 SPACE / TEACHER	1
108	950	20 net	47.5	1	0	1 SPACE / 8 STUDENTS	5.9375	1 SPACE / TEACHER	1
110	941	20 net	47.05	1	0	1 SPACE / 8 STUDENTS	5.88125	1 SPACE / TEACHER	1
117	941	20 net	47.05	1	0	1 SPACE / 8 STUDENTS	5.88125	1 SPACE / TEACHER	1
119	950	20 net	47.5	1	0	1 SPACE / 8 STUDENTS	5.9375	1 SPACE / TEACHER	1
120	930	20 net	46.5	1	0	1 SPACE / 8 STUDENTS	5.8125	1 SPACE / TEACHER	1
123	920	20 net	46	1	0	1 SPACE / 8 STUDENTS	5.75	1 SPACE / TEACHER	1
203	922	20 net	46.1	1	0	1 SPACE / 8 STUDENTS	5.7625	1 SPACE / TEACHER	1
205	930	20 net	46.5	1	0	1 SPACE / 8 STUDENTS	5.8125	1 SPACE / TEACHER	1
206	930	20 net	46.5	1	0	1 SPACE / 8 STUDENTS	5.8125	1 SPACE / TEACHER	1
208	922	20 net	46.1	1	0	1 SPACE / 8 STUDENTS	5.7625	1 SPACE / TEACHER	1
213	922	20 net	46.1	1	0	1 SPACE / 8 STUDENTS	5.7625	1 SPACE / TEACHER	1
215	930	20 net	46.5	1	0	1 SPACE / 8 STUDENTS	5.8125	1 SPACE / TEACHER	1
216	930	20 net	46.5	1	0	1 SPACE / 8 STUDENTS	5.8125	1 SPACE / TEACHER	1
218	922	20 net	46.1	1	0	1 SPACE / 8 STUDENTS	5.7625	1 SPACE / TEACHER	1

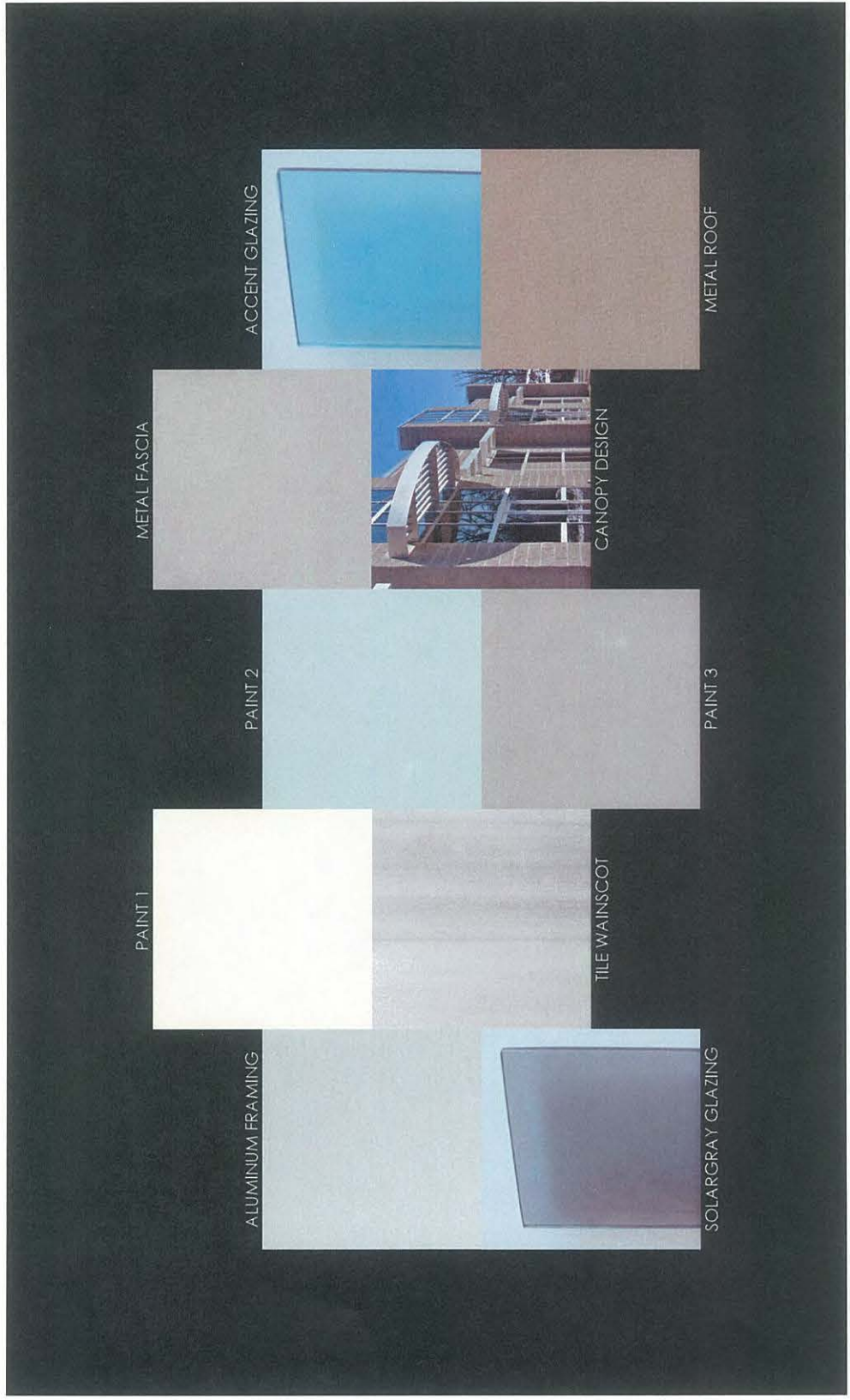
TOTAL SPACES:	93		16
TOTAL PARKING SPACE REQUIRED:			109

* THERE WILL BE NO FACULTY, OTHER THAN TEACHERS, LOCATED FULL-TIME WITHIN THE HIGH SCHOOL.

Bike Rack Calculations

OCCUPANT TYPE:	REQUIREMENT	PARKING SPACES PROVIDED	TOTAL BIKE SPACES NEEDED
EMPOLYEEES	1 SPACE / 25 PARKING SPACES	510	20
STUDENTS	1 SPACE / 33 PARKING SPACES		16

TOTAL BIKE SPACES NEEDED:	36
---------------------------	----



METAL FASCIA

ACCENT GLAZING

METAL ROOF

PAINT 2

CANOPY DESIGN

PAINT 3

PAINT 1

TILE WAINSCOT

ALUMINUM FRAMING

SOLARGRAY GLAZING

CASE #: PP23977R1 AMD#1
EXHIBIT: M (material board)
DATED: 3/4/14
PLANNER: P. RULL

Evacuation Plan:

There exist two aspects to consider in preparation for the eventuality of a 100-year flood at the Desert Christian Academy (DCA) location. One when the Whitewater River Basin Thousand Palms Flood Control Project (the Project) is completed by the Coachella Valley Water District (CVWD), and second, an evacuation plan prior to completion of the Project.

Clearly, after the Project is completed by CVWD, the entire DCA site will be free of any flood water entering the property and, as such, the site will be safe, accessible, and operational during a 100-year flood. If by chance it becomes apparent that the site will receive some flood water before completion of the Project a two-phased evacuation plan will be in place.

In the occurrence of a "flood event", BEFORE completion of CVWD's Flood Control Project, DCA's school campus and site will be evacuated prior to any amount of flowing flood water entering the School's campus. Preparation for an evacuation will begin upon issuance of a Flood Watch by the National Weather Service for the Thousand Palms and/or North Cathedral City Watersheds. The actual evacuation will only commence after a Flood Warning (defined as 0.50" of rainfall or more) has been issued by the National Weather Service for either watershed area. DCA will designate specific personnel with the responsibility of receiving notice of a flooding event and taking the steps necessary to initiate the preparation for, or, the evacuation itself.

At such time a Flood Watch is issued, DCA will begin preparing for site evacuation. DCA will immediately notify all students and staff that a Flood Watch has been issued for their area and evacuation routes and procedures will be reviewed in every classroom. DCA will contact students' parents to notify them that a Flood Watch weather warning has been issued and that, if the condition is upgraded to a Flood Warning evacuation of the campus site will commence. Concurrently, DCA will stage and organize means of transportation for any person on site.

Upon issuance of a Flood Warning, DCA will begin the evacuation process. Any student not being picked up by their parent will be escorted and placed in DCA's provided transportation. As soon as each vehicle is at its capacity, it will exit the site and travel to the old DCA site on Yucca Lane in Bermuda Dunes, or any other designated campus, where staff will remain with students until retrieved by a parent or authorized individual.

This evacuation information will be added to the Parent / Student Handbook provided to every parent and student to further insure clarity of communication

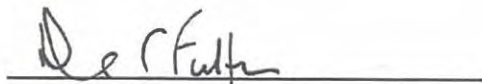


between the parents and school. Parents able to pick up their child at the campus, in the event of an evacuation, will be allowed to do so provided it is done in a timely manner after the issuance of the weather bulletin. For those students who do not have timely transportation off the site, DCA will provide transportation from the site to the old DCA site as previously noted.

DCA understands that before the Whitewater River Basin Thousand Palms Flood Control Project is completed all roads accessing the school campus will be flooded in the event of a flood. It is for this reason that DCA is enacting this Evacuation Plan detailing that evacuation and safety procedures will begin hours or even days BEFORE any storm water is flowing onto the site to further insure the safety of all occupants of the site at all times.

Clearly it would be irresponsible to not have in place a well-publicized plan, trained staff, and periodic drills to ensure absolute safety of all personnel at our DCA Campus resulting from any type of flooding event.

Desert Christian Academy



Dave Fulton - Founder

Project Description:

The original Plot Plan submitted under PP23977 proposed the construction of an approximately 258,866 square foot parochial school facility, (pre-school through 12th grade) that would have included classrooms and administrative buildings, library, courtyard, cafeteria, maintenance building, an athletic stadium of 490 seat with football/soccer field and an athletic track, baseball and softball fields, athletic gymnasium, pool, outdoor tennis, basketball and volleyball courts, playground areas, fire/service access roads, and related infrastructure improvements including five (5) on-site detention basins, and 514 parking spaces, with approximately 550,000 cubic yards of grading. Off-site improvements included road improvements and widening a portion of Washington Street, the re-alignment of Avenue 38 from the westerly project boundary to Varner Road, and construction of a regional storm drainage channel parallel to Avenue 38 – APN(s): 626-150-040; 626-150-039; 626-150-038; 626-150-037.

This Revised Plot Plan submittal PP23977 proposes a similar project with some design changes. The new submittal calls for an approximately 300,400 square foot private school facility (pre-school through 12th grade) to include all of the buildings and exterior features mentioned above. To meet Flood control requirements, the buildings have been reoriented to the Western portion of the site (all of which reside in ALUC Zone D) and raised from the existing flood plain grade. The raising of the buildings and the repositioning of them allowed for the use of three (3) retention basins rather than five (5) detention basins. The shifts in the design resulted in a slight decrease in parking from 514 spaces to 510 parking spaces and a decrease in the necessary grading to approximately 433,510 cubic yards.

Through the Memorandum of Understanding (M.O.U.) between the Desert Christian Academy (DCA), Riverside County and the Coachella Valley Water District (CVWD) it has been defined that UPON the completion of the aforementioned regional storm drainage channel, DCA will be responsible for the funding of one (1) lane of the relocated Avenue 38 and all necessary frontage improvements up to but not including Washington Street.

At full phased build out, the School will accommodate 1,578 students, 86 teachers, and 35 staff members. The typical hours of operation, during the academic year, will be 7:00 AM to 4:00 PM with after school hours ranging from 3:00 PM to 10:00 PM. Special events will run infrequently throughout the entire year with times ranging from 6:00 AM to 10:00 PM. Special events will vary widely in function but will include indoor and outdoor sporting events, theatrical performances, community events, and church group meetings.



Pre-School

- One (1) single-story, 32,300 sq. ft. Pre-School building (Phase 1 – 19,300 sq. ft.; Future – 13,000 sq. ft., 26'-6" high)

Elementary & Junior High School

- Two (2) two-story Elementary buildings that will include; two (2) 31,584 sq. ft. K-5th grade buildings (34'-0")

Middle School

- One (1) two-story classroom building; one (1) 31,584 sq. ft. 6th - 8th grade building (34'-0" high)

High School

- One (1) two-story classroom building; one (1) 31,584 sq. ft. 9th – 12th grade building (34'-0" high)

Administration & Library/Learning Center

- One (1) two-story 32,400 sq. ft. building (46'-0" high)

Gymnasium & Auxiliary Gym

- One (1) 72,100 sq. ft. Gymnasium and Auxiliary Gym (49'-0")

Cafeteria/Multi-Purpose Room

- One (1) one-story 11,300 sq. ft. building (25'-4" high)

Fine Arts Building

- One (1) two-story 21,300 sq. ft. building (42'-0" high)

Maintenance Building

- One (1) 4,600 sq. ft. building (22'-0" high)

AGREEMENT

AMONG

**THE COUNTY OF RIVERSIDE, THE COACHELLA VALLEY WATER DISTRICT, AND THE
CHRISTIAN SCHOOL OF THE DESERT dba DESERT CHRISTIAN ACADEMY**

FOR

**COOPERATIVE DEVELOPMENT OF THE WHITEWATER (THOUSAND PALMS) FLOOD
CONTROL PROJECT and ASSOCIATED AVENUE 38 ROADWAY IMPROVEMENTS
AND WASHINGTON STREET CROSSING**

This Agreement ("Agreement") is made and entered into as of _____ by and among the County of Riverside, a political subdivision of the State of California ("County"), the Coachella Valley Water District, a public agency of the State of California ("CVWD") and Christian School of the Desert, a California corporation, doing business as Desert Christian Academy ("DCA") which are sometimes individually referred to as "Party" or collectively as "Parties."

RECITALS

WHEREAS, CVWD is the regional flood control agency and a floodplain manager for portions of Riverside County, California; and

WHEREAS, CVWD has been working with the United States Army Corps of Engineers ("USACOE") on the Whitewater (Thousand Palms) Flood Control Project ("Project") since 1994; and the USACOE transferred the Project to CVWD pursuant to a letter dated May 14, 2012. CVWD accepted the transfer of the Project thereafter; and

WHEREAS, the Project involves the construction of a series of levees and channels to protect and remove Two Thousand Eight Hundred (2,800) acres of land from alluvial flooding and the resulting floodplain; and

WHEREAS, CVWD has contracted with consultants ("Consultants") to complete the design, environmental, and contract documents for the Project, and CVWD will continue to explore future federal funding for the construction of the Project in coordination with the USACOE; and

WHEREAS, DCA owns certain real property located on the south west corner of Avenue 38 and Washington Street in the County of Riverside, California as legally described on Exhibit "A"

attached hereto and by this reference incorporated herein ("DCA Property"). DCA desires to construct a new school campus ("School") on the DCA Property at such location described and/or depicted on Exhibit "B" attached hereto and by this reference incorporated herein; and

WHEREAS, County has 88 feet of right-of-way for roadway purposes per Grant Deeds recorded April 25, 1960 as Instrument Nos. 36721 and 36722 and Grant Deed recorded on April 25, 1960 in Book 2681 Page 419, Official Records of Riverside County; and

WHEREAS, DCA provided the County an additional 302 feet of right-of-way for the relocated Avenue 38 and regional flood control facilities for Reach 4 per Grant Deed recorded August 26, 2008 as Document No. 2008-0469572, Official Records of the County of Riverside; and

WHEREAS, the County will provide CVWD a 272 foot wide flooding easement for regional flood control facilities for Reach 4; and

WHEREAS, CVWD quitclaimed Parcel 15 of Parcel Map No. 29715 to Desert Business Park II, LLC, per Quitclaim Deed recorded October 10, 2012 as Document No. 2012-0483313, Official Records of the County of Riverside, in order to facilitate the emergency access requirement for the School; and

WHEREAS, County is requiring the relocation of Avenue 38 ("Avenue 38 Relocation") to the south as a condition of the Project; and

WHEREAS, the Avenue 38 Relocation will require the construction of certain improvements generally described on Exhibits "C-1 and C-2" attached hereto and by this reference incorporated herein ("Avenue 38 Roadway Improvements"). In addition to the foregoing, the County requires the construction of a culvert crossing for the Project under Washington Street at or near the intersection of Washington Street and Avenue 38 ("Washington Street Crossing"). More particularly, the Washington Street Crossing will require those improvements generally described on Exhibit "D" attached hereto and by this reference incorporated herein ("Washington Street Crossing Improvements");

NOW THEREFORE, in consideration of the foregoing Recitals and the representations, warranties, and covenants contained in this Agreement, the Parties agree to the following terms and conditions:

1. CVWD shall cause Consultants to incorporate into the Project design and environmental documentation, the Avenue 38 Relocation and the Washington Street Crossing.

2. Upon construction of the Project by CVWD, CVWD shall construct or cause to be constructed, at CVWD's cost and expense, two (2) southerly lanes of the Avenue 38 Relocation as reasonably required by the County.
3. Upon construction of the Project by CVWD, DCA shall construct or cause to be constructed, at DCA's cost and expense sidewalk, curb and gutter, paved shoulder to southerly edge of travelled way, and the associated landscaping along the School frontage as reasonably required by the County.
4. Should the DCA School be constructed before the Project, DCA shall also construct one southerly lane of the relocated Avenue 38 at their sole cost and expense. CVWD shall also construct one southerly lane of the relocated Avenue 38 at their sole cost and expense.
5. The County shall review and if acceptable, approve the design for the Avenue 38 Relocation and the Washington Street Crossing within a reasonable time after the receipt of such design from CVWD. County shall not unreasonably withhold its approval. In the event County disapproves the plans, County shall provide detailed reasons for the disapproval. The plans shall be modified in accordance with the reasons provided by County and CVWD shall resubmit the modified plans for approval.
6. The Project, the Avenue 38 Roadway Improvements and Washington Street Crossing Improvements will be constructed in the sequence as shown on Exhibit "E" attached hereto and by this reference incorporated herein.
7. At such time as required in Exhibits "E-1 and E-2", DCA shall provide a School emergency exit and evacuation plan to the County for review and approval in case a large flooding event should occur. In the event County disapproves of the plan or any portion thereof, County shall give DCA notice of the reasons for the disapproval. DCA shall modify the plan in accordance with the reasons for disapproval and DCA shall resubmit the modified plans for approval.
8. CVWD shall take the lead to work with the developers to the west of DCA, to obtain the necessary right-of-way for regional flood control facilities for Reach 4 and the relocated Avenue 38 and the County shall cooperate with CVWD's efforts in this regard.
9. Until the construction of the Project is complete, DCA shall comply with Riverside County Ordinance 458.
10. DCA shall prepare a grading plan for the construction of the School that complies with the requirements of Riverside County Ordinances No. 457 and 458, FEMA requirements, and

all other requirements of state law, including, but not limited to, California Drainage Law. The grading plan shall include on-site flood protection facilities, finished floor elevations at or above flood depth, erosion protection details, and adequate off-site stormwater flow-through. The grading plan and appropriate fees shall be submitted to the County and shall be reviewed and if acceptable, approved by CVWD as required by Ordinance No. 458. CVWD shall not unreasonably withhold its approval. In the event CVWD disapproves the grading plans, CVWD shall provide detailed reasons for its disapproval. The grading plans shall be modified in accordance with the reasons provided by CVWD and DCA shall resubmit the modified plans for approval.

11. After the flood management review has been completed and CVWD has notified DCA and County of its approval, CVWD will prepare a clearance letter to the County stating that, based on CVWD's approval pursuant to Section 10 of this Agreement, the DCA Property meets Riverside County Ordinance 458 and FEMA requirements.
12. This Agreement shall be in effect for a period of ten years after its execution, and may be renewed if agreed upon by all parties.
13. (a) County and CVWD shall each hold harmless, protect and indemnify the other and their respective directors, officers, employees, agents, contractors, volunteers, and representatives and the heirs, personal representatives, successors and assigns of each of them (each a "County/CVWD Indemnified Party" and, collectively, "County/CVWD Indemnified Parties,") from and against any and all liabilities, penalties, costs, losses, damages, expenses (including, without limitation, reasonable attorneys' fees and experts' fees), causes of action, claims, demands, orders, liens or judgments (each a "Claim" and, collectively, "Claims"), arising from or in any way connected with (i) such Party's actual or alleged acts or omissions related to this Agreement or performance under this Agreement; (ii) injury to or the death of any person, or physical damage to any property resulting from any act or omission by such Party or its employees, volunteers or representatives with respect to the obligations of such Party under or in connection with this Agreement; or (iii) breach of such Party's obligations hereunder; provided that the foregoing indemnification in this Section shall be inapplicable to a County/CVWD Indemnified Party with respect to any Claim due to the negligence, intentional acts or willful misconduct of a County/CVWD Indemnified Party or any of them. If any action or proceeding is brought against any of the County/CVWD Indemnified Parties by reason of any such Claim, the Party bringing the Claim shall, at its election and upon written notice from the other Party, defend such action or proceeding by counsel reasonably acceptable

to the County/CVWD Indemnified Party or reimburse the other Party for all charges incurred in defending the action or proceeding.

(b) CVWD and DCA shall each hold harmless, protect and indemnify the other and their respective directors, officers, employees, agents, contractors, volunteers, and representatives and the heirs, personal representatives, successors and assigns of each of them (each a "CVWD/DCA Indemnified Party" and, collectively, "CVWD/DCA Indemnified Parties,") from and against any and all Claims arising from or in any way connected with (i) such Party's actual or alleged acts or omissions related to this Agreement or performance under this Agreement; (ii) injury to or the death of any person, or physical damage to any property resulting from any act or omission by such Party or its employees, volunteers or representatives with respect to the obligations of such Party under or in connection with this Agreement; or (iii) breach of such Party's obligations hereunder; provided that the foregoing indemnification in this Section shall be inapplicable to a CVWD/DCA Indemnified Party with respect to any Claim due to the negligence, intentional acts or willful misconduct of a CVWD/DCA Indemnified Party or any of them. If any action or proceeding is brought against any of the CVWD/DCA Indemnified Parties by reason of any such Claim, the Party bringing the Claim shall, at its election and upon written notice from the other Party, defend such action or proceeding by counsel reasonably acceptable to the CVWD/DCA indemnified Party or reimburse the other Party for all charges incurred in defending the action or proceeding.

(c) DCA shall hold harmless, protect and indemnify the County and its respective directors, officers, employees, agents, contractors, volunteers, and representatives and the heirs, personal representatives, successors and assigns of each of them (each a "County Indemnified Party" and, collectively, "County Indemnified Parties,") from and against any and all Claims, arising from or in any way connected with (i) DCA's actual or alleged acts or omissions related to this Agreement or performance under this Agreement; (ii) injury to or the death of any person, or physical damage to any property resulting from any act or omission by DCA or its employees, volunteers or representatives with respect to the obligations of DCA under or in connection with this Agreement; or (iii) breach of DCA's obligations hereunder; provided that the foregoing indemnification in this Section shall be inapplicable to a County Indemnified Party with respect to any Claim due to the negligence, intentional acts or willful misconduct of a County Indemnified Party or any of them. If any action or proceeding is brought against any of the County Indemnified Parties by reason of any such Claim, DCA shall defend such action or proceeding by counsel reasonably acceptable to the County Indemnified Party or reimburse the County for all charges incurred in defending the action or proceeding.

14. In all construction contracts awarded by CVWD and DCA, the following shall be included in such contracts:

(a) The Indemnified Parties shall be named as additional insureds on all comprehensive general liability, automobile liability and employer's liability policies required by the Party letting the contract.

(b) The Indemnified Parties shall be named as indemnified parties in all indemnifications, hold harmless provisions, waivers and releases in favor of the Party letting the contract.

(c) The County shall be named as an obligee under all labor and material payment bonds and contract performance bonds for the facilities to be constructed for the County in this Agreement.

[SIGNATURES APPEAR ON FOLLOWING PAGE]

IN WITNESS WHEREOF, the Parties have caused this Agreement to be signed on the date first written above.

DCA:

CHRISTIAN SCHOOL OF THE DESERT,
a California corporation, dba
DESERT CHRISTIAN ACADEMY

By: _____

Its: _____

COUNTY:

COUNTY OF RIVERSIDE,
a political subdivision of the
State of California

By: Jeff Stone

Its: JEFF STONE
CHAIRMAN, BOARD OF SUPERVISORS

CVWD:

COACHELLA VALLEY WATER DISTRICT,
a public agency of the State of California

By: _____

Its: _____

Approved as to Form

FORM APPROVED COUNTY COUNSEL

BY: Neal R. Kipnis 6/13/14
NEAL R. KIPNIS DATE

County Counsel

Approved as to Form

REDWINE AND SHERRILL

By: _____

Gerald D. Shoaf

ATTEST:

[Signature]

Clerk of the Board

ATTEST:

Julia Fernandez
Secretary to the Board

IN WITNESS WHEREOF, the Parties have caused this Agreement to be signed on the date first written above.

DCA:

CHRISTIAN SCHOOL OF THE DESERT,
a California corporation, dba
DESERT CHRISTIAN ACADEMY

By: _____

Its: _____

COUNTY:

COUNTY OF RIVERSIDE,
a political subdivision of the
State of California

By: _____

Its: _____

CVWD:

COACHELLA VALLEY WATER DISTRICT,
a public agency of the State of California

By: *[Signature]* 11-13-13

Its: GENERAL MANAGER

Approved as to Form

County Counsel

ATTEST:

Clerk of the Board

Approved as to Form

REDWINE AND SHERRILL

By: *[Signature]*
Gerald D. Shoaf

ATTEST:

Julia Fernandez
Secretary to the Board

IN WITNESS WHEREOF, the Parties have caused this Agreement to be signed on the date first written above.

DCA:

CHRISTIAN SCHOOL OF THE DESERT,
a California corporation, dba
DESERT CHRISTIAN ACADEMY

By: *DOG Full*
Its: *DCA Founder*

COUNTY:

COUNTY OF RIVERSIDE,
a political subdivision of the
State of California

By: _____
Its: _____

CVWD:

COACHELLA VALLEY WATER DISTRICT,
a public agency of the State of California

By: _____
Its: _____

Approved as to Form

County Counsel

Approved as to Form

REDWINE AND SHERRILL

By _____
Gerald D. Shoaf

ATTEST:

Clerk of the Board

ATTEST:

Julia Fernandez
Secretary to the Board

EXHIBIT LIST

Exhibit "A"	Legal Description of the DCA Property
Exhibit "B"	Location of the School on the DCA Property
Exhibit "C-1"	Ave 38 Roadway Improvements-Plan
Exhibit "C-2"	Ave 38 Roadway Improvements-Profile
Exhibit "D"	Washington Street Crossing Improvements
Exhibit "E-1"	Sequence of Construction-DCA First
Exhibit "E-2"	Sequence of Construction-CVWD First

EXHIBIT "A"
TO AGREEMENT

LEGAL DESCRIPTION OF THE DCA PROPERTY

EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 5137
LEGAL DESCRIPTION

PARCEL "A"

THAT PORTION OF PARCEL 1 OF PARCEL MERGER NO. 1699, RECORDED DECEMBER 13, 2006 AS INSTRUMENT NO. 2006-0912525, O.R., IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOW:

BEGINNING AT THE SOUTHWEST CORNER OF PARCEL 1 OF SAID PARCEL MERGER NO. 1699;

THENCE NORTH 00°31'06" EAST 979.82 FEET ALONG THE CENTER LINE OF SAID SECTION 1;

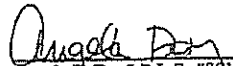
THENCE SOUTH 89°27'42" EAST 1319.43 FEET TO THE EAST LINE OF SAID PARCEL 1;

THENCE SOUTH 00°23'32" WEST 983.96 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF SAID PARCEL 1;

THENCE NORTH 89°16'57" WEST 1321.61 FEET ALONG THE SOUTH LINE OF SAID PARCEL 1 TO THE POINT OF THE BEGINNING.

DESCRIBED PARCEL CONTAINS 29.77 ACRES, MORE OR LESS AND AS SHOWN ON THE ATTACHED PLAT, BY THIS REFERENCE BEING MADE A PART HEREOF.

Prepared under the supervision of:

 Date: 2/20/07
Angela E. Dorf, P.L.S. #8010
Expires 12/31/08
STANTEC CONSULTING, INC.
73-733 Fred Waring Drive, Suite 100
Palm Desert, CA 92260
(760) 346-9844



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09/07/2897 5509674
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Page 1 of 6

EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 5137
LEGAL DESCRIPTION

PARCEL "A"

THAT PORTION OF PARCEL 1 OF PARCEL MERGER NO. 1699, RECORDED DECEMBER 13, 2006 AS INSTRUMENT NO. 2006-0912525, O.R., IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOW:

BEGINNING AT THE SOUTHWEST CORNER OF PARCEL 1 OF SAID PARCEL MERGER NO. 1699;

THENCE NORTH 00°31'06" EAST 979.82 FEET ALONG THE CENTER LINE OF SAID SECTION 1;

THENCE SOUTH 89°27'42" EAST 1319.43 FEET TO THE EAST LINE OF SAID PARCEL 1;

THENCE SOUTH 00°23'32" WEST 983.96 FEET ALONG SAID EAST LINE TO THE SOUTHEAST CORNER OF SAID PARCEL 1;

THENCE NORTH 89°16'57" WEST 1321.61 FEET ALONG THE SOUTH LINE OF SAID PARCEL 1 TO THE POINT OF THE BEGINNING.

TOGETHER WITH AN EASEMENT OVER AND ACROSS THE SOUTHERLY 20.00 FEET OF THE SOUTH ONE HALF OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.M.

DESCRIBED PARCEL CONTAINS 29.77 ACRES, MORE OR LESS AND AS SHOWN ON THE ATTACHED PLAT, BY THIS REFERENCE BEING MADE A PART HEREOF.



2007-509674
08/07/2007 08:00
7 of 14

EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 5137
LEGAL DESCRIPTION

PARCEL "B"

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.M. IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOW:

BEGINNING AT THE SOUTHEAST CORNER OF PARCEL 1 OF PARCEL MERGER NO. 1699, RECORDED DECEMBER 13, 2006 AS INSTRUMENT NO. 0912525, OFFICIAL RECORDS OF SAID COUNTY;

THENCE NORTH 00°23'32" EAST 983.96 FEET ALONG THE EAST LINE OF SAID PARCEL 1;

THENCE SOUTH 89°27'42" EAST 689.06 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 1940.00 FEET;

THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 204.15 FEET THROUGH A CENTRAL ANGLE OF 06°01'46", A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS NORTH 06°34'04" EAST;

THENCE SOUTH 00°32'18" WEST 539.01 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 1376.00 FEET, A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS SOUTH 05°22'52" EAST;

THENCE WESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 66.58 FEET THROUGH A CENTRAL ANGLE OF 02°46'21" TO THE BEGINNING OF REVERSE CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 306.00 FEET, A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS NORTH 08°09'13" WEST;

THENCE WESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 46.20 FEET THROUGH A CENTRAL ANGLE OF 08°38'59", A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS SOUTH 00°29'46" WEST;

THENCE SOUTH 05°09'58" EAST 102.86 FEET;

THENCE SOUTH 02°36'10" EAST 89.81 FEET;

THENCE SOUTH 13°32'01" WEST 117.38 FEET;

THENCE SOUTH 31°47'23" WEST 138.04 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 1;

2007-0509674
00/07/2007 00:00
8 of 14



EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 5137
LEGAL DESCRIPTION

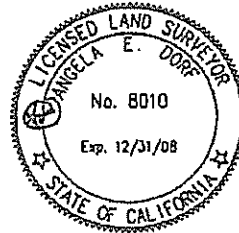
THENCE NORTH 89°16'57" WEST 695.41 FEET TO ALONG THE SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 1 TO THE POINT OF THE BEGINNING.

EXCEPTING AND RESERVING THEREFROM AN ACCESS EASEMENT ALONG THE SOUTHERLY 20.00 FEET OF THE ABOVE DESCRIBED PARCEL.

DESCRIBED PARCEL CONTAINS 18.96 ACRES, MORE OR LESS AND AS SHOWN ON THE ATTACHED PLAT, BY THIS REFERENCE BEING MADE A PART HEREOF.

Prepared under the supervision of:

Angela E. Dorf Date: 2/28/07
Angela E. Dorf, P.L.S. #8010
Expires 12/31/08
STANTEC CONSULTING, INC.
73-733 Fred Waring Drive, Suite 100
Palm Desert, CA 92260
(760) 346-9844



2007-0566674
09/07/2007 08:59A
9 of 14

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Page 3 of 6

RIVERSIDE, CA DOCUMENT: DD 2007.509674

Page 9 of 14

Printed on 1/15/2008 12:04:02 PM

Provided by DataTrace System

EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 5137
LEGAL DESCRIPTION

PARCEL "C"

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.M., AND PARCEL 1 OF PARCEL MERGER NO. 1699, RECORDED DECEMBER 13, 2006 AS INSTRUMENT NO. 2006-0912525, O.R., BOTH IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOW:

BEGINNING AT THE NORTHWEST CORNER OF PARCEL 1 OF SAID PARCEL MERGER NO. 1699;

THENCE SOUTH 89°27'42 EAST 2637.54 FEET ALONG THE SOUTHERLY RIGHT OF WAY LINE OF 38TH AVENUE AS DESCRIBED BY DEED RECORDED APRIL 25, 1960 AS INSTRUMENT NO. 36719 AND AS FILE IN BOOK 2681, PAGE 415, O.R. TO A POINT ON THE EAST LINE OF SAID SECTION 1;

THENCE SOUTH 00°16'00" WEST 407.45 FEET ALONG SAID EAST LINE TO THE BEGINNING A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 1940.00 FEET, A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS SOUTH 19°30'56" WEST;

THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 642.56 FEET THROUGH A CENTRAL ANGLE OF 18°58'38";

THENCE NORTH 89°27'42" WEST 2008.49 FEET TO A POINT ON THE WEST LINE OF THE NORTHEAST QUARTER OF SECTION 1;

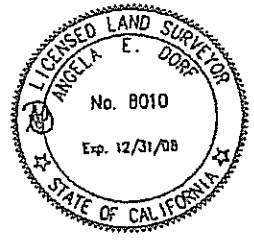
THENCE NORTH 00°31'06" EAST 302.00 FEET ALONG SAID WEST LINE TO THE POINT OF THE BEGINNING.

DESCRIBED PARCEL CONTAINS 18.79 ACRES, MORE OR LESS AND AS SHOWN ON THE ATTACHED PLAT, BY THIS REFERENCE BEING MADE A PART HEREOF.

2007-0509674
00/07/2007 08:08A
10 of 14

Prepared under the supervision of:

Angela E. Dorf Date: *2/20/07*
Angela E. Dorf, P.L.S. #8010
Expires 12/31/08
STANTEC CONSULTING, INC.
73-733 Fred Waring Drive, Suite 100
Palm Desert, CA 92260
(760) 346-9844



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EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 5137
LEGAL DESCRIPTION

PARCEL "D"

THAT PORTION OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.M., IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOW:

BEGINNING NORTH ONE-SIXTEEN CORNER OF SAID SECTION 1;

THENCE NORTH 00°16'00" EAST 882.65 FEET ALONG THE EAST LINE OF SAID SECTION 1 TO THE BEGINNING A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 1940.00 FEET, A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS SOUTH 19°30'56" WEST;

THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 438.41 FEET THROUGH A CENTRAL ANGLE OF 12°56'52", A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS NORTH 06°34'04" EAST;

THENCE SOUTH 00°32'18" WEST 539.01 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 1376.00 FEET, A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS SOUTH 05°22'52" EAST;

THENCE WESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 66.58 FEET THROUGH A CENTRAL ANGLE OF 02°46'21" TO THE BEGINNING OF REVERSE CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 306.00 FEET, A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS NORTH 08°09'13" WEST;

THENCE WESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 45.20 FEET THROUGH A CENTRAL ANGLE OF 08°38'59", A LINE RADIAL TO SAID CURVE AT SAID POINT BEARS SOUTH 00°29'46" WEST;

THENCE SOUTH 05°09'58" EAST 102.86 FEET;

THENCE SOUTH 02°36'10" EAST 89.81 FEET;

THENCE SOUTH 13°32'01" WEST 117.38 FEET;

THENCE SOUTH 31°47'23" WEST 138.04 FEET TO A POINT ON THE SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 1;

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11 of 14

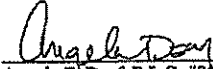
EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 5137
LEGAL DESCRIPTION

THENCE SOUTH 89°16'57" EAST 626.20 FEET TO ALONG THE SOUTH LINE OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SAID SECTION 1 TO THE POINT OF THE BEGINNING.

EXCEPTING AND RESERVING THEREFROM AN ACCESS EASEMENT ALONG THE SOUTHERLY 20.00 FEET OF THE ABOVE DESCRIBED PARCEL.

DESCRIBED PARCEL CONTAINS 10.43 ACRES, MORE OR LESS AND AS SHOWN ON THE ATTACHED PLAT, BY THIS REFERENCE BEING MADE A PART HEREOF.

Prepared under the supervision of:

 Date: 2/20/07
Angela E. Dorf, P.L.S. #8010
Expires 12/31/08
STANTEC CONSULTING, INC.
73-733 Fred Waring Drive, Suite 100
Palm Desert, CA 92260
(760) 346-9844



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03/07/2007 08:05A
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EXHIBIT "B"
TO AGREEMENT

LOCATION OF SCHOOL ON THE DCA PROPERTY

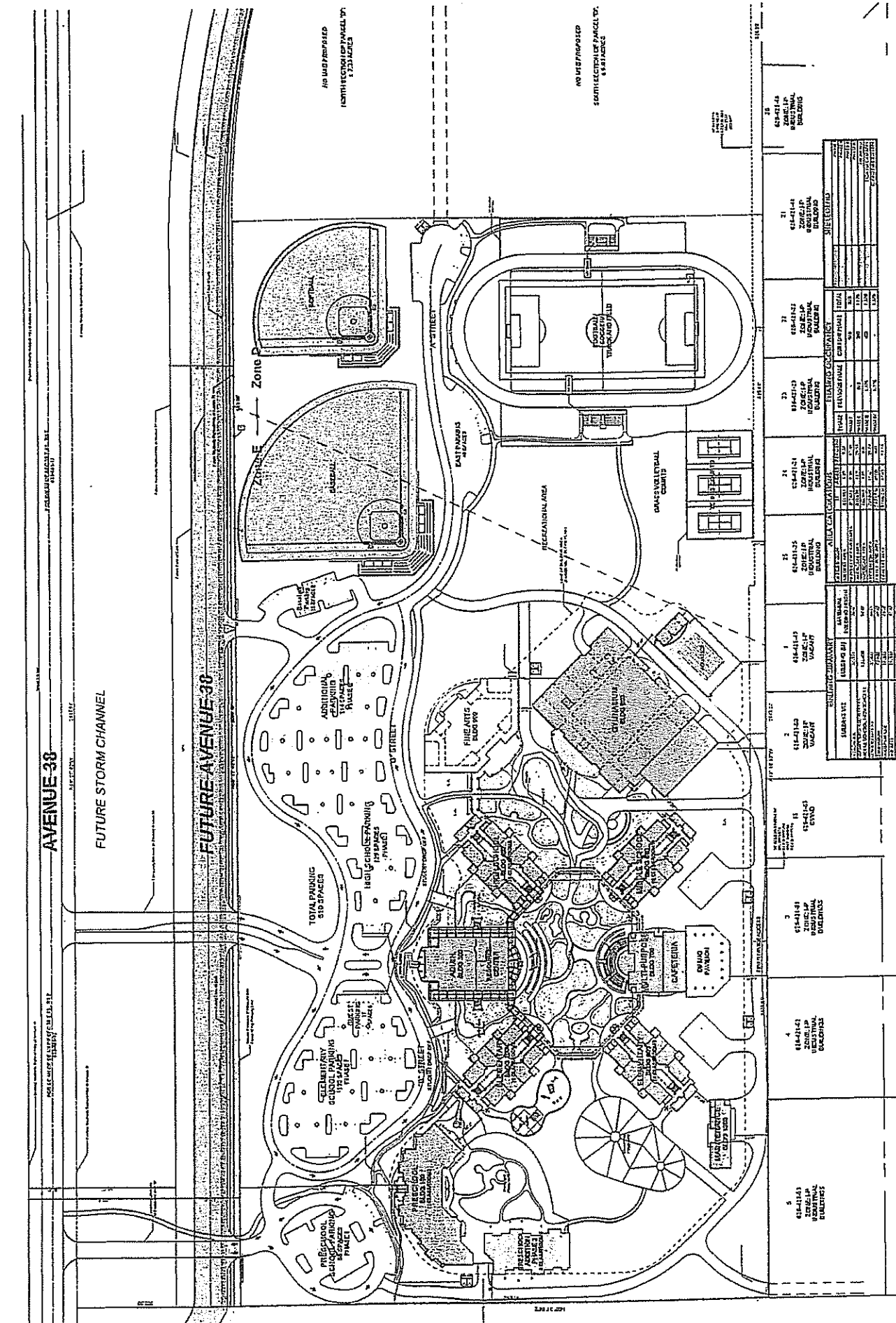
AVENUE 38

FUTURE STORM CHANNEL

FUTURE AVENUE 38

NO UNIMPROVED
IDENTIFICATION PARCELS
1.5.16.1.5

NO UNIMPROVED
SERVICED LOTS PARCELS
1.5.16.1.5



Lot #	Zone	Zoning		Use	Area	Status
		Current	Proposed			
1	MS-15	MS-15	MS-15	VACANT	3,000	Proposed
2	MS-15	MS-15	MS-15	VACANT	3,000	Proposed
3	MS-15	MS-15	MS-15	VACANT	3,000	Proposed
4	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
5	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
6	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
7	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
8	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
9	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
10	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
11	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
12	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
13	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
14	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
15	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
16	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
17	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
18	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
19	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
20	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
21	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
22	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
23	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
24	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
25	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
26	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
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28	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
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33	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
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40	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
41	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
42	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
43	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
44	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed
45	MS-15	MS-15	MS-15	RECREATIONAL	10,000	Proposed

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul

Owner: Applicant:
 Dave Foltin | Jeff Archibald
 48700 Nevada Street | Suite D
 Rancho Mirage, CA 92270

APN: 624-100-037 | SD-010
 624-100-037
MASTER SITE PLAN | MAY 2013
HOLT
 ARCHITECTURE

EXHIBIT "C-1 and C-2"

TO AGREEMENT

AVENUE 38 ROADWAY IMPROVEMENTS-PLAN AND PROFILE

LIMITS OF CWD ROW

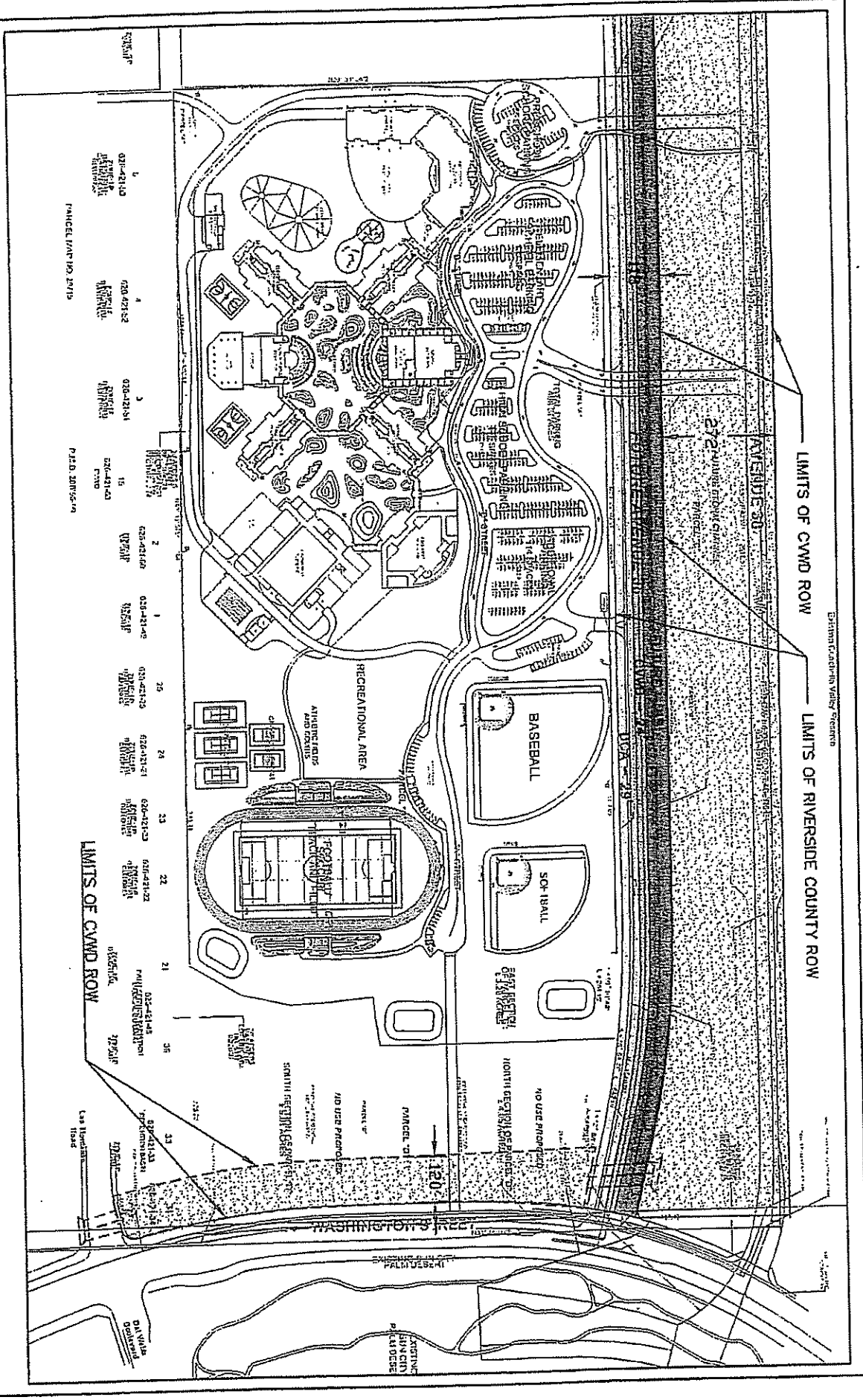
LIMITS OF RIVERSIDE COUNTY ROW

AVENUE 30

272' AVENUE 30 RIGHT OF WAY

AVENUE 29

AVENUE 28



PANEL MAP NO. 271D

P.L.D. 2015-01

LIMITS OF CWD ROW

Car Wash Road

PARSONS
BRINCKERHOFF

SCALE: 1" = 300'

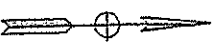
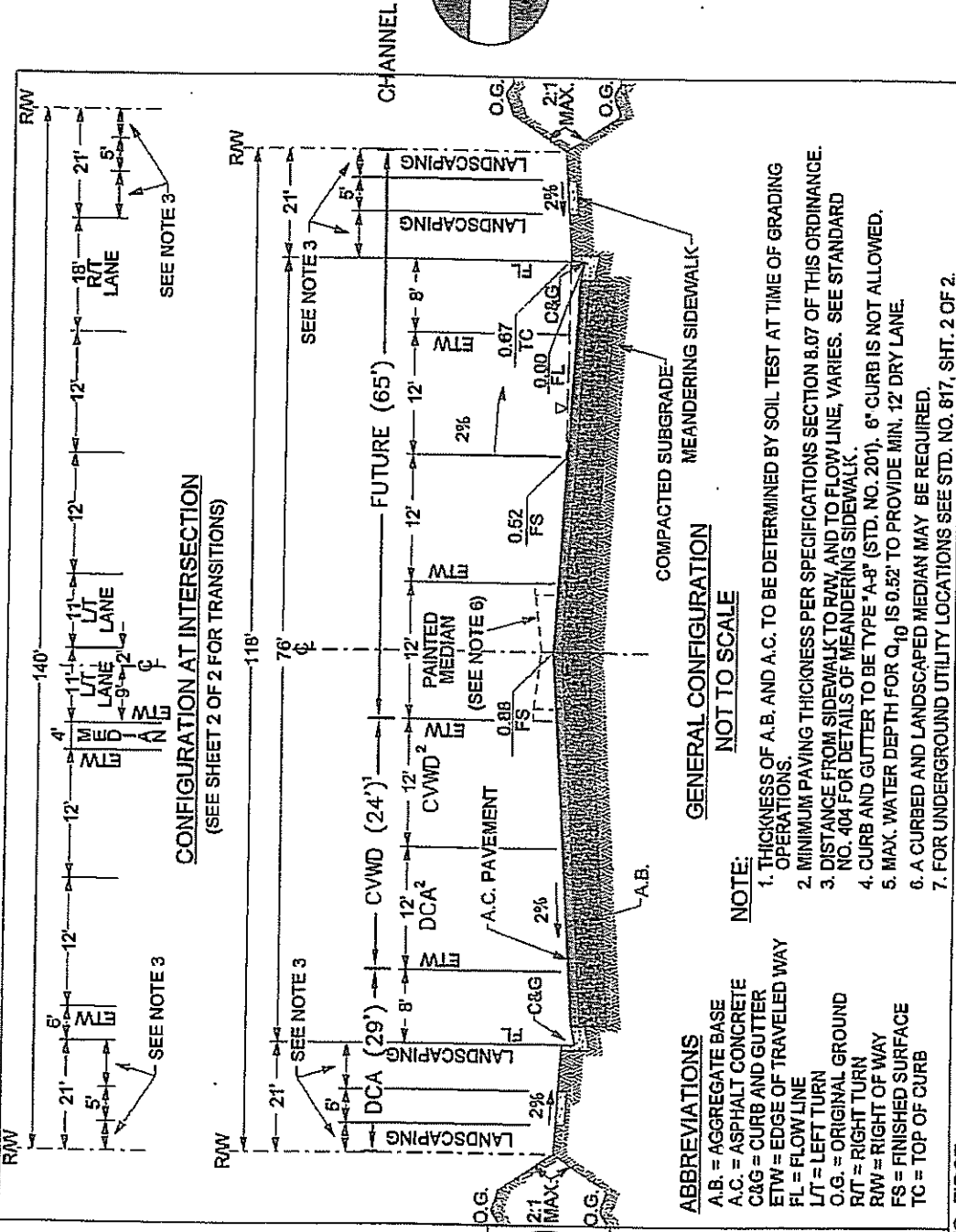


EXHIBIT C-1

**Avenue 38 - Desert Christian Academy
(DCA) and Coachella Valley Water District
(CVWD) Construction Limits**



- ABBREVIATIONS**
 A.B. = AGGREGATE BASE
 A.C. = ASPHALT CONCRETE
 C&G = CURB AND GUTTER
 ETW = EDGE OF TRAVELED WAY
 FL = FLOW LINE
 O.G. = ORIGINAL GROUND
 RT = RIGHT TURN
 RW = RIGHT OF WAY
 FS = FINISHED SURFACE
 TC = TOP OF CURB
- NOTE:**
 1. THICKNESS OF A.B. AND A.C. TO BE DETERMINED BY SOIL TEST AT TIME OF GRADING OPERATIONS.
 2. MINIMUM PAVING THICKNESS PER SPECIFICATIONS SECTION 8.07 OF THIS ORDINANCE.
 3. DISTANCE FROM SIDEWALK TO RW, AND TO FLOW LINE, VARIES. SEE STANDARD NO. 404 FOR DETAILS OF MEANDERING SIDEWALK.
 4. CURB AND GUTTER TO BE TYPE 'A-8' (STD. NO. 201). 6" CURB IS NOT ALLOWED.
 5. MAX. WATER DEPTH FOR Q₁₀ IS 0.52' TO PROVIDE MIN. 12' DRY LANE.
 6. A CURBED AND LANDSCAPED MEDIAN MAY BE REQUIRED.
 7. FOR UNDERGROUND UTILITY LOCATIONS SEE STD. NO. 817, SHT. 2 OF 2.

APPROVED BY: *George A. Johnson*
 DIRECTOR OF TRANSPORTATION
 GEORGE A. JOHNSON, RCE 42328
 DATE: 05/01/07



COUNTY OF RIVERSIDE
**MAJOR HIGHWAY
(118' RW)**

REVISIONS							
REV.	BY:	APRD	DATE	REV.	BY:	APRD	DATE
1				4			
2				5			
3				6			

STANDARD NO.93 (1 OF 2)

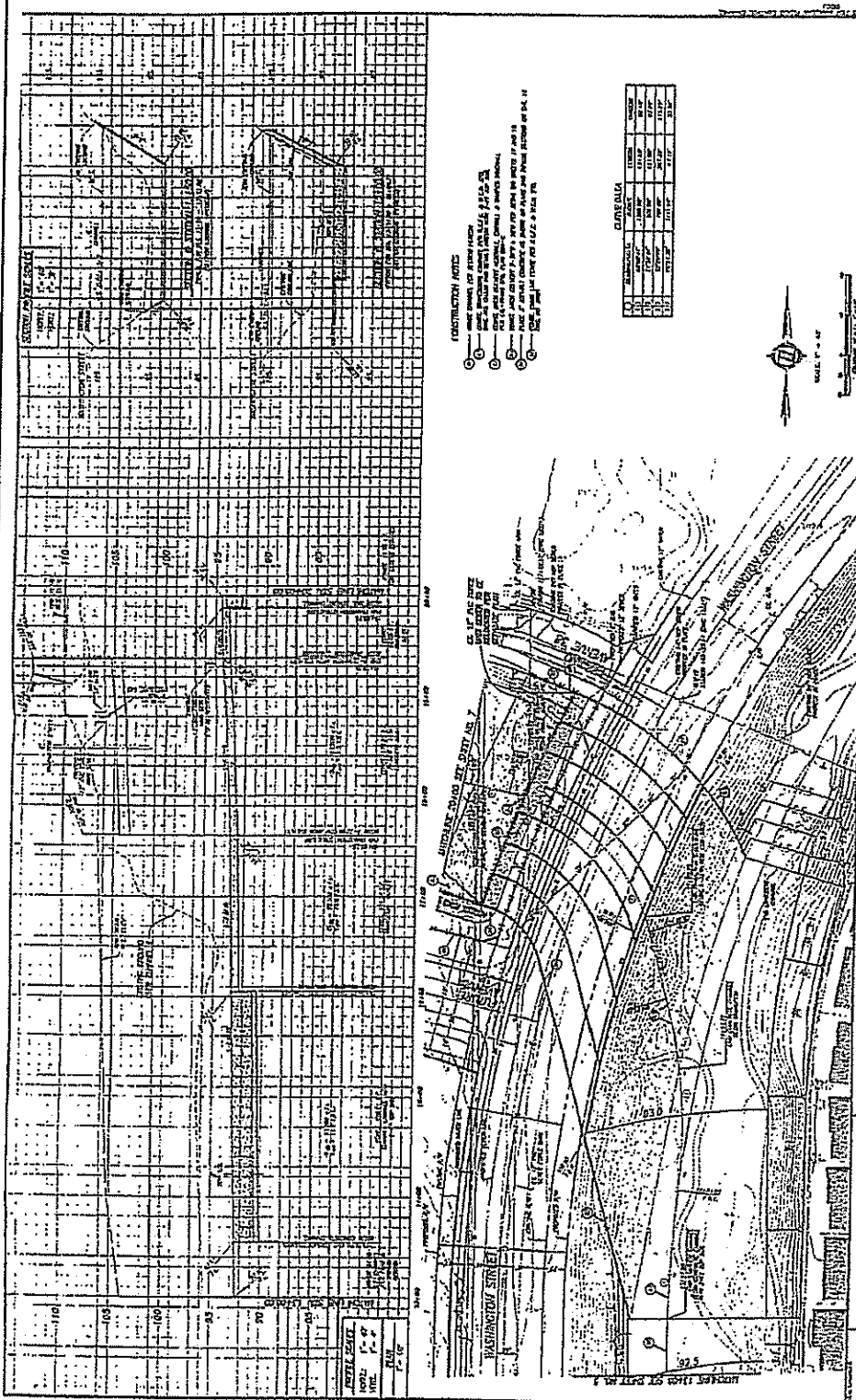
- 1 - IF CVWD GOES FIRST
 2 - IF DCA GOES FIRST

Parsons Brinckerhoff
 2329 GATEWAY OAKS DRIVE
 SUITE 200
 SACRAMENTO, CA 95833
 PHONE: (916) 567 - 2500
 FAX: (916) 925 - 3517



EXHIBIT "D"
TO AGREEMENT

WASHINGTON STREET CROSSING IMPROVEMENTS



- CONSTRUCTION NOTES**
1. SEE SHEET FOR OTHER NOTES
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2003 EDITION, LATEST REVISIONS.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2003 EDITION, LATEST REVISIONS.
 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2003 EDITION, LATEST REVISIONS.
 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2003 EDITION, LATEST REVISIONS.

DATE DATA

DATE	DESCRIPTION
10/10/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS
09/15/03	ISSUED FOR PERMITS



WASHINGTON STREET CROSSING
 CHIMNEL IMPROVEMENTS
 STA 13+00 TO STA 20+00
 SHEET NO. 6
 OF 18 SHEETS

HUNSAKER & ASSOCIATES
 INCORPORATED
 CIVIL ENGINEERS
 1000 J STREET, SACRAMENTO, CA 95811

Parsons Brinckerhoff
 2330 GATEWAY OAKS DRIVE
 SUITE 200
 SACRAMENTO, CA 95833
 PHONE: (916) 587-2500
 FAX: (916) 625-3517



EXHIBIT " E-1 and E-2"

TO AGREEMENT

SEQUENCE OF CONSTRUCTION-DCA FIRST

SEQUENCE OF CONSTRUCTION-CVWD FIRST

- CVWD constructs all new buried and overhead utilities and relocations necessary that are consequences of construction of the WSC and the Reach 4 channel. CVWD maintains service to existing customers throughout construction.

EXHIBIT E-2

Proposed WFCP Construction Sequence (if Project goes before DCA)

1. Phase 1 - Washington Street Crossing
 - The Washington Street Crossing (WSC) construction will coincide with the construction of the proposed future intersection of Avenue 38 and Washington Street. A bypass roadway will be constructed to the west of existing Washington Street to maintain traffic flow and allow for the construction of WSC.
 - In order to construct the WSC, a temporary connection between Avenue 38 and the bypass roadway will be constructed.
 - Upon completion of the WSC, traffic will be returned to the newly constructed WSC and the bypass roadway will be removed.
2. Phase 2 - Relocate Avenue 38
 - The construction associated with the relocation of Avenue 38 (two southerly lanes) will be performed from approximately 200 feet west of the bypass roadway to Varner Road. CVWD will construct the two southerly lanes at their sole cost and expense. Existing Avenue 38 will stay in service and connected to the bypass roadway until the relocated Avenue 38 is complete.
 - Upon completion of the newly constructed Avenue 38, the Washington Street intersection will be completed at CVWD's sole cost and expense. This work will include the relocation of signal lights, signing, and striping.
 - DCA will follow this construction with landscape area improvements, curb and gutter, paved shoulder, as outlined in the conditions as required by the County.
3. Phase 3 – Construct Reach 4
 - The Third phase involves construction of the Reach 4 channel and its connection to the WSC.
4. Utilities
 - CVWD constructs all new buried and overhead utilities and relocations necessary that are consequences of construction of the Washington Street Crossing and the Reach 4 channel. CVWD maintains service to existing customers throughout construction.

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: EA42120
Project Case Type (s) and Number(s): Plot Plan No. 23977 Revised No.1
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Paul Rull
Telephone Number: 951-955-0972
Applicant's Name: Holt Architects
Applicant's Address: 70225 Highway 111 Suite D, Rancho Mirage CA 92270

I. PROJECT INFORMATION

A. Project Description:

PLOT PLAN NO. 23977 REVISED NO.1 seeks to revise original Plot Plan No. 23977 for Desert Christian Academy private school (preschool through 12th grade) with changes to the site design layout and building design type on 48.7 gross acres. The private school facility will contain classrooms, administrative buildings, library, courtyard, cafeteria, maintenance building, stadium facility consisting of 490 seats with football/soccer field and an athletic track, baseball and softball fields, athletic gymnasium, pool, outdoor tennis and basketball courts, volleyball courts, playground areas, fire/service access roads and related infrastructure improvements including three on-site detention basins, 510 parking spaces, and 433,510 cubic yards of grading. Off-site improvements include road improvements and widening a portion of Washington Street, the re-alignment of Avenue 38 from the westerly project boundary to Varner Road, and construction of a regional storm drainage channel parallel to Avenue 38. To meet Flood Control District requirements, the buildings have been reoriented to the western portion of the site and raised from the existing flood plain grade. The project is proposed in four phases. At full phased build out, the school facility will accommodate 1,578 students, 86 teachers, and 35 staff members. The typical hours of operation during the academic year will be 7:00 a.m. to 4:00 p.m. with after school hours ranging from 3:00 p.m. to 10:00 p.m. Special events will run infrequently throughout the entire year with times ranging from 6:00 a.m. to 10:00 p.m. Special events types will include indoor and outdoor sporting events, theatrical performances, community events, and church group meetings.

The project proposes approximately 300,400 square feet of total building area that will include:

Pre-School

- One (1) single-story, 32,300 sq. ft. Pre-School building (Phase 1 – 19,300 sq. ft.; Future – 13,000 sq. ft., 26'-6" high)

Elementary & Junior High School

- Two (2) two-story Elementary buildings that will include; two (2) 31,584 sq. ft. K-5th grade buildings (34'-0")

Middle School

- One (1) two-story classroom building; one (1) 31,584 sq. ft. 6th - 8th grade building (34'-0" high)

High School

- One (1) two-story classroom building; one (1) 31,584 sq. ft. 9th – 12th grade building (34'-0" high)
- Administration & Library/Learning Center
One (1) two-story 32,400 sq. ft. building (46'-0" high)
- Gymnasium & Auxiliary Gym
One (1) 72,100 sq. ft. Gymnasium and Auxiliary Gym (49'-0")
- Cafeteria/Multi-Purpose Room
One (1) one-story 11,300 sq. ft. building (25'-4" high)
- Fine Arts Building
One (1) two-story 21,300 sq. ft. building (42'-0" high)
- Maintenance Building
One (1) 4,600 sq. ft. building (22'-0" high)

The project will also include 769,849 square feet of recreation area, 372,671 square feet of parking and pavement area, 186,997 square feet of hardscape area, and 605,659 square feet of landscape area. 510 total parking stalls will be provided within the school site, including 21 handicap stalls.

Other features of the project include offsite improvements to adjacent roadways including the widening of Washington Street from approximately Avenue 38 to Las Montanas Road/Del Webb Boulevard to its ultimate general plan classification width, the realignment of Avenue 38 with full Major Highway (118' ROW) roadway improvements from the project's westerly boundary to Washington Street and offsite access road improvements for Avenue 38 (60' ROW) from the westerly project boundary to Varner Road. Lastly, drainage improvements will consist of a storm drain collection system and three onsite detention basins to handle project runoff and water quality treatment.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 48.7 gross acres

Residential Acres:	Lots:	Units:	Projected No. of Residents:
Commercial Acres: 48.7	Lots:	Sq. Ft. of Bldg. Area: 300,400	Est. No. of Employees: 121
Industrial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other:			

D. Assessor's Parcel No(s): 626-150-037 and 626-150-038

E. Street References: Northerly of Flora Road, westerly of Washington Street, southerly of 38th Avenue

F. Section, Township & Range Description or reference/attach a Legal Description:
Section 1, Township 5 South, Range 6 East

G. Brief description of the existing environmental setting of the project site and its surroundings: The subject site is currently vacant and relatively flat with an elevation ranging between approximately 108 and 133 feet above mean seal level (MSL) in the Coachella Valley Region. The site slopes gradually from east to west with a grade change of

approximately 22 feet. The project site has minimal vegetation consisting of dry grasses and isolated bushes and trees throughout the site. The site is divided into four sections separated by approximately 5-20 foot high sand berms. Surrounding land uses include a mixed-use development (Specific Plan No. 338) to the west, an existing commercial business park to the south, and an existing residential development to the east and the Coachella Valley Preserve to the north.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

1. **Land Use:** The existing land use is Commercial Retail (CR) and Medium Density Residential (MDR). The project site's existing zoning is Controlled Development Area (W-2-10) per Riverside County Ordinance 348, which permits educational institutions, churches, and other places of religious use with an approved plot plan.
2. **Circulation:** The proposed project has adequate circulation to the site, incorporating two (2) access points from Avenue 38. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required for preservation within the boundaries of this plot plan. The proposed project adheres to all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project has allowed for sufficient provision of emergency response services to the future use of the project. The proposed project meets all other applicable Safety element policies.
5. **Noise:** The proposed project is adjacent to an interstate highway and an urban arterial roadway. Sufficient mitigation against any foreseeable noise sources in the area has been provided for in the design of the project. The proposed project meets with all other applicable Noise element policies.
6. **Housing:** The proposed project does not impact Housing element policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality element policies.

B. **General Plan Area Plan(s):** Western Coachella Valley

C. **Foundation Component(s):** Community Development

D. **Land Use Designation(s):** Commercial Retail (CR) and Medium Density Residential (MDR)

E. **Overlay(s), if any:** N/A

F. **Policy Area(s), if any:** N/A

G. **Adjacent and Surrounding:**

1. **Area Plan(s):** Western Coachella Valley

- 2. **Foundation Component(s):** Community Development, Open Space,
- 3. **Land Use Designation(s):** Commercial Retail (CR), Commercial Office (CO), Very High Density Residential (VHDR), Mixed Use, Open Space-Recreation (OS-R), Open Space – Conservation Habitat (OS-CH), Light Industrial (LI)
- 4. **Overlay(s), if any:** N/A
- 5. **Policy Area(s), if any:** N/A

H. Adopted Specific Plan Information

- 1. **Name and Number of Specific Plan, if any:** N/A
- 2. **Specific Plan Planning Area, and Policies, if any:** N/A

I. Existing Zoning: Controlled Development Area (W-2-10)

J. Proposed Zoning, if any: N/A

K. Adjacent and Surrounding Zoning: To the north, the land is zoned Natural Assets (N-A), to the south is the commercial business park which is zoned Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC); to the west is the Mirasera development that is zoned Specific Plan No. 338 and to the east is the Sun City Development which is zoned Specific Plan No. 281.

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|--|---|---|
| <input checked="" type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input checked="" type="checkbox"/> Hydrology / Water Quality | <input checked="" type="checkbox"/> Transportation / Traffic |
| <input checked="" type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input checked="" type="checkbox"/> Utilities / Service Systems |
| <input checked="" type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input checked="" type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input checked="" type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
<input type="checkbox"/> I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that the proposed project MAY have a significant effect on the environment, and an

ENVIRONMENTAL IMPACT REPORT is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED

I find that although the proposed project could have a significant effect on the environment, **NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED** because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.

I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An **ADDENDUM** to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following: (A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration; (B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration; (C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or, (D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.

Signature

PAUL RULL

Printed Name

March 19, 2014

Date

For Juan C. Perez, Interim Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a) The project site is located approximately 2,100 feet north of the I-10, a County eligible scenic highway. The Riverside County General Plan designates that the project is not located within a designated scenic corridor. Impacts would be considered less than significant.

b) The proposed project will not substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features, or obstruct a prominent scenic vista or view open to the public, as these characteristics do not apply the subject property. Additionally, the project will not effect in the creation of an aesthetically offensive site open to public view. The proposed project will construct several school type buildings and facilities that will adhere to design standards and guidelines of Ordinance No. 348. Impacts would be considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
2. Mt. Palomar Observatory	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

According to the GIS Database, the project site is located 42.73 miles (Zone B) from the Mt. Palomar Observatory. Ordinance No. 655 contains approved materials and methods of installation, definition, general requirements, requirements for lamp source and shielding, prohibition and exceptions. The proposed project has been conditioned to utilize low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaries. These requirements are considered standard and not mitigation for CEQA purposes; therefore, less than significant impacts are anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
3. Other Lighting Issues				
a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Expose residential property to unacceptable light levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Description

Findings of Fact:

a) The project will introduce new sources of night time light and glare into the area from street lighting, as well as outdoor lighting from the athletic fields. The proposed project will be subject to a separate street light plan. The design and installation of street lights shall meet the Dark Sky criteria. The application of Dark Sky criteria is in support of the Coachella Valley Dark Sky Ordinances (COA 80.TRANS.5) Spill of light onto surrounding properties, and "night glow" can be reduced by using hoods and other design features on light fixtures used within the proposed project. Inclusion of these design features in the project will be required through standard County conditions of approval, plan checks, permitting procedures, and code enforcement. Potential impacts associated with substantial light glare are reduced to below the level of significance through these standard County practices and procedures.

b) There is an existing residential development (Sun City Palm Desert) located easterly of the project site. The Sun City development across Washington Street from the proposed project will be subject to additional night time light levels due to additional street lights and other outdoor lighting throughout the project. However, the proposed project will reduce light spill to surrounding areas through the use of hoods and other design features. Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way (COA 10.PLANNING.9). Inclusion of

these design features in the project will be required through implementation of standard County conditions of approval, plan check and permit procedures. With incorporation of appropriate design features to reduce light spill, it is expected that residential property would not be exposed to unacceptable light levels.

Mitigation: Compliance with the measures set forth in the conditions of approval on file in the LMS, including 10.PLANNING. 9 — Lighting Hooded / Directed; and 80.TRANS.5 – Lighting Plan.

Monitoring: Monitoring to be provided by the Building and Safety Department, Planning Department and affected state agencies and through Ordinance No. 348, and other applicable Riverside County Ordinances.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AGRICULTURE & FOREST RESOURCES Would the project				
1. Agriculture				
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-2 "Agricultural Resources," GIS database, and Project Application Materials.

Findings of Fact:

a) According to the Riverside County GIS database, and the Riverside County General Plan, the project site does not contain Prime Farmland, Unique Farmland, or Farmland or Statewide Importance. Therefore, no impacts will occur to Farmland from the proposed project.

b) Currently the project site is undeveloped and vacant with no existing agricultural uses on the project site. The project site is not within a County of Riverside Agricultural Preserve area, nor is it subject to a Williamson Act Contract. There will be no impacts due to conflicts with exiting agricultural.

c) There is no agriculturally-zoned property in the project vicinity. There will be no impacts due to development of non-agricultural uses near agriculturally zoned property.

d) There is no Farmland on or in the vicinity of the project. For this reason, impacts involving the conversion of Farmland to a non-agricultural use will not occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
2. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The County does not have zoning that is specific to the preservation of forest land or timberland. Therefore the proposed project will not conflict with any forest land zoning.

b & c) The site has been vacant for many years, there are no forest areas or non-man made groves. Therefore, the project will not result in the loss of any forest land.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AIR QUALITY Would the project				
3. Air Quality Impacts	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?

d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook

Findings of Fact:

a) The Air Quality Management Plan (AQMP) for the Salton Sea Air Basin (SSAB) sets forth a comprehensive program that will lead the SSAB into compliance with all federal and state air quality standards. The 2012 AQMP was prepared to accommodate growth, to reduce the high levels of pollutants within the areas under the jurisdiction of South Coast Air Quality Management District (SCAQMD), and to return clean air to the region. Projects that are considered to be consistent with the AQMP would not interfere with attainment because this growth is included in the projections used to formulate the AQMP. Therefore, projects, uses, and activities that are consistent with the applicable assumptions used in the development of the AQMP would not jeopardize attainment of the air quality levels identified in the AQMP, even if they exceed the SCAQMD's recommended daily emissions thresholds. The AQMP control measures and related emission reduction estimates are based upon emissions projections for a future development scenario derived from land use, population, and employment characteristics defined in consultation with local governments. Accordingly, conformance with the AQMP for development projects is determined by demonstrating compliance with local land use plans and/or population projections.

In addition to the AQMP, the SCAQMD also has a Coachella Valley State Implementation Plan (CVSIP) specifically for PM-10. The CVSIP includes control measures which will reduce the emissions of fugitive dust for construction, disturbed lands, unpaved roads/lots, paved roads, agriculture and over seeding. The proposed project will not conflict with any of these policies during construction or operation. Construction activities will be required to adhere to SCAQMD Rule 403 and 403.1 for the reduction of fugitive dust during construction activities (COA 10.BSGRADE.8). Therefore, less than significant impacts are anticipated.

b) The project proposes the construction of an educational facility use which impact air quality exclusively through automotive emissions. Secondary emissions will occur during construction and grading activities through the implementation of the project. The project will implement dust control during construction. A PM-10 Plan at the time a grading permit is issued (COA 60.BSGRADE.15). Therefore, the impact is considered less than significant with mitigations incorporated.

c) The Coachella Valley portion of the SSAB within which the proposed project is located is designated as a non-attainment area for ozone and PM-10 under both state and federal standards. The project will exceed regional thresholds for VOC, NOx, and CO during construction, and exceeds the daily threshold for VOC, NOx, CO, and PM-10 during the operational phases of the project.

The Riverside County Integrated Project General Plan Final Program Environmental Impact Report and Draft Program EIR certified by the Riverside County Board of Supervisors on October 7, 2003, evaluated the potential environmental impacts associated with a theoretical build-out of all unincorporated areas which is expected to occur in 2037, or possibly later. The projections developed and analyzed in this EIR estimated potential population, dwelling units, and employment for unincorporated areas of the County. The General Plan's land uses served as the basis for these projections. The Riverside County General Plan reflects the past, present, and probable future development for the area within which the proposed project is located and the GP EIR described and evaluated the conditions contributing to area-wide and regional cumulative impacts.

The Riverside County Board of Supervisors found that despite adoption of all feasible mitigation measures, implementation of the Riverside County General Plan would result in significant unavoidable and cumulative impacts, including those to air quality. The Board of Supervisors adopted the Riverside County General Plan because, "in its view, the economic, social, and other benefits that the project will produce and will render the significant effects acceptable" and issued a Statement of Overriding Considerations (Resolution No. 2003-488). The project's impacts to air quality would not exceed the impacts that have already been addressed during the adoption of the Riverside County General Plan EIR. Therefore, the project's impact to air quality standards is considered cumulatively less than significant.

d) The proposed project's short-term and long-term emissions were above regional thresholds for VOC, NOx, CO, and PM-10, but were below all localized significance thresholds. Given the distance to sensitive receptors, and the results of LST analysis for NOx emissions, exposure of sensitive receptors to substantial concentrations of pollutants is not anticipated. Therefore, impacts are considered less than significant.

e) The proposed project would include the construction of private school, which is considered to be sensitive receptors. However, there are no known substantial emitters within one mile of the project site. Impacts are expected to be less than significant.

f) It is anticipated that the major potential sources of odor from the project would occur during construction. Construction equipment exhaust would be the main source of odors that could occur. However, impacts related to odors during construction are considered less than significant, when applicable mitigation and monitoring measures are applied.

Mitigation: Compliance with the measures set forth in the conditions of approval on file in the LMS, including 10.BS GRADE.8 — Dust Control; and 60.BS GRADE.15 – PM10 Plan Required. Construction activities will be required to adhere to SCAQMD Rule 403 and 403.1 for the reduction of fugitive dust during construction activities.

Monitoring: Monitoring to be provided by the Building and Safety Department, Planning Department and affected state agencies, and through appropriate Riverside County Ordinances.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
BIOLOGICAL RESOURCES Would the project				
4. Wildlife & Vegetation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

plan?

b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?

c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?

e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?

f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?

g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?

Source: GIS database, WRCMSHCP and/or CVMSHCP, On-site Inspection, Biological Report prepared by AMEC Earth & Environmental, Inc., dated January 29, 2009

a) The project does not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan.

b,c,d) AMEC conducted a literature review and surveyed the site on December 10, 2008 and January 26, 2009 to assess the potential for the occurrence of sensitive biological resources known from the project vicinity based on geographic range, habitat associations, general site conditions, and a soil types. This analysis led to the conclusion that the Burrowing Owl is the only sensitive species with more than a very low likelihood of occurrence of the project site. As such, a mitigation for a burrowing owl survey has been conditioned prior to grading (COA 60.EPD.1).

All plant and vertebrate species observed were recorded in field notes. Unobserved wildlife species were identified through indirect sign (e.g. scat, tracks, nests, burrows, etc.). Bird species were identified through binoculars, and by vocalizations. Scientific nomenclature for this report is from the following standard reference sources: plant communities, Holland (1986); flora, Hickman (1993); reptiles and amphibians, Stebbins (2003); birds, American Ornithologist's Union (2007); and mammals, Grenfell (2000).

Pursuant to the Coachella Valley Multiple Species Habitat Conservation Plan, any issues pertaining to biological resources protected under the Endangered Species Act are covered simply by payment of a mitigation fee. A check of Coachella Valley MSHCP website "Preliminary Conservation Report"

feature as well as maps from the CVMSHCP Pan documents indicated that Christian School of the Desert site is not located within a CVMSHCP Conservation Area. The current terms of the CVMSHCP does not require the project proponent to take any further action towards detection of sensitive elements.

Therefore impacts are considered less than significant with mitigation measures incorporated.

e) The project will not have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service. There are no wetland or riparian habitats or physical features on the project site. A list of plant species observed during the site visit, including common and scientific names, is included in AMEC's Biological Assessment.

f) The project will not have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act. This section of the Clean Water Act, administered by the U.S. Army Corps of Engineers (USACE), regulates the discharge of dredge and fill material into "waters of the United States". For projects that exceed the threshold for nationwide permits, individual permits under Section 404 can be issued. No features that would qualify as "waters" (both federal and state) were observed on site.

g) The project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance.

Mitigation: Compliance with the measures set forth in the conditions of approval on file in the LMS, including 60.EPD.1 — 30 Day Burrowing Owl Survey.

1. A Burrowing Owl survey shall be required 30 days prior to issuance of a grading permit (COA 60.EPD.1).
2. Project Biologist recommends that focused surveys in appropriate habitat (relatively flat open spaces) be conducted for this species prior to project implementation (Biological Report prepared by AMEC Earth & Environmental, Inc., dated January 29, 2009)
3. The project is required to comply with the Migratory Bird Treaty Act. (MBTA) (Biological Report prepared by AMEC Earth & Environmental, Inc., dated January 29, 2009)

Monitoring: Monitoring shall be conducted by the Riverside County Environmental Programs Department and Building and Safety Department.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
CULTURAL RESOURCES Would the project				
5. Historic Resources				
a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials, Phase I Cultural Resources Study prepared by CRM TECH dated February 5, 2013,

Findings of Fact:

a) The project site is currently vacant. No buildings, structures, or objects more than 50 years of age were encountered on the project site. An update cultural resources study was prepared by CRM Tech dated February 5, 2013, which indicates no cultural or historical resources were discovered on the property as defined by CEQA. In the event archaeological resources are inadvertently discovered, all ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting can be convened with the applicable stakeholders to determine the significance of the find.

b) No historical resources as defined in California Code of Regulations, Section 15064.5 exist on the project site. A cultural resource study explained that the project will not have a negative impact on historical resources.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
6. Archaeological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, Phase I Cultural Resources Study prepared by CRM TECH dated February 5, 2013,

Findings of Fact:

a) The results of the Phase I Archaeological Assessment prepared by CRM TECH dated February 5, 2013 established that no potential "historical resources" were previously recorded within or adjacent to the project area, and none was encountered during the present survey.

b) The proposed project will not cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5.

c) There are no known human burials on the project site. The proposed project will not disturb and human remains, including those interred outside of formal cemeteries.

d) The proposed project will not restrict existing religious or sacred uses within the potential impact area. A response letter was received on December 11, 2008, from the Cabazon Band of Missions Indians, Director of Cultural Affairs, Judy Stapp, which stated "The Tribe has no specific archival information on the site indicating cultural resources within or near the property or that it may be a

Native American sacred/religious site. The Cabazon Band recommends that there be a qualified archaeologist on site during ground disturbing activities”

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
7. Paleontological Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Directly or indirectly destroy a unique paleontological resource, or site, or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure OS-8 “Paleontological Sensitivity”

Findings of Fact:

a) This site has been mapped as having a “Low Potential” for paleontological resources. This project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development, all earthmoving activities shall cease and the County geologist shall be contacted (COA 10.PLANNING.1). These requirements are considered standard and not mitigation for CEQA purposes; therefore, less than significant impacts are anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
8. GEOLOGY AND SOILS Would the project				
Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 “Earthquake Fault Study Zones,” GIS database, Geologist Comments, Geotechnical Report prepared by Landmark Consultants, dated June 2008 (County Geologic Report, GEO No. 2131)

Findings of Fact:

a & b) The project site is located in the seismically active Coachella Valley of Southern California and is considered likely to be subjected to strong ground motion from earthquakes in the region. The proposed site structures should be designed in accordance with the California Building Code (CBC) for a "Maximum Considered Earthquake" (MCE) and with the appropriate site coefficients. The MCE is defined as the ground motion having a 2 percent probability of being exceeded in 50 years. The primary seismic hazard at the project site has the potential for ground shaking during earthquakes along the San Andreas Fault. The nearest fault to the site, the San Andreas Fault, is located 2.6 miles to the northeast of the project site. The potential for surface rupture at the project site is low. GEO No. 2131 satisfies the requirement for a Geologic Study for Planning/CEQA purposes (COA 10.PLANNING.6).

Geo. Report No. 2131 recommends: (COA 10.PLANNING.6)

1. All surface improvements, debris or vegetation including grass, trees, and weeds on the site at the time of construction should be removed from the construction area.
2. The existing surface soil within the building pad areas should be removed to 24 inches below the lowest foundation grade or 42 inches below the original grade.

Mitigation: Mitigation: Compliance with the measures set forth in the conditions of approval on file in the LMS, including 10.PLANNING.6 — GEO2131; and 60.BS GRADE.4 – GeoTech/Soils Report. A Geotechnical soils report shall be required prior to issuance of a grading permit.

Monitoring: Monitoring shall be done by the County of Riverside Planning and Building and Safety Department.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
9. Liquefaction Potential Zone				
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", Geotechnical Report prepared by Landmark Consultants, dated June 2008

Findings of Fact:

a) The project site lies in a Riverside County designated zone of moderate potential for liquefaction. The geology study indicates liquefaction is unlikely to be a potential hazard at the site, since the groundwater is deeper than 50 feet (the maximum depth that liquefaction is known to occur). The project is conditioned to follow the recommendations listed in the geology study (COA 10.PLANNING.6). These requirements are considered standard and not mitigation for CEQA purposes; therefore, less than significant impacts are anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially	Less than	Less	No
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	Significant Impact	Significant with Mitigation Incorporated	Than Significant Impact	Impact
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10. Ground-shaking Zone

a) Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk)

Findings of Fact:

a) The primary seismic hazard at the project site is the potential for strong groundshaking during earthquakes along the San Andreas Fault. The level of ground shaking that would be experienced at the project site from one of these faults or any other active faults in the region, would be a function of several factors including earthquake magnitude, type of faulting, rupture propagation path, distance from the epicenter, earthquake depth, duration of shaking, site topography, and site geology. To reduce the risks associated with seismically-induced ground shaking, engineered design and earthquake-resistant construction increases safety and allows development in seismic areas. The UBC requires the developer to take the location and type of subsurface materials into consideration when designing or retrofitting foundations and structures for a particular site. Because the proposed project is in Seismic Zone 4, structures are required to be designed in accordance with parameters of Chapter 16 of the current UBC. Therefore, adequate structural protection in the event of an earthquake would be provided, thus reducing impacts from strong seismic ground shaking to a less than significant level.

The project will be required to implement the site-specific recommendations in the June 2008 Landmark Consultants Inc. Geotechnical Investigation Report. The proposed development must be designed in accordance with the requirements of the latest edition of the Uniform Building Code (UBC) or the California Building Code (CBC). The UBC/CBC provides procedures for earthquake resistant structural design that include considerations for on-site soil conditions, seismic zoning, occupancy, and the configuration of the structure including the structural system and height.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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11. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: On-site Inspection, Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope"

Findings of Fact:

a) Topographically, the site is relatively flat and is not in an area susceptible to earthquake-induced landslides. Therefore, the project site is not subject to landslide, collapse, or rockfall hazards. There is no evidence of past landslides on site or in the project vicinity. The proposed project will adhere to the Seismic Zone 4 soil and foundation support parameters of the UBC, as required by County and state law. No indications of landslides were observed on the site. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
12. Ground Subsidence	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-7 "Documented Subsidence Areas Map", Geotechnical Report prepared by Landmark Consultants, Inc. dated June 2008

Findings of Fact:

a) Land subsidence associated with groundwater-level declines has been recognized as a potential problem in the Coachella Valley. However, the potential for seismically induced ground subsidence is considered to be moderate at the site. Current UBC standards and the Geotechnical Report's recommendations for design and construction are intended to reduce the potential for major structural damage. Therefore impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
13. Other Geologic Hazards	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: On-site Inspection, Project Application Materials, Geotechnical Report prepared by Landmark Consultants, Inc., dated June 2008

Findings of Fact:

a) The project site does not lie near any large bodies of water, so the threat of tsunamis, seiches, or other seismically-induced flooding is unlikely. The project site is not located in proximity to any known volcanically active area and the risk of volcanic hazards is considered very low. Mudflows are usually associated with slopes and the project site is relatively flat. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
14. Slopes				
a) Change topography or ground surface relief features?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in grading that affects or negates subsurface sewage disposal systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riv. Co. 800-Scale Slope Maps, Project Application Materials

Findings of Fact:

a) The project site is relatively flat and the topography or ground surface relief features will not be modified as part of the project's grading activities. Therefore impacts are considered less than significant.

b) The project site does not propose slope greater than 2:1 or higher than 10 feet and will be in compliance with COA 10.BSGRADE.9. Therefore impacts are considered less than significant.

c) Grading activities will not negate or affect the subsurface sewage disposal systems. The project will be connecting to sewer. Therefore impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
15. Soils				
a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?

Source: U.S.D.A. Soil Conservation Service Soil Surveys, Project Application Materials, On-site Inspection

Findings of Fact:

a) According to the Geotechnical report, the near-surface soils generally consist primarily of medium dense to dense interbedded silts, sandy silts, silty sands and sands. The near surface soils are expected to be non-expansive in nature. The project site is relatively flat; therefore, is not subject to significant erosion by water through surface drainage during construction. Earth-disturbing activities associated with demolition and construction would be temporary and would be regulated by the NPDES permitting process. Construction of the project would eliminate exposed, un-landscaped areas, which would tend to decrease erosion. Specific erosion impacts would depend largely on the effectiveness of the required erosion control programs for the site and the length of time soils would be subject to conditions that would be affected by erosion processes.

All construction activities would be required to comply with Chapter 33 of the UBC which regulates excavation activities and the construction of foundations and retaining walls, including drainage and erosion control. Compliance with the NPDES permit process and the UBC requirements would minimize effects from erosion.

Because the NPDES permit requirements of the RWQCB and the UBC must be satisfied prior to and during project construction, the potential hazards posed by substantial soil erosion or the loss of topsoil would be regulated and reduced to a less-than-significant level.

b) The on-site soils consist of predominantly interbedded silty sands and sands with an isolated silt and sandy silt layer that have been visually classified as very low to non-expansive. Therefore, no design considerations related to expansive soils are considered warranted for this site. Therefore impacts are considered less than significant.

c) The project will not be utilizing the use of septic tanks. The project is conditioned to connect to sewer for the disposal of waster water. Therefore no impact will occur.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
16. Erosion				
a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or off site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: U.S.D.A. Soil Conservation Service Soil Surveys

Findings of Fact:

a) The proposed project is in relatively flat terrain and is greater than one acre in size. The site is not adjacent to a river, stream, or lake bed. Therefore, the project will not result in a significant change in disposition, siltation or erosion. The County's SCA and BMPs in conjunction with the SWPPP will minimize the potential for erosion and siltation during construction. Temporary erosion control measures shall be implemented immediately following site grading to prevent debris onto downstream properties, within the public-right-of-way, or drainage facilities (COA 70.TRANS.2). Therefore impacts are considered less than significant.

b) As indicated in Section 17a above, the project site is greater than one acre in size, and, therefore, is subject to the provisions of the General Construction Activity Stormwater Permit adopted by the SWRCB. The developer for the proposed project must comply with all applicable requirements of the above Permit, including the preparation of a SWPPP, applicable NPDES Regulations, and BMPs. The SWPPP must describe the site, the project, construction period erosion and sediment controls, runoff water quality monitoring, means of waste disposal, implementation of approved local plans, control of post-construction sediment and erosion, maintenance responsibilities, and non-stormwater management controls. Inspection of construction site before and after storms is required to identify stormwater discharge from the construction activity and to identify and implement controls where necessary.

In addition, all construction activities would be required to comply with Chapter 33 of the UBC, which regulates excavation activities and the construction of foundations and retaining walls, including drainage and erosion control. Compliance with the NPDES permit process and the CBC requirements would minimize effects from erosion. Because the NPDES permit requirements of the RWQCB and the UBC must be satisfied prior to and during project construction, any increase in water erosion, either on or off site, would be regulated and reduced to a less-than-significant level. These requirements are considered standard and not mitigation for CEQA purposes; therefore, less than significant impacts are anticipated.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
17. Wind Erosion and Blowsand from project either on or off site.	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?				

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. No. 460, Article XV & Ord. No. 484

Findings of Fact:

a) The project site is located in a high to moderate wind erosion susceptibility area. The County requires a site-specific wind erosion study as a SCA and BMP in areas of very high to high wind erosion susceptibility and a disclosure about wind erosion susceptibility on property title, building

design to resist wind loads, and builder education about the wind environment and design features. A PM₁₀ Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit (COA 10.BSGRADE.8). Continued compliance with the PM₁₀ plan will assure that there are no significant impacts associated with blowsand. Therefore, impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
GREENHOUSE GAS EMISSIONS Would the project				
18. Greenhouse Gas Emissions	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Air Quality and Greenhouse Gas Analysis Report prepared by Michael Brandman Associates dated November 6, 2013. Draft Riverside County Climate Action Plan, Riverside County Board of Supervisors, June 19, 2012

Findings of Fact:

a & b) Analysis by Michael Brandman Associates (dated November 6, 2013) indicates the project's annual GHG emissions as of 2020 will be 4,744.44 metric tons per year (MTY) of CO₂-equivalents (CO₂e). This project total includes both direct (amortized construction, area source and mobile emissions) and indirect (electricity, solid waste and water usage) GHG emissions. The project's annual total is above the threshold of 3,000 MT CO₂e per year for residential, commercial and mixed use projects established in the draft County Climate Action Plan (CAP) that the Riverside County Board of Supervisors directed (on June 19, 2012) be integrated into the County General Plan. As such, the project's GHG emissions would be significant without mitigation; however, mandatory mitigation measures are included to reduce emissions below the Business As Usual (BAU) level (see below). These reductions ensure that the project will not result in significant generation of greenhouse gases, either directly or indirectly, and will not have a significant impact on the environment due to greenhouse gas emissions.

Plot Plan No. 23977R1 is a revision to the original Plot Plan approved March 1, 2010. Because of this prior approval, the original project can be said to represent the BAU buildout scenario for the site. Accordingly, mitigation measures are necessary to reduce GHG emissions for the project to below the BAU levels. Doing so will ensure the project is consistent with the County's draft CAP and related County General Plan policies proposed to ensure Riverside County achieves applicable GHG reductions identified under the California Air Resource Board's *AB 32 Scoping Plan*. The required mitigation measures are made mandatory, enforceable and trackable through their inclusion in project Conditions of Approval that would be issued by the County if the project is approved. These measures include the following:

a. Mandatory compliance with all applicable policies, measures and regulations promulgated through, or as a result of, AB 32, California's "Global Warming Solutions Act of 2006," including measures outlined by the California Air Resources Board in their *Climate Change Scoping Plan* (December 2008) for AB 32 implementation.

b. Mandatory compliance with efficiency measures identified in the draft CAP and/or from the California Building Standards Code (California Code of Regulations [CCR] Title 24), particularly Part 11, the California Green Building Standards Code. These include:

i. The project shall achieve energy efficiency of at least 30% greater than 2008 CCR Title 24 Part 6 (California Energy Code) requirements.

ii. Fixtures and fixture fittings reducing the overall use of potable water within the building by at least 20 percent shall be provided and shall conform to requirements of CCR Title 24, Part 11, Section 4.303.1 for water efficiency and conservation for indoor water use.

iii. Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the requirements of CCR Title 24, Part 11, Section 4.304.1. Specifically, controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' watering needs as weather or soil conditions change. Weather-based controllers without integral rain sensors or communication systems that account for rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s).

iv. Each occupied building on the site shall reduce the generation of wastewater by complying with CCR Title 24, Part 11, Section 5.303.4 through one of the following methods:
a) the installation of water-conserving fixtures; or b) using non-potable water systems.
Overall indoor water use shall be reduced by 20% at minimum.

v. The project shall comply with the water conservation mandates of the California Green Building Code (CCR Title 24, Part 11) through implementation of County Ordinance No. 859 (Water-Efficient Landscaping Standards). Since electricity used to pump, treat and convey water is one of the single largest categories of electricity use in the state, water conservation and efficiency measures serve to indirectly reduce GHG emissions due to energy production and are particularly helpful in desert environments.

c. Mandatory compliance with the project Conditions of Approval shall also include the following additional GHG-reducing measures:

i. Separate waste containers for recyclable materials recovery shall be provided onsite.

ii. The project shall provide at bike racks.

As a result of implementation of, and compliance with, the above measures, the project will reduce greenhouse gas emissions below that of the BAU project scenario, consistent with the policies and plans of the County (including the draft CAP) and the State, AB 32 in particular. These measures ensure that the project will not conflict with the any applicable plans, policies or regulations related to reducing greenhouse gas emissions and will not hinder County attainment goals. For these reasons, the project's affect on the attainment of these plans will be less than significant.

Mitigation: Compliance with the measures set forth in the conditions of approval on file in the LMS, including 90.PLANNING. 16. Install Bike Racks, 10.BS PLNCK. 1. Building and Safety Plan Check.

Monitoring: Monitoring to be provided by the Building and Safety Department, Planning Department and affected state agencies and through Ordinance No. 348, and other applicable Riverside County Ordinances.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HAZARDS AND HAZARDOUS MATERIALS Would the project				
19. Hazards and Hazardous Materials	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a-b) The project proposes a private school (K -12th grade) that will include administrative buildings, classrooms, library, maintenance building etc. The storage or use of significant quantities of hazardous materials is not proposed. The maintenance of vehicles is not a proposed use on this site. If hazardous materials will be used, stored, or transported in conjunction with a particular use, established procedures will be provided for Fire Department and Hazardous Materials Department review of building plans and preparation of a business emergency plan. The proposed project will not create a significant hazard to the public or environment; potential impacts are less than significant.

c) The proposed project will not impair the implementation of, or physically interfere with, an emergency response plan and/or emergency evacuation plan. The proposed project includes adequate access for emergency response vehicles and personnel, as developed in consultation with County Fire personnel. No impacts are expected.

d) The proposed project would not emit hazardous emissions or handle hazardous materials, substances, or waste. Furthermore, there are no existing or proposed schools within one-quarter mile of the project site. Therefore, the proposed project would not emit hazardous emissions or handle

hazardous materials, substances, or waste within one-quarter mile of a school. No impacts are expected.

e) The project site is not included on a list of hazardous materials sites as compiled pursuant to Government Code Section 65962.5.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
20. Airports	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database, Bermuda Dunes Airport Influence Policy Area, Compatibility Factors Map, Exhibit BD-8, General Plan Consistency Review (Preliminary) Exhibit BD-11; Airport Land Use Commission (ALUC) Development Review, County of Riverside, letter dated May 6, 2013.

Findings of Fact:

a) The project site is located approximately 2 miles northwest of the Bermuda Dunes Airport. The site is located within Zone D, per the Compatibility Factors Map (Airport Land Use Compatibility Plan). Since the airport is a privately owned facility, no Master Plan has been prepared for the Bermuda Dunes Airport. The Compatibility Plan is based upon the airport layout plan prepared by the airport owner in 2001. The Airport Land Use Commission (ALUC) has reviewed this project and has provided several conditions which are attached to the project (COA 10.PLANNING.38), making it consistent with the compatibility plan. These requirements are considered standard and not mitigation for CEQA purposes; therefore, less than significant impacts are anticipated.

b) The project site is located within the boundaries of the Airport Master Plan, and was reviewed by the Airport Land Use Commission (ALUC) with a letter issued on May 6, 2013. ALUC found the proposed project consistent with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan subject to the conditions enumerated in its report, and incorporated in (COA 10.PLANNING.38)

c) The project is located at the northwest corner of Zone D, just within the boundary lines of Compatibility Factors Map. All non-residential uses with Zone D, per the General Plan Consistency

Review Exhibit BD-11 comply with the compatibility zone. Impacts are considered less than significant.

d) The project site is not located within the vicinity of a private airstrip or heliport, therefore impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
21. Hazardous Fire Area	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				

Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) According to the County General Plan (Figure S-11), the proposed development site is not located within a High Fire Area where wildlands are adjacent to urbanized areas or residences are intermixed with wildlands. The proposed project site is currently vacant, with vacant lands that abut the site to the north and west. The site is covered with scrub brush and wind blow debris. The proposed project will not expose people or structures to a significant risk of loss, injury, or death involving wildland fires; therefore, potential impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
HYDROLOGY AND WATER QUALITY Would the project				
22. Water Quality Impacts	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?				
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition. Preliminary Hydrology Analysis Report prepared by Hunsaker & Associates Irvine, Inc., dated March 3, 2009; Coachella Valley Water District (CVWD) letter dated August 14, 2013.

Findings of Fact:

This project lies within the area of the Whitewater River Basin Thousand Palms Flood Control Project which will provide regional flood protection to a portion of the Thousand Palms area. The Coachella Valley Water District is currently in the design phase of this project.

Prior to issuance of grading permits, the portion of the proposed storm drain channel alignment adjacent to the project site and the neighboring projects of Tentative Tract Map No. 35058 (Mirasera Specific Plan No. 338) and Tentative Tract Map No. 34651 (Valante Specific Plan No. 360) shall be constructed in coordination with the Coachella Valley Water District (CVWD), the United States Corps of Army Engineers, and the Riverside County Transportation Department, together with a bridge to span Washington Avenue and connect to stormwater improvements in the neighboring Sun City – Del Webb properties (Specific Plan No. 281A5). The storm drain channel and bridge shall be constructed prior to grading permit issuance, as detailed in the Coachella Valley Water District letter dated July 1, 2009, and the conditions of approval.

a, d) The project site is currently undeveloped vacant land. The proposed project will result in the alteration of the existing drainage patterns on site as well as downstream from the site; the impervious surfaces proposed by the project will reduce infiltration of rainfall and increase storm water runoff volumes. In the site's existing drainage patterns, all drainage runs to the south of the project and into an existing drainage channel located between the southern project boundary and commercial business park. For the proposed project, there will be three (3) drainage areas that will convey flows through the region in accordance with RCFC & WCD. Runoff collected from drainage areas A & B will be conveyed via a storm drain system to a proposed flood control channel on the northern project boundary along existing Avenue 38. This proposed channel follows the alignment of the U.S. Army Corps of Engineers (ACOE) Channel to the intersection of Washington Street. The channel crosses Washington Street via culverts, and then traverses southward and into the existing golf course east of

Washington Street. Drainage Area C will drain along the southern boundary of the project site via a storm drain system and into the proposed retention basin "C" that will mitigate the incremental difference in peak runoff.

b) The project will not violate any water quality standards or waste discharge requirements. The proposed project will incorporate grassy swales onsite for treatment for post development surface runoff. Additionally, mechanical Best Management Practice's (BMP's) devices and/or basins will be proposed accordingly at a later time if swales are inadequate for full treatment. Water quality calculations will be provided during the final design stage of the project.

c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted.

e-f) The project is located within an area of 100 year shallow flooding (Zone AO), with an average depth of inundation being three (3) feet, but no flood hazard factors have been determined per Flood Insurance Rate Map (FIRM) Community Panel Number 060245-1625C dated November 20, 1996.

g) The project will not otherwise substantially degrade water quality. The proposed project will incorporate five (5) on-site detention basins that will collect and treat storm water runoff. Additional mechanical BMP devices will be proposed if swales are inadequate to properly treat the runoff created by the implementation of the project.

h) The proposed project will incorporate grassy swales and water quality/detention basins for on-site treatment of surface runoff. If necessary, additional Best Management Practices will be proposed if found that the proposed grassy swales and water quality basins are inadequate to properly treat surface runoff.

Mitigation:

1. The proposed storm drain channel alignment, bridge at Washington Street, design and construction shall be coordinated with the Coachella Valley Water District, the U.S. Army Corps of Engineers, and the Transportation Department. This condition shall be constructed prior to grading permit issuance as mentioned in CVWD's letter dated July 1, 2009 (COA 60.TRANS. 2)

2. The project shall be in compliance with other standard conditions of approval for the project site, including 60.BS GRADE.6 – Drainage Design Q100, COA 10.BS GRADE.11 – Minimum Drainage Grade, COA 10.BS GRADE.12 – Drainage & Terracing, COA 60.BS GRADE.16 – Transportation & CVWD Review Required; 60.PLANNING.9 – CVWD Letter / Clearance; and 60.TRANS. 2 – Storm Drain Channel / Bridge.

Monitoring: Monitoring shall be conducted by the County of Riverside Building and Safety and Planning Department, Riverside County Flood Control & Water Conservation District, Coachella Valley Water District, U.S. Army Corps of Engineers

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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23. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input checked="" type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input type="checkbox"/>		
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

a,d) The project site is currently undeveloped vacant land. The proposed project will result in the alteration of the existing drainage patterns on site as well as downstream from the site; the impervious surfaces proposed by the project will reduce infiltration of rainfall and increase storm water runoff volumes. In the site's existing drainage patterns, all drainage runs to the south of the project and into an existing drainage channel located between the southern project boundary and commercial business park. For the proposed project, there will be three (3) drainage areas that will convey flows through the region in accordance with RCFC & WCD. Runoff collected from drainage areas A & B will be conveyed via storm drain system to a proposed Whitewater Basin Drainage Channel (not a part of this project) on the northern project boundary along the existing Avenue 38 right-of-way. This proposed channel follows the alignment of the U.S. Army Corps of Engineers (ACOE) Channel to the intersection of Washington Street. The channel crosses Washington Street via culverts, and then traverses southward and into the existing golf course east of Washington Street. The channel will provide flood protection for the project site. In conjunction with the channel improvements, CLOMR and LOMR applications will be filed with FEMA to remove the subject site from the 100 - year floodplain. Drainage Area C will drain along the southern boundary of the project site via storm drain system and into the proposed retention basin "C" that will mitigate the incremental difference in peak runoff.

b) The project site will increase the amount of impermeable surfaces through the implementation and construction of the project and associated improvements. This will decrease the absorption rates of the site. The project proposes to incorporate grass swales to mitigate the impacts associated with the increased storm runoff.

c) The proposed project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam. The future drainage channel (not a part of this project) located north of the project site shall be designed to sustain a 100 - year flood event.

Mitigation: Compliance with the measures set forth in the conditions of approval on file in the LMS, including 60.PLANNING. 9 — CVWD Letter / Clearance; and 60.TRANS.2 – Storm Drain Channel / Bridge.

1. Prior to the issuance of a grading permit, the Whitewater Basin Drainage Channel shall be constructed and in operation to provide flood protection for the project site where it adjoins the project area (Plot Plan No. 23977) and the neighboring projects of Tentative Tract No. 35058 (Mirasera Specific Plan No. 338) and Tentative Tract No. 34651 (Valante Specific Plan No. 360).
2. Prior to the issuance of a grading permit, a Conditional Letter of Map Revision (CLOMR) shall be obtained from the Federal Emergency Management Agency (FEMA) to take the project site of the 100-year flood plain consistent with the design and implementation of the Whitewater Basin Drainage Channel.
3. Prior to the issuance of a building permit, a Letter of Map Revision (LOMR) shall be obtained from the Federal Emergency Management Agency (FEMA) to take the project site of the 100-year flood plain consistent with the design and implementation of the Whitewater Basin Drainage Channel.

Monitoring: Monitoring shall be conducted by the Coachella Valley Water District, County of Riverside Transportation, Planning, and Building and Safety Departments.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
LAND USE/PLANNING Would the project				
24. Land Use				
a) Result in a substantial alteration of the present or planned land use of an area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, GIS database, Project Application Materials

Findings of Fact:

a) The project proposes to construct a parochial school (preschool thru 12th grade) on a vacant and undeveloped approximate 49-acre site that will include classrooms and administrative buildings, library, courtyard, gymnasium, cafeteria, maintenance building, athletic fields and courts, playground areas, pool, fire/service access roads, parking areas and the related infrastructure improvements. The existing land use is Commercial Retail (CR) and Medium Density Residential (MDR). The project site's existing zoning is Controlled Development Area – 10 Acre Minimum (W-2-10) per Riverside County Ordinance 348, which permits educational institutions, churches, and other places of religious use with an approved plot plan. Although this will result in a substantial alteration of the present land use on this area, this proposed project will provide a compatible land use to the surrounding environment with minimal off-site improvements. The proposed project is consistent with the following land use policy within the Western Coachella Valley Area Plan, WCVAP 1.7 states, "Ensure a mix of land uses that creates a vital, economically and environmentally healthy area that is supportive of transit and other forms of alternative modes of transportation, promotes walkability and civic life, and provides a variety of housing, civic, employment, and open space opportunities throughout the

planning area." Cultural, educational, and civic uses are listed as one of the general land uses that apply to this policy.

b) The proposed project is located within the Sphere of Influence (SOI) of the City of Palm Desert. The project was transmitted to the city for review and comments. No comments were ever received from the city.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
25. Planning	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Be consistent with the land use designations and policies of the General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a) The project site is currently zoned Controlled Development Areas (W-2-10), which permits educational institutions, churches, and other places of religious use.

b) To the north, the land is zoned Natural Assets (N-A), to the south is an existing commercial business park which is zoned Industrial Park (I-P) and Manufacturing-Service Commercial (M-SC); to the west is the proposed mixed-use development that is zoned Specific Plan No. 338 and to the east is the Sun City Development which is zoned Medium Density Residential (MDR).

c) Surrounding land uses include the proposed mixed-use development (Specific Plan No. 338) to the west, an existing commercial business park to the south, and the Sun City Palm Desert development to the east and the Coachella Valley Preserve to the north.

d) The proposed project is consistent with the land use designation and polices of the County of Riverside RCIP.

e) The proposed project will not disrupt or divide any existing community.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
MINERAL RESOURCES Would the project				
26. Mineral Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

Findings of Fact:

a & b) As indicated on Figure OS-5 of the General Plan, no mineral resources are known to exist on the project site. Therefore, the proposed project would not result in the loss or availability of a known mineral resource that would be of value to the region or residents of the state. No impacts are expected.

c & d) As indicated on Figure OS-5 of the General Plan, no state classified or designated areas, or mineral resources are known to exist adjacent to the project site. Additionally, no existing, proposed, or abandoned quarries or surface mines are adjacent to the project site. No impacts are expected.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
NOISE Would the project result in				
Definitions for Noise Acceptability Ratings				
Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.				
NA - Not Applicable		A - Generally Acceptable		B - Conditionally Acceptable
C - Generally Unacceptable		D - Land Use Discouraged		
27. Airport Noise	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map, Noise Impact Study prepared by P.A. PENARDI & ASSOCIATES, dated February 3, 2009; Airport Land Use Commission (ALUC) Development Review, County of Riverside, letter dated May 6, 2013.

Findings of Fact:

a) The proposed project is located approximately 2 miles to the northwest of the Bermuda Dunes Airport. The aircraft noise contours for worst case future conditions at the Bermuda Dunes Airport shows that the 65 dB CNEL contour lies at a considerable distance from the site, crossing Adams Street just south of the I-10 Freeway. Therefore, impacts are considered less than significant.

b) The project site is not located within the vicinity of a private airstrip, and therefore implementation would not expose people residing or working in the project area to excessive noise levels. No impact is expected in this regard.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
28. Railroad Noise	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
NA <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>				

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection, Noise Impact Study prepared by P.A. PENARDI & ASSOCIATES, dated February 3, 2009

Findings of Fact:

The railroad is located on the south side of I-10, which is approximately 0.5 miles from the project site. Noise impact from the train traffic on the Union Pacific Railroad (UPRR) was calculated using a methodology developed by Wyle Laboratories which can be found in Wyle report WCR 73-5 (ref.6). UPRR reported an average traffic of 30 freight trains per day passing by the site on tracks paralleling the I-10 Freeway. To affect an analysis of the worst case, future train traffic was assumed to increase to 40 trains per day. This traffic and other factors used in the calculation of the train noise impact can be found on the worksheet in Appendix II with the result of an anticipated worse case noise impact of 49.6 dB CNEL. Note that this calculation does not take into consideration noise shielding that is provided by intervening buildings between the railroad tracks and the proposed school site. By being well below the desired 65 db CNEL limit, noise from the UPRR train traffic is not a matter of concern.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
29. Highway Noise	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>				

Source: On-site Inspection, Project Application Materials, Noise Impact Study prepared by P.A. PENARDI & ASSOCIATES, dated February 3, 2009

Findings of Fact:

The main source of noise impact onto the site is the vehicular traffic on the I-10 Freeway, which lies to the south of the site. The south property line on the school site lies at a distance of about 3,575 feet from the centerline of the freeway. The site is unique in that it is visually and acoustically partially shielded from the freeway due to the presence of existing buildings and a mobile home park located along the north side of the freeway. Noise measurements were made on the site to obtain a representative average energy noise level (Leq) during the early afternoon hours on a weekday under freely flowing traffic conditions on the freeway. The measured Leq of 45 dB(A) for the 12-1 p.m. hour was normalized to hourly percents of the ADT traffic flows typical of southern California freeways to obtain estimated Leq(h) for the other hours of a 24-hour day (ref.7). An average CNEL of approximately 48 dB (A) was obtained by applying the appropriate weighting factors for the day, evening, and nighttime periods. This partially shielded noise impact is well below the desired 65 dB CNEL limit and, therefore, is not a matter of concern.

The segment of Washington Street near the site consists of 4-lanes with no median which places it in a category of a secondary roadway. A vehicular traffic noise impact of 60.3 dB CNEL was calculated for Washington Street at the property line of the project site nearest the roadway. This is a projected worst case exterior noise impact less than 65 dB CNEL, therefore, noise from Washington Street is not a matter of concern.

The existing alignment of Avenue 38 is about 300 feet north of the property line of the site. The existing configuration of the roadway is 2-lanes, undivided, which places it in the category of a commuter roadway. A projected noise impact at the north property line was calculated and resulted in a noise impact of 59.1 db CNEL which is well below the design limit of 65 dB CNEL.

The proposed future configuration of Avenue 38 places the site much closer to the site. The future centerline is only about 60 feet from the north property line and about 200 feet from the nearest school building (pre-school). It is also proposed as a major 4 lane roadway. There may be potential noise impacts to the pre-school located at the northwest corner of the project site, assuming there will be no buffer between the school and the proposed future configuration of Avenue 38. If a 6-foot masonry wall were assumed to be installed along the northerly property line, which would act as a noise barrier and lower the noise impact to 64.8 dB CNEL, this would show conformance with the design limit of 65 dB CNEL.

Mitigation: No mitigation measures are required

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
30. Other Noise				
NA <input checked="" type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, GIS database

Findings of Fact:

There are no other known sources of noise in the project area that present the potential for significant impacts upon the proposed project.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
31. Noise Effects on or by the Project				
a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials, Noise Impact Study prepared by P.A. PENARDI & ASSOCIATES, dated February 3, 2009

Findings of Fact:

a & b) The project site is currently vacant. The project site is largely surrounded with vacant land and limited to commercial development to the south, adjacent to a proposed mixed-use development to the west, and residential to the east. The County of Riverside has a land use compatibility policy discouraging the development of noise-sensitive properties, such as schools, in areas where the exterior noise impact exceeds 65 dB CNEL (Community Noise Equivalent Level). The County will allow exterior noise levels up to 70 dB CNEL provided that "analysis of the noise reduction requirement is made and needed noise insulation features included in the design.

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10- minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db (A), 10- minute LEQ, at all other times (COA 10.PLANNING.21).

In accordance with Section 6.b. of Ordinance No. 847, no person shall operate any power tools or equipment between the hours of 10:00 P.M. and 8:00 A.M.

The only potential noise impact from the proposed school site that would be considered, is the existing Del-Webb residential development located on the east side of Washington Street. The potential noise activity from the athletic fields on the easterly portion of the project site is the closet area to the Del-Webb development, which is approximately 850 feet from the residential development's west property line. The noise impact study found that due to the distance and the existence of the masonry wall acting as a buffer between the Del-Webb development and the proposed project, little adverse noise is expected.

c) The project site will not result in an exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. The Bermuda Dunes Airport is located easterly of the project site, south of the I-10 Freeway. The aircraft contours for worst case future conditions at the Bermuda Dunes Airport shows that the 65 dB CNEL contour lies at a considerable distance from the site, crossing Adams Street just south of the I-10 Freeway, approximately 1.5 miles from the easterly project boundary. Therefore, there is no adverse noise impact expected from this airport. The business park located to the south of the site is a relatively quiet area. The ambient noise levels measure in the park ranged from about 38-46 dB Leq. It is not anticipated that activities in the business park will adversely affect the proposed school site.

d) Given the nature of the construction activities that will be required for the project, some vibration may be perceived by off-site receptors within approximately 100 feet of the site during the construction phase. However, this impact will be short term and will not be of a magnitude to become severely unpleasant or potentially damaging to property. Therefore, project construction and operation would not generate significant levels of ground-borne vibration or ground-borne noise.

Mitigation: Exterior noise levels shall be in compliance with conditions of approval 10.PLANNING.21

Monitoring: Monitoring shall be conducted by the County of Riverside Planning and Building and Safety Department.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
POPULATION AND HOUSING Would the project				
32. Housing				
a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Displace substantial numbers of people, necessitating the construction of replacement housing else-	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

where?

d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

a & c) The project site is a vacant parcel. Therefore, the proposed project would not displace any existing housing or people.

b) The proposed project will result in the development of a private school (K-12th grade) within a region that currently has an existing residential community to the east and a proposed mixed-use development to the west, anticipating up 1,756 residential dwelling units which would benefit from the proposed project. The project will provide new employment opportunities and potential impacts are less than significant.

d) The project site is located outside of a County Redevelopment Project Area, therefore, the proposed project would not affect a Redevelopment Project Area.

e) The project will not cumulatively exceed official regional or local population projections.

f) The project will not induce substantial population growth in an area by creating a demand for additional housing; however, any new development proposals shall have to be in accordance with the RCIP.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

33. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: Riverside County General Plan Safety Element

Findings of Fact:

The project area is serviced by the Riverside County Fire Department. Any significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new physically altered facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to fire services. This is a standard condition of approval and pursuant to CEQA and is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
34. Sheriff Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project would not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to sheriff services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
35. Schools	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: GIS database

Findings of Fact:

The project site is located within the boundaries of the Desert Sands Unified School District. The proposed project will add a private school (K-12th grade) to an area with an existing residential development to the east, a proposed development to the west that will bring additional residential dwelling units and existing residential development's south of the I-10 Freeway. The proposed project will benefit the existing area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
36. Libraries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

Library services are provided by the Riverside County Public Library System. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. Development fees required by the Riverside County Ordinance No. 659 may be used at the County's discretion to provide additional library facilities. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with County Ordinance No. 659 in order to mitigate the potential effects to library services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
37. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

The use of the approximately 48.7-acre site would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The presence of medical communities generally corresponds with the increase in population associated with the new development. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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RECREATION

38. Parks and Recreation

a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?

b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?

c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

Findings of Fact:

a-b) The project site will not include recreational facilities or require the construction or expansion of recreational facilities. The project does not include the use of existing neighborhood or regional parks or other recreational facilities.

c) The project is not located within a county service area or recreation and park district with a community parks and recreation plan. The project will not construct any residential units and is not subject to Quimby fees.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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39. Recreational Trails

Source: Riv. Co. 800-Scale Equestrian Trail Maps, Open Space and Conservation Map for Western County trail alignments

Findings of Fact:

The project requires a ten-foot (10') bike trail along the northerly portion of Highway 38, just south of the proposed drainage channel. Prior to issuance of any grading permits, the applicant shall submit a trails plan to the Riverside County Regional Park and Open Space District. Impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
TRANSPORTATION/TRAFFIC Would the project				
40. Circulation	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
d) Alter waterborne, rail or air traffic?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Traffic Impact Analysis (Revised) prepared by Kunzman Associates, Inc., dated August 10, 2009

Findings of Fact:

a) The project site is currently vacant land and the proposed implementation of the school site will increase the overall project traffic load and capacity of the street system. The proposed development is projected to generate approximately 3,720 daily vehicle trips, 1,215 vehicles per hour will occur during the morning peak hour, and 255 vehicles per hour will occur during the evening peak hour. The traffic impact analysis addresses the need for improvements off-site to achieve the required level of service for the surrounding intersections.

The Transportation Department has reviewed the traffic study for the project site and has concluded that the study has been prepared in accordance with the County approved guidelines. The Transportation Department concurs with the findings relative to the proposed traffic impacts. The General Plan circulation policies require a minimum of Level Service 'C', except that level of Service 'D' may be allowed in community development areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections. The study indicates that it is possible to achieve adequate levels of service based on the intersections studied in the traffic report. Therefore, the proposed project is consistent with this General Plan policy (COA 10.TRANS.10).

b) The proposed project will incorporate sufficient on-site parking and will adhere to the County of Riverside zoning code.

c) The proposed project will not exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for the development's roadway system. The traffic impact analysis indicates for existing plus ambient growth plus project traffic conditions and with improvements, the study area intersections are projected to operate within the acceptable Levels of Service during the peak hours.

d) The proposed project will not result in a change in air traffic patterns.

e) The proposed project will not alter waterborne, rail, or air traffic.

f) The proposed project will not substantially increase hazards to the project's design feature.

g) The proposed project will not cause an effect upon or a need for new, altered or maintenance roads.

h) The proposed project will not cause an effect upon the project's circulation during the project's construction. Construction circulation will be in compliance for the projects monitoring measures.

i) The proposed project will not result in inadequate emergency access or access to nearby uses. The proposed project will have direct access to Avenue 38. There will be two entrances to the project site on Avenue 38; one entrance adjacent to the athletic fields located near the middle of the project site, plus, an additional entrance near the westerly project boundary adjacent to the pre-school. With more than one ingress point, good emergency access is assured because there are two ways of reaching any point within the site.

j) The proposed project will not conflict with adopted policies supporting alternative transportation.

Prior to Building Permit Issuance, sufficient public right-of-way shall be provided along 38th Avenue to establish a 118 full width right-of-way and along Washington Street to establish a 76 foot half width right-of-way that transitions into a 64 foot half-width right-of-way.

Avenue 38 is designated a Major Highway and shall be designed and improved prior to building final inspection to the ultimate full section within the westerly project boundary and Washington Street, with a five-foot (5') meandering sidewalk on the south side of Avenue 38, and a ten-foot (10') wide meandering sidewalk on the north side of Avenue 38. The off-site portions of Avenue 38, coordinated with Tentative Tract Map No. 35058 (Mirasera) and Tentative Tract Map No. 34651 (Valante), shall be constructed per County Standard No. 106, (32' / 60') prior to building final inspection.

Mitigation: Compliance with the measures set forth in the conditions of approval on file in the LMS, including 10.TRANS.10 — T/S Conditions,

Monitoring: Monitoring to be provided by the Building and Safety Department, Planning Department.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
41. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

The project proposes a 10' bike trail along the northerly portion of Highway 38, just south of the proposed drainage channel. Impacts are considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
UTILITY AND SERVICE SYSTEMS Would the project				
42. Water				
a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review, CVWD Letter dated August 14, 2013

Findings of Fact:

a) The Coachella Valley Water District shall provide water services to the proposed project site. Domestic water service will be provided by CVWD directly from existing water lines in Washington Street. The proposed project will connect to an existing 12" water line in Washington Street via a proposed 12" water line from the northerly project boundary.

b) The project site will have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements, per CVWD will serve letter, dated August 14, 2013 (COA 10.E HEALTH.2).

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
43. Sewer				
a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Department of Environmental Health Review, CVWD Letter dated August 14, 2013

Findings of Fact:

a) The proposed project may require the construction of new sewer facilities to serve the project site. This will be determined further along during the final design stages of the project.

b) The project site will have adequate capacity to serve the project from existing entitlements and resources, or are new or expanded entitlements, per CVWD will serve letter, dated August 14, 2013. (COA 10.E HEALTH.2)

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
44. Solid Waste				
a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan, Riverside County Waste Management District correspondence

Findings of Fact:

The Riverside County Waste Management Department (RCWMD) permits Waste Management of the Desert Inc. (WM), the franchise-owned water management/hauler, to provide waste management services for the communities of Cathedral City, Coachella, Indian Wells, Indio, La Quinta, Palm Desert, Rancho Mirage, Salton Sea, Twenty-nine Palms, Yucca Valley, and areas of unincorporated Riverside and San Bernardino Counties. WM provides collection, recycling, and disposal services.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
45. Utilities				
Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?				
a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan

Findings of Fact:

a-c) The project will require electricity, natural gas and communication systems which will be available to the project site.

d) Storm water drainage will be handled on-site, as well as off-site via a proposed storm drain collection located north of the project site.

e) Street lighting will be provided on-site and already exists to the east of the project site on Washington Street.

f) The project will include offsite improvements to adjacent roadways including the widening of Washington Street from approximately Avenue 38 to Las Montanas Road/Del Webb Boulevard to its ultimate general plan classification width, the realignment of Avenue 38 with full Major Highway (118' ROW) roadway improvements from the project's westerly boundary to Washington Street and offsite access road improvements for Avenue 38 (60' ROW) from the westerly project boundary to Varner Road.

g) The project will not require additional government services.

h) The project design does not conflict with adopted energy conservation plans.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

46. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

Source:

Findings of Fact:

The County has not adopted any energy conservation plans, nor do any State or Federal energy conservation plans apply to the project site. There is no impact.

Mitigation: No mitigation required.

Monitoring: No monitoring required

OTHER

47. Other:

Source: Staff review

Findings of Fact:

Mitigation:

Monitoring:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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MANDATORY FINDINGS OF SIGNIFICANCE

48. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

49. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

50. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

County Geologic Report (GEO) No. 2131, prepared by LandMark Consultants, Inc., dated June 27, 2008

Noise Impact Study, prepared by P.A. PENARDI & ASSOCIATES, dated February 3, 2009

Biological Assessment, prepared by AMEC Earth & Environmental, Inc., dated January 29, 2009

Phase I Archaeological Assessment, prepared by CRM TECH, dated February 5, 2013,

Traffic Study, prepared by Kunzman Associates, Inc., dated August 10, 2009

Riverside County General Plan

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department

4080 Lemon Street, 12th Floor
Riverside, CA 92505

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

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PLOT PLAN:TRANSMITTED Case #: PP23977R1

Parcel: 626-150-038

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1

USE - PROJECT DESCRIPTION

RECOMMND

The use hereby permitted is to revise original Plot Plan No. 23977 for Desert Christian Academy private school (preschool through 12th grade) with changes to the site design layout and building design type on 48.7 gross acres. The private school facility will contain classrooms, administrative buildings, library, courtyard, cafeteria, maintenance building, stadium facility consisting of 490 seats with football/soccer field and an athletic track, baseball and softball fields, athletic gymnasium, pool, outdoor tennis and basketball courts, volleyball courts, playground areas, fire/service access roads and related infrastructure improvements including three on-site detention basins, 510 parking spaces, and 433,510 cubic yards of grading. Off-site improvements include road improvements and widening a portion of Washington Street, the re-alignment of Avenue 38 from the westerly project boundary to Varner Road, and construction of a regional storm drainage channel parallel to Avenue 38. To meet Flood Control District requirements, the buildings have been reoriented to the western portion of the site and raised from the existing flood plain grade. The project is proposed in four phases. Phase 1 is 44.17 acres, phase 2 is 3.17 acres, phase 3 is 0.88 acres, phase 4 is 0.78 acres. At full phased build out, the school facility will accommodate 1,578 students, 86 teachers, and 35 staff members. The typical hours of operation during the academic year will be 7:00 a.m. to 4:00 p.m. with after school hours ranging from 3:00 p.m. to 10:00 p.m. Special events will run infrequently throughout the entire year with times ranging from 6:00 a.m. to 10:00 p.m. Special events types will include indoor and outdoor sporting events, theatrical performances, community events, and church group meetings.

The project proposes approximately 300,400 square feet of total building area.

10. EVERY. 2

USE - HOLD HARMLESS

RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees (COUNTY) from the following:

PLOT PLAN:TRANSMITTED Case #: PP23977R1

Parcel: 626-150-038

10. GENERAL CONDITIONS

10. EVERY. 2 USE - HOLD HARMLESS (cont.)

RECOMMND

(a) any claim, action, or proceeding against the COUNTY to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning the PLOT PLAN; and,

(b) any claim, action or proceeding against the COUNTY to attack, set aside, void or annul any other decision made by the COUNTY concerning the PLOT PLAN, including, but not limited to, decisions made in response to California Public Records Act requests.

The COUNTY shall promptly notify the applicant/permittee of any such claim, action, or proceeding and shall cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify or hold harmless the COUNTY.

The obligations imposed by this condition include, but are not limited to, the following: the applicant/permittee shall pay all legal services expenses the COUNTY incurs in connection with any such claim, action or proceeding, whether it incurs such expenses directly, whether it is ordered by a court to pay such expenses, or whether it incurs such expenses by providing legal services through its Office of County Counsel.

10. EVERY. 3 USE - DEFINITIONS

RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 23977 Revised Permit No.1 shall be henceforth defined as follows:

APPROVED EXHIBIT A = Plot Plan No. 23977R1,
Exhibit A, Amended No. 1, dated 3/4/14.
Exhibit B, Amended No. 1, dated 3/4/14.
Exhibit C, Amended No. 1, dated 3/4/14.
Exhibit G, Amended No. 1, dated 3/4/14.
Exhibit L, Amended No. 1, dated 3/4/14.
Exhibit M, Amended No. 1, dated 3/4/14.
Exhibit P, Amended No. 1, dated 3/4/14.
Exhibit S, Amended No. 1, dated 3/4/14

PLOT PLAN:TRANSMITTED Case #: PP23977R1

Parcel: 626-150-038

10. GENERAL CONDITIONS

10. EVERY. 4 USE - 90 DAYS TO PROTEST RECOMMND

The project developer has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, the imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of this project.

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE - GENERAL INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE - OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE - DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE - NPDES INSPECTIONS RECOMMND

Construction activities including clearing, stockpiling, grading or excavation of land which disturbs less than 1 acre and requires a grading permit or construction Building permit shall provide for effective control of erosion, sediment and all other pollutants year-round. The permit holder shall be responsible for the installation and monitoring of effective erosion and sediment controls. Such controls will be evaluated by the Department of Building and Safety periodically and prior to permit Final to verify compliance with industry recognized erosion control measures.

Construction activities including but not limited to

PLOT PLAN:TRANSMITTED Case #: PP23977R1

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10. GENERAL CONDITIONS

10.BS GRADE. 6 USE - NPDES INSPECTIONS (cont.)

RECOMMND

clearing, stockpiling, grading or excavation of land, which disturbs 1 acre or more or on-sites which are part of a larger common plan of development which disturbs less than 1 acre are required to obtain coverage under the construction general permit with the State Water Resources Control Board. You are required to provide proof of WDID# and keep a current copy of the storm water pollution prevention plan (SWPPP) on the construction site and shall be made available to the Department of Building and Safety upon request.

Year-round, Best Management Practices (BMP's) shall be maintained and be in place for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Stabilized Construction Entrances and project perimeter linear barriers are required year round. Removal BMP's (those BMP's which must be temporarily removed during construction activities) shall be in place at the end of each working day.

Monitoring for erosion and sediment control is required and shall be performed by the QSD or QSP as required by the Construction General Permit. Stormwater samples are required for all discharge locations and projects may not exceed limits set forth by the Construction General Permit Numeric Action Levels and/or Numeric Effluent Levels. A Rain Event Action Plan is required when there is a 50% or greater forecast of rain within the 48 hours, by the National Weather Service or whenever rain is imminent. The QSD or QSP must print and save records of the precipitation forecast for the project location area from (<http://www.srh.noaa.gov/forecast>) and must accompany monitoring reports and sampling test data. A Rain gauge is required on site. The Department of Building and Safety will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

10.BS GRADE. 7 USE - EROSION CNTRL PROTECT

RECOMMND

Graded but undeveloped land shall provide, in addition to erosion control planting, any drainage facility deemed necessary to control or prevent erosion. Additional erosion protection may be required during the rainy season from October 1, to May 31.

PLOT PLAN:TRANSMITTED Case #: PP23977R1

Parcel: 626-150-038

10. GENERAL CONDITIONS

10.BS GRADE. 8 USE - DUST CONTROL RECOMMND

All necessary measures to control dust shall be implemented by the developer during grading. A PM10 plan may be required at the time a grading permit is issued.

10.BS GRADE. 9 USE - 2:1 MAX SLOPE RATIO RECOMMND

Graded slopes shall be limited to a maximum steepness ratio of 2:1 (horizontal to vertical) unless otherwise approved.

10.BS GRADE. 11 USE - MINIMUM DRNAGE GRADE RECOMMND

Minimum drainage grade shall be 1% except on portland cement concrete where .35% shall be the minimum.

10.BS GRADE. 12 USE - DRAINAGE & TERRACING RECOMMND

Provide drainage facilities and terracing in conformance with the California Building Code's chapter on "EXCAVATION & GRADING".

10.BS GRADE. 13 USE - SLOPE SETBACKS RECOMMND

Observe slope setbacks from buildings & property lines per the California Building Code as amended by Ordinance 457.

10.BS GRADE. 14 USE - SLOPES IN FLOODWAY RECOMMND

Graded slopes which infringe into the 100 year storm flood way boundaries, shall be protected from erosion, or other flood hazards, by a method acceptable to the Building & Safety Department's Engineer - which may include Riverside County Flood Control & Water Conservation District's review and approval. However, no graded slope will be allowed which in the professional judgment of the Building & Safety Department Engineer blocks, concentrates or diverts drainage flows.

10.BS GRADE. 18 USE - OFFST. PAVED PKG RECOMMND

All offstreet parking areas which are conditioned to be paved shall conform to Ordinance 457 base and paving design and inspection requirements.

PLOT PLAN:TRANSMITTED Case #: PP23977R1

Parcel: 626-150-038

10. GENERAL CONDITIONS

10.BS GRADE. 23 USE - MANUFACTURED SLOPES RECOMMND

Plant and irrigate all manufactured slopes equal to or greater than 3 feet in vertical height with drought tolerant grass or ground cover; slopes 15 feet or greater in vertical height shall also be planted with drought tolerant shrubs or trees in accordance with the requirements of Ordinance 457.

10.BS GRADE. 24 USE - FINISH GRADE RECOMMND

Finish grade shall be sloped to provide proper drainage away from all exterior foundation walls in accordance with the California Building Code and Ordinance 457.

BS PLNCK DEPARTMENT

10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK RECOMMND

PERMIT ISSUANCE:

Per section 105.1 (2010 California Building Code, CBC): Where any owner or authorized agent intends to construct, enlarge, alter, repair, move, demolish or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert, or replace any electrical, gas, mechanical, or plumbing system, the regulation of which is governed by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit. The applicant shall obtain the required building permit(s) from the building department prior to any construction or placement of any building, structure or equipment on the property.

The applicant shall obtain an approved final building inspection and certificate of occupancy from the building department prior to any use or occupancy of the building, or structure.

At no time shall the approval of the planning case exhibit allow for the construction or use of any building, structure, or equipment. In residential applications, each separate structure will require a separate building permit.

CODE/ORDINANCE REQUIREMENTS:

The applicant shall obtain the required building permit(s) from the building department prior to any construction on the property. All building plans and supporting documentation shall comply with current adopted California

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10.BS PLNCK. 1 USE - BUILD & SAFETY PLNCK (cont.)

RECOMMND

Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of building plan submittal and fee payment to the Building Department. All Building Department plan submittal and fee requirements shall apply.

NOTE: The new updated 2013 California Building Codes will be in effect as of January 1st 2014, as mandated by the state of California. Any building plan and fee payment submitted to the building department on or after January 1st, 2014 will be subject to the new updated California Building Code(s).

GREEN BUILDING CODE (Non Residential):

Included within the building plan submittal to the building department, or during the building plan check process, the applicant shall provide a copy of the approved construction waste management plan by the Riverside County Waste Management Department that:

1. Identifies the materials to be diverted from disposal by efficient usage, reuse on the project, or salvage for future use or sales.
2. Determines if materials will be sorted on site or mixed.
3. Identifies diversion facilities where material collected will be taken.
4. Specifies that the amount of materials diverted shall be calculated by weight or volume, but not both.

For information regarding compliance with the above provision and requirements, please contact the Waste Management Department @ (951) 486-3200.

E HEALTH DEPARTMENT

10.E HEALTH. 1 INDUSTRIAL HYGIENE-NOISE STUDY

RECOMMND

Noise Consultant: P.A. Penardi & Associates
P.O. Box 133035
223 Teakwood Drive
Big Bear Lake, CA 92315

Noise Study: "Noise Impact Study of the Proposed Christian School of District Development at 38th Avenue and Washington Street in Palm Desert" dated March 5m 2013.

Based on the County of Riverside, Industrial Hygiene Program's review of the aforementioned Noise Study,

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10. GENERAL CONDITIONS

10.E HEALTH. 1 INDUSTRIAL HYGIENE-NOISE STUDY (cont.) RECOMMND

PLOT PLAN 23977 R1 (Planning Case No.) shall comply with the recommendations set forth under the Industrial Hygiene Program's response letter dated May 1, 2013. c/o Steve Hinde, REHS, CIH (RivCo Industrial Hygienist).

For further information, please contact the Industrial Hygiene Program at (951) 955-8980.

10.E HEALTH. 2 CVWD WATER AND SEWER SERVICE RECOMMND

Plot Plan 23977 R1 (Desert Christian Academy) is proposing to obtain potable water and sanitary sewer service from Coachella Valley Water District (CVWD). It is the responsibility of this facility to ensure that all requirements to receive water and sewer service are met with CVWD as well as all other applicable agencies.

FIRE DEPARTMENT

10.FIRE. 1 USE-#50-BLUE DOT REFLECTOR RECOMMND

Blue retroreflective pavement markers shall be mounted on private street, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Department.

10.FIRE. 2 USE*-#23-MIN REQ FIRE FLOW RECOMMND

Minimum required fire flow shall be 3625 GPM for a 3 hour duration at 20 PSI residual operating pressure, which must be available before any combustible material is placed on the job site. Fire flow is based on type V-B construction per the 2010 CBC and Building(s) having a fire sprinkler system.

10.FIRE. 3 USE-#20-SUPER FIRE HYDRANT RECOMMND

Super fire hydrants) (6"x4"x 2-2 1/2") shall be located at less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways.

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10. GENERAL CONDITIONS

10.FIRE. 4 USE-#19-ON/OFF LOOPED HYD RECOMMND

A combination of on-site and off-site super fire hydrants, on a looped system (6"x4"x 2-2 1/2"), will be located not less than 25 feet or more than 165 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrants(s) in the system.

10.FIRE. 5 USE-#89-RAPID ENTRY KEY DEVICE RECOMMND

Rapid entry key storage cabinet shall be installed on the outside of the building AND on all manual and/or automatic gates. Plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

10.FIRE. 6 USE-#25-GATE ENTRANCES RECOMMND

Any gate providing access from a road to a driveway shall be located at least 35 feet from the roadway and shall open to allow a vehicle to stop without obstructing traffic on the road. Where a one-way road with a single traffic lane provides access to a gate entrance, a 38 foot turning radius shall be used.

10.FIRE. 7 USE-#88A-AUTO/MAN GATES RECOMMND

Gate(s) shall be automatically operated, a minimum 20 feet in width, with a setback of 35 feet from face of curb/flow line. Gate access shall be equipped with a rapid entry system. Plans shall be submitted to the Fire Department for approval prior to installation. Automatic/manual gate pins shall be rated with shear pin force, not to exceed 30 foot pounds. Automatic gates shall be equipped with emergency backup power. Gates activated by the rapid entry system shall remain open until closed by the rapid entry system.

PLANNING DEPARTMENT

10.PLANNING. 1 USE - LOW PALEO RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation

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10. GENERAL CONDITIONS

10.PLANNING. 1 USE - LOW PALEO (cont.)

RECOMMND

for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The owner of the property shall be immediately notified of the fossil discovery who will in turn immediately notify the County Geologist of the discovery.

3.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

4.The paleontologist shall determine the significance of the encountered fossil remains.

5.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

6.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

7.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the

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10. GENERAL CONDITIONS

10.PLANNING. 1 USE - LOW PALEO (cont.) (cont.)

RECOMMND

museum repository by a laboratory technician. The remains will then be accessioned into the museum repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * Per the County of Riverside "SABER Policy", paleontological fossils found in the County of Riverside should, by preference, be directed to the Western Science Center in the City of Hemet.

8.The property owner and/or applicant on whose land the paleontological fossils are discovered shall provide appropriate funding for monitoring, reporting, delivery and curating the fossils at the institution where the fossils will be placed, and will provide confirmation to the County that such funding has been paid to the institution.

10.PLANNING. 2 USE-PDA04813 PHSE I UPDATE LTR

RECOMMND

County Archaeological Report (PDA) No. 04813 (Phase I update letter) submitted for this project (PP23977R1) was prepared by Bai "Tom" Tang of CRM TECH and is entitled: "An Archaeological Update to Historical/Archaeological Resources Survey Assessor's Parcel Nos. 626-150-037 and -038 Bermuda Dunes Area, Riverside County, California, CRM TECH Contract No. 2303/2670," dated February 5, 2013.

The purpose of this letter was to update a Phase I for PP23977 by the same company which was sent to the County in 2009.

According to the field inspection on Feb. 4, 2013, no cultural resources were discovered and there were no "historical resources" discovered as defined by CEQA. Therefore there will be no impacts to any resources, no impacts to any "historical resources" as defined by CEQA, and hence no mitigation measures are required. Hence, there are no significant impacts to cultural resources per CEQA.

This Phase I update letter has been incorporated as part of this project and has been accepted by the County Archaeologist.

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10. GENERAL CONDITIONS

10.PLANNING. 3

USE-INADVERTENT ARCHAEO FINDS

RECOMMND

INADVERTENT ARCHAEOLOGICAL FINDS:

The developer/permit holder or any successor in interest shall comply with the following for the life of this permit:

If during ground disturbance activities, cultural resources* are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed:

1)All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist**, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the County Archaeologist to discuss the significance of the find.

2)The developer shall call the County Archaeologist immediately upon discovery of the cultural resource to convene the meeting.

3)At the meeting with the aforementioned parties, the significance of the discoveries shall be discussed and a decision is to be made, with the concurrence of the County Archaeologist, as to the appropriate mitigation (documentation, recovery, avoidance, etc) for the cultural resource.

4)Further ground disturbance shall not resume within the area of the discovery until a meeting has been convened with the aforementioned parties and a decision is made, with the concurrence of the County Archaeologist, as to the appropriate mitigation measures.

* A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

** If not already employed by the project developer, a County approved archaeologist shall be employed by the project developer to assess the value/importance of the cultural resource, attend the meeting described above, and

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10. GENERAL CONDITIONS

10.PLANNING. 3 USE-INADVERTENT ARCHAEO FINDS (cont.) RECOMMND

continue monitoring of all future site grading activities as necessary.

10.PLANNING. 4 USE-IF HUMAN REMAINS FOUND RECOMMND

IF HUMAN REMAINS ARE FOUND ON THIS SITE:
The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

Pursuant to State Health and Safety Code Section 7050.5, if human remains are encountered, no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American heritage Commission shall identify the "Most Likely Descendant". The Most Likely Descendant shall then make recommendations and engage in consultation with the property owner and the County Archaeologist concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Archaeologist.

10.PLANNING. 5 USE - LC LANDSCAPE REQUIREMENT RECOMMND

The developer/ permit holder shall:

1)Ensure all landscape and irrigation plans are in conformance with the APPROVED EXHIBITS;

2)Ensure all landscaping is provided with California Friendly landscaping and a weather based irrigation controller(s) as defined by County Ordinance No. 859;

3)Ensure that irrigation plans which may use reclaimed water conform with the requirements of the local water purveyor; and,

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10.PLANNING. 5 USE - LC LANDSCAPE REQUIREMENT (cont.) RECOMMND

4)Be responsible for maintenance, viability and upkeep of all slopes, landscaped areas, and irrigation systems until the successful completion of the twelve (12) month inspection or those operations become the responsibility of the individual property owner(s), a property owner's association, or any other successor-in-interest, whichever occurs later.

To ensure ongoing maintenance, the developer/ permit holder or any successor in interest shall:

1)Connect to a reclaimed water supply for landscape irrigation purposes when reclaimed water is made available.

2)Ensure that landscaping, irrigation and maintenance systems comply with the Riverside County Guide to California Friendly Landscaping, and Ordinance No. 859.

3)Ensure that all landscaping is healthy, free of weeds, disease and pests.

10.PLANNING. 6 USE - GEO02131 UPDATED RECOMMND

County Geologic Report (GEO) No. 2131, submitted for this project (PP23977) was prepared by LandMark Consultants, Inc. and is entitled: "Geotechnical Report, Proposed K-12 School, Palm Desert, California", LCI Report No. LP08094, dated June 27, 2008. In addition, LandMark prepared "Response to Review Comments, County Geologic Report No. 2131, Geotechnical Investigation, proposed K-12 School, APN 626-150-037 to 040, palm Desert, California", dated March 25, 2009. This document is herein incorporated as a part of GEO02131.

GEO02131 concluded:

1.The primary seismic hazard at the project site is the potential for strong groundshaking during earthquakes along the San Andreas Fault.

2.The nearest fault to the site, the San Andres Fault, is located 2.6 miles to the northeast of the project site.

3.The potential for surface rupture at the project site is considered low.

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10. GENERAL CONDITIONS

10.PLANNING. 6 USE - GEO02131 UPDATED (cont.)

RECOMMND

4.Liquefaction is unlikely to be a potential hazard at the site.

5.No indications of landslides were observed on the site.

6.The risk of volcanic hazards is considered very low.

7.The threat of tsunami, sieches, or other seismically induced flooding is unlikely.

8.Collapse potential tests indicated slight risk of collapse upon inundation at the project site (hydroconsolidation).

GEO02131 recommended:

1.All surface improvements, debris or vegetation including grass, trees, and weeds on the site at the time of construction should be removed from the construction area.

2.The existing surface soil within the building pad areas should be removed to 24 inches below the lowest foundation grade or 42 inches below the original grade (whichever is deeper).

GEO No. 2131 satisfies the requirement for a Geologic Study for Planning / CEQA purposes. GEO No. 2131 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

An update report for GEO02131 was prepared by LandMark Geo-Engineers and Geologists for PP23977R1 and is entitled "Geotechnical Report Update, Christioan School of The Desert, APNs 626-150-037 to 040, Palm Desert, California", dated January 27, 2013. This update report is herein incorporated as a part of GEO02131

The LandMark January 27, 2013 update report confirmed the recommendations and conclusions in the reports submitted for PP23977 are still applicable to PP23977R1 with the

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10. GENERAL CONDITIONS

10.PLANNING. 6 USE - GEO02131 UPDATED (cont.) (cont.) RECOMMND

exception of the seismic parameters. LandMark's January 27, 2013 update report provides seismic parameters from the current CBC as appropriate.

This update to GEO02131 is meets the requirement for an update report for PP23977R1 and is approved herein for PP23977R1.

10.PLANNING. 7 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 8 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 9 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 10 USE - COLORS & MATERIALS RECOMMND

Building colors and materials shall be in substantial conformance with those shown on APPROVED EXHIBIT B.

10.PLANNING. 11 USE - LAND DIVISION REQUIRED RECOMMND

Prior to the sale of any individual structure as shown on APPROVED EXHIBIT A, a land division shall be recorded in accordance with verside County Ordinance No. 460, and any

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10. GENERAL CONDITIONS

10.PLANNING. 11 USE - LAND DIVISION REQUIRED (cont.) RECOMMND

other pertinent ordinance.

10.PLANNING. 12 USE - HOURS OF OPERATION RECOMMND

No use of the outdoor recreational and other outdoor facilities approved under this plot plan shall be permitted during the hours of 10:30 p.m. to 8:00 a.m., Monday through Saturday, in order to reduce conflict with adjacent residential and wildlife conservation zones and/or land uses.

Outdoor lighting for recreational and other outdoor facilities shall be limited to the hours of dusk to 10:30 p.m., Monday through Saturday.

Use of the outdoor recreational and other outdoor facilities by school employees for clean up, security and similar purposes are not restricted by this condition. Lighting shall be reduced during the prohibited hours to levels needed only for clean up and security.

AMENDED PER THE HEARING DIRECTOR, MR. BOB LYMAN, ON MARCH 1, 2010.

10.PLANNING. 13 USE - PERMIT SIGNS SEPARATELY RECOMMND

No signs are approved pursuant to this project approval. Prior to the installation of any on-site advertising or directional signs, a signing plan shall be submitted to and approved by the Planning Department pursuant to the requirements of Section 18.30 (Planning Department review only) of Ordinance No. 348.

10.PLANNING. 15 USE - NO OUTDOOR ADVERTISINGR1 RECOMMND

No outdoor advertising display, sign or billboard (not including on-site advertising or directional signs) shall be constructed or maintained within the property subject to this approval.

ADDED AS PART OF REVISED PERMIT NO.1

10.PLANNING. 17 USE - PHASE BY NEW PERMIT RECOMMND

Construction of this project may be done progressively in phases provided a plan is submitted with appropriate fees

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10.PLANNING. 17 USE - PHASE BY NEW PERMIT (cont.) RECOMMND

to the Planning Department and approved prior to issuance of any building permits. Phasing approval shall not apply to the requirements of any agency other than the Planning Department unless so indicated by the affected agency.

10.PLANNING. 18 USE - MAINTENANCE RECOMMND

Landscape planting within ten (10) feet of an entry or exit driveway shall not be permitted to grow higher than thirty (30) inches and no trees shall be planted within 10 feet of driveways, alleys, or street intersections.

The project site shall be kept in good repair. Graffiti shall be removed from any structures within one week of observation and/or notification.

10.PLANNING. 19 USE - MAINTAIN FLOOD FACILITY RECOMMND

The permit holder shall at all times maintain any and all required stormwater, flood control and drainage facilities in a safe condition, in good repair and in a manner capable of being operated as designed.

10.PLANNING. 20 USE - NO OFF-ROAD USES ALLOWED RECOMMND

Trail bikes, dune buggies, off-road vehicles and other similar powered apparatus shall not be operated for purposes such as, but not limited to, hill climbing, trail riding, scrambling, racing and riding exhibitions.

10.PLANNING. 21 USE - EXTERIOR NOISE LEVELS RECOMMND

Exterior noise levels produced by any use allowed under this permit, including, but not limited to, any outdoor public address system, shall not exceed 45 db(A), 10-minute LEQ, between the hours of 10:00 p.m. to 7:00 a.m., and 65 db(A), 10-minute LEQ, at all other times as measured at any residential, hospital, school, library, nursing home or other similar noise sensitive land use. In the event noise exceeds this standard, the permittee or the permittee's successor-in-interest shall take the necessary steps to remedy the situation, which may include discontinued operation of the facilities. The permit holder shall comply with the applicable standards of Ordinance No. 847.

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10.PLANNING. 22 USE - NOISE MONITORING REPORTS RECOMMND

The permit holder may be required to submit periodic noise monitoring reports as determined by the Department of Building and Safety as part of a code enforcement action. Upon written notice from the Department of Building and Safety requiring such a report, the permittee or the permittee's successor-in-interest shall prepare and submit an approved report within thirty (30) calendar days to the Department of Building and Safety, unless more time is allowed through written agreement by the Department of Building and Safety. The noise monitoring report shall be approved by the Office of Industrial Hygiene of the Health Service Agency (the permittee or the permittee's successor-in-interest shall be required to place on deposit sufficient funds to cover the costs of this approval prior to commencing the required report).

10.PLANNING. 23 USE - AGRICULTURE CODES RECOMMND

This property is located within the Coachella Valley and all landscape planting shall comply with the requirements of the State Agriculture Code and the directives of the Riverside County Agricultural Commissioner. All landscaping plans submitted to the Planning Department shall included the following notation: "Warning: Plant material listed may or may not have been approved by the Agricultural Commissioner's office. Landscape contractor, please contact the developer for status of Agricultural Commissioner's approval or denial. Plan material not conforming with quarantine laws may be destroyed and civil action taken. All plant material is subject to inspection at the discretion of the Agricultural Commissioner's office. All plant material must be free from Red Scale (Aonidiella aurantii.)"

10.PLANNING. 24 USE - NO EA FOR GRADING RECOMMND

No environmental assessment for grading within the project boundaries shall be required provided such grading substantially conforms to the grading plan submitted as APPROVED EXHIBIT A, and does not significantly exceed 550,000 cubic yards of cut and 550,000 cubic yards of fill.

10.PLANNING. 25 USE - PREVENT DUST & BLOWSAND RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance

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10. GENERAL CONDITIONS

10.PLANNING. 25 USE - PREVENT DUST & BLOWSAND (cont.) RECOMMND

and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the State air quality management authorities.

10.PLANNING. 27 USE - CAUSES FOR REVOCATION RECOMMND

In the event the use hereby permitted under this permit,
a) is found to be in violation of the terms and conditions of this permit,
b) is found to have been obtained by fraud or perjured testimony, or
c) is found to be detrimental to the public health, safety or general welfare, or is a public nuisance, this permit shall be subject to the revocation procedures.

10.PLANNING. 28 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 29 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 30 USE - ORD 875 O S FEE (1) RECOMMND

In accordance with Riverside County Ordinance No. 875, to assist in providing revenue to acquire and preserve open space and habitat, an Open Space Mitigation Fee shall be paid for each development project or portion of an expanded development project to be constructed in Western Riverside County. The amount of the fee for commercial or industrial development shall be calculated on the basis of "Project Area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

Any area identified as "NO USE PROPOSED" on the APPROVED EXHIBIT shall not be included in the Project Area.

Any area identified as "NO USE PROPOSED" on the APPROVED EXHIBIT shall not be included in the Project Area.

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10.PLANNING. 31 USE - COMPLY WITH NPDES RECOMMND

Since this project is one (1) acre or more, the permit holder shall comply with all of the applicable requirements of the National Pollution Discharge Elimination System (NPDES) and shall conform to NPDES Best Management Practices for Stormwater Pollution Prevention Plans during the life of this permit.

10.PLANNING. 32 USE - LIMIT OUTDOOR STORAGE RECOMMND

No approval is granted for more than 200 square feet of outdoor storage or display of materials or merchandise; any and all outdoor storage or display of materials or merchandise shall be limited in area to 200 square feet or less within the entire premises.

10.PLANNING. 33 USE - CONFORM ELEV.AND FLOOR. RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

10.PLANNING. 34 USE -OUTSIDE WORSHIP SERVICES RECOMMND

Project facilities, specifically limited to the gymnasium, theater, and outdoor amphitheatre, can be used by off-site churches or other religious organizations for the purposes of meetings, church services, or religious activities, on Saturday evenings from 5:00 p.m. to 7:30 p.m. and Sunday mornings from 8:00 a.m. to 12:00 p.m. on a regular basis. Additionally, up to eight (8) classrooms may be used during these services for children's activities.

AMENDED PER THE HEARING DIRECTOR, MR. BOB LYMAN, ON MARCH 1, 2010.

AMENDED PER THE HEARING DIRECTOR, MR. BOB LYMAN, ON MARCH 1, 2010.

10.PLANNING. 35 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business

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10. GENERAL CONDITIONS

10.PLANNING. 35 USE - BUSINESS LICENSING (cont.) RECOMMND

registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 36 USE - AGENCY COMPLIANCE RECOMMND

The permit holder shall remain in compliance with the requirements of the Coachella Valley Water District (CVWD) letter dated July 1, 2009, a copy of which is on file with the Riverside County Planning Department.

The permit holder shall remain in compliance with the requirements of the Airport Land Use Commission (ALUC) letter dated May 1, 2009, a copy of which is on file with the Riverside County Planning Department.

The permit holder shall remain in compliance with the requirements of the Riverside County Waste Management District letter dated March 20, 2009, a copy of which is on file with the Riverside County Planning Department.

10.PLANNING. 37 USE - SAND CAPTURE BUFFER RECOMMND

Per the recommendations of the United States Department of the Interior Fish and Wildlife Service, the applicant shall be responsible for construction of a blowsand (sand capture) buffer to be designed to the specifications of United States Department of the Interior Fish and Wildlife Service, spanning the entire length of the development frontage prior to issuance of grading permits for the off-site drainage channel adjacent to Avenue 38.

Said buffer shall be located between the CVWD channel access road on its south side and the Class I Bike Trail aligned with Ave 38, within the 21' foot (21') section that is, and shall remain the applicant's responsibility.

10.PLANNING. 38 USE - ALUC RECOMMND

1.Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.

2.The following uses shall be prohibited:

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10. GENERAL CONDITIONS

10.PLANNING. 38 USE - ALUC (cont.)

RECOMMND

(a)Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.

(b)Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.

(c)Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, artificial marshes, recycling centers containing putrescible wastes, and construction and demolition debris facilities.)

(d)Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation.

(e)School buildings (classrooms) within the portion of the property in Airport Compatability Zone D.

3.The attached "Notice of Airport in Vicinity" shall be provided to all potential tenants and purchasers.

4.The maximum capacity of any set of bleachers, seating, or other assembly/congregation area within the portion of the property in Compatibility Zone D shall not exceed 300 persons, and the minimum distance between sets of bleachers shall not be less than 210 feet.

5.Structures, including light poles and light banks, shall not exceed a height of 49 feet above ground level, and the highest point of any structure shall not exceed an elevation of 169 feet above mean sea level without notice to, and review by, the Federal Aviation Administration pursuant to the Form 7460-1 process.

6.This determination is based on the site plan prepared by

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10. GENERAL CONDITIONS

10.PLANNING. 38 USE - ALUC (cont.) (cont.)

RECOMMND

Holt Architecture in March 2013. Any changes in the locations, coordinates, and heights of buildings, spectator seating areas, and light fixtures shall require subsequent review by ALUC staff.

7.Bio-swales and detention or retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around such swales or basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

TRANS DEPARTMENT

10.TRANS. 1 USE - STD INTRO 3(ORD 460/461)

RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with ordinance 460 and Riverside County Road Improvement standards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

10.TRANS. 2 USE - ASSESS/BENEFIT DIST 1

RECOMMND

Should this project lie within any assessment/benefit district, the project proponent shall, prior to issuance of a building permit, make application for and pay for their reapportionment of the assessments or pay the unit fees in the benefit district.

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10. GENERAL CONDITIONS

10.TRANS. 3 USE - ENCROACHMENT PERMIT RECOMMND

An encroachment permit must be obtained from the Transportation Department prior to the commencement of any work within the County road right-of-way.

10.TRANS. 4 USE - FLOOD HAZARD REPORT RECOMMND

This is a proposal to develop 76.7 acres into a multi-use private school with buildings, parking lots, playing fields and a stadium (APN 626-150-040). This project lies within the Thousand Palms area on the north east side of Varner Road and south of 38th Ave and west of Washington Street. The developer shall provide mitigation measures to contain 100 percent retention of the incremental increase of the post-development runoff from the 100 year storm shall be required as part of the drainage improvements for this project.

10.TRANS. 5 USE - FLOOD HAZARD REPORT 2 RECOMMND

This project is located in an area designated Zone AO, depth 3 foot on Federal Flood Insurance Rate Maps which are in effect at this time by the Federal Emergency Management Agency.

10.TRANS. 6 USE - FLOOD HAZARD REPORT 3 RECOMMND

The project proponent shall accept and properly dispose of all offsite drainage flowing onto or through the site. The project proponent will obtain approval from Riverside County Transportation Department regarding the offsite storm water diversion, channel design and related erosion control measures.

In the event the Transportation Department permits the use of streets for drainage purposes, the provisions of Article of Ordinance No. 460 will apply.

10.TRANS. 7 USE - FLOOD HAZARD REPORT 4 RECOMMND

This project lies within the area of the Whitewater River Basin Thousand Palms Flood Control Project, which will provide regional flood protection to a portion of the Thousand Palms area. The Coachella Valley Water District is currently in the design phase of this project. Upon completion of the design phase, developers and property owners within the area may be required to dedicate

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10. GENERAL CONDITIONS

10.TRANS. 7 USE - FLOOD HAZARD REPORT 4 (cont.) RECOMMND

right-of-way for regional flood control facilities and/or participate in the financing of a portion of these facilities. Until construction of this project is complete, the developer shall comply with Riverside County Ordinance No. 458.12.

To conform with County Ordinance 458.12, the project will mitigate existing off-site flows, which are computed to be 23,500 cfs per the above referenced CVWD project. The mitigation shall include elevating all buildings to 3-feet above the surrounded terrain to elevate flooding. Due to lack of flood protection the existing roads and proposed driveways will be impassable, so the school is to be closed and evacuated when a major event is forecasted and/or experienced, as out lined in the recommended Evacuation Plan provided by the project architect dated October 2013 and is included in the staff report.

10.TRANS. 8 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to memo dated November 6, 2013 from Alan French to Majeed Farshad.

10.TRANS. 9 USE - RETENTION BASIN MAINTEN RECOMMND

The owner of the project site shall be responsible for the maintenance of the on-site drainage facility (including the surface retention basins and the underground systems) viable maintenance mechanism acceptable to the County should be provided for retention basin and underground systems. The owner/developer shall obtain approval from Riverside County Transportation Department regarding the maintenance of the retention basin and underground systems, which shall include the language that the owner will maintain and clean the manholes/inlets minimum two times a year and also pump out the debris from the manholes/inlets two times a year. These maintenance wording shall be shown on the title sheet of improvement plans.

10.TRANS. 10 USE - TS/CONDITIONS RECOMMND

The Transportation Department has reviewed the traffic study submitted for the referenced project. The study has been prepared in accordance with County-approved guidelines. We generally concur with the findings relative

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10. GENERAL CONDITIONS

10.TRANS. 10

USE - TS/CONDITIONS (cont.)

RECOMMND

to traffic impacts.

The General Plan circulation policies require a minimum of Level of Service 'C', except that Level of Service 'D' may be allowed in community development areas at intersections of any combination of secondary highways, major highways, arterials, urban arterials, expressways or state highways and ramp intersections.

The study indicates that it is possible to achieve adequate levels of service for the following intersections based on the traffic study assumptions.

38th Avenue (NS) at:
Varner Road (EW)

Project West Access (NS) at:
38th Avenue (EW)

Project Central Access (NS) at:
38th Avenue (EW)

Project East Access (NS) at:
38th Avenue (EW)

Berkey Drive/I-10 Freeway Westbound On-Ramp (NS) at:
Varner Road (EW)

Washington Street (NS) at:
38th Avenue (EW)
Las Montanas Road/Del Webb Blvd. (EW)
Varner Road (EW)
I-10 Freeway Eastbound Ramps (EW)
Country Club Drive (EW)
Hovely Lane/Avenue 42 (EW)
Fred Waring Drive (EW)
Miles Avenue (EW)

I-10 Freeway Westbound Ramps (NS) at:
Varner Road (EW)

Adams Street (NS) at:
Varner Road (EW)

As such, the proposed project is consistent with this General Plan policy.

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10. GENERAL CONDITIONS

10.TRANS. 10 USE - TS/CONDITIONS (cont.) (cont.) RECOMMND

The associated conditions of approval incorporate mitigation measures identified in the traffic study, which are necessary to achieve or maintain the required level of service.

10.TRANS. 11 USE - SUBMIT FINAL WQMP-PRELIM RECOMMND

In compliance with the currently effective Municipal Stormwater Permit issued by the Colorado River Regional Water Quality Control Board [Order No. R7-2008-0001], and beginning June 15, 2009, all projects that 1) are located within the drainage boundary (watershed) of the Whitewater River; and 2) require discretionary approval by the County of Riverside required to comply with the Water Quality Management Plan (WQMP) for Urban Runoff. The WQMP addresses post-development water quality impacts from new development and significant redevelopment projects. The WQMP provides detailed guidelines and templates to assist the applicant in completing the necessary documentation and calculations. These documents are available on-line at: www.rcflood.org/npdes.

To comply with the WQMP, applicants must prepare and submit a "Project Specific" WQMP. At a minimum, the WQMP must: a) identify the post-project pollutants associated with the development proposal together with any adverse hydrologic impacts to receiving waters; b) identify site-specific mitigation measures or Best Management Practices (BMPs) for the identified impacts including site design, source control, treatment control, and hydromodification control post-development BMPs; and c) create a thorough operation and maintenance plan as well as identify a sustainable funding and maintenance mechanism for the aforementioned BMPs. A template for this report is included as 'Exhibit 1' in the WQMP.

The applicant has submitted a report that meets the criteria for a Preliminary Project Specific WQMP. However, the report will need to be revised to meet the requirements of a Final Project Specific WQMP. In order to meet the requirements of a Final Project Specific WQMP, it shall be prepared in substantial conformance to the Preliminary Project Specific WQMP. The applicant has determined that a Section 401 Water Quality certification was not required for the project.

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10. GENERAL CONDITIONS

10.TRANS. 12 USE -FINAL WQMP ONLY MAINTENAN RECOMMND

The BMP facilities proposed with this project will require maintenance by the owner. To ensure that the public is not unduly burdened with future costs, prior to final approval or recordation of this case, the Transportation Department will require an acceptable financial mechanism be implemented that provides for maintenance of the BMP facilities in perpetuity.

10.TRANS. 13 USE -BMP MAINTENANCE & INSPECT RECOMMND

This project proposes BMP facilities that will require maintenance by the owner.

The BMP maintenance plan shall contain provisions for all treatment control BMPs to be inspected, and if required, cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all structural BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the Transportation Department for review and approval prior to the issuance of occupancy permit.

10.TRANS. 15 USE-SITE DESIGN & SOURCE BMPS RECOMMND

Development of this project may adversely impact water quality. To mitigate for the potential water quality impacts, the applicant must incorporate site design Best Management Practices (BMPs) and source control BMPs, as applicable and feasible, into the project plans. Site design BMPs include minimizing urban runoff, minimizing impervious footprint, conserving natural areas, and minimizing directly connected impervious areas. Source control BMPs include but are not limited to education, activity restrictions and proper maintenance (non-structural) as well as proper landscape/irrigation design and the protection of slopes and channels (structural). Additional information can be found in Sections V.1 and V.2 of the WQMP template.

20. PRIOR TO A CERTAIN DATE

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20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP

RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

20.PLANNING. 2 USE - AMD PER CONDITIONS

RECOMMND

Within 30 days of approval by the Hearing Director ten (10) copies of an Amended Per Final Conditions site plan exhibit (approved EXHIBIT A) shall be submitted to and approved by the County Planning Department. A lock shall take effect at the end of the 30 days on the PLOT PLAN and on any implementing permits and shall not be removed unless and until the Amended Per Final Conditions site plan exhibit has been approved by the County Planning Department.

The Amended Per Final Conditions site plan exhibit shall conform to the conditions of approval for Plot Plan No. 23977, and shall incorporate the following changes, including but not limited to: (1) conforming all references on the site plan exhibit (approved EXHIBIT A) to conform to the Assessor Parcel Nos. 626-150-037 and 626-150-038, and to distinguish which properties shown on the exhibit are off-site, and which are on-site parcels. (2) identify the location and dimensions of bike racks, accessible parking, trash enclosures, and any other improvements or structures required in the conditions of approval for Plot Plan No. 23977; (3) identify construction phasing, if applicable, and (4) detail any other non-substantial changes to the

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20. PRIOR TO A CERTAIN DATE

20.PLANNING. 2 USE - AMD PER CONDITIONS (cont.) RECOMMND

exhibit which are required in order to conform to the conditions of approval.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE - NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at www.swrcb.ca.gov.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

60.BS GRADE. 2 USE - GRADING SECURITY RECOMMND

Grading in excess of 199 cubic yards will require a performance security to be posted with the Building and Safety Department.

60.BS GRADE. 3 USE - IMPORT / EXPORT RECOMMND

In instances where a grading plan involves import or export, prior to obtaining a grading permit, the applicant shall have obtained approval for the import/export location from the Building and Safety Department.

A separate stockpile permit is required for the import site. It shall be authorized in conjunction with an approved construction project and shall comply with the

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 3 USE - IMPORT / EXPORT (cont.) RECOMMND

requirements of Ordinance 457.

If an Environmental Assessment, prior to issuing a grading permit, did not previously approve either location, a Grading Environmental Assessment shall be submitted to the Planning Director for review and comment and to the Building and Safety Department Director for approval.

Additionally, if the movement of import / export occurs using county roads, review and approval of the haul routes by the Transportation Department may be required.

60.BS GRADE. 4 USE - GEOTECH/SOILS RPTS RECOMMND

Geotechnical soils reports, required in order to obtain a grading permit, shall be submitted to the Building and Safety Department for review and approval prior to issuance of a grading permit. All grading shall be in conformance with the recommendations of the geotechnical/soils reports as approved by Riverside County.* *The geotechnical/soils, compaction and inspection reports will be reviewed in accordance with the RIVERSIDE COUNTY GEOTECHNICAL GUIDELINES FOR REVIEW OF GEOTECHNICAL AND GEOLOGIC REPORTS.

60.BS GRADE. 6 USE - DRAINAGE DESIGN Q100 RECOMMND

All drainage facilities shall be designed in accordance with the Riverside County Flood Control & Water District's or Coachella Valley Water District's conditions of approval regarding this application. If not specifically addressed in their conditions, drainage shall be designed to accommodate 100 year storm flows.

60.BS GRADE. 7 USE - OFFSITE GRDG ONUS RECOMMND

Prior to the issuance of a grading permit, it shall be the sole responsibility of the owner/applicant to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed.

60.BS GRADE. 8 USE - NOTARIZED OFFSITE LTR RECOMMND

A notarized letter of permission from the affected property owners or easement holders shall be provided in instances where off site grading is proposed as part of the grading plan.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 11 USE - APPROVED WQMP RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall submit to the Building & Safety Department Engineering Division evidence that the project - specific Water Quality Management Plan (WQMP) has been approved by the Riverside County Flood Control District or Riverside County Transportation Department and that all approved water quality treatment control BMPs have been included on the grading plan.

60.BS GRADE. 12 USE - PRE-CONSTRUCTION MTG RECOMMND

Upon receiving grading plan approval and prior to the issuance of a grading permit, the applicant is required to schedule a pre-construction meeting with the Building and Safety Department Environmental Compliance Division.

60.BS GRADE. 13 USE- BMP CONST NPDES PERMIT RECOMMND

Prior to the issuance of a grading permit, the owner / applicant shall obtain a BMP (Best Management Practices) Permit for the monitoring of the erosion and sediment control BMPs for the site. The Department of Building and Safety will conduct NPDES (National Pollutant Discharge Elimination System) inspections of the site based on Risk Level to verify compliance with the Construction General Permit, Stormwater ordinances and regulations until completion of the construction activities, permanent stabilization of the site and permit final.

60.BS GRADE. 14 USE - SWPPP REVIEW RECOMMND

Grading and construction sites of "ONE" acre or larger required to develop a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) - the owner/applicant shall submit the SWPPP to the Building and Safety Department Environmental Compliance Division for review and approval prior to issuance of a grading permit.

60.BS GRADE. 15 USE -PM10 PLAN REQUIRED RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit.

1.NOTE: The PM 10 plan shall require the posting of signs

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 15 USE -PM10 PLAN REQUIRED (cont.) RECOMMND

in accordance with Building and Safety form "Signage Recommendations".

2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

60.BS GRADE. 16 USE-TRANS& CVWD REVIEW REQ'D RECOMMND

The applicant or developer shall submit copies of the grading plan and hydrologic calculations to the Riverside County Transportation Department (RCTD) and the Coachella Valley Water District (CVWD) for their review and approval. Additional flood plain management fees may be required by CVWD. Prior to the issuance of a grading permit, the applicant or developer shall provide, to the Department of Building and Safety Grading Division, a letter from RCTD and CVWD indicating their approval of the plans or a waiver of the review.

60.BS GRADE. 17 USE- PM 10 CLASS REQUIRED RECOMMND

Prior to the issuance of a grading permit, as a requirement of the CIP, the owner, developer, contractor, and their assignees must attend the PM10 class conducted by SCAQMD. Currently, classes are scheduled monthly by SCAQMD.

E HEALTH DEPARTMENT

60.E HEALTH. 1 ENV SITE ASSESSMENT PHASE 1 RECOMMND

A Phase 1 Environmental Site Assessment performed in accordance to ASTM Practice E1527.05 for the purpose of identifying recognized environmental conditions shall be submitted to the Riverside County Department of Environmental Health-Environmental Cleanup Program for review. Clearance by RCDEH-ECP shall be granted prior to grading.

60.E HEALTH. 2 REMOVAL/ABANDON EXISTING WELLS RECOMMND

Per Desert Christian Academy (DCA), the project site has two (2) existing wells onsite which are non-functional in their current state and will not be utilized in any form for the future DCA campus. Therefore, PRIOR TO THE ISSUANCE OF A GRADING PERMIT, DCA shall properly remove/abandon these two existing wells under permit with the Department of Environmental Health.

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60. PRIOR TO GRADING PRMT ISSUANCE

EPD DEPARTMENT

60.EPD. 1 EPD - PRECON BUR OWL SURVEY RECOMMND

WITHIN 30 DAYS PRIOR TO GRADING ONSITE A PRECONSTRUCTION SURVEY FOR BURROWING OWL SHALL BE CONDUCTED BY A QUALIFIED BIOLOGIST HOLDING AN MOU WITH RIVERSIDE COUNTY. THE FINDINGS SHALL BE SUBMITTED TO EPD FOR REVIEW.

PARKS DEPARTMENT

60.PARKS. 1 USE - REGIONAL TRAIL RECOMMND

Prior to or in conjunction with the issuance of grading permits, the applicant must have submitted its trail plans and received approval for a 10' Regional Trail within the right-of-way of Avenue 38 along the north side of the street. The trails plan shall show the trail with all topography, grading, ADA compliance, fencing, cross sections, signage, pavement markings, street crossings signage, bollards (if applicable) and landscaping and irrigation.

As the trail is within the right-of-way of Avenue 38, the applicant will coordinate the timing, design, approvals, and permitting of the Regional Trail with the Transportation Department.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - TRAIL PLAN RECOMMND

Prior to the issuance of any grading permits, the applicant shall submit a trails plan to the Riverside County Regional Park and Open-Space District for review and approval. This trails plan shall show the Class I Bikeway to the north of Avenue 38 with all topography, cross-sections, grading, fencing, signage, street crossings, and all landscaping. If you have questions contact Dan Nove at (951) 955-6998.

60.PLANNING. 2 USE - PM10 MITIGATION PLAN RECOMMND

Notwithstanding any provision of Riverside County Ordinance No. 742 (Control of Fugitive Dust & PM10) to the contrary, this project shall comply with the requirements of Ordinance No. 742, including, but not necessarily limited to, the submission of a PM10 Mitigation Plan containing all reasonably available fugitive dust control measures, and,

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 2 USE - PM10 MITIGATION PLAN (cont.)

RECOMMND

thereafter, the permit holder shall comply with all provisions of the approved PM10 Mitigation Plan during grading, earth movement operations and construction of the project as determined by the Director of the Department of Building and Safety.

The permit holder shall submit a copy of the approved PM10 Mitigation Plan to the Planning Department and the submitted copy shall include a cover letter containing a written certification from a state licensed professional that the control measures of the plan are included in the grading and building plans submitted to the Department of Building and Safety pursuant to obtaining a grading permit.

60.PLANNING. 3 USE - CULTURAL RESOURCE PROFE

RECOMMND

Pursuant to a site visit by the County Archaeologist on February 27, 2009, and results of a Phase I Cultural Resources study conducted by CRM TECH, dated January 2009, it was determined that archaeological monitoring shall be required below the zone of agricultural disturbance and recent aeolian sand deposits to begin at three (3) feet below current ground level and for any intact sand dune structures. Any prehistoric cultural deposits would be under the aeolian deposits and under the plow zone and under the modern trash deposits. There are no historic period structures, buildings, or objects present on the parcel, but there are anchoring sand deposits. Archaeological monitoring would continue until in the professional judgement of the project archaeologist the potential for buried cultural resources has been exhausted. There are a number of documented prehistoric sites in the general vicinity and topographic elevation with similar sand dune structures that suggest there is a high sensitivity for prehistoric subsurface cultural deposits to be present within the proposed project boundaries. These potential subsurface cultural deposits may be associated with ancient Lake Cahuilla prehistoric occupation. Therefore, archaeological monitoring shall be required for this project. Prior to the issuance of grading permits, the developer/permit holder shall retain and enter into a monitoring and mitigation service contract with a qualified Archaeologist for services. This professional shall be known as the "Project Monitor." The Project Monitor shall be included in the pre-grade meetings to provide cultural/historical sensitivity training including the

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 3 USE - CULTURAL RESOURCE PROFE (cont.)

RECOMMND

establishment of set guidelines for ground disturbance in sensitive areas with the grading contractors and special interest monitors. The Project Monitor shall manage and oversee monitoring for all initial ground disturbing activities and excavation of each portion of the project site including clearing, grubbing, tree removals, grading, trenching, stockpiling of materials, rock crushing, structure demolition and etc. The Project Monitor shall have the authority to temporarily divert, redirect or halt the ground disturbance activities to allow identification, evaluation, and potential recovery of cultural resources in coordination with the special interest monitors.

The developer/permit holder shall submit a fully executed copy of the contract to the Riverside County Planning Department to ensure compliance with this condition of approval. Upon verification, the Planning Department shall clear this condition.

NOTE: 1)The Project Monitor is responsible for implementing mitigation using standard professional practices for cultural resources. The Professional shall consult with the County, developer/permit holder and special interest group monitor throughout the process.

2)This agreement shall not modify any condition of approval or mitigation measure.

60.PLANNING. 4 USE - SAND CAPTURE BUFFER

RECOMMND

Per the recommendations of the United States Department of the Interior Fish and Wildlife Service, the applicant shall be responsible for construction of a blowsand (sand capture) buffer to be designed to the specifications of United States Department of the Interior Fish and Wildlife Service, spanning the entire length of the developmet frontage prior to issuance of grading permits for the off-site drainage channel adjacent to Avenue 38.

Said buffer shall be located between the Coachella Valley Water District (CVWD) channel access road on its south side and the Class I bike trail aligned with Avenue 38, within the twenty-one (21') foot section that is, and shall remain, the applicant's responsibility.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 9 USE - CVWD CLEARANCE

RECOMMND

A clearance letter from the Coachella Valley Water District shall be provided to the Riverside County Planning Department verifying compliance with the conditions stated in their letter dated July 1, 2009.

60.PLANNING. 10 USE - FEE STATUS

RECOMMND

Prior to the issuance of grading permits for Plot Plan No. 23977 (and Plot Plan No. 23977R1), the Planning Department shall determine the status of the deposit based fees. If the fees are in a negative status, the permit holder shall pay the outstanding balance.

TRANS DEPARTMENT

60.TRANS. 1 USE - TRANSPORTATION CLEARANCE

RECOMMND

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

60.TRANS. 2 USE-STORM DRAIN CHANNEL/BRIDGE

RECOMMND

The proposed storm drain channel alignment, and bridge at Washington Street, design, and construction shall be coordinated with the Coachella Valley Water District, the U.S. Army Corps of Engineers, and the Transportation Department.

The design and construction of the above mentioned condition shall be consistant with MOU Agreement Contract #13-12-003.

60.TRANS. 3 USE - SUBMIT PLANS 2

RECOMMND

Per letter dated August 14, 2013, the project proponent shall submit plans for grading, landscaping, and irrigation systems to Coachella Valley Water District for review and approval. This review is for ensuring efficient water management.

60.TRANS. 4 USE - RETENTION BASIN

RECOMMND

For retention basin sizing and calculations refer to memo dated November 6, 2013 from Alan French to Majeed Farshad.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 5 USE - DRAINAGE SUBMIT PLANS RECOMMND

The project proponent shall comply with Riverside County Ordinance 458.12 as amended in the preparation of on-site flood protection. The project proponent shall submit plans for grading, landscaping, and irrigation systems, any other necessary documentation along with supporting hydrologic and hydraulic calculations to Riverside County Transportation for review and approval. The developer shall pay all fees as required by Riverside County Transportation Department.

60.TRANS. 6 USE - EASEMENT FOR DRAINAGE RECOMMND

The project proponent will prepare and record easements for drainage purposed by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

60.TRANS. 7 USE - SUBMIT FINAL WQMP RECOMMND

The applicant has submitted a report that meets the criteria for a Preliminary Project Specific WQMP. However, the report will need to be revised to meet the requirements of a Final Project Specific WQMP. A copy of the final project specific WQMP shall be submitted to the Transportation Department for review and approval.

60.TRANS. 8 USE - SUBMIT PLANS RECOMMND

A copy of the project specific WQMP, improvement plans, grading plans, final map, Environmental Constraint Sheet, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the Transportation Department for review and approval. The plans must receive Transportation Department approval prior to the issuance of grading permits. All submittals shall be date stamped by the engineer and include a completed Transportation Deposit Based Fee Worksheet and the appropriate plan check deposit.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.TRANS. 9 USE -SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the Transportation Department review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the project specific WQMP /BMP improvement plans along with any necessary documentation shall be submitted to the Transportation Departments Plan Check Section for review and approval. A copy of the improvement and grading plans shall be included for reference. The plans must receive the Transportation Department's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Transportation Deposit Based Fee Worksheet and the appropriate plan check deposit.

60.TRANS. 10 USE - EASEMENT FOR BMPS RECOMMND

The project proponent will prepare and record easements for BMP facilities purposed by separate instrument to the benefit of public, for areas where BMP drainage facilities and other BMP drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey runoff. All BMP easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

70. PRIOR TO GRADING FINAL INSPECT

TRANS DEPARTMENT

70.TRANS. 1 USE - TRANSPORTATION CLEARANCE RECOMMND

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

70.TRANS. 2 USE - EROSION CONTROL RECOMMND

Temporary erosion control measures shall be implemented immediately following site grading to prevent depositions of debris onto downstream properties, public right-of-way, or drainage facilities. Plans showing these measures shall be submitted to Riverside County Transportation Department for review prior to the start of any site grading.

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80. PRIOR TO BLDG PRMT ISSUANCE

BS GRADE DEPARTMENT

80.BS GRADE. 1 USE - NO B/PMT W/O G/PMT RECOMMND

Prior to the issuance of any building permit, the property owner shall obtain a grading permit and/or approval to construct from the Building and Safety Department.

80.BS GRADE. 2 USE - ROUGH GRADE APPROVAL RECOMMND

Prior to the issuance of any building permit, the applicant shall obtain rough grade approval and/or approval to construct from the Building and Safety Department. The Building and Safety Department must approve the completed grading of your project before a building permit can be issued. Rough Grade approval can be accomplished by complying with the following:

1.Submitting a "Wet Signed" copy of the Soils Compaction Report containing substantiating data from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for his/her certification of the project.

2.Submitting a "Wet Signed" copy of the Rough Grade certification from a Registered Civil Engineer certifying that the grading was completed in conformance with the approved grading plan.

3.Requesting a Rough Grade Inspection and obtaining rough grade approval from a Riverside County inspector.

4.Rough Grade Only Permits: In addition to obtaining all required inspections and approval of all final reports, all sites permitted for rough grade only shall provide 100 percent vegetative coverage to stabilize the site prior to receiving a rough grade permit final.

Prior to release for building permit, the applicant shall have met all rough grade requirements to obtain Building and Safety Department clearance.

BS PLNCK DEPARTMENT

80.BS PLNCK. 1 USE* - BUILD & SAFETY PLNCK RECOMMND

The applicant shall obtain all required building permit(s) from the building department for all buildings,

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80. PRIOR TO BLDG PRMT ISSUANCE

80.BS PLNCK. 1 USE* - BUILD & SAFETY PLNCK (cont.) RECOMMND

structures, equipment, utilities and any other items required for permit per the applicable adopted California Building Code(s) prior to any construction on the property.

All building plans and supporting documents shall comply with the current adopted California Building Codes, Riverside County Ordinances, and California Title 25 regulations in effect at the time of the building plan submittal and fee payment for the specific application type to the building department. This shall include all mandatory California Green Building Code measures and California and federal accessibility requirements.

Where any measures or standards conflict with one another, the restrictive shall apply.

All building department plan submittal and fee requirements shall apply.

FIRE DEPARTMENT

80.FIRE. 1 USE-#17A-BLDG PLAN CHECK \$ RECOMMND

Building Plan check deposit base fee of \$1,056.00, shall be paid in a check or money order to the Riverside County Fire Department after plans have been approved by our office.

80.FIRE. 2 USE-#4-WATER PLANS RECOMMND

The applicant or developer shall separately submit two copies of the water system plans to the Fire Department for review and approval. Calculated velocities shall not exceed 10 feet per second. Plans shall conform to the fire hydrant types, location and spacing, and the system shall meet the fire flow requirements.

Plans shall be signed and approved by a registered civil engineer and the local water company with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County Fire Department."

PARKS DEPARTMENT

80.PARKS. 1 USE - REGIONAL TRAIL RECOMMND

Prior to or in conjunction with the issuance of building permits, the applicant shall begin construction of the Regional Trail as shown on the approved trail plan. As the trail is within the right-of-way of Avenue 38, the

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PARKS. 1 USE - REGIONAL TRAIL (cont.) RECOMMND

applicant will coordinate construction of the Regional Trail with the Transportation Department.

PLANNING DEPARTMENT

80.PLANNING. 1 USE - LC LANDSCAPE PLOT PLAN RECOMMND

Prior to issuance of building permits, the developer/permit holder shall file a Landscaping Minor Plot Plan Application to the Riverside County Planning Department for review and approval along with the current fee. The landscaping plans shall be in conformance with the APPROVED EXHIBITS; in compliance with Ordinance No. 348, Section 18.12; Ordinance No. 859; and, be prepared consistent with the County of Riverside Guide to California Friendly Landscaping.

At minimum, plans shall include the following components:

- 1)Landscape and irrigation working drawings "stamped" by a California certified landscape architect;
- 2)Weather based controllers and necessary components to eliminate water waste;
- 3)A copy of the "stamped" approved grading plans; and,
- 4)Emphasis on native and drought tolerant species.

When applicable, plans shall include the following components:

- 1)Identification of all common/open space areas;
- 2)Natural open space areas and those regulated/conserved by the prevailing MSHCP;
- 3)Shading plans for projects that include parking lots/areas;
- 4)The use of canopy trees (24" box or greater) within the parking areas;
- 5)Landscaping plans for slopes exceeding 3 feet in height;
- 6)Landscaping and irrigation plans associated with entry monuments. All monument locations and dimensions shall be provided on the plan; and/or,

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80.PLANNING. 1 USE - LC LANDSCAPE PLOT PLAN (cont.)

RECOMMND

7)If this is a phased development, then a copy of the approved phasing plan shall be submitted for reference.

NOTE:

1)Landscaping plans for areas within the road right-of-way shall be submitted for review and approval by the Transportation Department only. The Planning Department shall not approve landscape plans within the Road Right-of-Way.

)When the Landscaping Plot Plan is located within a special district such as Valley-Wide Recreation and Park District, Jurupa Community Services District, Coachella Valley Water District, a County Service Area (CSA) or other maintenance district, the developer/permit holder shall submit plans for review to the appropriate special district for simultaneous review. The permit holder shall show evidence to the Planning Department that the subject District has approved said plans.

As part of the plan check review process and request for condition clearance, the developer/permit holder shall show proof of the approved landscaping plot plan by providing the Plot Plan number. The planning department shall verify the landscape route is approved and the Plot Plan is in TENTAPPR status. Upon verification of compliance with this condition and the APPROVED EXHIBITS, the Planning Department shall clear this condition.

80.PLANNING. 2 USE - LC LANDSCAPE SECURITIES

RECOMMND

Prior to the issuance of building permits, the developer/permit holder shall submit an estimate to replace plantings, irrigation systems, ornamental landscape elements, walls and/or fences, in amounts to be approved by the Riverside County Planning Department, Landscape Division. Once the Planning Department has approved the estimate, the developer/permit holder shall submit the estimate to the Riverside County Department of Building and Safety who will then provide the developer/permit holder with the requisite forms. The required forms shall be completed and submitted to Building and Safety for processing and review in conjunction with County Counsel. Upon determination of compliance, the Department of Building and Safety shall clear this condition.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 2 USE - LC LANDSCAPE SECURITIES (cont.) RECOMMND

NOTE:

A cash security shall be required when the estimated cost is \$2,500.00 or less. It is highly encouraged to allow adequate time to ensure that securities are in place. The performance security shall be released following a successful completion of the One Year Post-Establishment Inspection, and the inspection report confirms that the planting and irrigation components are thriving and in good working order consistent with the approved landscaping plans.

80.PLANNING. 3 USE - LANDSCAPE MINOR PLOT PLA RECOMMND

Any changes to the conceptual drawings will require for the minor plot plan ladscape to be approved for the changes made.

80.PLANNING. 7 USE - LIGHTING PLANS R1 RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

ADDED AS PART OF PP23977R1

80.PLANNING. 8 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT B.

80.PLANNING. 9 USE - CONFORM TO FLOOR PLANS RECOMMND

Floor plans shall be in substantial conformance with that shown on APPROVED EXHIBIT C.

80.PLANNING. 10 USE - ROOF EQUIP. SHIELD R1 RECOMMND

Roof mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

ADDED AS PART OF PP23977R1

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 14 USE - FENCING PLAN REQUIRED R1 RECOMMND

A fencing plan shall be submitted showing all wall and fence locations and typical views of all types of fences or walls proposed. This plan shall require anti-graffiti coatings on fences and walls, where applicable.

ADDED AS PART OF PP23977R1

80.PLANNING. 18 USE - PLANS SHOW BIKE RACK R1 RECOMMND

Bike rack spaces or bike lockers shall be shown on the project's parking and landscaping plan submitted to the Planning Department for approval.

ADDED AS PART OF PP23977R1

80.PLANNING. 24 USE - AGENCY CLEARANCE RECOMMND

A clearance letter from Riverside County Waste Management District shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated March 20, 2009, summarized as follows: The developer shall provide adequate areas for collecting and loading recyclable materials such as paper products, glass and green waste in commercial, industrial, public facilities and residential development projects.

A clearance letter from Riverside County Airport Land Use Commission (ALUC) shall be provided to the Riverside County Planning Department verifying compliance with the conditions contained in their letter dated May 1, 2009.

80.PLANNING. 26 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Desert Sands Unified School District School District shall be mitigated in accordance with California State law.

80.PLANNING. 27 USE - FEE STATUS RECOMMND

Prior to issuance of building permits for Plot Plan No. 23977 (and Plot Plan No. 23977R1), the Planning Department shall determine the status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

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TRANS DEPARTMENT

80.TRANS. 1 USE - TUMF RECOMMND

Prior to the issuance of a building permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

80.TRANS. 2 USE - R-O-W DEDICATION RECOMMND

Sufficient public street right-of-way shall be provided along 38th Avenue to establish a 118-foot full-width right-of-way including standard corner cutback.

Sufficient public street right-of-way shall be provided along Washington Street to establish a 76-foot half-width right-of-way that transitions into a 64-foot half-width right-of-way.

80.TRANS. 3 USE - MAP CORNER CUT-BACK I RECOMMND

All corner cutbacks shall be applied per Standard 805, Ordinance 461, except for corners at Entry streets intersecting with General Plan roads, they shall be applied per Exhibit ' C' of the Countywide Design Guidelines.

80.TRANS. 4 USE - ANNEX L&LMD/OTHER DIST RECOMMND

Prior to the issuance of a building permit, the project proponent shall comply with County requirements within public road rights-of-way, in accordance with Ordinance 461. Assurance of maintenance is required by filing an application for annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated by contacting the Transportation Department at (951)955-6767, and/or any other maintenance district approved by the Transportation Department or by processing and filing a 'Landscape Maintenance Agreement' through the Transportation Department Plan Check Division. Said annexation should include the following:

- (1) Landscaping on 38th Avenue.
- (2) Streetlights on 38th Avenue and 38th Avenue at Washington Street.
- (4) Traffic signals located on Washington Street and 38th

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80.TRANS. 4 USE - ANNEX L&LMD/OTHER DIST (cont.) RECOMMND

Avenue. Also 38th Avenue at entrance point.

- (5) Street sweeping along 38th Avenue and Washington Street.

For street lighting, the project proponent shall contact the Transportation Department L&LMD 89-1-C Administrator and submit the following:

- (1) Completed Transportation Department application.
- (2) Appropriate fees for annexation.
- (3) (2) sets of street lighting plans approved by Transportation Department.
- (4) "Streetlight Authorization" form from SCE, IID or other electric provider.

80.TRANS. 5 USE - LIGHTING PLAN RECOMMND

A separate street light plan is required for this project. The design and installation of street lights shall meet the Dark Sky criteria. The application of Dark Sky criteria is in support of the Coachella Valley Dark Sky Ordinances. Street lights shall be installed at street intersections and at the ends of cul-de-sacs, as approved by the Transportation Department. There shall be no change in the design and location of street lights relative to the general circulation elements adjacent to the project in question. For projects within SCE boundaries use County of Riverside Ordinance 461, Standard No. 1000 or No. 1001. For projects within Imperial Irrigation District (IID) use IID's pole standard.

80.TRANS. 6 USE - LANDSCAPING RECOMMND

Landscaping within public road right-of-way shall comply with Transportation Department standards, Ordinance 461, Comprehensive Landscaping Guidelines & Standards, and Ordinance 859 and shall require approval by the Transportation Department.

Landscaping plans shall be designed within 38th Avenue and submitted to the Transportation Department. The landscape

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80.TRANS. 6 USE - LANDSCAPING (cont.) RECOMMND

design shall incorporate a desert theme, including the extensive use of native desert and drought tolerant plant species. Irrigation systems shall incorporate the use of drip irrigation to the maximum extent feasible. The use of non-organic landscape elements such as rocks, decorative paving, sand, and gravel is encouraged. The use of grass, sod or other water intense ground cover plant materials will not be permitted.

Landscaping plans shall be submitted on standard County plan sheet format (24" x 36"). Landscaping plans shall be submitted with the street improvement plans.

80.TRANS. 7 USE - EMERGENCY ACCESS RECOMMND

Provide evidence of legal access (Emergency Access) using APN 626-420-063 (old CVWD well-site see contract #13-12-003) and existing roads within Parcel Map No. 29715 Lot 15.

80.TRANS. 8 USE-STORM DRAIN CHANNEL/BRIDGE RECOMMND

The proposed storm drain channel alignment, and bridge at Washington Street, design, and construction shall be coordinated with the Coachella Valley Water District, the U.S. Army Corps of Engineers, and the Transportation Department.

The design and construction of the above mentioned condition shall be consistant with MOU Agreement Contract #13-12-003.

80.TRANS. 9 USE - RETENTION BASIN RECOMMND

For retention basin sizing and calculations refer to memo dated November 6, 2013 from Alan French to Majeed Farshad.

80.TRANS. 10 USE - DRAIN EASEMENT RECOMMND

The project proponent will prepare and record easements for drainage purposes by separate instrument to the benefit of public, for areas where drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no

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80.TRANS. 10 USE - DRAIN EASEMENT (cont.) RECOMMND

building, obstructions, or encroachments are allowed."

80.TRANS. 13 USE - "A" STREET EASEMENT RECOMMND

An easement in favor of County shall be recorded for installing all traffic signal loops/pull boxes and conduits to make signal operate at the intersection of "A" Street and 38th Avenue.

80.TRANS. 14 USE - RECIPROCAL ACCESS AGREEM RECOMMND

A reciprocal access agreement shall be executed and recorded involving Christian School of the Desert project's boundary and future owners of Parcel "D" to provide secondary access through "A" Street as approved by the Transportation Department.

80.TRANS. 15 PH2 TS/DESIGN WITHOUT CVWD RECOMMND

Under Phase 1, the project proposes to construct a preschool, elementary school, high school, administration building, recreation center, gymnasium, and maintenance building.

Under Phase 2, the project proposes to construct a second elementary school, expanded preschool, and cafeteria.

The project proponent shall be responsible for the design of traffic signal(s) at the intersections of:

Signals not eligible for fee credit:

Project Central Access (NS) at 38th Avenue (EW)

NOTE: Design of the traffic signal shall be submitted prior to issuance of any building permit for Phase 2. The geometrics will depend on the construction status of the CVWD drainage channel.

Signals eligible for fee credit if installed in the ultimate location:

Washington Street (NS) at 38th Avenue (EW)

NOTE: Design of the traffic signal shall be submitted prior to issuance of any building permit for Phase 2. The geometrics will depend on the construction status of the CVWD drainage channel. If a construction contract has been let by CVWD for this signal, this improvement can be considered met.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 15 PH2 TS/DESIGN WITHOUT CVWD (cont.)

RECOMMND

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal mitigation fee credit or reimbursement prior to start of construction of the signal. All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement.

80.TRANS. 16 PH2 TS/DESIGN WITH CVWD

RECOMMND

Under Phase 1, the project proposes to construct a preschool, elementary school, high school, administration building, recreation center, gymnasium, and maintenance building.

Under Phase 2, the project proposes to construct a second elementary school, expanded preschool, and cafeteria.

The project proponent shall be responsible for the design of traffic signal(s) at the intersections of:

Signals not eligible for fee credit:

Project Central Access (NS) at 38th Avenue (EW)

NOTE: Design of the traffic signal shall be submitted prior to issuance of any building permit for Phase 2. The geometrics will depend on the construction status of the CVWD drainage channel.

The project proponent shall coordinate with CVWD to have the design of traffic signal(s) completed for the intersections of:

Signals eligible for fee credit if installed in the ultimate location:

Washington Street (NS) at 38th Avenue (EW)

NOTE: Design of the traffic signal shall be submitted prior to issuance of any building permit for Phase 2. The geometrics will depend on the construction status of the CVWD drainage channel. If a construction contract has been let by CVWD for this signal, this improvement can be considered met.

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80.TRANS. 16 PH2 TS/DESIGN WITH CVWD (cont.) RECOMMND

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal mitigation fee credit or reimbursement prior to start of construction of the signal. All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement.

80.TRANS. 17 PH1 GEOM WITHOUT CVWD CHANNEL RECOMMND

This condition may be deferred to Prior to Final Building Inspection.

Under Phase 1, the project proposes to construct a preschool, elementary school, high school, administration building, recreation center, gymnasium, and maintenance building.

The intersection of Project West Access (NS) at 38th Avenue (EW) shall be improved to provide the following geometrics:

Northbound: one shared left-turn/right-turn lane - stop controlled
Southbound: N/A
Eastbound: one shared through/right-turn lane
Westbound: one left-turn lane, one through lane

The intersection of Project Central Access (NS) at 38th Avenue (EW) shall be improved to provide the following geometrics:

Northbound: one left-turn, one right-turn lane - stop controlled
Southbound: N/A
Eastbound: one shared through/right-turn lane
Westbound: one left-turn lane, one through lane

or as approved by the Transportation Department.

All improvements listed are requirements for interim conditions only. Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway

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80.TRANS. 17 PH1 GEOM WITHOUT CVWD CHANNEL (cont.) RECOMMND

cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 18 PH2 GEOM WITHOUT CVWD CHANNEL RECOMMND

This condition may be deferred to Prior to Final Building Inspection.

Under Phase 2, the project proposes to construct a second elementary school, expanded preschool, and cafeteria.

The intersection of Project Central Access (NS) at 38th Avenue (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one left-turn, one right-turn lane
Southbound: N/A
Eastbound: one shared through/right-turn lane
Westbound: one left-turn lane, one through lane

or as approved by the Transportation Department.

All improvements listed are requirements for interim conditions only. Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 19 PH3 GEOM WITHOUT CVWD CHANNEL RECOMMND

This condition may be deferred to Prior to Final Building Inspection.

Under Phase 3, the project proposes to construct a middle school.

The intersection of Washington Street (NS) at Avenue 38 (EW) shall be signalized and improved to provide the following geometrics:

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 19 PH3 GEOM WITHOUT CVWD CHANNEL (cont.) RECOMMND

Northbound: one left-turn, two through lanes
Southbound: two through lanes
Eastbound: one left-turn lane, one right-turn lane
Westbound: N/A

or as approved by the Transportation Department.

All improvements listed are requirements for interim conditions only. Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 20 PH1 GEOM WITH CVWD CHANNEL RECOMMND

Under Phase 1, the project proposes to construct a preschool, elementary school, high school, administration building, recreation center, gymnasium, and maintenance building.

The intersection of Washington Street (NS) at Avenue 38 (EW) shall be improved to provide the following geometrics:

Northbound: one left-turn, two through lanes
Southbound: two through lanes, one right-turn lane
Eastbound: one left-turn lane, two through lanes (hatched out), one right-turn lane
Westbound: N/A

NOTE: The southbound right-turn lane shall be coordinated with the CVWD drainage channel improvement to ensure it designed and constructed. The eastbound through lanes will form a hatched out area not for travel. If a construction contract has been let by CVWD for this signal, this improvement can be considered met.

The intersection of Project West Access (NS) at Avenue 38 (EW) shall be improved to provide the following geometrics:

Northbound: one left-turn lane, one right-turn lane - stop controlled
Southbound: N/A
Eastbound: one through lane, one shared through/right-turn lane

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80.TRANS. 20

PH1 GEOM WITH CVWD CHANNEL (cont.)

RECOMMND

Westbound: one left-turn lane, two through lanes

The intersection of Project Central Access (NS) at Avenue 38 (EW) shall be improved to provide the following geometrics:

Northbound: one left-turn lane, one right-turn lane - stop controlled

Southbound: N/A

Eastbound: one through lane, one shared through/right-turn lane

Westbound: one left-turn lane, two through lanes

The intersection of Project East Access (NS) at Avenue 38 (EW) shall be improved to provide the following geometrics:

Northbound: one right-turn lane - stop controlled

Southbound: N/A

Eastbound: one through lane, one shared through/right-turn lane

Westbound: two through lanes

NOTE: This driveway shall be restricted to right-in/right-out access.

or as approved by the Transportation Department.

Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 21

PH2 GEOM WITH CVWD CHANNEL

RECOMMND

Under Phase 2, the project proposes to construct a second elementary school, expanded preschool, and cafeteria.

The intersection of Project Central Access (NS) at Avenue 38 (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one left-turn lane, one right-turn lane

Southbound: N/A

Eastbound: one through lane, one shared

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80.TRANS. 21 PH2 GEOM WITH CVWD CHANNEL (cont.)

RECOMMND

through/right-turn lane

Westbound: one left-turn lane, two through lanes

or as approved by the Transportation Department.

Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 22 PH3 GEOM WITH CVWD CHANNEL

RECOMMND

Under Phase 3, the project proposes to construct a middle school.

The intersection of Washington Street (NS) at Avenue 38 (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one left-turn, two through lanes

Southbound: two through lanes, one right-turn lane

Eastbound: one left-turn lane, two through lanes (hatched out), one right-turn lane

Westbound: N/A

NOTE: The southbound right-turn lane shall be coordinated with the CVWD drainage channel improvement to ensure it designed and constructed. The eastbound through lanes will form a hatched out area not for travel.

or as approved by the Transportation Department.

Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

80.TRANS. 23 USE - TS/FAIR SHARE - PHASE 1

RECOMMND

Under Phase 1, the project proposes to construct a preschool, elementary school, high school, administration

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 23 USE - TS/FAIR SHARE - PHASE 1 (cont.) RECOMMND

building, recreation center, gymnasium, and maintenance building.

According to the project traffic study (Kunzman & Associates, October 21, 2013) the intersection of I-10 Freeway Westbound Ramps (NS) at Varner Road (EW) is directly impacted by the project. Under existing conditions this intersection operates at acceptable levels of service. With the project traffic added under Phase 1 the, the study indicates the intersection will not operate acceptably. The study indicates an eastbound free right-turn lane is necessary to mitigate this impact. The project proponent shall pay its fair share to mitigate the direct project impact or pay its obligated CVAG TUMF fee (whichever is lesser of the two).

or as approved by the Transportation Department.

80.TRANS. 24 USE - FINAL WQMP RECOMMND

A copy of the project specific WQMP shall be submitted to the Transportation Department for review and approval.

80.TRANS. 25 USE - SUBMIT PLANS RECOMMND

A copy of the project specific WQMP, improvement plans, grading plans, final map, Environmental Constraint Sheet, BMP improvement plans and any other necessary documentation along with supporting hydrologic and hydraulic calculations shall be submitted to the Transportation Department for review and approval. The plans must receive Transportation Department approval prior to the issuance of building permits. All submittals shall be date stamped by the engineer and include a completed Transportation Deposit Based Fee Worksheet and the appropriate plan check deposit.

80.TRANS. 26 USE -SUBMIT PLANS MINOR REVIEW RECOMMND

The scope of the Transportation Department review will be limited to verification that this proposal has met its obligation under the County's municipal stormwater permit. A copy of the project specific WQMP /BMP improvement plans along with any necessary documentation shall be submitted to the Transportation Departments Plan Check Section for review and approval. A copy of the improvement and grading plans shall be included for reference. The plans must

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 26 USE -SUBMIT PLANS MINOR REVIEW (cont.) RECOMMND

receive the Transportation Department's approval prior to issuance of permits. All submittals shall be date stamped by the engineer and include a completed Transportation Deposit Based Fee Worksheet and the appropriate plan check deposit.

90. PRIOR TO BLDG FINAL INSPECTION

B&S DEPARTMENT

90.B&S. 1 BP-FEMA FORM APPRVL REQUIRED RECOMMND

Prior to building permit final, a development in FEMA mapped flood zones "A" or "AO" shall provide a FEMA form, filled out, wet stamped and signed by a registered civil engineer or licensed land surveyor, to the Building and Safety Department Grading Division.

The Grading division will transmit the form to the proper flood control district for their review and approval.

Upon receipt of their approval, this condition will be classified as "MET" and the building permit will be eligible for final approval.

BS GRADE DEPARTMENT

90.BS GRADE. 1 USE - WQMP BMP INSPECTION RECOMMND

Prior to final building inspection, the applicant shall obtain inspection of all treatment control BMPs and/or clearance from the Building and Safety Department. All structural BMPs described in the project - specific WQMP and indicated on the approved grading plan shall be constructed and installed in conformance with the approved plans and specifications. The Building and Safety Department must inspect and approve the completed WQMP treatment control BMPs for your project before a building final can be obtained.

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D RECOMMND

Prior to final building inspection, the applicant/owner shall submit a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 2 USE - WQMP BMP CERT REQ'D (cont.) RECOMMND

Civil Engineer certifying that the project - specific WQMP treatment control BMPs have been installed in accordance with the approved WQMP.

90.BS GRADE. 3 USE - BMP GPS COORDINATES RECOMMND

Prior to final building inspection, the applicant/owner shall provide the Department of Building Safety with GPS coordinates for the location of the project - specific WQMP treatment control BMPs.

90.BS GRADE. 4 USE - BMP REGISTRATION RECOMMND

Prior to final building inspection, the applicant/owner shall register the project - specific WQMP treatment control BMPs with the Department of Building Safety Business Registration Division. Any person or entity that owns or operates a commercial and/or industrial facility shall register such facility for annual inspections.

90.BS GRADE. 5 USE - REQ'D GRADING INSP'S RECOMMND

The developer / applicant shall be responsible for obtaining the following inspections required by Ordinance 457.

1.Sub-grade inspection prior to base placement.

2.Base inspection prior to paving.

3.Precise grade inspection of entire permit area.

a.Inspection of Final Paving

b.Precise Grade Inspection

c.Inspection of completed onsite storm drain facilities

d.Inspection of the WQMP treatment control BMPs

90.BS GRADE. 6 USE - PRECISE GRDG APPROVAL RECOMMND

Prior to final building inspection, the applicant shall obtain precise grade approval and/or clearance from the Building and Safety Department. The Building and Safety Department must approve the precise grading of your project before a building final can be obtained. Precise Grade approval can be accomplished by complying with the following:

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90. PRIOR TO BLDG FINAL INSPECTION

90.BS GRADE. 6

USE - PRECISE GRDG APPROVAL (cont.)

RECOMMND

1.Requesting and obtaining approval of all required grading inspections.

2.Submitting a "Wet Signed" copy of the Soils Compaction Report from the Soils Engineer (registered geologist or certified geologist, civil engineer or geotechnical engineer as appropriate) for the sub-grade and base of all paved areas.

3.Submitting a "Wet Signed" copy of the Sub-grade (rough) Certification from a Registered Civil Engineer certifying that the sub-grade was completed in conformance with the approved grading plan.

4.Submitting a "Wet Signed" copy of the Precise (Final) Grade Certification for the entire site from a Registered Civil Engineer certifying that the precise grading was completed in conformance with the approved grading plan.

5.Submitting a "Wet Signed" copy of the Certification certifying the installation of any onsite storm drain systems not inspected by Riverside County Flood Control District or the Riverside County Transportation Department.

6.Submitting a "Wet Signed" copy of the Water Quality Management Plan (WQMP) Certification from a Registered Civil Engineer certifying that the Water Quality Management Plan treatment control BMPs have been installed in accordance with the approved WQMP.

Prior to release for building final, the applicant shall have met all precise grade requirements to obtain Building and Safety Department clearance.

90.BS GRADE. 7

USE - WQMP ANNUAL INSP FEE

RECOMMND

Prior to final building inspection, the applicant shall make payment to the Building and Safety Department for the Water Quality Management Plan (WQMP) Annual Inspection.

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90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1 USE-#45-FIRE LANES RECOMMND

The applicant shall prepare and submit to the Fire Department for approval, a site plan designating required fire lanes with appropriate lane painting and/or signs.

90.FIRE. 3 USE-#12A-SPRINKLER SYSTEM RECOMMND

Install a complete fire sprinkler system per NFPA 13,2010 edition in all buildings requiring a fire flow of 1500 GPM or greater. Sprinkler system(s) with pipe sizes in excess of 4" in diameter will require the project structural engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and fire department connection shall be located to the front, within 50 feet of a hydrant, and a minimum of 25 feet from the building(s). A statement that the building(s) will be automatically fire sprinkled must be included on the title page of the building plans.

Applicant or developer shall be responsible to install a U.L. Central Station Monitored Fire Alarm System. Monitoring system shall monitor the fire sprinkler system(s) water flow, P.I.V.'s and all control valves. Plans must be submitted to the Fire Department for approval prior to installation. Contact fire department for guideline handout

90.FIRE. 4 USE-#83-AUTO/MAN FIRE ALARM RECOMMND

Applicant or developer shall be responsible to install a manual and automatic Fire Alarm System. Plans must be submitted to the Fire Department for approval prior to installation.

90.FIRE. 5 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

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90. PRIOR TO BLDG FINAL INSPECTION

90.FIRE. 6 USE-#36-HOOD DUCTS RECOMMND

A U.L. 300 hood duct fire extinguishing system must be installed over the cooking equipment. Wet chemical extinguishing system must provide automatic shutdown of all electrical componets and outlets under the hood upon activation. System must be installed by a licensed C-16 contractor. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation.

NOTE: A dedicated alarm system is not required to be installed for the exclusive purpose of monitoring this suppression system. However, a new or pre-existing alarm system must be connected to the extinguishing system. (* separate fire alarm plans must be submitted for connection)

90.FIRE. 7 FINAL INSPECTION RECOMMND

Prior to occupancy a Fire Department inspection is required to verify all conditions stated at plan check are met.

Riverside office (951)955-4777
Indio Office (760)863-8886

PARKS DEPARTMENT

90.PARKS. 1 USE - REGIONAL TRAIL RECOMMND

Prior to or in conjunction with the building permit final inspection approval, the applicant shall complete construction of the Regional Trail with all requirements of the approved trails plan being met. As the trail is within the right-of-way of Avenue 38, the applicant will coordinate the final inspection of the Regional Trail with the Transportation Department.

PLANNING DEPARTMENT

90.PLANNING. 1 USE - LC LNDSCP INSPECT DEPOST RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of Installation, Six Month Establishment, and One Year Post-Establishment inspections. In the event that an open landscape case is not available, then the applicant shall

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90.PLANNING. 1 USE - LC LNDSCP INSPECT DEPOST (cont.) RECOMMND

open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 2 USE - LC COMPLY W/ LNDSCP/ IRR RECOMMND

The developer/permit holder shall coordinate with their designated landscape representative and the Riverside County Planning Department's landscape inspector to ensure all landscape planting and irrigation systems have been installed in accordance with APPROVED EXHIBITS, landscaping, irrigation, and shading plans. The Planning Department will ensure that all landscaping is healthy, free of weeds, disease and pests; and, irrigation systems are properly constructed and determined to be in good working order. The developer/permit holder's designated landscape representative and the Riverside County Planning Department's landscape inspector shall determine compliance with this condition and execute a Landscape Certificate of Completion. Upon determination of compliance, the Planning Department shall clear this condition.

90.PLANNING. 3 USE - CULTURAL RESOURCES RPT RECOMMND

Prior to final inspection of the first building permit, the developer/permit holder shall prompt the Cultural Resources Professional to submit two (2) copies of a Phase IV Cultural Resources Monitoring Report that complies with the Riverside County Planning Department's requirements for such reports. The report shall include evidence of the required cultural/historical sensitivity training for the construction staff held during the pre-grade meeting. The Planning Department shall review the report to determine adequate mitigation compliance. Provided the report is adequate, the Planning Department shall clear this condition.

90.PLANNING. 6 USE - COLOR/FINISH COMPLIANCE RECOMMND

The permittee shall properly install approved color and finish products in accordance with these conditions of approval.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 8 USE - PARKING PAVING MATERIAL RECOMMND

A minimum of 510 parking spaces shall be provided as shown on the APPROVED EXHIBIT A, unless otherwise approved by the Planning Department. The parking area shall be surfaced with asphaltic concrete or concrete to current standards as approved by the Department of Building and Safety.

90.PLANNING. 9 USE - ACCESSIBLE PARKING RECOMMND

A minimum of 21 accessible parking space[s] for persons with disabilities shall be provided as shown on APPROVED EXHIBIT A. Each parking space reserved for persons with disabilities shall be identified by a permanently affixed reflectorized sign constructed of porcelain on steel, beaded text or equal, displaying the International Symbol of Accessibility. The sign shall not be smaller than 70 square inches in area and shall be centered at the interior end of the parking space at a minimum height of 80 inches from the bottom of the sign to the parking space finished grade, or centered at a minimum height of 36 inches from the parking space finished grade, ground, or sidewalk. A sign shall also be posted in a conspicuous place, at each entrance to the off-street parking facility, not less than 17 inches by 22 inches, clearly and conspicuously stating the following:

"Unauthorized vehicles not displaying distinguishing placards or license plates issued for physically handicapped persons may be towed away at owner's expense. Towed vehicles may be reclaimed at ____ or by telephoning ____."

In addition to the above requirements, the surface of each parking space shall have a surface identification sign duplicating the symbol of accessibility in blue paint of at least 3 square feet in size.

90.PLANNING. 13 USE - LIGHTING PLAN COMPLY RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 14 USE - ROOF EQUIPMENT SHIELDING RECOMMND

Roof-mounted equipment shall be shielded from ground view. Screening material shall be subject to Planning Department approval.

90.PLANNING. 16 USE - INSTALL BIKE RACKS RECOMMND

A bicycle rack with a minimum of 36 spaces shall be provided in convenient locations to facilitate bicycle access to the project area as shown on APPROVED EXHIBIT A. The bicycle racks shall be shown on project landscaping and improvement plans submitted for Planning Department approval, and shall be installed in accordance with those plans.

90.PLANNING. 17 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 19 USE - CURBS ALONG PLANTERS RECOMMND

A six inch high curb with a twelve (12) inch wide walkway shall be constructed along planters on end stalls adjacent to automobile parking areas. Public parking areas shall be designed with permanent curb, bumper, or wheel stop or similar device so that a parked vehicle does not overhang required sidewalks, planters, or landscaped areas.

90.PLANNING. 22 USE - TRASH ENCLOSURES RECOMMND

A minimum of four (4) trash enclosures which are adequate to enclose a minimum of two (2) bins shall be located as shown on the APPROVED EXHIBIT A, and shall be constructed prior to the issuance of occupancy permits. The enclosure(s) shall be a minimum of six (6) feet in height and shall be made with masonry block and a solid gate which screens the bins from external view. Additional enclosed area for collection of recyclable materials shall be located within, near or adjacent to each trash and rubbish disposal area. The recycling collection area shall be a minimum of fifty percent (50%) of the area provided for the

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90.PLANNING. 22 USE - TRASH ENCLOSURES (cont.) RECOMMND

trash/rubbish enclosure(s) or as approved by the Riverside County Waste Management Department. All recycling bins shall be labeled with the universal recycling symbol and with signage indicating to the users the type of material to be deposited in each bin.

90.PLANNING. 26 USE - WALL & FENCE LOCATIONS RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT A.

90.PLANNING. 28 USE - CONDITION COMPLIANCE R1 RECOMMND

The Department of Building and Safety shall verify that the Development Standards of this approval and all other preceding conditions have been complied with prior to any use allowed by this permit.

ADDED AS PART OF PP23977R1

90.PLANNING. 30 USE - POOL AND SPA FENCING RECOMMND

All swimming pools and spas shall be properly enclosed with minimum five (5) foot high fencing and self-latching gates as required by the state building code (Title 24), notwithstanding any other provisions of Ordinance No. 421 to the contrary. Commercial/Public Swimming pools and spas shall provide or access by physically-handicapped persons.]

90.PLANNING. 32 USE - ORD 875 O S FEE (2) RECOMMND

Prior to the issuance of a certificate of occupancy, or upon building permit final inspection prior to use or occupancy for cases without final inspection or certificate of occupancy (such as an SMP)], whichever comes first, the applicant shall comply with the provisions of Riverside County Ordinance No. 875, which requires the payment of the appropriate fee set forth in the Ordinance. The amount of the fee will be based on the "Project Area" as defined in the Ordinance and the aforementioned Condition of Approval. The Project Area for Plot Plan No. 23977R1 is calculated to be 45.3 net acres. In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 875 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the

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90.PLANNING. 32 USE - ORD 875 O S FEE (2) (cont.) RECOMMND

appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 33 USE - FEE STATUS R1 RECOMMND

The Planning Department shall determine the status of the deposit based fees. If there are fees owed to the County, the permit holder shall pay the outstanding balance.

ADDED AS OF PP23977R1

90.PLANNING. 34 USE - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 23977R1 has been calculated to be 45.3 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

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90. PRIOR TO BLDG FINAL INSPECTION

TRANS DEPARTMENT

90.TRANS. 1 USE - SIGNING & STRIPING RECOMMND

A signing and striping plan is required for this project. The project proponent shall be responsible for any additional paving and/or striping removal caused by the striping plan. Traffic signing and striping shall be performed by County forces with all incurred costs borne by the applicant, unless otherwise approved by the County Traffic Engineer.

90.TRANS. 2 USE-STREETLIGHT AUTHORIZATION RECOMMND

Prior to OCCUPANCY, the project proponent shall submit to Transportation Department Permits the following:

1. "Streetlight Authorization" form approved by L&LMD No. 89-1-C Administrator.
2. Letter establishing interim energy account from IID.

90.TRANS. 3 USE - STREETLIGHTS INSTALL RECOMMND

Install streetlights along the streets associated with development in accordance with the approved street lighting plan and standards of County Ordinances 460 and 461. For projects within IID use IID's pole standard.

Above mentioned condition will apply for newly constructed street lights on 38th Avenue at Washington Street.

Streetlight annexation into L&LMD or similar mechanism as approved by the Transportation Department shall be completed.

It shall be the responsibility of the developer to ensure that streetlights are energized along the streets associated with this development where the developer is seeking Building Final Inspection (Occupancy).

90.TRANS. 4 USE - ANNEX L&LMD/OTHER DIST1 RECOMMND

Prior to issuance of an occupancy permit, the project proponent shall complete annexation to Landscaping and Lighting Maintenance District No. 89-1-Consolidated, and/or any other maintenance district approved by the Transportation Department for continuous maintenance within

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90.TRANS. 4 USE - ANNEX L&LMD/OTHER DIST1 (cont.) RECOMMND

public road rights-of-way, in accordance with Ordinance 461. Said annexation should include the following:

- (1) Landscaping on 38th Avenue.
- (2) Street lights on 38th Avenue and 38th Avenue at Washington Street.
- (3) Traffic signals located on Washington Street and 38th Avenue. Also on 38th Avenue and entrance point.
- (4) Street sweeping along 38th Avenue and Washington Street.

90.TRANS. 5 USE - DEDICATION/IMPROVEMENTS RECOMMND

38th Avenue is designated as a Major Highway and shall be designed and improved to the ultimate full section within the westerly project boundary and Washington Street, with 76-foot full-width asphalt concrete pavement and 8-inch concrete curb and gutter within the 118-foot full-width dedicated right-of-way in accordance with County Standard No. 93, pages 1 and 2. (76'/118'). Additional right-of-way shall be dedidcated at intersections to accommodate turning movements as approved by the Transportation Department.

NOTE: On the south side of 38th Avenue, a 5-foot wide meandering sidewalk shall be constructed within the 21-foot parkway per Standard No. 404

** Above mentioned improvements shall be completed by Coachella Valley Water District (CVWD) in conjunction with Channel improvements and PP23977R1 as approved by Transportation Department, per Contract #13-12-003.**

The off-site portion of 38th Avenue (between the project westerly boundary up to Varner Road) shall be constructed per County Standard No. 106, (32'/60'). The alignment of this portion of 38th Avenue shall be coordinated with TR35058 and TR34651 both located westerly of this project.

** Above mentioned off-site improvements shall be completed by Coachella Valley Water District (CVWD) in conjunction with Channel improvements, per Contract #13-12-003.**

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 6 USE - EXISTING MAINTAINED RECOMMND

Washington Street along project boundary is a paved County maintained road designated as an Urban Arterial Highway that transitions into an Arterial Highway.

The intersection of Washington Street at 38th Avenue shall be improved as per Uitimate Signal Plans as approved by Transportation Department, per Contract #13-12-003.

90.TRANS. 7 USE - UTILITY PLAN RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site. A disposition note describing the above shall be reflected on design improvement plans whenever those plans are required. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

90.TRANS. 8 USE - UTILITY INSTALL RECOMMND

Electrical power, telephone, communication, street lighting, and cable television lines shall be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. This also applies to existing overhead lines which are 33.6 kilovolts or below along the project frontage and between the nearest poles offsite in each direction of the project site.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

90.TRANS. 10 USE - "A" STREET EASEMENT RECOMMND

An easement in favor of County shall be recorded for installing all traffic signal loops/pull boxes and conduits to make signal operate at the intersection of "A" Street and 38th Avenue.

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 11 USE - DRIVEWAY RECOMMND

The driveway(s) shall be constructed in accordance with the applicable County Standard No. 207A and shall be located in accordance with approved exhibit for Plot Plan No. 23977, Revised Permit No. 1.

90.TRANS. 12 USE - IMP PLANS RECOMMND

Improvement plans for the required improvements must be prepared and shall be based upon a design profile extending a minimum of 300 feet beyond the project boundaries at a grade and alignment as approved by the Riverside County Transportation Department. Completion of road improvements does not imply acceptance for maintenance by County.

90.TRANS. 13 USE-STORM DRAIN CHANNEL/BRIDGE RECOMMND

Prior to any building final inspection, the proposed storm drain channel and bridge at Washington Street shall be constructed to the satisfacation of the Transportation Department.

The design and construction of the above mentioned condition shall be consistant with MOU Agreement Contract #13-12--003.

90.TRANS. 14 USE - DRAINAGE IMPROV COMPLETE RECOMMND

All on-site drainage improvements including the construction of drainage swales, storm drains, inlet structures, and retention basins are required to be completed prior to occupancy.

90.TRANS. 15 USE - EASEMENT FOR DRAINAGE 2 RECOMMND

The project proponent will prepare and record easements for drainage purposes by separate instrument to the benefit of public, for areas where on-site drainage facilities and other drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey flood plain water. All drainage easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed."

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 16 USE - OWNER MAINTENANCE NOTICE RECOMMND

The owner of the project site shall be responsible for the maintenance of the on-site drainage facility (including the surface retention basin and the underground systems). A viable maintenance mechanism acceptable to the County should be provided for retention basin and underground systems. The owner/developer shall obtain approval from Riverside County Transportation Department regarding the maintenance of the retention basin and underground retention systems, which shall include the language that the owner will maintain and clean the manholes/inlets minimum two times a year and also pump out the debris from the manholes/inlets two times a year. These maintenance wording shall be shown on the title sheet of improvement plans.

90.TRANS. 19 USE - RECIPROCAL ACCESS AGREEM RECOMMND

A reciprocal access agreement shall be executed and recorded involving Christian School of the Desert project's boundary and future owners of Parcel "D" to provide secondary access through "A" Street as approved by the Transportation Department.

90.TRANS. 20 USE TS/INSTALLATION - PHASE 2 RECOMMND

The project proponent shall be responsible for the design and construction of traffic signal(s) at the intersections of:

Signals not eligible for fee credit:

Project Central Access (NS) at Avenue 38 (EW)

NOTE: The traffic signal shall be installed prior to issuance of any occupancy permit for Phase 2. The geometrics will depend on the construction status of the CVWD drainage channel.

Under Phase 2, the project proposes to construct a second elementary school, expanded preschool, and cafeteria.

or as approved by the Transportation Department.

90.TRANS. 21 USE TS/INSTALLATION - PHASE 3 RECOMMND

The project proponent shall be responsible for the design and construction of traffic signal(s) at the intersections of:

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90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 21

USE TS/INSTALLATION - PHASE 3 (cont.)

RECOMMND

Signals eligible for fee credit if installed in the ultimate location:

Washington Street (NS) at Avenue 38 (EW)

NOTE: The traffic signal shall be installed prior to issuance of any occupancy permit for Phase 3. The geometrics will depend on the construction status of the CVWD drainage channel. If a construction contract has been let by CVWD for this signal, this improvement can be considered met.

Under Phase 3, the project proposes to construct a middle school.

or as approved by the Transportation Department.

For improvements eligible for fee credit, the project proponent shall contact the Transportation Department and enter into an agreement for signal mitigation fee credit or reimbursement prior to start of construction of the signal.

All work shall be pre-approved by and shall comply with the requirements of the Transportation Department and the public contract code in order to be eligible for fee credit or reimbursement.

90.TRANS. 22

USE - BMP-EDUCATION

RECOMMND

The Applicant shall distribute environmental awareness education materials on general good housekeeping practices that contribute to protection of stormwater quality to Desert Christian Academy/owners. The Applicant may obtain NPDES Public Educational Program materials from the Flood Control District's NPDES Section by either the District's website www.rcflood.org/npdes, e-mail flood.fcnpdes@rcflood.org, or the toll free number 1-800-506-2555. Please provide Project number, number of units and location of development. Note that there is a five-day minimum processing period requested for all orders. The Applicant must provide to the Transportation Department's PLAN CHECK Department a notarized affidavit stating that the distribution of educational materials to the tenants is assured prior to the issuance of occupancy permits.

PLOT PLAN:TRANSMITTED Case #: PP23977R1

Parcel: 626-150-038

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 23 USE - AS-BUILT BMP RECOMMND

All structural BMPs described in the project-specific WQMP shall be constructed and installed in conformance with approved plans and specifications. As-built plans certified by a registered Civil Engineer shall be submitted.

90.TRANS. 24 USE -BMP MAINTENANCE & INSPECT RECOMMND

Unless an alternate viable maintenance entity is established, the best management practice (BMP) maintenance plan shall contain provisions for all treatment control and structural BMPs to be inspected, and cleaned no later than October 15 each year. Required documentation shall identify the entity that will inspect and maintain all proposed BMPs within the project boundaries. A copy of all necessary documentation shall be submitted to the Transportation Department for review and approval prior to the issuance of occupancy permits.

90.TRANS. 25 USE-ONSITE BMP EASMNT & COVENA RECOMMND

The project proponent will prepare and record easements for BMP purposes by a separate instrument to the benefit of public, for areas where BMP facilities and other BMP drainage appurtenances are required and/or where drainage flow patterns must be maintained to convey runoff to the BMP. All BMP easements shall be recorded by separate instrument and noted as follows, "Drainage Easement - no building, obstructions, or encroachments are allowed. The project proponent will prepare, notarize, and record the covenant agreement for the proposed BMPs which binds the owner to the ongoing operation and maintenance throughout the life of the BMP.

90.TRANS. 26 PH1 GEOM WITHOUT CVWD CHANNEL RECOMMND

This condition of approval shall apply if deferred from the 80-series condition with the same title.

Under Phase 1, the project proposes to construct a preschool, elementary school, high school, administration building, recreation center, gymnasium, and maintenance building.

The intersection of Project West Access (NS) at 38th Avenue (EW) shall be improved to provide the following geometrics:

03/19/14
10:55

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 75

PLOT PLAN:TRANSMITTED Case #: PP23977R1

Parcel: 626-150-038

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 26 PH1 GEOM WITHOUT CVWD CHANNEL (cont.)

RECOMMND

Northbound: one shared left-turn/right-turn lane - stop
controlled

Southbound: N/A

Eastbound: one shared through/right-turn lane

Westbound: one left-turn lane, one through lane

The intersection of Project Central Access (NS) at 38th
Avenue (EW) shall be improved to provide the following
geometrics:

Northbound: one left-turn, one right-turn lane - stop
controlled

Southbound: N/A

Eastbound: one shared through/right-turn lane

Westbound: one left-turn lane, one through lane

or as approved by the Transportation Department.

All improvements listed are requirements for interim
conditions only. Full right-of-way and roadway half
sections adjacent to the property for the ultimate roadway
cross-section per the County's Road Improvement Standards
and Specifications must be provided.

Any off-site widening required to provide these geometrics
shall be the responsibility of the landowner/developer.

90.TRANS. 27

PH2 GEOM WITHOUT CVWD CHANNEL

RECOMMND

This condition of approval shall apply if deferred from the
80-series condition with the same title.

Under Phase 2, the project proposes to construct a second
elementary school, expanded preschool, and cafeteria.

The intersection of Project Central Access (NS) at 38th
Avenue (EW) shall be signalized and improved to provide the
following geometrics:

Northbound: one left-turn, one right-turn lane

Southbound: N/A

Eastbound: one shared through/right-turn lane

Westbound: one left-turn lane, one through lane

03/19/14
10:55

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 76

PLOT PLAN:TRANSMITTED Case #: PP23977R1

Parcel: 626-150-038

90. PRIOR TO BLDG FINAL INSPECTION

90.TRANS. 27 PH2 GEOM WITHOUT CVWD CHANNEL (cont.) RECOMMND

or as approved by the Transportation Department.

All improvements listed are requirements for interim conditions only. Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

90.TRANS. 28 PH3 GEOM WITHOUT CVWD CHANNEL RECOMMND

This condition of approval shall apply if deferred from the 80-series condition with the same title.

Under Phase 3, the project proposes to construct a middle school.

The intersection of Washington Street (NS) at 38th Avenue (EW) shall be signalized and improved to provide the following geometrics:

Northbound: one left-turn, two through lanes
Southbound: two through lanes
Eastbound: one left-turn lane, one right-turn lane
Westbound: N/A

or as approved by the Transportation Department.

All improvements listed are requirements for interim conditions only. Full right-of-way and roadway half sections adjacent to the property for the ultimate roadway cross-section per the County's Road Improvement Standards and Specifications must be provided.

Any off-site widening required to provide these geometrics shall be the responsibility of the landowner/developer.

**LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
INITIAL CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409**

DATE: November 8, 2012

TO:

Riv. Co. Transportation Dept. – Palm Desert
Riv. Co. Surveyor
Riv. Co. Environmental Health Dept.
Riv. Co. Public Health – Industrial Hygiene
Riv. Co. Flood Control District
Riv. Co. Fire Department- Palm Desert
Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check
Regional Parks & Open Space District

Riv. Co. Environmental Programs Division
P.D. Geology/ Archaeology Section
P.D. Landscaping Section
SunlineTransit Agency
ALUC
Riv. Co. Sheriff's Dept.- Thermal Station
Riv. Co. Waste Management Dept.
4th District Supervisor
4th District Planning Commissioner

Bermuda Dunes Airport
Thousand Palms Community Council
City of Palm Desert Planning Dept.
Desert Sands Unified School District
Coachella Valley Water District
Southern California Edison
Southern California Gas Co.
Eastern Information Center- UCR

PLOT PLAN NO. 23977, REVISION NO. 1- EA42120 – Applicant: Tim Holt, Holt Architects – Engineer/Representative: Paul Huddleston , Hunsaker & Associates – Fourth/Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan: Community Development: Medium Density Residential (CD:MDR) (2 - 5 D.U./Ac) and Community Development: Commercial Retail (CD: CR) (0.20 – 0.35 FAR) – Location: Northerly of Flora Road, southerly of 38th Avenue, westerly of Washington Street – Zoning: Controlled Development Areas, 10 Acre Minimum (W-2-10) – 48.7 Gross Acres - **REQUEST:** A revision to approved Plot Plan No. 23977 for Desert Christian Academy private school (preschool through twelfth grade) with changes to the site design and building design type on 48.7 gross acres. – APN: 626-150-037 & 626-150-038 – RELATED CASE: PP23977

Please review the attached map(s) and/or exhibit(s) for the above-described project. This case is scheduled for a **DRT meeting on November 29, 2012**. All LDC/DRT Members please have draft conditions in the Land Management System on or before the above date. If it is determined that the attached map(s) and/or exhibit(s) are not acceptable, please have corrections in the system and DENY the routing on or before the above date. Once the route is complete, and the approval screen is approved with or without corrections, the case can be scheduled for a public hearing.

All other transmitted entities, please have your comments, questions and recommendations to the Planning Department on or before the above date. Your comments/recommendations/conditions are requested so that they may be incorporated in the staff report for this particular case.

Should you have any questions regarding this project, please do not hesitate to contact **Paul Rull**, Project Planner, at **(951) 955-0972** or email at **prull@rcplma.org / MAILSTOP# 1070**.

Public Hearing Path: DH: PC: BOS:

COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.

LAND DEVELOPMENT COMMITTEE/
DEVELOPMENT REVIEW TEAM
2ND CASE TRANSMITTAL
RIVERSIDE COUNTY PLANNING DEPARTMENT - RIVERSIDE
P.O. Box 1409
Riverside, CA 92502-1409

DATE: July 31, 2013

TO

Riv. Co. Transportation Dept.-Palm Desert
Riv. Co. Environmental Health Dept.
Coachella Valley Water District
Riv. Co. Fire Dept.-Palm Desert

Riv. Co. Building & Safety – Grading
Riv. Co. Building & Safety – Plan Check
Riv. Co. Parks & Open Space District
Riv. Co. Environmental Programs Division

P.D. Geology Section
P.D. Landscaping Section
P.D. Archaeology Section

PLOT PLAN NO. 23977, REVISION NO. 1- EA42120 – Applicant: Tim Holt, Holt Architects – Engineer/Representative: Paul Huddleston , Hunsaker & Associates – Fourth/Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan: Community Development: Medium Density Residential (CD:MDR) (2 - 5 D.U./Ac) and Community Development: Commercial Retail (CD: CR) (0.20 – 0.35 FAR) – Location: Northerly of Flora Road, southerly of 38th Avenue, westerly of Washington Street – Zoning: Controlled Development Areas, 10 Acre Minimum (W-2-10) – 48.7 Gross Acres - **REQUEST: REQUEST:** A revision to approved Plot Plan No. 23977 for Desert Christian Academy private school (preschool through twelfth grade) with changes to the site design and building design type on 48.7 gross acres. – APN: 626-150-037 & 626-150-038 – RELATED CASE: PP23977

Please review the attached **Amended** map(s) and/or exhibit(s) for the above-mentioned project. Any further comments, recommendations, and/or conditions are requested prior to the pending **DRT Comment Agenda deadline on August 22, 2013**, in order that they may be incorporated in the staff report package for this project.

Should you have any questions regarding this item, please do not hesitate to contact **Paul Rull** Project Planner at, (951) 955-0972, or e-mail at **PRULL@rctlma.org / MAILSTOP #: 1070**

Public Hearing Path: Administrative Action: DH: PC: BOS:

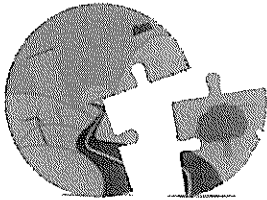
COMMENTS:

DATE: _____ SIGNATURE: _____

PLEASE PRINT NAME AND TITLE: _____

TELEPHONE: _____

If you do not include this transmittal in your response, please include a reference to the case number and project planner's name. Thank you.



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

APPLICATION FOR LAND USE PROJECT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

PROPOSED LAND USE: EDUCATIONAL

ORDINANCE NO. 348 SECTION AUTHORIZING PROPOSED LAND USE: _____

ALL APPLICATIONS MUST INCLUDE THE INFORMATION REQUIRED UNDER ANY SUPPLEMENTAL INFORMATION LIST APPLICABLE TO THE SPECIFIC PROJECT. ADDITIONAL INFORMATION MAY BE REQUIRED AFTER INITIAL RECEIPT AND REVIEW. INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP23977 R1 DATE SUBMITTED: 11/7/12

APPLICATION INFORMATION

Applicant's Name: HOLT ARCHITECTURE / TIM HOLT E-Mail: THOLT@HOLTARCHITECTS.NET

Mailing Address: _____ 70225 HIGHWAY 111 SUITE D
 _____ Street
 RANCHO MIRAGE CA 92270
 _____ City State ZIP

Daytime Phone No: (760) 328-5280 Fax No: (760) 328-5281

Engineer/Representative's Name: PAUL HUDDLESTON - HUNSAKER & ASSOC. E-Mail: PHUDDLESTON@HUNSAKER.COM

Mailing Address: _____ 2900 ADAMS ST. SUITE A-15
 _____ Street
 RIVERSIDE CA 92504
 _____ City State ZIP

Daytime Phone No: (951) 509-7031 Fax No: (951) 352-8269

Property Owner's Name: DAVE FULTON *(Christian School of the Desert)* E-Mail: DFULTON@CSOD.ORG

Mailing Address: _____ 40700 YUCCA LANE
 _____ Street
 BERMUDA DUNES CA 92201
 _____ City State ZIP

Daytime Phone No: (760) 345-2848 Fax No: (760) 345-8173

Riverside Office · 4080 Lemon Street, 12th Floor
P.O. Bx 1409, Riverside, California 92502-1409
(951) 955-3200 · Fax (951) 955-1811

Desert Office · 38686 El Cerrito Road
Palm Desert, California 92211
(760) 863-8277 · Fax (760) 863-7555

APPLICATION FOR LAND USE PROJECT

If the property is owned by more than one person, attach a separate page that references the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

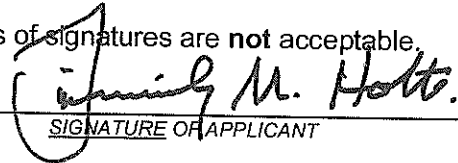
AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

TIM HOLT

PRINTED NAME OF APPLICANT


SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

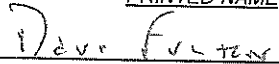
I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

DAVE FULTON

PRINTED NAME OF PROPERTY OWNER(S)


SIGNATURE OF PROPERTY OWNER(S)


PRINTED NAME OF PROPERTY OWNER(S)


SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners' signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 626-150-037 & 626-150-038

Section: 1 Township: 5 SOUTH Range: 6 EAST

APPLICATION FOR LAND USE PROJECT

Approximate Gross Acreage: 48.7 ACRES

General location (nearby or cross streets): North of FLORA ROAD, South of 38th AVENUE, East of PROPOSED MIRASERA DEV., West of WASHINGTON ST.

Thomas Brothers map, edition year, page number, and coordinates: PAGE 819 E1, F1 (2006 EDITION)

Project Description: (describe the proposed project in detail)

AMENDMENT TO ORIGINAL PLOT PLAN APPLICATION FOR THE FUTURE DEVELOPMENT OF A PRIVATE SCHOOL (PRESCHOOL THROUGH TWELFTH GRADE) INCLUDING THE ASSOCIATED GRADING AND INFRASTRUCTURE IMPROVEMENTS.

Related cases filed in conjunction with this application:

LOT LINE ADJUSTMENTS NO. 05137

Is there a previous application filed on the same site: Yes No

If yes, provide Case No(s). PP23977 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) _____ E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a copy: TRAFFIC, SOILS, NOISE, GEOLOGICAL, ARCHAEOLOGICAL

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the project eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the project result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 433,510

APPLICATION FOR LAND USE PROJECT

Estimated amount of fill = cubic yards 433,510

Does the project need to import or export dirt? Yes No

Import _____ Export _____ Neither _____

What is the anticipated source/destination of the import/export?

What is the anticipated route of travel for transport of the soil material?

How many anticipated truckloads? _____ truck loads.

What is the square footage of usable pad area? (area excluding all slopes) _____ sq. ft.

Is the project located within 8½ miles of March Air Reserve Base? Yes No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes No

Is the project located within 1000 feet of a military installation, beneath a low-level flight path or within special use airspace as defined in Section 21098 of the Public Resources Code, and within an urbanized area as defined by Section 65944 of the Government Code? (See California Office of Planning and Research website: <http://cmluca.projects.atlas.ca.gov/>) Yes No

Is the project located within the boundaries of an Airport Land Use Compatibility Plan adopted by the Riverside County Airport Land Use Commission? Yes No

Does the project area exceed one acre in area? Yes No

Is the project located within any of the following watersheds (refer to Riverside County Land Information System (RCLIS) (<http://www3.tlma.co.riverside.ca.us/pa/rclis/index.html>) for watershed location)?

Santa Ana River Santa Margarita River San Jacinto River Whitewater River



AIRPORT LAND USE COMMISSION RIVERSIDE COUNTY

RECEIVED
MAY 06 2013
ADMINISTRATION
RIVERSIDE COUNTY

May 1, 2013

CHAIR
Simon Housman
Rancho Mirage

VICE CHAIRMAN
Rod Ballance
Riverside

Paul Rull, Contract Planner
County of Riverside Planning Department
4080 Lemon Street, 12th Floor
Riverside, CA 92501
HAND DELIVERY

COMMISSIONERS

Arthur Butler
Riverside

John Lyon
Riverside

Glen Holmes
Hemet

RE: AIRPORT LAND USE COMMISSION (ALUC) DEVELOPMENT REVIEW
File No.: ZAP1045BD13
Related File No.: PP23977R1 (Revised Plot Plan)
APN: 626-150-037 and 626-150-038

Greg Pettis
Cathedral City

Dear Mr. Rull:

Richard Stewart
Moreno Valley

STAFF

Director
Ed Cooper

Under the delegation of the Riverside County Airport Land Use Commission (ALUC), staff reviewed the above- referenced revised proposal to develop a kindergarten through 12th grade private school consisting of 12 buildings, along with athletic fields and facilities, on 48.7 acres located westerly of Washington Street, southerly of 38th Avenue, and northerly of Del Webb Boulevard/Las Montanas Road, in the unincorporated community of Thousand Palms.

John Guerin
Russell Brady
Barbara Santos

The site is located in Airport Compatibility Zones D and E of the 2004 Bermuda Dunes Airport Land Use Compatibility Plan. All school buildings are proposed to be located within Zone E, with athletic fields primarily located in Zone D. Seating for the fields is proposed to be provided via temporary or portable bleachers consisting of typically no more than five rows of seating for a maximum seating of approximately 50 people per bleacher. A total of six such bleachers would reach a total of 300 people. This is the maximum allowable capacity within any given acre in Zone D.

County Administrative Center
4080 Lemon St., 14th Floor
Riverside, CA 92501
(951) 955-5132

www.rcaluc.org

The parcel proposed for the athletic field and facilities is located approximately 9,650 feet from the westerly end of Runway 10-28. Based on this distance and the elevation at the westerly end of the runway (73.4 feet above mean sea level (AMSL)), FAA review would be required for any structure exceeding 169.9 feet AMSL. No buildings are associated with the athletic fields and facilities; however, light standards for field lighting and other similar structures are likely to occur around the fields. The parcel for the proposed school buildings is located approximately 10,200 feet from Runway 10-28. Based on this distance and the elevation of the westerly end of the runway of 73.4 AMSL, FAA review would be required for any structure exceeding 175.4 feet AMSL. Building finished floor elevations range between 118.0 to 122.5 feet AMSL, and building heights range between 18 feet to 49 feet above ground level. The maximum proposed building elevation would be the gymnasium building, at a maximum elevation of 167.0 feet AMSL. Therefore, FAA review is not required, provided that the maximum building heights do not exceed the 175.4 AMSL threshold.

As ALUC Director, I hereby find the above-referenced project CONSISTENT with the 2004 Bermuda Dunes Airport Land Use Compatibility Plan, subject to the following conditions:

CONDITIONS:

1. Any outdoor lighting installed shall be hooded or shielded to prevent either the spillage of lumens or reflection into the sky. Outdoor lighting shall be downward facing.
2. The following uses shall be prohibited:
 - (a) Any use which would direct a steady light or flashing light of red, white, green, or amber colors associated with airport operations toward an aircraft engaged in an initial straight climb following takeoff or toward an aircraft engaged in a straight final approach toward a landing at an airport, other than an FAA-approved navigational signal light or visual approach slope indicator.
 - (b) Any use which would cause sunlight to be reflected towards an aircraft engaged in an initial straight climb following takeoff or towards an aircraft engaged in a straight final approach towards a landing at an airport.
 - (c) Any use which would generate smoke or water vapor or which would attract large concentrations of birds, or which may otherwise affect safe air navigation within the area. (Such uses include landscaping utilizing water features, aquaculture, production of cereal grains, sunflower, and row crops, composting operations, artificial marshes, recycling centers containing putrescible wastes, and construction and demolition debris facilities.)
 - (d) Any use which would generate electrical interference that may be detrimental to the operation of aircraft and/or aircraft instrumentation
 - (e) School buildings (classrooms) within the portion of the property in Airport Compatibility Zone D.
3. The attached "Notice of Airport in Vicinity" shall be provided to all potential tenants and purchasers and shall be recorded as a deed notice.
4. The maximum capacity of any set of bleachers, seating, or other assembly/congregation area within the portion of the property in Compatibility Zone D shall not exceed 300 persons, and the minimum distance between sets of bleachers shall not be less than 210 feet.
5. Structures, including light poles and light banks, shall not exceed a height of 49 feet above ground level, and the highest point of any structure shall not exceed an elevation of 169 feet above mean sea level without notice to, and review by, the Federal Aviation Administration pursuant to the Form 7460-1 process.
6. This determination is based on the site plan prepared by Holt Architecture in March 2013.

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION

May 1, 2013


Any changes in the locations, coordinates, and heights of buildings, spectator seating areas, and light fixtures shall require subsequent review by ALUC staff.

7. Bio-swales and detention or retention basins on the site shall be designed so as to provide for a maximum 48-hour detention period following the conclusion of the storm event for the design storm (may be less, but not more), and to remain totally dry between rainfalls. Vegetation in and around such swales or basins that would provide food or cover for bird species that would be incompatible with airport operations shall not be utilized in project landscaping.

If you have any questions, please contact Russell Brady, Contract Planner, at (951) 955-0549, or John Guerin, Principal Planner, at (951) 955-0982.

Sincerely,

RIVERSIDE COUNTY AIRPORT LAND USE COMMISSION



Edward C. Cooper, Director

RB:bks

Attachment: Notice of Airport in Vicinity

cc: Dave Fulton, Desert Christian Academy
Holt Architects
Hunsaker & Associates
Mike Smith, Manager, Bermuda Dunes Airport
ALUC Staff

Y:\AIRPORT CASE FILES\Bermuda Dunes\ZAP1045BD13\ZAP1045BD13.LTR.doc

NOTICE OF AIRPORT IN VICINITY

This property is presently located in the vicinity of an airport, within what is known as an airport influent area. For that reason, the property may be subject to some of the annoyances or inconveniences associated with proximity to airport operations (for example: noise, vibration, or odors). Individual sensitivities to those annoyances can vary from person to person. You may wish to consider what airport annoyances, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you. Business & Professions Code Section 11010 (b) (13)(A)



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DESERT CHRISTIAN ACADEMY
PROJECT SITE

Washington St, Palm Desert, CA

Jefferson St

Ave 38

Adams St

Verner Rd

Somy Boro Memorial Fwy

Country Club Dr

Indo Blvd

Ave 42

Howley Ln E

Washington St

Warner T

RIVERSIDE COUNTY GIS



Selected parcel(s):
626-150-037 626-150-038

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Wed May 01 09:22:19 2013

Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):
626-150-037 626-150-038

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Wed May 01 09:23:25 2013

Version 130225

RIVERSIDE COUNTY GIS



Selected parcel(s):
626-150-037 626-150-038

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

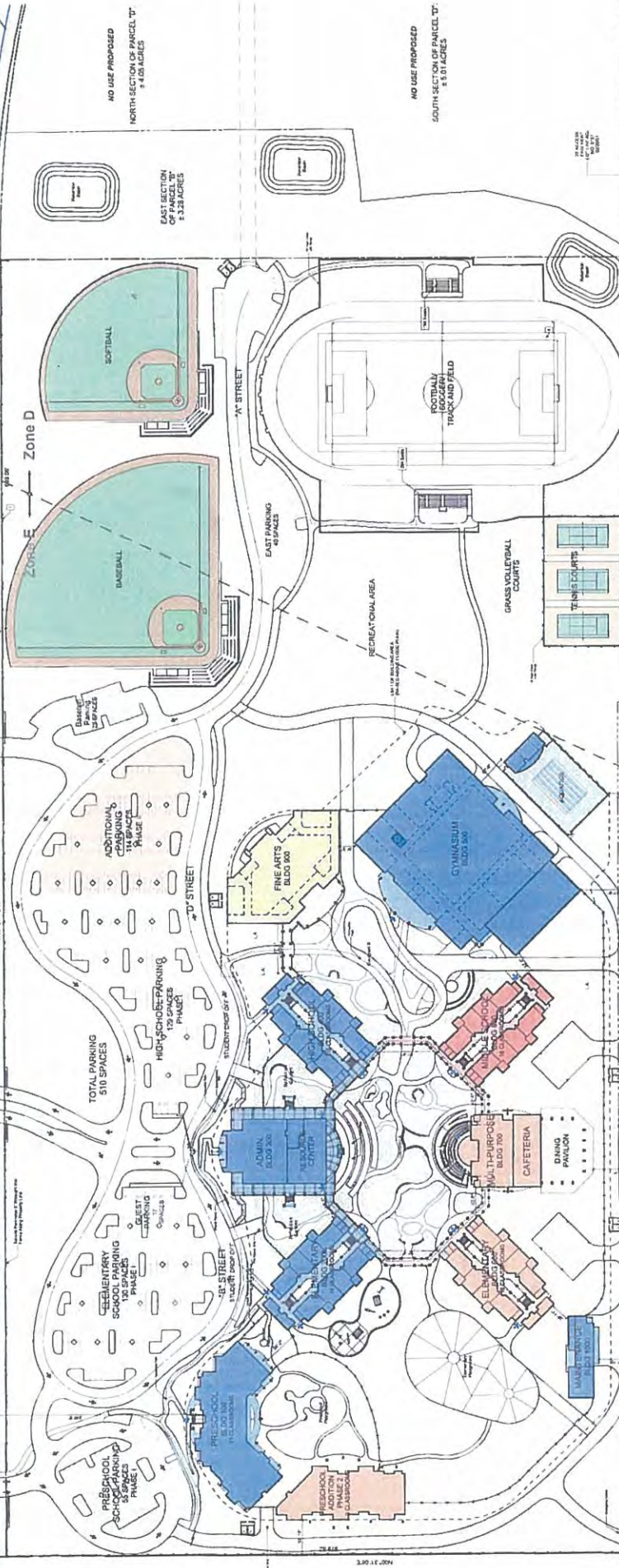
REPORT PRINTED ON...Wed May 01 09:24:17 2013

Version 130225

AVENUE 38

FUTURE STORM CHANNEL

FUTURE AVENUE 38



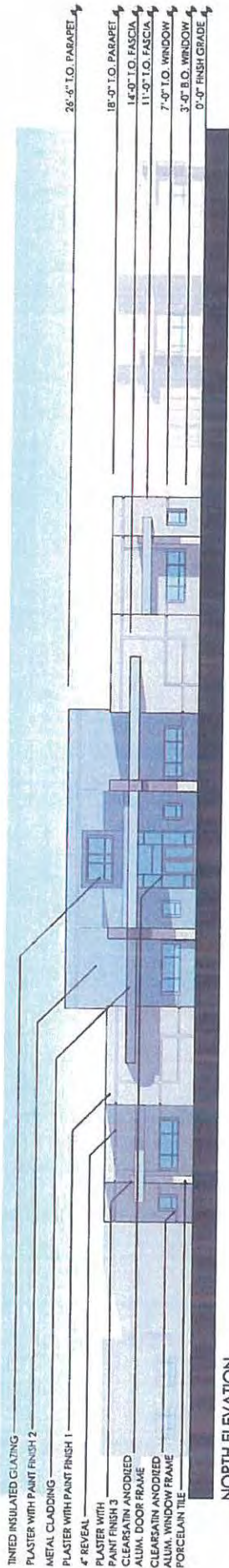
ZONE	ZONE ID	ZONE DESCRIPTION	BUILDING SUMMARY		AREA CALCULATIONS		PHASING CALCULATIONS		TOTAL
			BLDG(S) / AC	BLDG(S) / SF	BLDG(S) / AC	BLDG(S) / SF	PHASE	PREVIOUS PHASE	
1	GS-421-50	ZONE I-P VACANT	1	10,000	1	10,000	1	10,000	10,000
2	GS-421-50	ZONE I-P VACANT	1	10,000	1	10,000	1	10,000	10,000
3	GS-421-51	ZONE I-P INDUSTRIAL BUILDINGS	1	10,000	1	10,000	1	10,000	10,000
4	GS-421-52	ZONE I-P INDUSTRIAL BUILDINGS	1	10,000	1	10,000	1	10,000	10,000
5	GS-421-53	ZONE I-P INDUSTRIAL BUILDINGS	1	10,000	1	10,000	1	10,000	10,000
21	GS-421-48	ZONE I-P INDUSTRIAL BUILDING	1	10,000	1	10,000	1	10,000	10,000
22	GS-421-22	ZONE I-P INDUSTRIAL BUILDING	1	10,000	1	10,000	1	10,000	10,000
23	GS-421-23	ZONE I-P INDUSTRIAL BUILDING	1	10,000	1	10,000	1	10,000	10,000
24	GS-421-24	ZONE I-P INDUSTRIAL BUILDING	1	10,000	1	10,000	1	10,000	10,000
25	GS-421-25	ZONE I-P INDUSTRIAL BUILDING	1	10,000	1	10,000	1	10,000	10,000

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul

APR: 624-150-037 | **SD-010**
624-150-038 | SCALE: 1" = 60'-0"
MASTER SITE PLAN | MARCH 2013

Owner: Applicant:
Dore Fulton
40700 Tucco Lane
Bermuda Dunes, CA 92201

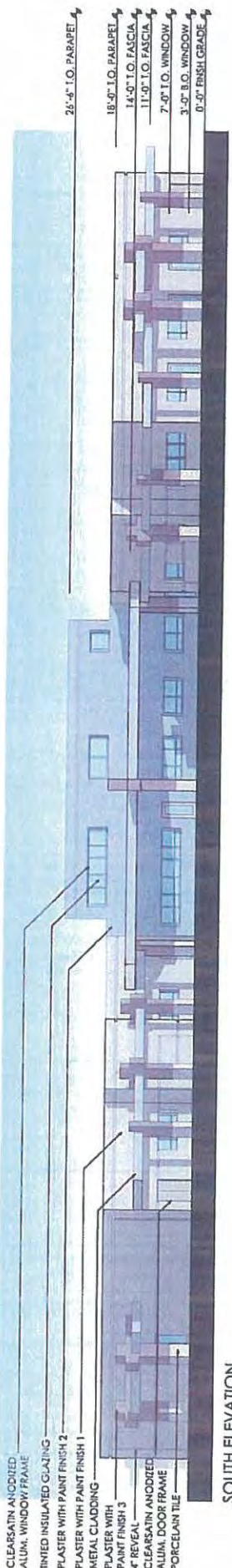
Applicant: Hail Architects
70-225 Highway 111, Suite D
Rancho Mirage, CA 92270



- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 2
- METAL CLADDING
- PLASTER WITH PAINT FINISH 1
- 4" REVEAL
- PLASTER WITH PAINT FINISH 3
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE

- 26'-6" I.O. PARAPET
- 19'-0" I.O. PARAPET
- 14'-0" I.O. FASCIA
- 11'-0" I.O. FASCIA
- 7'-0" I.O. WINDOW
- 3'-0" B.O. WINDOW
- 0'-0" FINSH GRADE

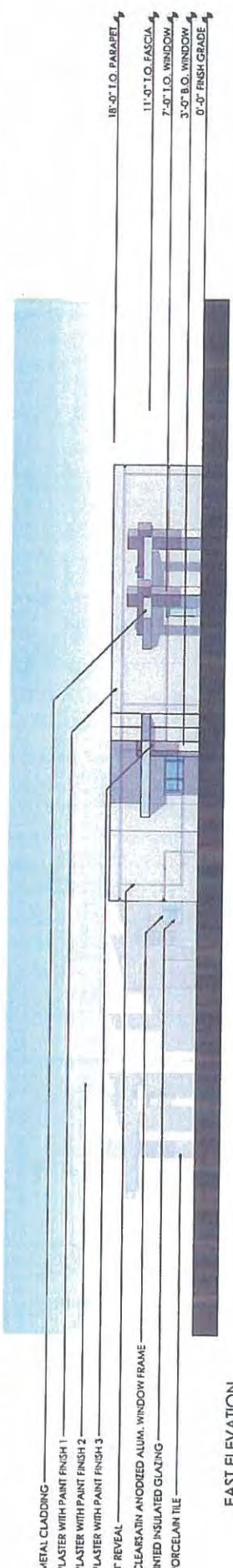
NORTH ELEVATION



- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- PORCELAIN TILE

- 26'-6" I.O. PARAPET
- 18'-0" I.O. PARAPET
- 14'-0" I.O. FASCIA
- 11'-0" I.O. FASCIA
- 7'-0" I.O. WINDOW
- 3'-0" B.O. WINDOW
- 0'-0" FINSH GRADE

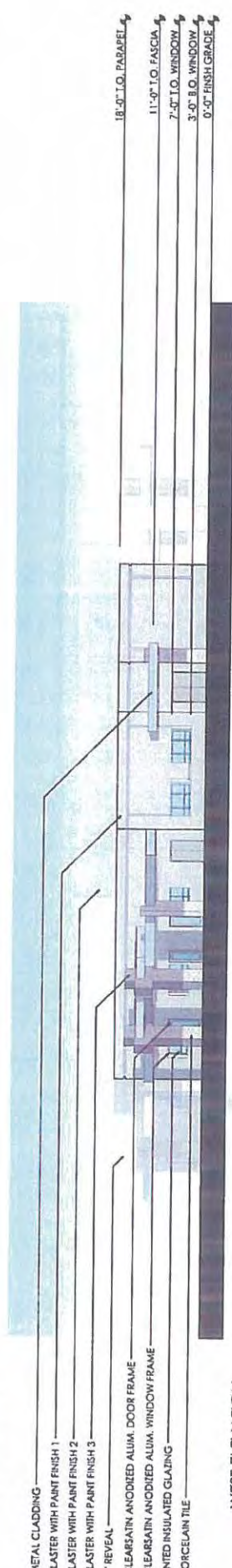
SOUTH ELEVATION



- METAL CLADDING
- PLASTER WITH PAINT FINISH 1
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE

- 18'-0" I.O. PARAPET
- 11'-0" I.O. FASCIA
- 7'-0" I.O. WINDOW
- 3'-0" B.O. WINDOW
- 0'-0" FINSH GRADE

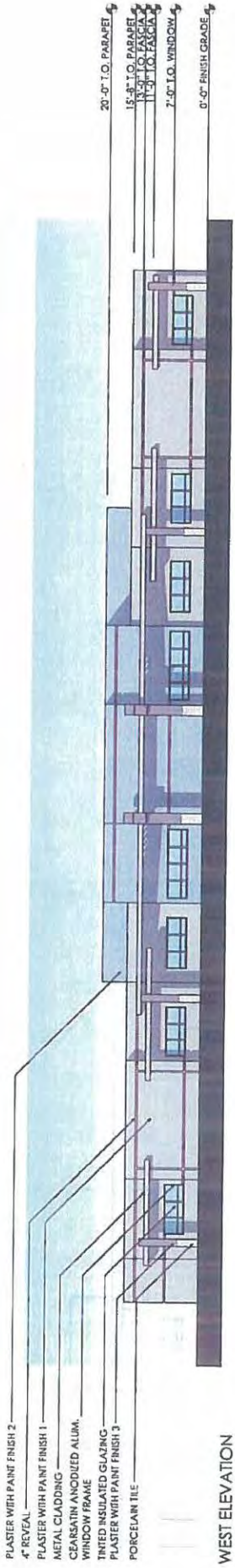
EAST ELEVATION



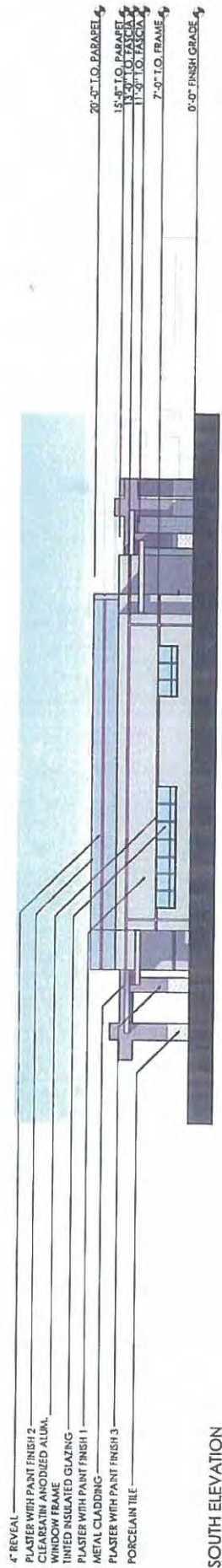
- METAL CLADDING
- PLASTER WITH PAINT FINISH 1
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE

- 18'-0" I.O. PARAPET
- 11'-0" I.O. FASCIA
- 7'-0" I.O. WINDOW
- 3'-0" B.O. WINDOW
- 0'-0" FINSH GRADE

WEST ELEVATION



WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

- PLASTER WITH PAINT FINISH 1
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- TINTED INSULATED GLAZING

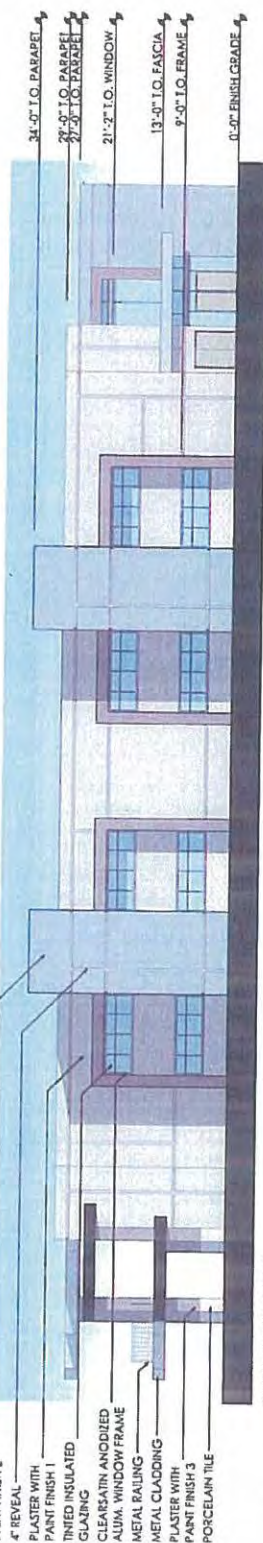
- 27'-0" I.O. PARAPET
- 27'-0" I.O. PARAPET
- 21'-2" I.O. WINDOW
- 13'-0" I.O. FASCIA
- 8'-2" I.O. FRAME
- 0'-0" FINISH GRADE



SOUTH ELEVATION

- PLASTER WITH PAINT FINISH 1
- 4" REVEAL
- METAL CLADDING
- PLASTER WITH PAINT FINISH 2
- METAL RAILING
- PLASTER WITH PAINT FINISH 3
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- PORCELAIN TILE

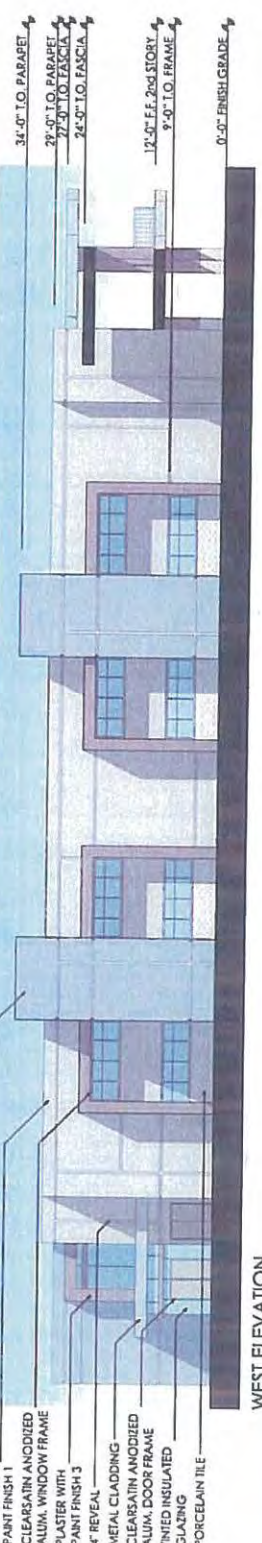
- 27'-0" I.O. PARAPET
- 27'-0" I.O. FASCIA
- 24'-0" I.O. FASCIA
- 19'-0" I.O. FRAME
- 12'-0" F.F. 2nd STORY
- 7'-2" I.O. FRAME
- 0'-0" FINISH GRADE



EAST ELEVATION

- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- METAL CLADDING
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE

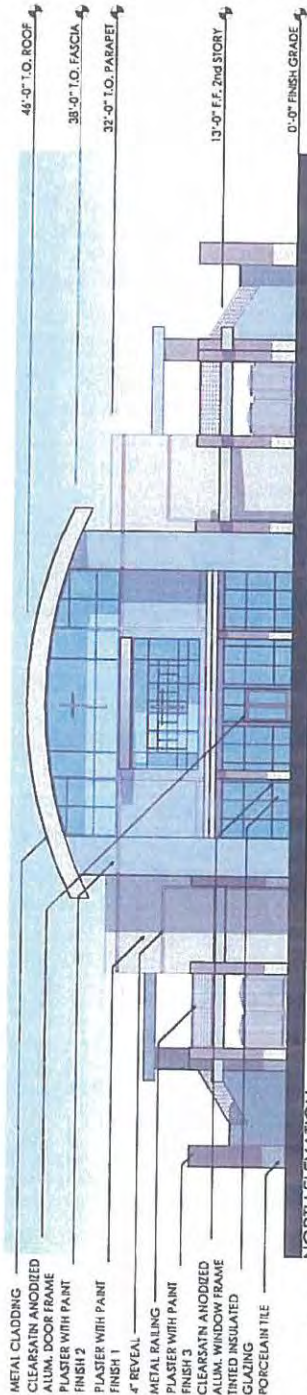
- 34'-0" I.O. PARAPET
- 29'-0" I.O. PARAPET
- 27'-0" I.O. PARAPET
- 21'-2" I.O. WINDOW
- 13'-0" I.O. FASCIA
- 9'-0" I.O. FRAME
- 0'-0" FINISH GRADE



WEST ELEVATION

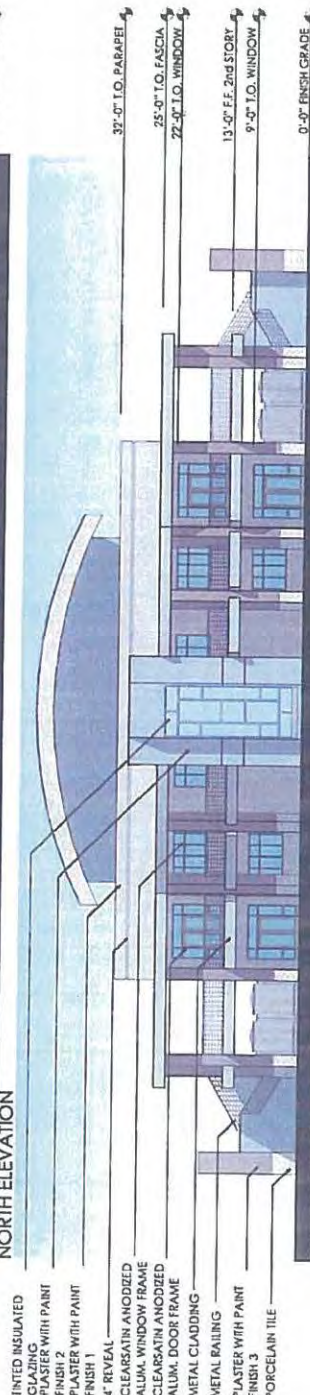
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PLASTER WITH PAINT FINISH 3
- 4" REVEAL
- METAL CLADDING
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE

- 34'-0" I.O. PARAPET
- 29'-0" I.O. PARAPET
- 27'-0" I.O. FASCIA
- 24'-0" I.O. FASCIA
- 12'-0" F.F. 2nd STORY
- 9'-0" I.O. FRAME
- 0'-0" FINISH GRADE



NORTH ELEVATION

- METAL CLADDING
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- 4" REVEAL
- METAL RAILING
- PLASTER WITH PAINT FINISH 3
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- TINTED INSULATED GLAZING
- PORCELAIN TILE



SOUTH ELEVATION

- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- 4" REVEAL
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- METAL CLADDING
- METAL RAILING
- PLASTER WITH PAINT FINISH 3
- PORCELAIN TILE



EAST ELEVATION

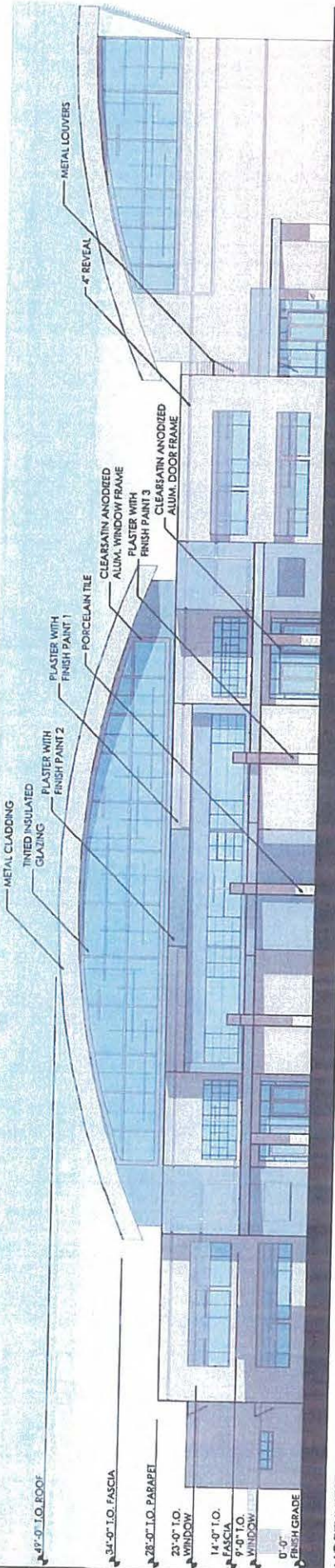
- TINTED INSULATED GLAZING
- PLASTER WITH PAINT FINISH 2
- 4" REVEAL
- PLASTER WITH PAINT FINISH 1
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- METAL RAILING
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- PORCELAIN TILE



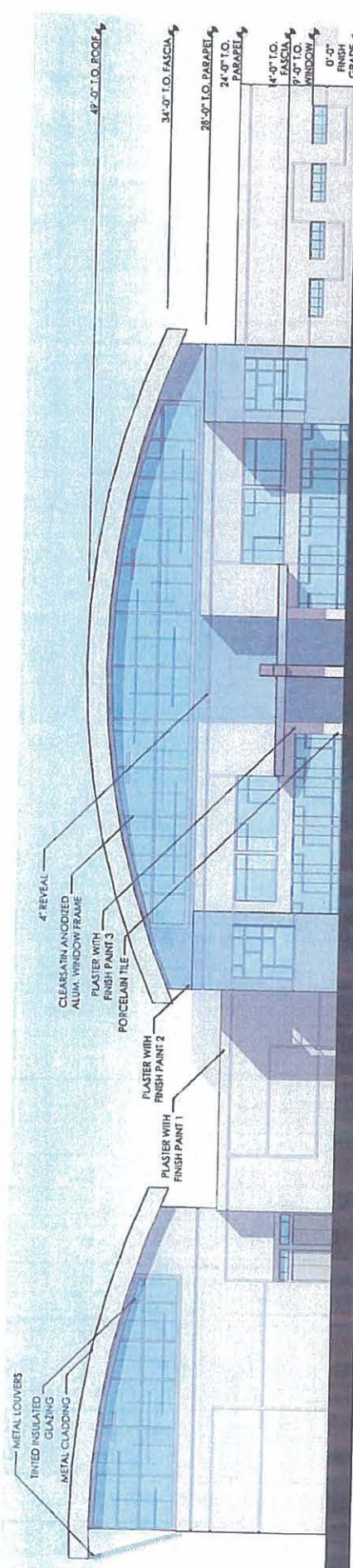
WEST ELEVATION

- STANDING SEAM METAL ROOF
- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 1
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- TINTED INSULATED GLAZING
- PORCELAIN TILE

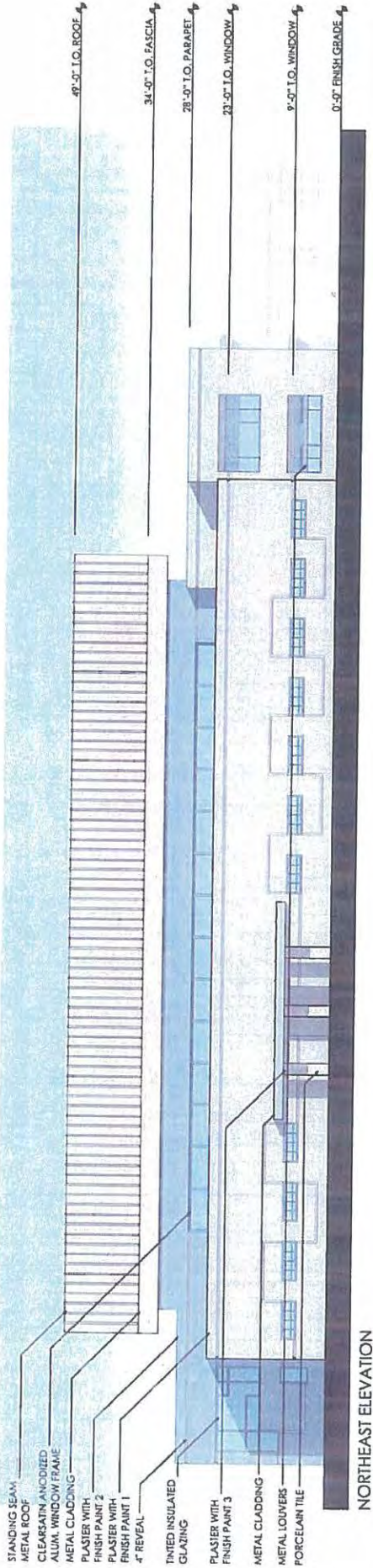




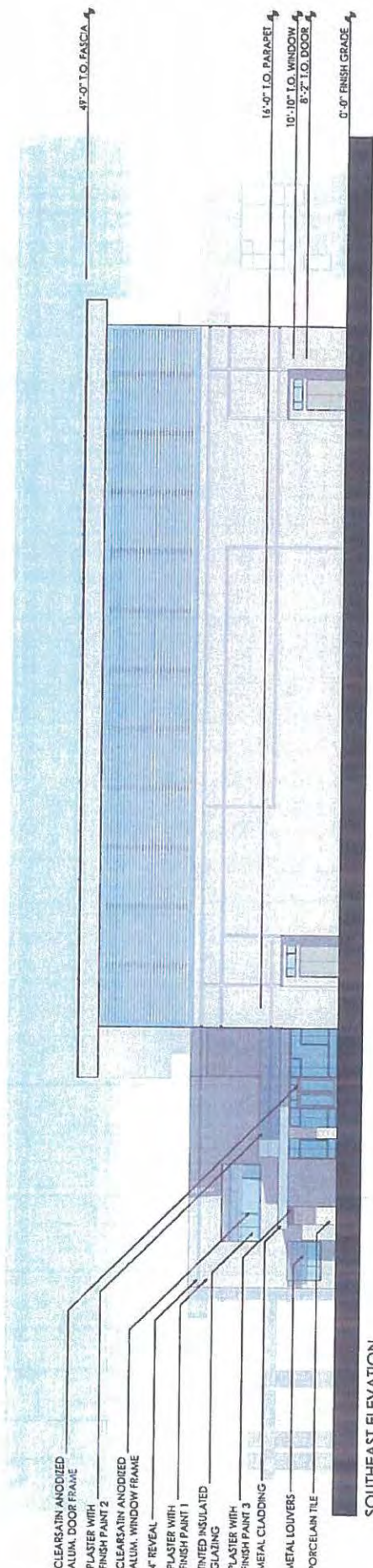
NORTHWEST ELEVATION



SOUTHWEST ELEVATION



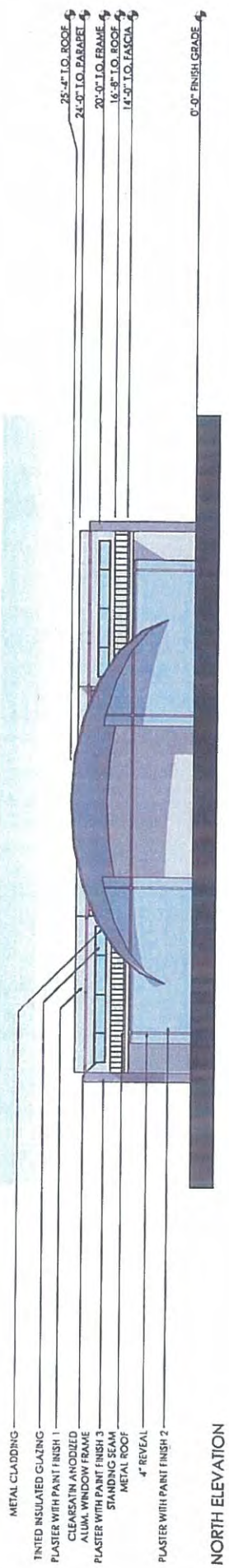
NORTHEAST ELEVATION



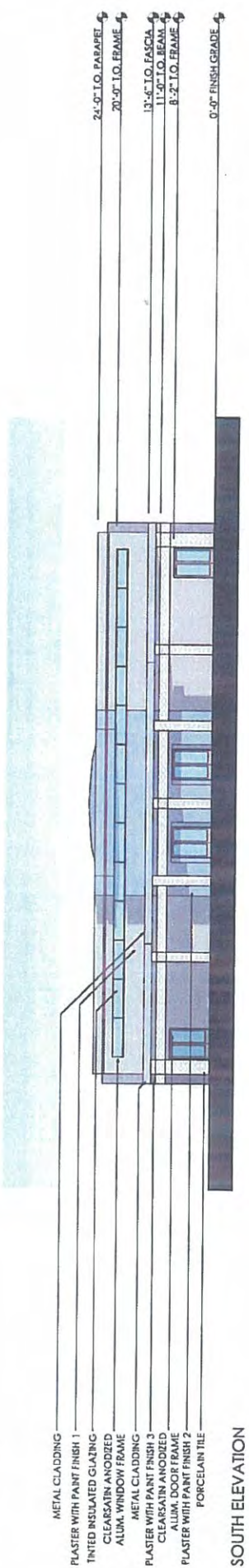
SOUTHEAST ELEVATION

- STANDING SEAM METAL ROOF
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- METAL CLADDING
- PLASTER WITH FINISH PAINT 2
- PLASTER WITH FINISH PAINT 1
- 4" REVEAL
- TINTED INSULATED GLAZING
- PLASTER WITH FINISH PAINT 3
- METAL CLADDING
- METAL LOUVERS
- PORCELAIN TILE

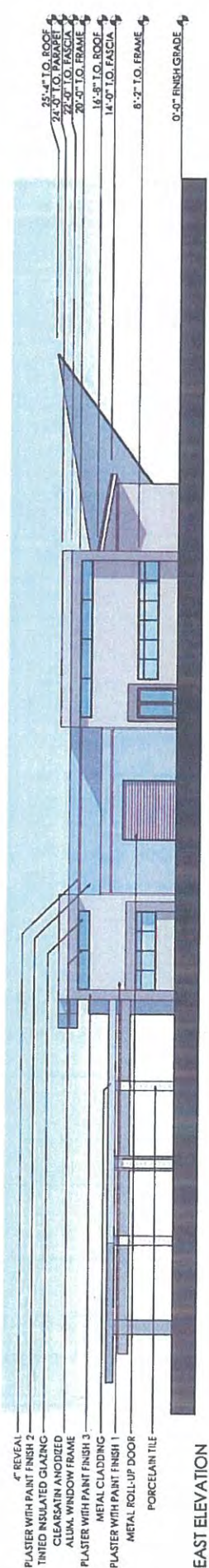
- CLEARSATIN ANODIZED ALUM. DOOR FRAME
- PLASTER WITH FINISH PAINT 2
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- 4" REVEAL
- PLASTER WITH FINISH PAINT 1
- TINTED INSULATED GLAZING
- PLASTER WITH FINISH PAINT 3
- METAL CLADDING
- METAL LOUVERS
- PORCELAIN TILE



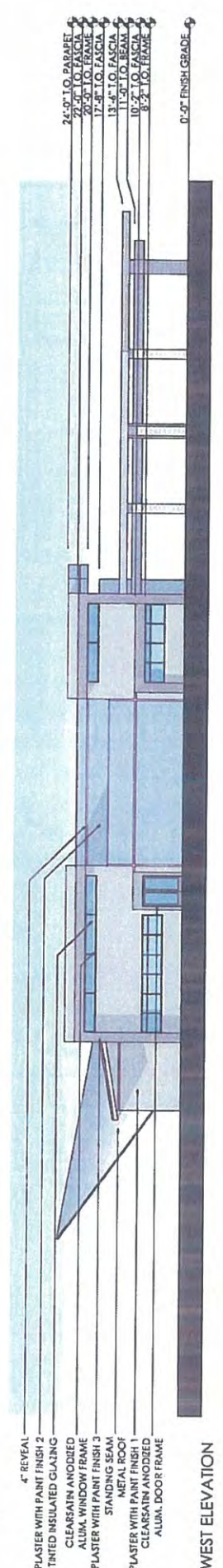
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



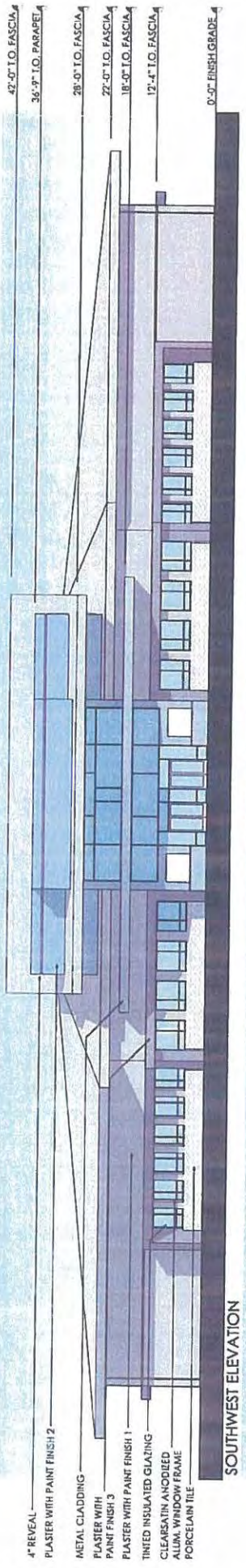
WEST ELEVATION

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul

Owner: Applicant: **Holt Architects**
 Rene Hillier 702 S. Agency
 40700 Vista Verde Blvd. Suite D
 Bismuth Drive, CA 92201 | Bismuth Agency, CA 92270

PARCEL # 626-150-037 | **SD-037** Scale: 1/8" = 1'-0"
 626-150-038 | FEBRUARY 2013
 CAFE / MULTIPURPOSE ELEVATIONS

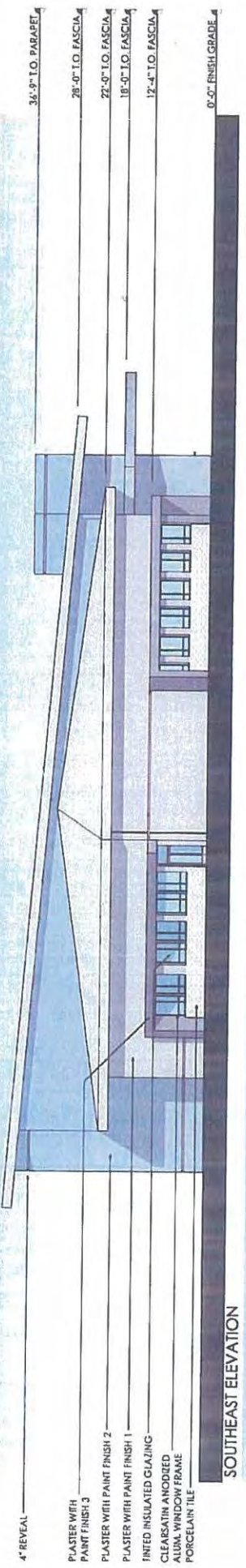
HOLT
 ARCHITECTURE



47'-0" T.O. FASCIA
36'-9" T.O. PARAPET
28'-0" T.O. FASCIA
22'-0" T.O. FASCIA
18'-0" T.O. FASCIA
12'-4" T.O. FASCIA
0'-0" FINISH GRADE

SOUTHWEST ELEVATION

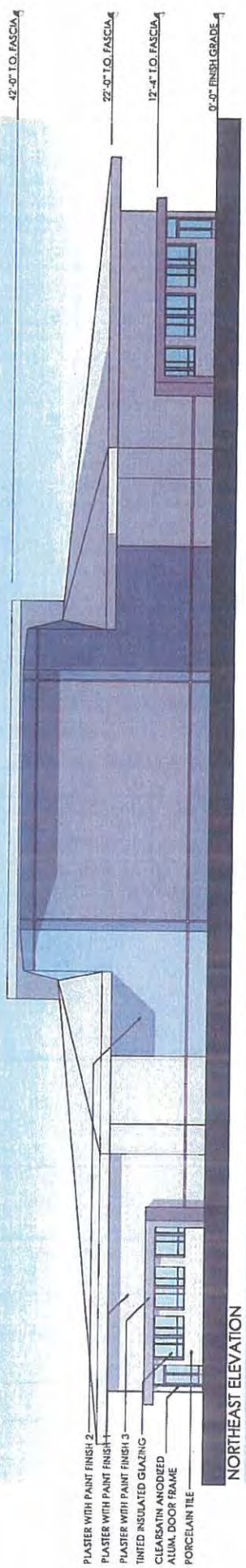
- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- METAL CLADDING
- PLASTER WITH PAINT FINISH 3
- PLASTER WITH PAINT FINISH 1
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE



36'-9" T.O. PARAPET
28'-0" T.O. FASCIA
22'-0" T.O. FASCIA
18'-0" T.O. FASCIA
12'-4" T.O. FASCIA
0'-0" FINISH GRADE

SOUTHEAST ELEVATION

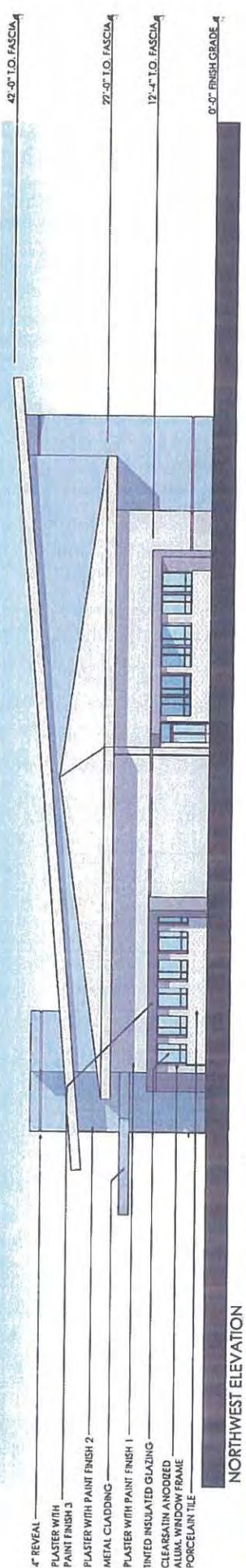
- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- PLASTER WITH PAINT FINISH 1
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE



42'-0" T.O. FASCIA
22'-0" T.O. FASCIA
12'-4" T.O. FASCIA
0'-0" FINISH GRADE

NORTHEAST ELEVATION

- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE



42'-0" T.O. FASCIA
22'-0" T.O. FASCIA
12'-4" T.O. FASCIA
0'-0" FINISH GRADE

NORTHWEST ELEVATION

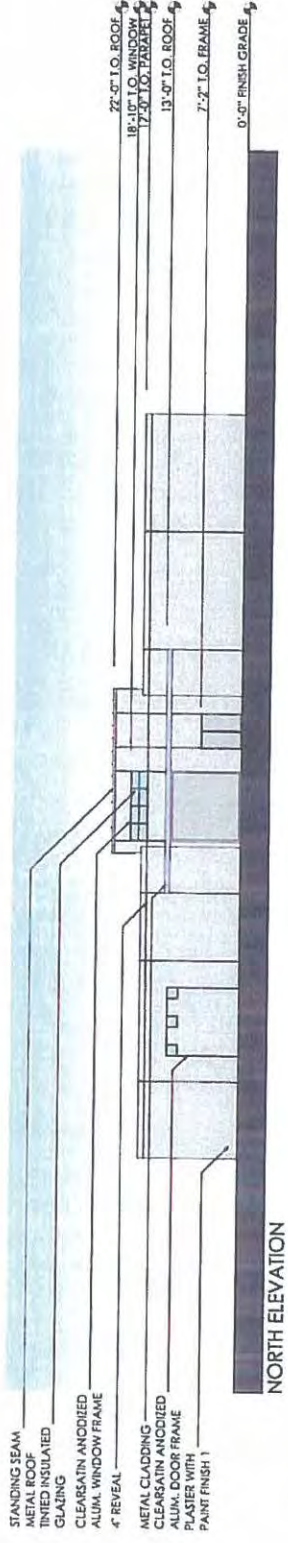
- 4" REVEAL
- PLASTER WITH PAINT FINISH 2
- PLASTER WITH PAINT FINISH 3
- METAL CLADDING
- PLASTER WITH PAINT FINISH 1
- TINTED INSULATED GLAZING
- CLEARSATIN ANODIZED ALUM. WINDOW FRAME
- PORCELAIN TILE

DESERT CHRISTIAN ACADEMY
Empowering the Mind, Engaging the Soul

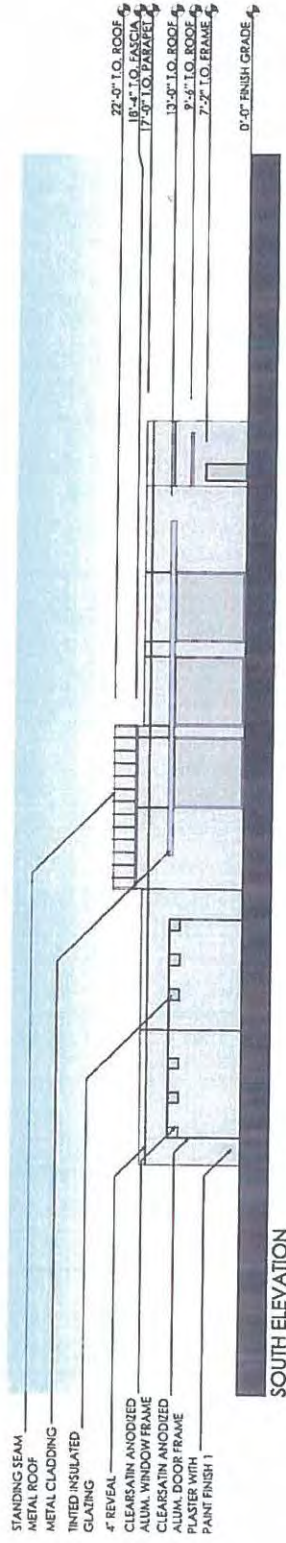
Owner: | Applicant: |
Dana Hutton | Holt Architects
48700 Yucca Lane | 70225 Highway 111, Suite D
Bemuda Beach, CA 92023 | Rancho Mirage, CA 92270

PARCEL # 626-150-037 | **SD-038**
626-150-038 | Scale: 1/8" = 1'-0"
FINE ARTS ELEVATIONS | MARCH 2013

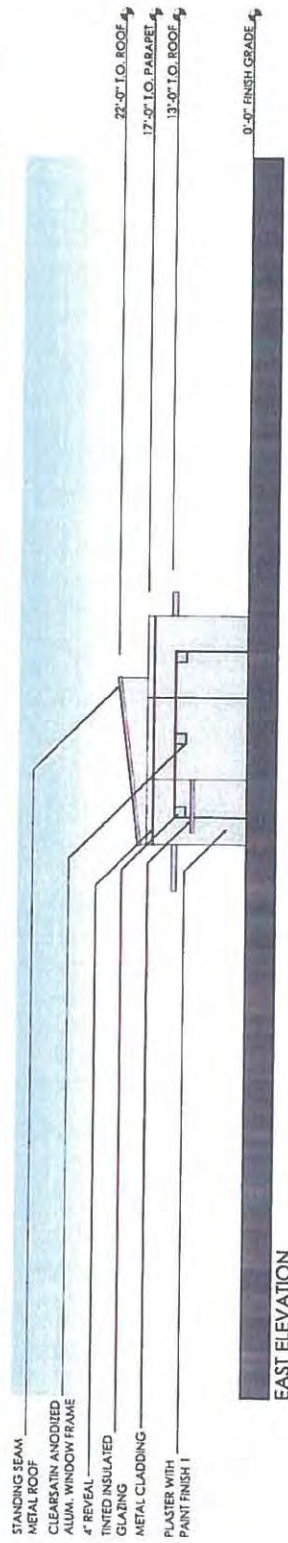
HOLT
ARCHITECTURE



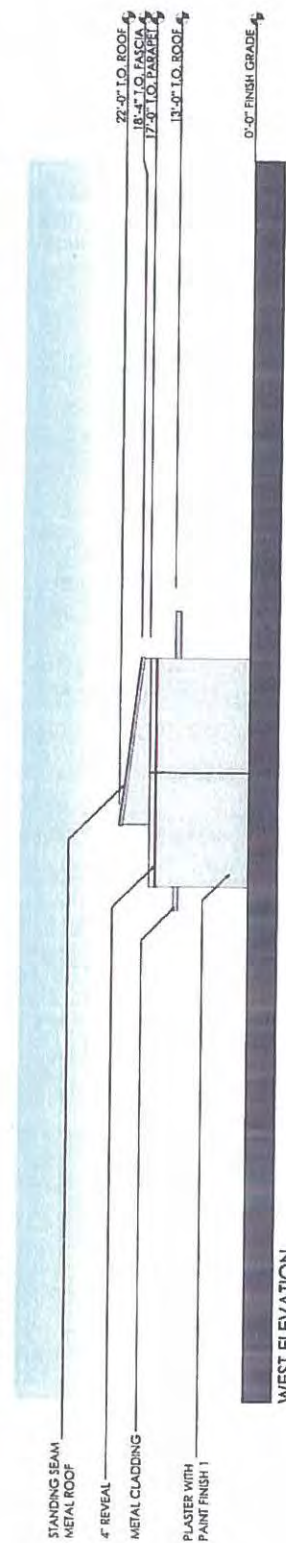
NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION



Established in 1918 as a public agency

Coachella Valley Water District

Directors:

John P. Powell, Jr., President - Div. 3
Franz W. De Klotz, Vice President - Div. 1
Ed Pack - Div. 2
Peter Nelson - Div. 4
Debi Livesay - Div. 5

Officers:

Jim Barrett, Acting General Manager
Julia Fernandez, Board Secretary

Redwine and Sherrill, Attorneys

August 14, 2013



File: 1150.001
0163.1
0421.1
0721.1
Geo. 050601-1
PZ 13-4756

Paul Rull
Riverside County Planning Department
4080 Lemon Street, 9th Floor
Riverside, CA 92501

Subject: Plot Plan No. 23977, Revision No. 1 (Desert Christian Academy)

This letter supersedes the Coachella Valley Water District (CVWD) letter dated December 3, 2012.

CVWD, Desert Christian Academy (DCA) and the County of Riverside (County) have developed a coordinated plan for the proposed DCA facility, CVWD's proposed regional flood control channel along Avenue 38 and the ultimate relocation of Avenue 38. This will soon be memorialized in a Memorandum of Understanding between CVWD, DCA and the County.

This project lies within the area of the Whitewater River Basin Thousand Palms Flood Control Project, which will provide regional flood protection to a portion of the Thousand Palms area. CVWD is currently in the design phase of this project. Upon completion of the design phase, developers and property owners within the area may be required to dedicate right-of-way for regional flood control facilities and/or participate in the financing of a portion of these facilities. Until construction of this project is complete, the developer shall comply with Riverside County Ordinance 458. Please refer to the CVWD letter dated December 7, 2012 for more details (enclosed).

Prior to issuance of grading permits for Plot Plan No. 23977, Revision No. 1, the developer shall comply with Riverside County Ordinance 458 as amended in the preparation of on-site flood protection facilities for this project. The developer will be required to pay fees and submit plans to the County as part of the flood management review. Flood protection measures shall include establishing a finished floor elevation at or above the flood depth, constructing erosion protection for the foundation of the buildings and allowing reasonable conveyance of off-site flow through the property.

Construction of walls may be in violation of Ordinance 458. When CVWD reviews a project for compliance with Ordinance 458, walls are reviewed carefully and seldom found to be compatible with the goals of Ordinance 458. Walls can cause diversion and concentration of storm flows onto adjacent properties and thus be in violation of Ordinance 458 and California drainage law.

Walls must be constructed in a manner that will not increase the risk of off-site stormwater flows on the adjacent properties. This can be accomplished by constructing open sections in the wall to accommodate flow-through. To achieve this, CVWD requires that if walls are constructed in a special flood hazard area, at least 50 percent of the total lineal footage of the wall be constructed of wrought iron fencing or similar material that will provide for flow-through of off-site stormwater flows. Construction materials used within the open sections must extend the entire vertical wall height so not to obstruct flow at the finish grade/surface.

This area is shown to be subject to shallow flooding and is designated Zone AO, depth 3 foot on Federal Flood Insurance rate maps, which are in effect at this time.

In the event the developer/builder proposes improvements to be constructed within the project site in the future, CVWD requests an opportunity to review and comment on the proposed improvements.

Flood protection measures shall comply with California Drainage Law and provide that stormwater flows are received onto and discharged from this property in a manner that is reasonably compatible with predevelopment conditions.

The County shall require mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. These measures shall require on-site retention of the incremental increase of runoff from the 100-year storm.

This project lies within the Study Area Boundary of the 2010 Coachella Valley Water Management Plan Update.

CVWD will provide domestic water and sanitation service to this area and such service will be subject to the satisfaction of terms and conditions established by CVWD and exercised from time to time, including but not limited to fees and charges, water conservation measures, etc.

CVWD may need additional facilities to provide for the orderly expansion of its domestic water and sanitation systems. These facilities may include pipelines, wells, reservoirs, booster pumping stations, lift stations, treatment plants and other facilities. The developer may be required to install these facilities and provide land and/or easements on which some of these facilities will be located. These sites shall be shown on the development plans as lots and/or easements to be deeded to CVWD for such purpose.

This notice of domestic water and sanitation service availability can only be used and relied upon for the specific property for which it was issued and shall expire three (3) years from date of issuance.

Domestic water and sanitation service remains at all times subject to changes in regulations adopted by CVWD's Board of Directors including reductions in or suspensions of service.

The Riverside County Health Department requires sanitary sewer service to be provided when there are existing sewers within 200-feet of the development. For your development, there are existing sanitary sewer service available in the area, but over the 200-foot requirement. CVWD strongly suggests that development connect to CVWD's sanitary sewer system and CVWD may survey existing property owners in this area to determine the potential for multi-user participation in a sewer line extension.

The sewer service laterals shall be designed and installed so as to readily facilitate connecting to a future collection system.

Sewers shall be designed and constructed so as to readily facilitate connection with an imminent future regional trunk sewer. Dry or wet sewers shall be installed. Plans for their installation shall be submitted to and approved by CVWD prior to issuance of a building permit.


CVWD requires restaurants to install a grease interceptor, including a sample box, sanitary tee and running trap with cleanout, prior to any discharge to its sanitation facilities. The size of the grease interceptor will be determined and approved by CVWD. Installation of the interceptor will be inspected by CVWD.

Plans for grading, landscaping and irrigation systems shall be submitted to CVWD for review. This review is for ensuring efficient water management.

The project lies within the West Whitewater River Subbasin Area of Benefit. Groundwater production within the area of benefit is subject to a replenishment assessment in accordance with the State Water Code.

All water wells owned or operated by an entity producing more than 25 acre-feet of water during any year must be equipped with a water-measuring device. A CVWD Water Production Metering Agreement is required to ensure CVWD staff regularly read and maintain this water-measuring device.

If you have any questions please call Tommy Fowlkes, Development Services Supervisor, extension 3535.

Sincerely,

Mark L. Johnson
Director of Engineering



Enclosure/1/as

cc: See attached

cc: Majeed Farshad (without enclosure)
Riverside County Department of Transportation
38-686 El Cerrito Road, Palm Desert, CA 92211

Alan French (without enclosure)
Riverside County Department of Transportation
4080 Lemon Street, 8th Floor
Riverside, CA 92501

Mike Mistica (without enclosure)
County of Riverside, Department of Environmental Health
Post Office Box 1206, Riverside, CA 92502

Holt Architects (without enclosure)
70-225 Highway 111, Suite D
Rancho Mirage, CA 92502

SL:pr/eng/sw/13/aug/Desert Christian Academy



Established in 1918 as a public agency
Coachella Valley Water District

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 Peter Nelson, President - Div. 4
 John P. Powell, Jr., Vice President - Div. 3
 Patricia A. Larson - Div. 2
 Debi Livesay - Div. 5
 Franz W. De Klotz - Div. 1

Officers:
 Steven B. Robbins, General Manager-Chief Engineer
 Julia Fernandez, Board Secretary

December 7, 2012

Redwine and Sherrill, Attorneys



Paul R Huddleston Jr., PE, PLS, Principal
 Hunsaker & Associates Irvine, Inc.
 2900 Adams Street, Suite A-15
 Riverside, CA 92504

Dear Mr. Huddleston:

Subject: Desert Christian Academy (APNs: 626-150-037 and 626-150-038)

This letter responds to your email dated December 4, 2012 regarding the hydraulic analysis (HEC-RAS) for the proposed Desert Christian Academy (DCA).

The Coachella Valley Water District (CVWD) has been working closely with Hunsaker and Associates Irvine, Inc., (Hunsaker) and the DCA to assist with the conceptual building layout for the project to ensure compliance with regional stormwater flow-through and redistribution requirements. However, the site will still be subject to flooding hazard from the 100-year flood, and will not be removed from a special flood hazard area on the on Federal Emergency Management Agency's (FEMA) Federal Flood Insurance rate maps.

CVWD conducted a preliminary hydraulic analysis using HEC-RAS (1-dimensional) to evaluate the conceptual layout regarding the requirements for regional stormwater flow-through and redistribution. CVWD, in coordination with our on-call consultant, have determined that the original DCA site layout provided to CVWD on June 5, 2012 (via email) is adequate to meet the requirements of California Drainage Law. The layout shows buildings elevated on a single pad with 3:1 slopes to meet existing grade, 75 foot set-backs from property lines on the west and south, and open spaces for the remainder of the property (other than the elevated pad for the buildings).

In order for DCA to move forward with the project, the following steps needs to be completed:

- Preparation of a grading plan that complies with Riverside Country Ordinance 458, FEMA Requirements and California Drainage Law. The grading plan shall include on-site flood protection facilities, finished floor elevations, erosion protection details, and adequate off-site stormwater flow-through.



SCAN AND SHRED

Paul R Huddleston Jr., PE, PLS
Principal

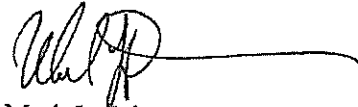
2

December 7, 2012

- The grading plan along with the appropriate fees shall be submitted to the County for a flood management review.
- After the flood management review has been completed, CVWD will prepare a clearance letter to the County stating that the DCA site meets Riverside County Ordinance 458 and FEMA requirements.
- Other pertinent requirements (water, sewer, onsite drainage, etc.) will still need to be coordinated through CVWD and/or the County.

If you have any questions please call Tesfaye Demissie, Stormwater Engineer, extension 2605.


Yours very truly,



Mark L. Johnson
Director of Engineering

ec: Dave Fulton via email: DFulton@desertchristianacademy.org
Tom Howell via email: THowell@holtarchitects.net
Tim Holt via email: THolt@holtarchitects.net
Matt Acton via email: MActon@holtarchitects.net

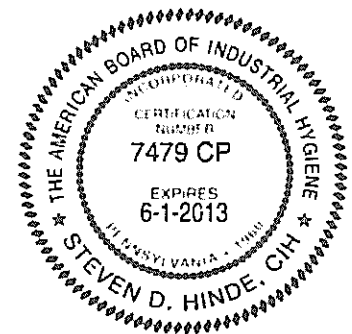
DC:\cheng\sw\12\Dec\Desert Academy Analysis

 COUNTY OF RIVERSIDE
DEPARTMENT OF ENVIRONMENTAL HEALTH

Date: May 1, 2013

To: Paul Rull
Riverside County Planning Department
4080 Lemon Street, 12th Floor
Riverside, California 92502
Fax: (951) 955-8631

From: Steven D. Hinde, REHS, CIH *SDH*
Senior Industrial Hygienist
Department of Environmental Health
Office of Industrial Hygiene
3880 Lemon Street, Ste. 200
Riverside, California 92501
(951) 955-8980
Fax: (951) 955-8988



Project Reviewed: PP 23977 (Christian School)

Reference Number: 27333

Applicant: Matt Acton
Holt Architecture
70-225 Highway 111, Ste. D
Rancho Mirage, CA 92270

Noise Consultant: P.A. Penardi & Associates
PO Box 133035
223 Teakwood Dr.
Big Bear Lake, CA 92315

Review Stage: Second Review

Information
Provided:

"Noise Impact Study of the Proposed Christian School of the District Development at 38th Avenue and Washington Street in Palm Desert" dated March 5, 2013 report #1300rpt

Noise Standards:

I. For Stationary Noise Sources:

A. Standards:

Facility-related noise, as projected to any portion of any surrounding property containing a “habitable dwelling, hospital, school, library or nursing home”, must not exceed the following worst-case noise levels:

- a) 45 dB(A) – 10 minute noise equivalent level (“leq”), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard).
- b) 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p.m. (daytime standard).

B. Requirement for Determination of Community Noise Impact:

- a) Noise originating from operations within the facility grounds shall be treated as “stationary” noise sources for which this standard will apply.
- b) Noise Modeling Methodology: Noise predictions are to be made by an engineer, acoustical consultant or other similar professional with experience in predicting community noise exposure using standard methods and practices of the noise consulting industry.
- c) Required Modeling Parameters for Stationary Sources:
 - i. Stationary sources are to be modeled as “point” sources.
 - ii. Mobile point sources are to be modeled as emanating from the acoustical centroid of the activity, or at its closest approach to potentially impacted residential property lines, whichever yields the worst-case results.
 - iii. Noise modeling for each piece of acoustical equipment, process or activity must be based on Reference Noise Levels (RNL). RNL may be obtained directly from the manufacturer (in case of equipment) or generated from field studies. Regardless, the data must be representative of worst-case conditions. Directionality of the noise source must be taken into consideration if applicable.
 - iv. Predicted noise levels are to be expressed in terms of worst-case “equivalent continuous sound levels” [or, Leq] averaged over a ten minute period.

- v. For modeling purposes, receivers are assumed to be positioned at the property line boundary at an elevation of five feet off the ground.
- vi. Terrain conditions for modeling noise propagation: Assumptions regarding ground effects, atmospheric absorption and other forms of noise attenuation must be fully justified.

II. For Traffic Noise Sources to School Structures:

Noise Standards:

1. The "Noise Element" section of the Riverside County General Plan states "to avoid future noise hazard, the maximum capacity design standard (average daily trips) for highways and major roads" (including airports) "shall be used for determining the maximum future noise level" or, in the case of freeways and airports, the projected conditions for 20 years in the future may be used.
2. The interior noise levels in residential dwellings shall not exceed 45 Ldn (CNEL).
3. The exterior noise level shall not exceed 65 Ldn.

Highway Prediction Model:

Using FHWA RD 77-108 Highway Traffic Prediction Model, the noise consultant shall estimate noise impacts (Ldn) from the Highways (design capacity "C" Level of Service).

Acoustical Parameters for County Highways:

1. Average daily traffic (ADT) design capacity of 27,300 is assumed for proposed Avenue 38 (the County General Plan classifies Avenue 38 as a "Major", 4-lane roadway. ADT design capacity of 20,700 assumed for Washington Street (the County General Plan classifies Washington Street as "Secondary" roadway ADT data quoted from the Western Coachella Valley Area Plan Circulation ", Figure 7", dated 10/07/2003.
2. Truck/Auto Mix as follows (Riverside Co. Road Department):

For Major highways

VEHICLE	Overall %	DAY(7AM-7PM)	EVENING(7PM-10PM)%	NIGHT(10PM-7AM)%
Auto	92	69.5	12.9	9.6
Med. Truck	3	1.44	0.06	1.5
Heavy Truck	5	2.4	0.1	2.5

For Secondary highways

VEHICLE	Overall %	DAY(7AM-7PM)	EVENING(7PM-10PM)%	NIGHT(10PM-7AM)%
Auto	97.2	73.6	13.6	10.22
Med. Truck	1.87	0.9	0.04	0.9
Heavy Truck	0.74	0.35	0.04	0.35

3. Traffic Speed of 40 MPH.
4. The distance from the centerline of proposed Avenue 38 and Washington Street respectively to the nearest building face is estimated to be 337 feet and 450 feet
5. Modeling for proposed Avenue 38 and Washington Street was done using a "soft site" assumption.
6. The standard residential design with windows closed provides a 20 dB, A-weighted (reduction inside) attenuation.
7. Barrier calculations based on receptor at 10 feet from the barrier and at a 5 foot elevation for wall barrier height at or less than six feet. However, a receptor placement of 3-foot elevation is required when a wall barrier height is greater than six feet.
8. Interior calculations based on receptor at a 5-foot elevation inside the dwelling in the room nearest the noise source and 14 feet above the pad for the second floor in the middle of the room nearest the noise source.

Findings:

The consultant's report is adequate. Based on our calculations the recommendation listed below should provide sufficient attenuation to reduce the exterior noise levels to below 65 dB (A) during the day and 45 dB (A) at night. In addition, based on our calculations, the distance provided from the road to the school building should provide sufficient attenuation to reduce exterior roadway noise levels to below 65 Ldn and interior to below 45 Ldn using "window closed" conditions.

Recommendations:

The following conditions shall be applied to the project based on the information provided by the acoustical consultant:

1. Facility-related noise, as projected to any portion of any surrounding property containing a "sensitive receiver, habitable dwelling, hospital, school, library

or nursing home”, must not exceed the following worst-case noise levels 45 dB(A) – 10 minute noise equivalent level (“leq”), between the hours of 10:00 p.m. to 7:00 a.m. (nighttime standard) and 65 dB (A) – 10 minute leq, between 7:00 a.m. and 10:00 p. m. (daytime standard).

2. **Whenever a construction site is within one-quarter (1/4) of a mile of an occupied residence or residences, no construction activities shall be undertaken between the hours of 6:00 p.m. and 6:00 a.m. during the months of June through September and between the hours of 6:00 p.m. and 7:00 a.m. during the months of October through May. Exceptions to these standards shall be allowed only with the written consent of the building official.**
3. **All construction vehicles, equipment fixed or mobile shall be equipped with properly operating and maintained mufflers.**
4. **During construction, best efforts should be made to locate stockpiling and/or vehicle staging area as far as practicable from existing residential dwellings.**



Riverside County
Waste Management Department

Hans W. Kernkamp, General Manager-Chief Engineer

November 20, 2012

Paul Rull, Project Planner
Riverside County Planning Department
P. O. Box No. 1409
Riverside, CA 92502-1409

RE: Plot Plan (PP) No. 23977R1
Proposal: The revised PP proposes changes to the site and building design
APNs: 626-150-037; -038

Dear Mr. Rull:

The Riverside County Waste Management Department (Department) has reviewed the proposed project located north of Flora Avenue, south of 38th Avenue, and west of Washington Street, in the Western Coachella Valley Area Plan. In order to mitigate the project's potential solid waste impacts and to help the County's efforts to comply with State law in diverting solid waste from landfill disposal, the Department is recommending that the following conditions be made a part of any Conditions of Approval for the project:

1. **Prior to issuance of a building permit**, the applicant shall submit three (3) copies of a Recyclables Collection and Loading Area plot plan to the Riverside County Waste Management Department for review and approval. The plot plan shall conform to ***Design Guidelines for Recyclables Collection and Loading Areas***, provided by the Waste Management Department, and shall show the location of and access to the collection area for recyclable materials, along with its dimensions and construction detail, including elevation/façade, construction materials and signage. The plot plan shall clearly indicate how the trash and recycling enclosures shall be accessed by the hauler.
2. **Prior to final building inspection**, the applicant shall construct the recyclables collection and loading area in compliance with the Recyclables Collection and Loading Area plot plan, as approved and stamped by the Riverside County Waste Management Department.
3. **Prior to issuance of a building permit**, A Waste Recycling Plan (WRP) shall be submitted to the Riverside County Waste Management Department for approval. At a minimum, the WRP must identify the materials (i.e., concrete, asphalt, wood, etc.) that will be generated by demolition, construction and development, the projected amounts, the measures/methods that will be taken to recycle, reuse, and/or reduce the amount of materials, the facilities and/or haulers that will be utilized, and the targeted recycling or reduction rate. During project construction, the project site shall have, at a minimum, two (2) bins: one for waste disposal and the other for the recycling of Construction and Demolition (C&D) materials. Additional bins are encouraged to be used for further source separation of C&D recyclable materials. Accurate record keeping (receipts) for recycling of C&D recyclable materials and solid waste disposal must be kept. Arrangements can be made through the franchise hauler.

4. **Prior to issuance of an occupancy permit**, evidence (i.e., receipts or other type of verification) to demonstrate project compliance with the approved WRP shall be presented by the project proponent to the Planning Division of the Riverside County Waste Management Department in order to clear the project for occupancy permits. Receipts must clearly identify the amount of waste disposed and Construction and Demolition (C&D) materials recycled.
5. Hazardous materials are not accepted at Riverside County landfills. In compliance with federal, state, and local regulations and ordinances, any hazardous waste generated in association with the project shall be disposed of at a permitted Hazardous Waste disposal facility. Hazardous waste materials include, but are not limited to, paint, batteries, oil, asbestos, and solvents. For further information regarding the determination, transport, and disposal of hazardous waste, please contact the Riverside County Department of Environmental Health, Environmental Protection and Oversight Division, at 1.888.722.4234.
6. Use mulch and/or compost in the development and maintenance of landscaped areas within the project boundaries. Recycle green waste through either onsite composting of grass, i.e., leaving the grass clippings on the lawn, or sending separated green waste to a composting facility.
7. Consider xeriscaping and using drought tolerant/low maintenance vegetation in all landscaped areas of the project.

Thank you for the opportunity to review this proposal. If you have any questions, please call me at (951) 486-3200.

Sincerely,



Ryan Ross
Principal Planner

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 1/23/2014

The attached property owners list was prepared by Riverside County GIS

APN (s) or case numbers PP23977R1 For

Company or Individual's Name Planning Department

Distance buffered 1000'

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

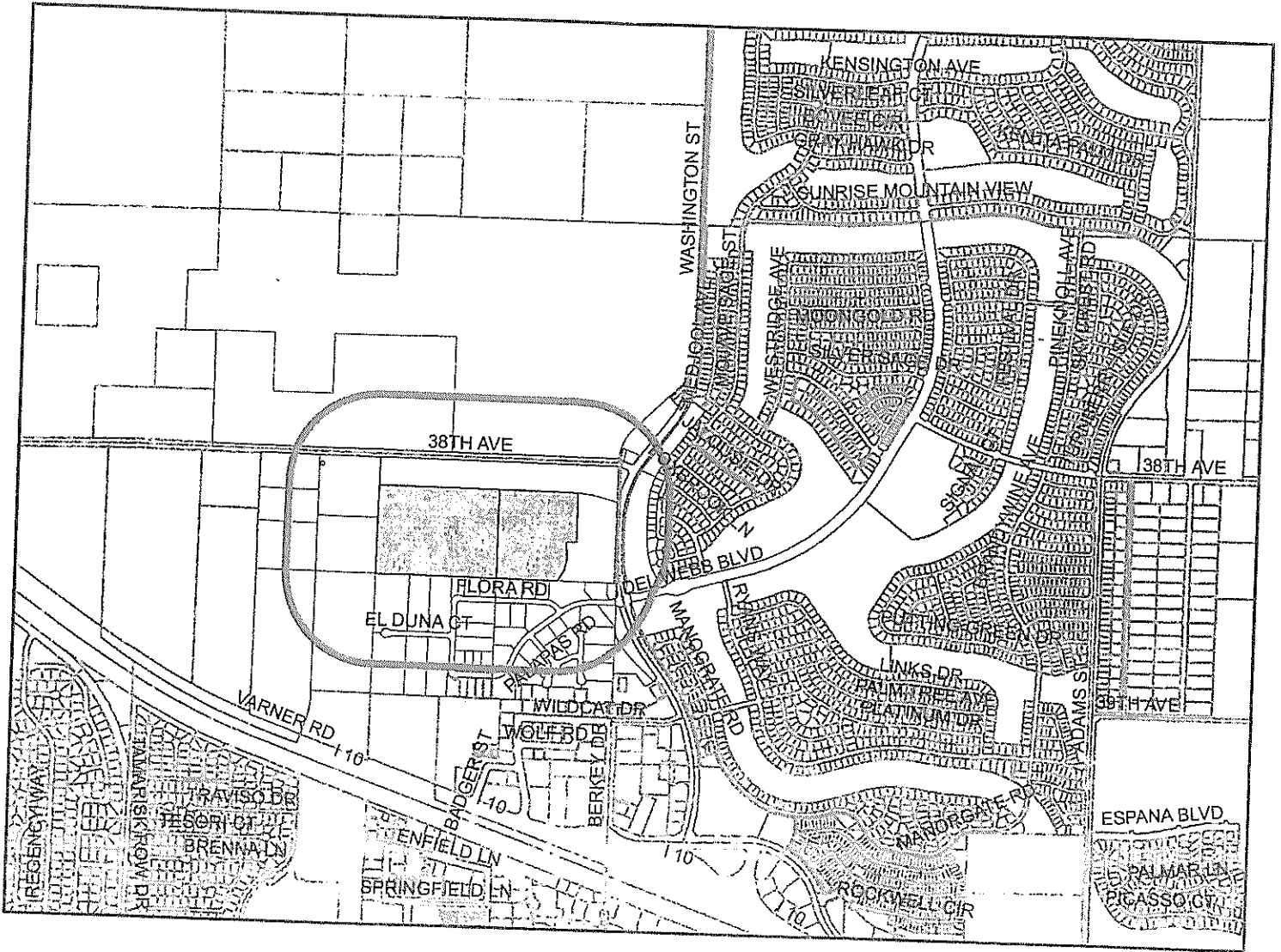
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

PP23977R1 (1000 feet buffer)



Selected Parcels

- | | | | | | | | | | |
|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| 748-300-006 | 748-290-001 | 626-420-020 | 748-300-002 | 626-420-048 | 748-300-004 | 626-150-037 | 626-150-038 | 626-150-039 | 626-150-040 |
| 748-390-004 | 748-390-005 | 626-420-025 | 626-420-074 | 626-420-075 | 626-420-076 | 626-420-077 | 626-420-084 | 626-420-016 | 626-420-017 |
| 626-420-018 | 626-420-019 | 626-420-001 | 626-420-002 | 626-420-003 | 626-420-004 | 626-420-068 | 626-420-011 | 626-420-012 | 626-420-013 |
| 626-420-014 | 626-420-030 | 626-420-049 | 626-420-050 | 748-390-006 | 748-390-007 | 748-390-008 | 748-390-009 | 626-420-052 | 626-420-053 |
| 626-420-054 | 626-420-055 | 626-420-063 | 626-420-033 | 626-420-034 | 626-420-035 | 626-420-038 | 626-420-065 | 626-420-039 | 748-290-006 |
| 748-300-013 | 748-300-031 | 748-290-002 | 748-300-012 | 748-300-014 | 748-300-009 | 748-300-029 | 626-420-051 | 626-420-056 | 626-420-082 |
| 626-420-083 | 748-300-040 | 748-290-005 | 626-420-029 | 748-300-005 | 748-300-001 | 626-420-022 | 748-300-011 | 748-300-030 | 748-300-083 |



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASMT: 626150009, APN: 626150009
 MIRASERA
 2580 WYANDOTTE STE STE G
 MOUNTAIN VIEW CA 94043

ASMT: 626420025, APN: 626420025
 KIMBERLY BOGGS, ETAL
 41200 YUCCA LN
 BERMUDA DUNES CA 92211

ASMT: 626150014, APN: 626150014
 MIRASERA
 2580 WYANDOTTE ST STE G
 MOUNTAIN VIEW CA 94043

ASMT: 626420026, APN: 626420026
 VANMAR ASSOC
 C/O KRISTEN MARTINEZ
 39249 LEOPARD ST STE A
 PALM DESERT CA 92211

ASMT: 626150039, APN: 626150039
 CHRISTIAN SCHOOL OF THE DESERT
 40700 YUCCA LN
 BERMUDA DUNES CA 92201

ASMT: 626420027, APN: 626420027
 JANET WATERS, ETAL
 39777 CAMINO MISTRAL
 INDIO CA 92203

ASMT: 626420020, APN: 626420020
 BEACH CITY FINANCIAL INC
 P O BOX 10843
 PALM DESERT CA 92225

ASMT: 626420028, APN: 626420028
 WHITE BROTHERS INV CO
 71905 HIGHWAY 111 STE E
 RANCHO MIRAGE CA 92270

ASMT: 626420022, APN: 626420022
 KOOZAR ENTERPRISES
 81160 NATIONAL DR
 LA QUINTA CA 92253

ASMT: 626420029, APN: 626420029
 JOHN YOUNG
 78005 WILDCAT DR STE 107
 PALM DESERT CA 92211

ASMT: 626420023, APN: 626420023
 CLAUDIA SCOTT, ETAL
 P O BOX 493
 LA QUINTA CA 92247

ASMT: 626420030, APN: 626420030
 DBP PROP
 C/O MICHAEL W FEDDERLY SR
 77742 LAS MONTANAS RD
 PALM DESERT, CA. 92211

ASMT: 626420024, APN: 626420024
 ORR PROP
 39301 BADGER ST NO 300
 PALM DESERT CA 92211

ASMT: 626420048, APN: 626420048
 PALM SPRINGS RADIATION ENTERPRISE
 C/O MARVIN POER & CO
 18818 TELLER AVE STE 277
 IRVINE CA 92612

ASMT: 626420083, APN: 626420083
GRINNELL PROP
C/O ANGELA HUMPHREYS
1302 PUYALLUP ST
SUMNER WA 98390

ASMT: 748290005, APN: 748290005
HELEN LAKER
38107 GRAND OAKS AVE
PALM DESERT CA 92211

ASMT: 695110002, APN: 695110002
STATE OF CALIF
1416 9TH ST RM 1206 22
SACRAMENTO CA 95814

ASMT: 748290006, APN: 748290006
DOLORES KEIHNER OSIECKI
38085 GRAND OAKS AVE
PALM DESERT, CA. 92211

ASMT: 695110003, APN: 695110003
USA 653
C/O USA FISH WILDLIFE SERVICE
911 NE 11TH ST
PORTLAND OR 97233

ASMT: 748290055, APN: 748290055
CAROL LOVETT, ETAL
78073 FOXBROOK LN
PALM DESERT CA 92211

ASMT: 748290001, APN: 748290001
BARBARA CRABTREE
38217 GRAND OAKS AVE
PALM DESERT, CA. 92211

ASMT: 748290056, APN: 748290056
COLLEEN ANDERSON, ETAL
78083 FOXBROOK LN
PALM DESERT, CA. 92211

ASMT: 748290002, APN: 748290002
G RICHARDS
38173 GRAND OAKS AVE
PALM DESERT, CA. 92211

ASMT: 748300001, APN: 748300001
SUE NICI, ETAL
38239 GRAND OAKS AVE
PALM DESERT, CA. 92211

ASMT: 748290003, APN: 748290003
LINDA NELSON, ETAL
9 FOREST HILLS ESTATES
LONGVIEW WA 98632

ASMT: 748300002, APN: 748300002
CAROLEE ROSENBERG, ETAL
38261 GRAND OAKS AVE
PALM DESERT, CA. 92211

ASMT: 748290004, APN: 748290004
ALMA MAYS, ETAL
38129 GRAND OAKS AVE
PALM DESERT, CA. 92211

ASMT: 748300003, APN: 748300003
ELIZABETH WILDERMAN, ETAL
4873 IRONWOOD AVE
SEAL BEACH CA 90740

ASMT: 748300004, APN: 748300004
 CHARLES DEVALON
 38305 GRAND OAKS AVE
 PALM DESERT CA 92211

ASMT: 748300011, APN: 748300011
 LINDA MARSHALL
 3763 REGAL VISTA DR
 SHERMAN OAKS CA 91403

ASMT: 748300005, APN: 748300005
 NORMA FIGUEROA, ETAL
 38327 GRAND OAKS AVE
 PALM DESERT, CA. 92211

ASMT: 748300012, APN: 748300012
 BIRGITTA GROHS, ETAL
 78020 RAVENCREST CIR
 PALM DESERT CA 92211

ASMT: 748300006, APN: 748300006
 PATRICIA RIOS, ETAL
 38349 GRAND OAKS AVE
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ASMT: 748300013, APN: 748300013
 CATHERINE RUSSELL, ETAL
 533 HEFFERNAN DR NW
 EDMONTON AB CANADA T6R2K4

ASMT: 748300007, APN: 748300007
 BRIAN FLAME, ETAL
 38393 WAVERLY RD
 PALM DESERT, CA. 92211

ASMT: 748300014, APN: 748300014
 GARY NEUHAUSEL
 6008 W COLORADO LN
 LAKEWOOD CO 80232

ASMT: 748300008, APN: 748300008
 JOY BELLAN, ETAL
 38415 WAVERLY RD
 PALM DESERT, CA. 92211

ASMT: 748300028, APN: 748300028
 PATRICIA LARSON
 38320 RED CEDAR DR
 PALM DESERT CA 92211

ASMT: 748300009, APN: 748300009
 MARY CISNEROS, ETAL
 38447 WAVERLY RD
 PALM DESERT, CA. 92211

ASMT: 748300029, APN: 748300029
 GERALDINE YOUNKER
 38298 RED CEDAR DR
 PALM DESERT, CA. 92211

ASMT: 748300010, APN: 748300010
 JOSEPHINE HUNTER, ETAL
 C/O SCHLECHT SHEVLIN & SHOENBERGER
 38459 WAVERLY RD
 PALM DESERT, CA. 92211

ASMT: 748300030, APN: 748300030
 LOUISE RUBEN
 148 WATERFORD RD
 RANCHO MIRAGE CA 92270

ASMT: 748300031, APN: 748300031
 ESTELLE COOPER
 38420 WAVERLY RD
 PALM DESERT, CA. 92211

ASMT: 748390009, APN: 748390009
 DEL WEBB CALIF CORP
 DEL WEBB CALIF CORP
 81485 Camino Montevideo
 Indio CA 92203

ASMT: 748300040, APN: 748300040
 HAROLD BARG
 P O BOX 3 GRP 4 RR2RR
 LORETTE MB CANADA R0A0Y0

ASMT: 748390011, APN: 748390011
 SUN CITY PALM SPRINGS COMMUNITY ASSN
 C/O DEL WEBB CALIF CORP
 39755 BERKEY DR
 BERMUDA DUNES CA 92201

ASMT: 748300041, APN: 748300041
 MELVIN KRANSELER
 38315 RED CEDAR DR
 PALM DESERT, CA. 92211

ASMT: 748390027, APN: 748390027
 SUN CITY PALM SPRINGS COMMUNITY ASSN
 C/O THOMAS LUCAS
 2231 E CAMELBACK RD
 PHOENIX AZ 85016

ASMT: 748390004, APN: 748390004
 COUNTY OF RIVERSIDE
 C/O REAL ESTATE DIVISION
 P O BOX 1180
 RIVERSIDE CA 92502

ASMT: 748430004, APN: 748430004
 WILDCAT DRIVE I
 C/O BEARD LAND IMPROVEMENT CO
 530 11TH ST
 MODESTO CA 95353

ASMT: 748390005, APN: 748390005
 CVWD
 P O BOX 1058
 COACHELLA CA 92236

ASMT: 748430009, APN: 748430009
 SUN CITY PALM DESERT COMMUNITY ASSN
 38180 DEL WEBB BL
 PALM DESERT CA 92211

ASMT: 748390007, APN: 748390007
 DEL WEBB CALIF CORP
 DEL WEBB CALIF CORP
 80758 CORTE SANTA CARMELA
 INDIO CA 92203

ASMT: 748390008, APN: 748390008
 DEL WEBB CALIF CORP
 DEL WEBB CALIF CORP
 40048 CORTE REFUGIO
 INDIO CA 92203

Bermuda Dunes
ATTN: General Manager
79880 Avenue 42
Bermuda Dunes CA 92201-1453

Airport Land Use Commission
Attn: John Guerin
Mail Stop #1070

Southern California Gas Company
Engineering Department
ATTN: Teresa Roblero
1981 W. Lugonia Avenue
Redlands CA 92374-9796

City of Palm Desert
ATTN: Director of Community Dev.
73-510 Fred Waring Drive
Palm Desert CA 92260

Southern California Edison
2244 Walnut Grove Avenue, Room 312
P.O.Box 600
Rosemad CA 91770

Desert Sands Unified School District
47-950 Dune Palms Road
La Quinta CA 92253-4000

Sunline Transit Agency
ATTN: Leslie Grosjean
32-505 Harry Oliver Trail
Thousand Palms CA 92276

Coachella Valley Water District
85995 Avenue 52
Coachella CA 92236

Holt Architects
ATTN: Tim Holt
70225 Highway 111, Suite D
Rancho Mirage CA 92270

Hunsaker & Associates
ATTN: Paul Huddleston
2900 Adams Street, Suite A-15
Riverside CA 92504

Christian School of the Desert
ATTN: Dave Fulton
40700 Yucca Lane
Bermuda Dunes CA 92201

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ATTN: Tim Holt
70225 Highway 111, Suite D
Rancho Mirage CA 92270

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Rancho Mirage CA 92270

Hunsaker & Associates
ATTN: Paul Huddleston
2900 Adams Street, Suite A-15
Riverside CA 92504

Christian School of the Desert
ATTN: Dave Fulton
40700 Yucca Lane
Bermuda Dunes CA 92201



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

ADDENDUM TO MITIGATED NEGATIVE DECLARATION

Project/Case Number: PLOT PLAN NO. 23977 REVISED PERMIT NO.1

Based on the Initial Study, it has been determined that the proposed project subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Paul Rull Title: Project Planner Date: January 22, 2014

Applicant/Project Sponsor: Holt Architect Date Submitted: November 7, 2012

ADOPTED BY: Planning Director

Person Verifying Adoption: _____ Date: _____

The Addendum to the Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501

For additional information, please contact Paul Rull, Project Planner at 951-955-0972.

Revised: 10/16/07
Y:\Planning Case Files-Riverside office\PP23977R1\DH-PC-BOS Hearings\DH-PC\Negative Declaration.docx

Please charge deposit fee case#: ZEA42120 ZCFG05934

FOR COUNTY CLERK'S USE ONLY



RIVERSIDE COUNTY PLANNING DEPARTMENT

Carolyn Syms Luna
Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 12th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

Addendum to EA42599, Plot Plan No. 25376 Revised Permit No.1

Project Title/Case Numbers

Paul Rull
County Contact Person

(951) 955-0972
Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

Holt Architect
Project Applicant

70225 Highway 111 Suite D, Rancho Mirage CA 92270
Address

Northerly of Hidden Rider Road, southerly of 42nd Avenue, easterly of Washington Street and westerly of Yucca Lane
Project Location

To revise the original Plot Plan No. 23977 for Desert Christian Academy private school (preschool through 12th grade) with changes to the site design layout and building design type on 48.7 gross acres.
Project Description

This is to advise that the Riverside County Planning Director, as the lead agency, has approved the above-referenced project on _____, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. An Addendum to an earlier Initial Study was prepared for the project pursuant to the provisions of the California Environmental Quality Act. (\$50)
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the earlier EA, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 12th Floor, Riverside, CA 92501.

Signature

Title

Date

Date Received for Filing and Posting at OPR: _____

Revised 8/25/2009
Y:\Planning Case Files-Riverside office\PP23977R\1\DH-PC-BOS Hearings\DH-PC\NOD Form.docx

Please charge deposit fee case#: ZEA42120 ZCFG05934

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * I0901149

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: CHRISTIAN SCHOOL OF THE DESERT \$1,993.00
paid by: CK 1090
CFG DOC FEE FOR EA42120 (PP23977)
paid towards: CFG05476 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ May 07, 2009 14:01
KHAFLIGE posting date May 07, 2009

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$1,993.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * I0900323

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: CHRISTIAN SCHOOL OF THE DESERT \$64.00
paid by: CK 1083
CFG DOC FEE FOR EA42120 (PP23977)
paid towards: CFG05476 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Feb 04, 2009 15:32
KHAFLIGE posting date Feb 04, 2009

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * I1000456

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: CHRISTIAN SCHOOL OF THE DESERT \$17.25
paid by: CK 1129
CFG DOC FEE FOR EA42120 (PP23977)
paid towards: CFG05476 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Feb 22, 2010 08:38
GCARO posting date Feb 22, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$17.25

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

J* REPRINTED * R1210189

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: HOLT ARCHITECTS \$64.00
paid by: CK 2032
CA FISH & GAME FOR PP23977R1
paid towards: CFG05934 CALIF FISH & GAME: DOC FEE
at parcel:
appl type: CFG3

By _____ Nov 08, 2012 08:22
MGARDNER posting date Nov 08, 2012

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

2.3

Agenda Item No.:
Supervisory District: Fourth/Fourth
Project Planner: Bahelila Boothe
Director's Hearing: April 12, 2014
Continued from: March 24, 2014

PLOT PLAN NO: 25488
Applicant: Richard Varge
CEQA Exempt

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan is to permit an unpermitted 3,665 square foot detached garage on 5 acres.

ISSUES OF RELEVANCE:

The project has been conditioned to obtain building permits for the unpermitted 3,665 square foot detached garage within sixty (60) days of plot plan approval. The applicant is proposing concurrent processing with the main residence and the CWP 3,665 square foot detached garage. The project will be conditioned that prior to issuance and prior to final of the building permit for the detached garage that the applicant apply and obtain a building permit for the main residence.

FURTHER PLANNING CONSIDERATIONS:

March 24, 2014

The project was continued from the March 24, 2014 Director's Hearing for applicant to revise site plan regarding structure and sizes. The applicant has decided to withdrawal his application and redesign the project within the guidelines of the A-1 Zone Section 13.1 (6)(4)(3).

RECOMMENDATIONS:

WITHDRAWAL of **PLOT PLAN NO. 25488**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

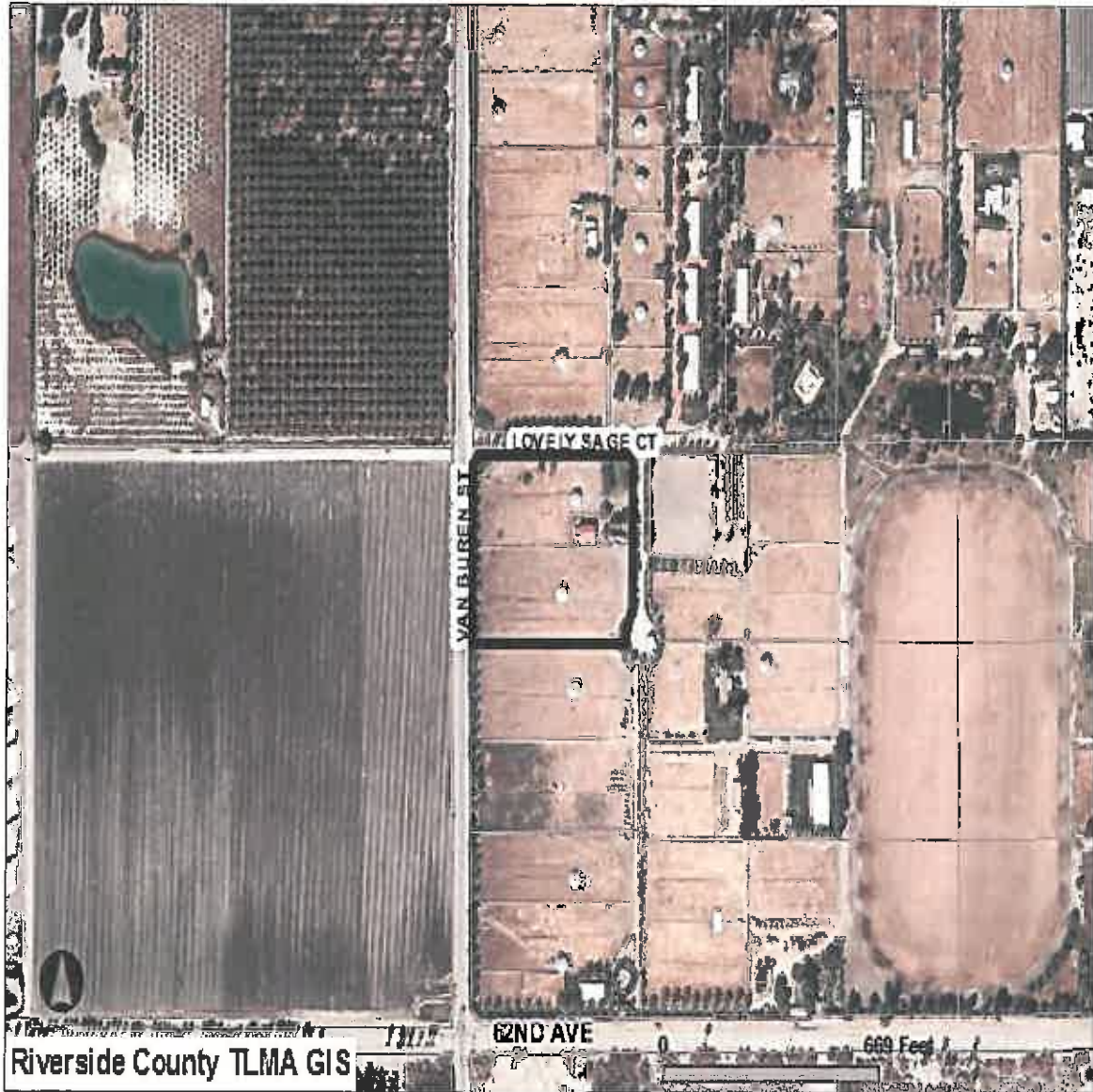
1. The project has a proposed primary dwelling on the parcel where the detached accessory building is proposed.
2. The project site is designated Agricultural: Agricultural (10 Acre Minimum) on The Eastern Coachella Valley Area Plan.
3. The proposed detached accessory use is a permitted use in the general plan designation.
4. The proposed detached accessory building is a permitted use, subject to approval of a plot plan in the Light Agricultural (A-1-5) zone.
5. The proposed detached accessory building use is consistent with the development standards set forth in the A-1-5 (5 Acres minimum) zone.
6. The proposed 3,665 square foot detached garage is considered detached accessory building under Section 18.18 of Ordinance No. 348.

7. The detached accessory 3,665 square foot detached garage is compatible with the character of the surrounding community.
8. The detached accessory 3,665 square foot garage is located 23 feet from the main building and is compatible with the architecture of the main residence.
9. The project conforms to Section 15303, (New Construction or Conversion of Small Structures), of the CEQA guidelines and is exempt from CEQA if the project meets the following conditions: Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The numbers of structures described in this section are the maximum allowable on any legal parcel. Examples of this exemption include but are not limited to: "... (e) Accessory (appurtenant) structures including garages, carports, patios, swimming pools, and fences".

CONCLUSIONS:

1. The proposed project is in conformance with the Riverside County General Plan.
2. The proposed project is consistent with Section 18.18 of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The detached accessory building has been determined to be exempt under Section 15303(e) (New Construction or Conversion of Small Structures) of the California Environmental Quality Act.

2011 AERIAL




Selected parcel(s):
759-120-061

LEGEND

 SELECTED PARCEL

 INTERSTATES

 HIGHWAYS

 PARCELS

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

REPORT PRINTED ON...Wed Feb 05 16:23:35 2014

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