

RENAISSANCE RANCH

— COMMERCE CENTER —



SPECIFIC PLAN NO. 333, AMENDMENT NO. 1 (SP333A1)

COUNTY OF RIVERSIDE

PUBLIC REVIEW DRAFT | JUNE 2022



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— C O M M E R C E C E N T E R —

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SP333A1

COUNTY OF RIVERSIDE

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INTRODUCTION

1

CHAPTER ONE establishes the goals and purposes of this Specific Plan, its physical context, its relationship to other regulations and planning documents, and its development goals.



- 1.1 || PROJECT SUMMARY
- 1.2 || PROJECT LOCATION
- 1.3 || EXISTING SITE CHARACTERISTICS
- 1.4 || SURROUNDING LAND USES & DEVELOPMENT
- 1.5 || PROJECT HISTORY
- 1.6 || DOCUMENT PURPOSE
- 1.7 || SPECIFIC PLAN FORMAT
- 1.8 || RELATIONSHIP TO THE RIVERSIDE COUNTY GENERAL PLAN
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RENAISSANCE RANCH
— COMMERCE CENTER —

CHAPTER 1 | INTRODUCTION

1.1 PROJECT SUMMARY

Located on 157.1 acres within the Elsinore Area Plan portion of unincorporated Riverside County, the RENAISSANCE RANCH COMMERCE CENTER Specific Plan creates a modern, Light Industrial and Business Park development while preserving open space. The RENAISSANCE RANCH COMMERCE CENTER Specific Plan is designed to attract economic investment to this portion of the County of Riverside while creating job opportunities for local County residents. The RENAISSANCE RANCH COMMERCE CENTER Specific Plan provides for a maximum of 2,509,057 square feet (s.f.) of Light Industrial and Business Park land uses, along with 38.1 acres of Open Space – Conservation land uses. The mix of land uses established by the Specific Plan is projected to attract new businesses with the establishment of new light industrial, light manufacturing, research, and professional services to the Elsinore Area.

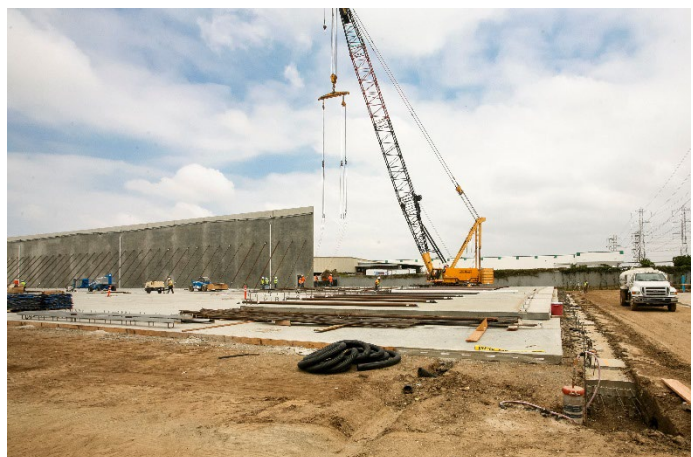


Decentralizing jobs throughout the County improves the jobs-to-housing balance in this portion of the County, reduces commute times for County residents by avoiding the need to commute to Los Angeles, Orange County, and San Diego, and contributes to the County's tax base.

The northern boundary of RENAISSANCE RANCH COMMERCE CENTER Specific Plan abuts the Interstate 15 Freeway, 1.7 miles north of the Lake Street and I-15 interchange, and 2.0 miles south of the Indian Truck Trail and I-15 interchange. The project is located approximately 70 miles

east of the Ports of Long Beach and Los Angeles, which are major gateways to international trade to the west of the site.

This Specific Plan document directs development of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan by establishing land use designations, infrastructure plans, development standards, and design guidelines addressing building placement, architectural style, landscaping and other project elements. Comprehensive design elements enhance visual interest, thematic unity, and compatibility through the consistent use of complementary exterior building materials, colors, and façade treatments. In addition, a landscaping program for the entire RENAISSANCE RANCH COMMERCE CENTER Specific Plan ties together the hardscape



and softscape elements of the built environment to create a cohesive visual character which blends this employment center into the surrounding area. De La Palma Road and Horsethief Canyon Road provide local access to the RENAISSANCE RANCH COMMERCE CENTER Specific Plan and serve as important components of the area's local circulation system. Street "A" within RENAISSANCE RANCH COMMERCE CENTER provides an 8-foot-wide Community Trail to offer residents in the area with pedestrian and trail connectivity between Horsethief Canyon Road

and Bolo Court. The Specific Plan ensures that necessary roads, utilities, landscape elements, and other infrastructure facilities are installed to accommodate the needs of the RENAISSANCE RANCH COMMERCE CENTER at build-out. Master-planned infrastructure constructed to support the project both on-site and off-site include domestic water, wastewater, recycled water, and drainage systems.

1.2 PROJECT LOCATION

As illustrated on Figure 1-1, *Regional Map*, the RENAISSANCE RANCH COMMERCE CENTER is located in the Elsinore Area Plan of Riverside County, approximately 9 miles north of the City of Lake Elsinore, and approximately 15 miles south of the City of Corona. Regional access to the RENAISSANCE RANCH COMMERCE CENTER is provided via I-15, from the Lake Street interchange located approximately 1.9 miles to the south of the site, and from the Indian Truck Trail interchange located approximately 2.8 miles to the north of the site. RENAISSANCE RANCH COMMERCE CENTER is north of Palomino Creek Drive, and west of the Hostettler Road. As illustrated on Figure 1-2, *Vicinity Map*, primary truck and automobile access to the RENAISSANCE RANCH COMMERCE CENTER is provided from Horsethief Canyon Road and De La Palma Road. Secondary automobile access is provided from Bolo Court at the southeastern corner of the COMMERCE CENTER (truck access is prohibited from Bolo Court).

1.3 EXISTING SITE CHARACTERISTICS

At the time that this Specific Plan was prepared (2020), the site consisted of vacant land. Approximately 27.1 acres in the northeastern portion of the Specific Plan area is mapped within the MSHCP Criteria Area, which has been dedicated to the Regional Conservation Authority (RCA) through the approved Specific Plan's HANS application. As illustrated on Figure 1-3, *USGS Topographic Map*, the Specific Plan property descends at a moderate gradient, generally in a northeasterly direction and is characterized by ridges and canyons. Pre-development site elevations range from approximately 1,200 feet above mean sea level (amsl) near the Specific Plan's northern boundary and to approximately 1,420 feet amsl near the Specific Plan's southwestern boundary.

1.4 SURROUNDING LAND USES AND DEVELOPMENT

As illustrated on Figure 1-4, *Surrounding Land Uses*, Horsethief Canyon Park, the Horsethief Wastewater Treatment Plant, and the existing Horsethief Canyon Ranch Specific Plan (SP152) abut the RENAISSANCE RANCH COMMERCE CENTER's western and southern boundaries. A residential portion of the Horsethief Canyon Ranch Specific Plan is located at the southwestern corner of De Palma Road and Horsethief Canyon Road, directly across from the projects' primary entrance. The Horsethief Canyon Ranch Community and Recreation Center is located approximately 0.5-mile south of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan. The northern boundary of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan is formed by the I-15 Freeway, with Industrial land uses and the Temescal Wash located on the northern side of I-15.

1.5 PROJECT HISTORY

In January 2005, the County of Riverside Board of Supervisors approved the RENAISSANCE RANCH Specific Plan No. 333 (SP333), and certified its Environmental Impact Report (SCH No. 333). The approved 156.9-acre Specific Plan provided a maximum of 355 dwelling units with an overall gross density of 2.3 dwelling units per acre, 98.7 acres of Medium Density Residential land uses, and 58.2 acres of non-residential land uses, including a 4.3-acre Community Park, 2.0-acre Pocket Park, 27.1 acres of Open Space/Conservation (MSHCP area), and 25.7 acres of Open Space/Drainage. In June 2005, TR31210 and TR31485 were approved by the County of Riverside Board of Supervisors to subdivide the Specific Plan property. Both Tentative Tract Map(s) have been subsequently process through the Final Map stages, however, the development has not been constructed and remains vacant. This RENAISSANCE RANCH COMMERCE CENTER Specific Plan is Amendment #1 to the approved RENAISSANCE RANCH SPECIFIC PLAN No. 333 (SP333).

1.6 DOCUMENT PURPOSE

Authorized by the California Government Code § 65450 et seq., a Specific Plan is a tool that is used for the systematic implementation of the General Plan for all or part of the area covered by the General Plan. It effectively establishes a link between implementing policies of the General Plan and the individual development proposals in a defined area. As such, this document provides the County of Riverside with policies and regulations to ensure efficient, orderly development of the subject property in accordance with the County's adopted General Plan.

The RENAISSANCE RANCH COMMERCE CENTER Specific Plan (together with the Specific Plan Zoning Ordinance) establishes standards for the development of a master planned employment center in the County of Riverside. This Specific Plan includes regulations relative to land uses, site planning, and building intensity, as well as Design Guidelines that are intended to provide for creativity in architecture, landscaping, and building arrangements, as future implementing projects develop within the Specific Plan. All future implementing actions (Development Plans, Tract Maps, Plots Plans, Conditional Use Permits, Site Plans, and other entitlements) for property located within the boundaries of this Specific Plan are required to be consistent with the standards and guidelines set forth in this document and with all applicable County regulations, unless directed and approved by the Planning Director. Furthermore, all regulations, conditions, standards, and guidelines contained herein shall be deemed distinct and independent provisions of the Specific Plan. If any section, clause, phrase, or portion of this document is for any reason to be found invalid by the decision of any federal or state court of competent jurisdiction, such decision shall not affect the validity of the remaining portion of this Specific Plan.

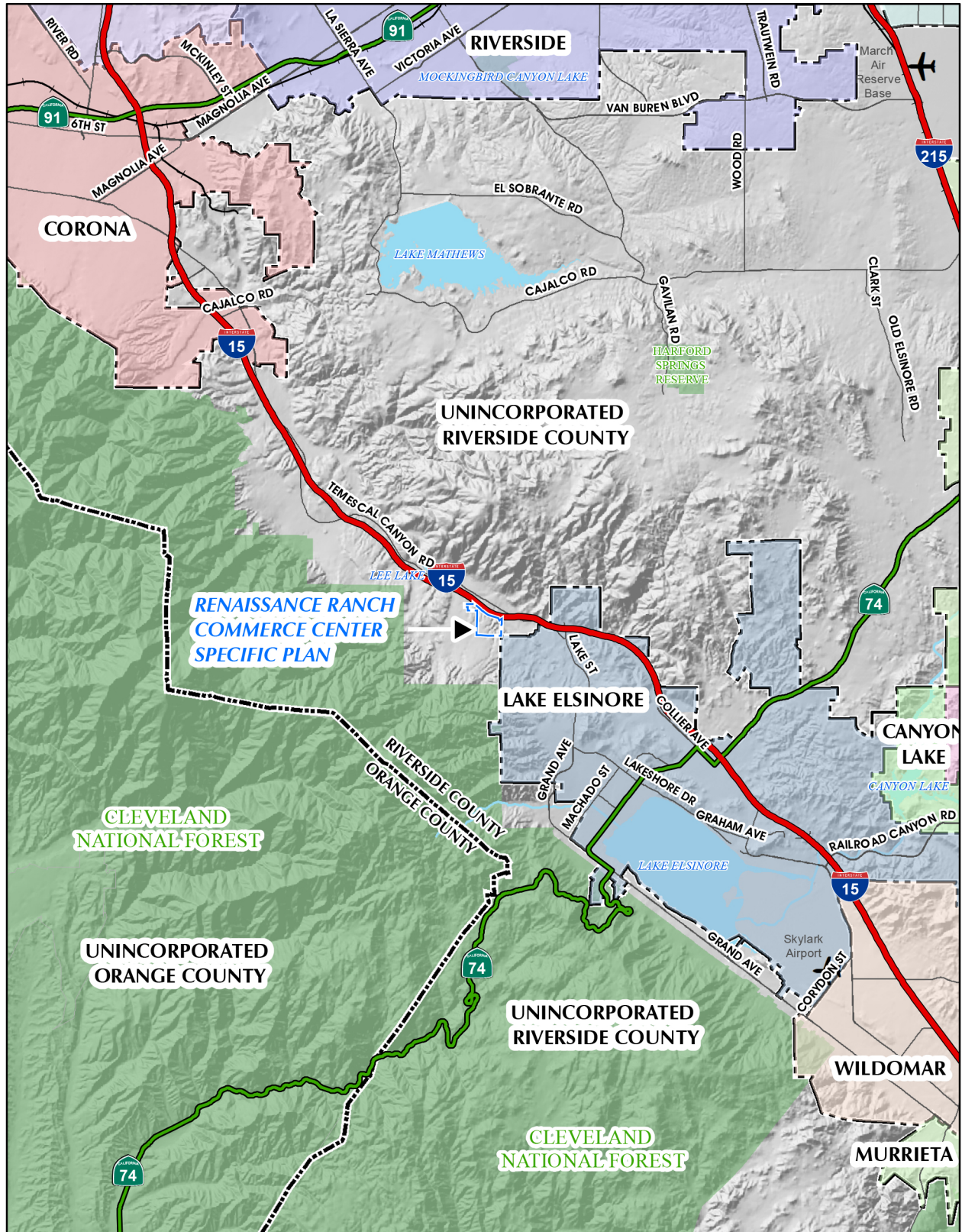
1.7 SPECIFIC PLAN FORMAT

This RENAISSANCE RANCH COMMERCE CENTER Specific Plan is divided into the following sections: 1) Introduction; 2) Development Plan; 3) Development Standards; 4) Design Guidelines; and 5) Implementation Plan.

This RENAISSANCE RANCH COMMERCE CENTER Specific Plan has been prepared pursuant to the provisions of California Government Code §65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code §65450 through §65454 establish the authority to adopt a Specific Plan, identify the required content of a Specific Plan, and mandate consistency with the General Plan. According to § 65450, a Specific Plan shall include text and a diagram or diagrams which specify all of the following details:

- ❖ The description, location, and extent of the uses of land within the area covered within the Specific Plan area;
- ❖ The distribution, location, extent, and intensity of major circulation and utility services to be located within the plan area or that will be needed to service the Specific Plan;
- ❖ Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;
- ❖ A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the specifications above;; and
- ❖ A statement of the Specific Plan's relationship to the General Plan.

Figure 1-1 *Regional Map*



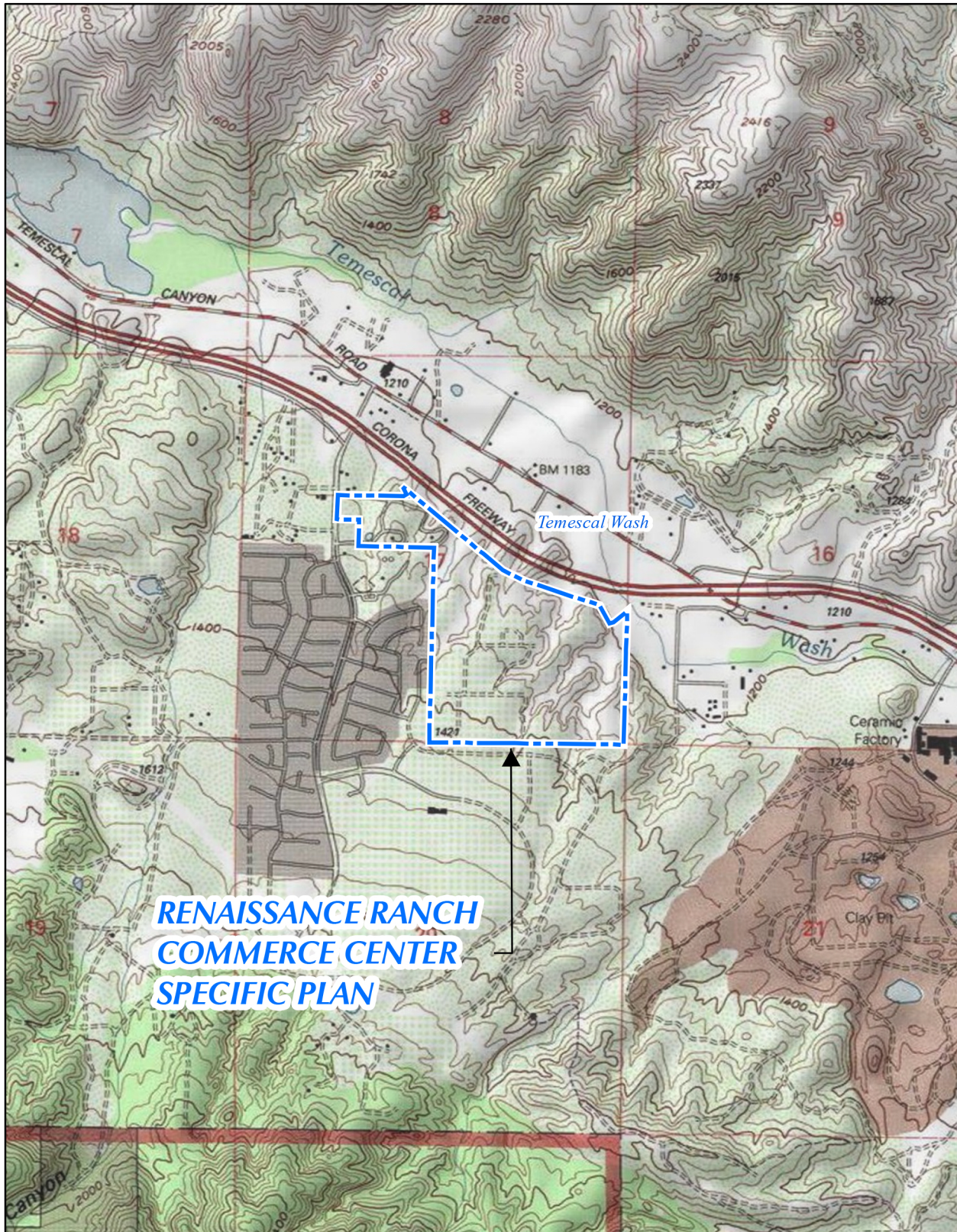
Source(s): Esri, Nearmap Aerial (2020)

Figure 1-1



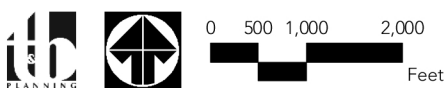


Figure 1-2



Source(s): USGS (2013)

Figure 1-3



USGS Topographic Map
 CHAPTER 1 - INTRODUCTION | X-X



Source(s): Esri, Nearmap Aerial (2021)

Figure 1-4



0 300 600 1,200
Feet

California state law also provides for the inclusion of any other subject that, in the judgement of the local planning agency, is deemed necessary or desirable to implement the General Plan, such as architectural or landscaped design guidelines.

In response to government requirements, this Specific Plan has been prepared to provide the essential link to the policies of the County of Riverside General Plan. By functioning as a regulatory document, the RENAISSANCE RANCH COMMERCE CENTER Specific Plan provides a means of implementing and detailing the County's General Plan and tailoring its policies to the subject property. In this regard, all future development plans or other entitlement applications are required to substantially conform to the standards and guidelines set forth in this document, the adopted Zoning Ordinance, and all applicable County regulations. This Specific Plan is designed to address site specific issues such as building setbacks and visual appearance, as well as community-wide concerns such as vehicular and non-vehicular circulation, energy conservation, landscaping, and the provision for infrastructure improvements. RENAISSANCE RANCH COMMERCE CENTER Specific Plan also ensures that new development meets or exceeds County standards for environmental protection, infrastructure, site planning, and aesthetic quality.

1.8 RELATIONSHIP TO RIVERSIDE COUNTY GENERAL PLAN

This Specific Plan defines the methods and requirements for development of the RENAISSANCE RANCH COMMERCE CENTER to ensure that applicable policies from Riverside County General Plan and Elsinore Area Plan are implemented and, also, to ensure that development envisioned by this Specific Plan is consistent with applicable provisions of General Plan. The General Plan sets forth long-term goals for the County's growth and development as mandated by State law, covering topics of land use, housing, parks and recreation, environmental resources, community economics, safety, mobility, community design, and social resources. The Specific Plan's consistency with the General Plan and Elsinore Area Plan policies are discussed below.

Riverside County's Vision for Transportation is to ensure that "strategies of local job creation, housing and child day care centers coupled with improvements to the transportation system, allow Riverside County residents to have access to a wide range of job opportunities within reasonable commute times" (p. V-15).

Land Use Element Policy 30.4 - "Concentrate industrial and business park uses in proximity to transportation facilities and utilities, and along transit corridors."

The RENAISSANCE RANCH COMMERCE CENTER implements the Riverside County Vision for Transportation and is consistent with LU Policy 30.4 because the RENAISSANCE RANCH COMMERCE CENTER Specific Plan establishes the General Plan designations (Light Industrial and Business Park) necessary to create a significant local employment center within Riverside County and the Elsinore Area Plan, and provide County residents with access to a wide range of job opportunities. The RENAISSANCE RANCH COMMERCE CENTER Specific Plan establishes this local employment center along Interstate 15, thereby providing County residents with access to a wide range of job opportunities within reasonable commute times and improve the County's housing-to-jobs ratio. In addition, the RENAISSANCE RANCH COMMERCE CENTER contributes to a reduction in average commute times, and thus a reduction in the number of vehicle miles travelled in the County, and contributes to reductions in the impacts Air Quality and Greenhouse Gases by reducing motor vehicle pollutants.

General Plan Statement - Page LU-62 of the Land Use Element - "Industrial land aids in creating economic growth by providing jobs for local and area-wide residents, providing growth opportunities for new and existing businesses, and facilitating a tax base upon which public services can be provided."

Land Use Element Policy 30.1 - *“Accommodate the continuation of existing and development of new industrial, manufacturing, research and development, and professional offices in areas appropriately designated by General Plan and area plan land use maps.”*

The RENAISSANCE RANCH COMMERCE CENTER is consistent with Land Use Element Policy 30.1 and the statement on page LU-62 because the RENAISSANCE RANCH COMMERCE CENTER Specific Plan provides for the development of Light Industrial uses, and Business Park uses, uses and would thereby promote economic growth by providing jobs for local and County workforce. The diversity in land uses provided by SP333-A1 attracts existing businesses and encourages the development of new industrial, manufacturing, research and development, and professional businesses to the Elsinore Area Plan, and improves the County’s tax base.

ELAP Policy 17.1 – *“Protect sensitive biological resources in the Elsinore Area Plan through adherence to policies found in the Multiple Species Habitat Conservation Plans, Environmentally Sensitive Lands, Wetlands, and Floodplain and Riparian Area Management sections of the General Plan Multipurpose Open Space Element.”*

The RENAISSANCE RANCH COMMERCE CENTER is consistent with ELAP Policy 17.1 because SP333-A1 preserves the on-site natural MSHCP open space area by designating Planning Areas 5 and 6 as “Open Space – Conservation Habitat” (OS-CH) to preserve the natural drainage corridor associated with the Temescal Wash, consistent with the MSHCP.

1.9 PLANNING APPROACH



The RENAISSANCE RANCH COMMERCE CENTER Specific Plan was created using an integrated, multi-disciplinary approach. The team assembled to undertake this project included the County, land planners, civil engineers, environmental resource specialists, historians, architects, landscape architects, geotechnical specialists, hydrology specialists, and market analysts. This team worked together to create a comprehensive development plan for the approximately 156.7-acre site, which provides land uses that take advantage of the site’s proximity to access to I-15, and responds to economic trends in

the County of Riverside. The team also took great care to ensure that the development plan is consistent with the Intent, Goals and Policies set forth by the County of Riverside General Plan.

1.10 MULTIPLE SPECIES HABITAT CONSERVATION PLAN (MSHCP)

The Western Riverside County MSHCP, which was adopted by the County on June 17, 2003, is a comprehensive, multi-jurisdictional Habitat Conservation Plan (HCP) focusing on conservation of species and their associated habitats. As part of determining an appropriate land use design for the site, the approved RENAISSANCE RANCH SPECIFIC PLAN was subject to thorough review by the Regional Conservation Authority (RCA) through its Habitat Acquisition and Negotiation Strategy (HANS). A portion of the Specific Plan area is mapped within the MSHCP Criteria Area, the RCA was required to review the Specific Plan’s HANS application and determine if the was consistent with applicable MSHCP reserve design criteria. Per HANS Application No. HANS00206, the RENAISSANCE RANCH COMMERCE

CENTER SPECIFIC PLAN permanently conserves 27.1 acres of open space along the site's eastern and northern boundaries, and the design respects the limits of development established in HANS Application No. HANS00206 for the approved Specific Plan.

1.11 SPECIFIC PLAN GOALS

A wide range of key issues were reviewed, analyzed and considered during the preparation of this Specific Plan. Engineering feasibility, market acceptance, economic viability, County General Plan goals, and local community goals were all considered during the planning process. Planning and development goals for the Specific Plan have been established to ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic impact of this Specific Plan. With these specific goals in mind, the following goals have been established for the RENAISSANCE RANCH COMMERCE CENTER Specific Plan:



- ❖ Provide for the development of a state-of-the-art commerce center that accommodates light industrial and business park land uses, preserve the existing MSHCP areas on-site, and recognizes the proximity of residential land uses by providing appropriate landscaping, buffering, and screening.
- ❖ Anticipate market demand by providing a mixture of light industrial and business park land uses in a master-planned commerce center that would be marketable and financially profitable within the evolving economic profile of western Riverside County.
- ❖ Provide a mix of light industrial and business park uses that create new job opportunities and reduce the need County residents to commute outside of Riverside County for employment.
- ❖ Locate businesses that rely on transportation efficiency in an area of the Elsinore Area Plan offering convenient access to the local and regional transportation network.
- ❖ Identify capital improvements for domestic water, recycled water, sewer, storm drain, and circulation facilities that serve planned land uses within and adjacent to the RENAISSANCE RANCH COMMERCE CENTER.
- ❖ Establish a unified thematic concept for the RENAISSANCE RANCH COMMERCE CENTER through design elements such as architecture, monumentation, theme walls, landscaping using a long-range comprehensive planning approach that cannot be accomplished on a parcel-by-parcel basis.
- ❖ Create a project-wide landscape concept that features drought-tolerant plant materials to provide for an aesthetically pleasing outdoor environment, while minimizing the demand for water resources.

1.12 DISCRETIONARY ACTIONS AND APPROVALS

This Specific Plan has been prepared under the authority of the Riverside County Planning Department, which is also the Lead Agency for the RENAISSANCE RANCH COMMERCE CENTER's approvals. This document will be used by the County in connection with the following decisions:

RIVERSIDE COUNTY PLANNING COMMISSION

- ❖ Recommendation to the Board of Supervisors regarding adoption of Amendment #1 to Specific Plan No. 333 (SP333-A1) by Resolution.
- ❖ Recommendation to the Board of Supervisors regarding approval of General Plan Amendment No. 200004 (GPA 200004) by Resolution.
- ❖ Recommendation to the Board of Supervisors regarding approval of Change of Zone No. 2000016 (CZ 2000016) by Ordinance.
- ❖ Recommendation to the Board of Supervisors regarding certification of the Project EIR (CEQ 200059).

RIVERSIDE COUNTY BOARD OF SUPERVISORS

- ❖ Adoption by Resolution of Amendment #1 to Specific Plan No. 333 (SP 333-A1).
- ❖ Adoption by Resolution of General Plan Amendment No. 200004 (GPA 200004).
- ❖ Approval by Ordinance of Change of Zone No. 2000016 (CZ 2000016).
- ❖ Certification of the Project EIR (CEQ 2000059).

Subsequent discretionary actions may include, but not be limited to, Final Maps, Conditional Use Permits, Site Plans, Plot Plans, Parcel Maps, Use Permits, Grading Permits, water and sewer system approvals, encroachment permits, and state and federal resource agency permits and approvals.

DEVELOPMENT PLAN

2

CHAPTER TWO provides descriptions of the RENAISSANCE RANCH COMMERCE CENTER Land Use Plan, the vehicular and non-vehicular circulation systems, and the plans for infrastructure including, but not limited to potable water, recycled water, sewer, drainage and water quality, and grading.



2.1 || LAND USE PLAN

2.2 || CIRCULATION PLAN

2.3 || POTABLE WATER PLAN

2.4 || RECYCLED WATER PLAN

2.5 || SEWER PLAN

2.6 || DRAINAGE AND WATER QUALITY PLAN

2.7 || GRADING PLAN

2.8 || OPEN SPACE PLAN

2.9 || FIRE PROTECTION PLAN



RENAISSANCE RANCH
— COMMERCE CENTER —

CHAPTER 2 | DEVELOPMENT PLAN

2.1 LAND USE PLAN

2.1.1. DEVELOPMENT CONCEPT

The RENAISSANCE RANCH COMMERCE CENTER Specific Plan provides for the development of a modern, Light Industrial and Business Park development on approximately 157.1 acres. Complemented by a cohesive architectural and landscape design theme and within view of commuters along Interstate 15 (I-15), the RENAISSANCE RANCH COMMERCE CENTER establishes itself as a premier, state-of-the-art commerce center within the Elsinore Area Plan of unincorporated Riverside County.



With access to both the existing and planned major transportation network, the RENAISSANCE RANCH COMMERCE CENTER establishes a premier location and atmosphere designed to attract economic investment to this part of the County while also creating substantial employment opportunities for County residents. For local residents, employment opportunities close to home mean reduced or eliminated commutes, and an improved quality of life. The high-quality design of the RENAISSANCE RANCH COMMERCE CENTER includes amenities for employees and visitors, such as a sidewalk system, and outdoor gathering areas.

This RENAISSANCE RANCH COMMERCE CENTER Specific Plan provides a detailed Circulation Plan, which is organized to ensure efficient access to individual tenant areas. Street 'A' serves as the backbone road of the COMMERCE CENTER and provides vehicular access to the Light Industrial and Business Park uses. A system of pedestrian pathways, including Community Trails, curb-adjacent sidewalks, and walking paths provide for pedestrian circulation through the COMMERCE CENTER. The Community Trail within the COMMERCE CENTER provides trail connectivity to the existing trails within Horsethief Canyon Road and Mountain Road, along with pedestrian connectivity between Horsethief Canyon Road and Bolo Court.

An illustration of the RENAISSANCE RANCH COMMERCE CENTER Land Use Plan and statistical summary for each of the 6 Planning Areas is provided in Figure 2-1, *Land Use Plan*, and Table 2-1, *Land Use Plan Statistical Summary*.

2.1.2. LAND USE SUMMARY

This Specific Plan establishes five (5) General Plan Land Use Designations: Light Industrial (LI), Business Park (BP), Open Space-Conservation (OS-C), and Open Space-Conservation Habitat (OS-CH). For planning purposes, the RENAISSANCE RANCH COMMERCE CENTER Specific Plan is divided into 6 Planning Areas. A “Planning Area” is a specific geographic area to which identified Development Standards and Zoning Requirements are uniformly applied.

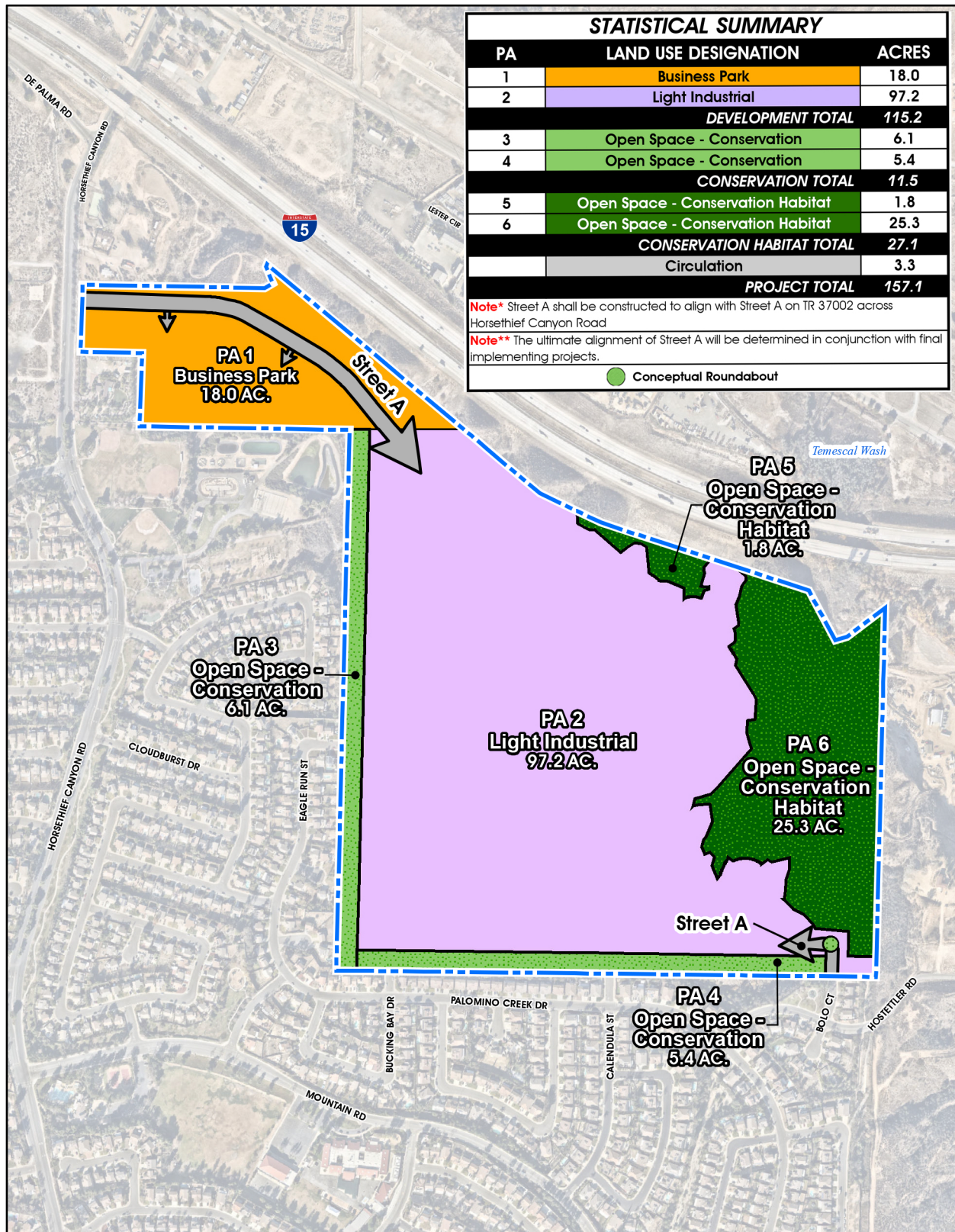
The RENAISSANCE RANCH COMMERCE CENTER SPECIFIC PLAN provides for a total maximum building space of 2,509,057 square feet and establishes: Light Industrial uses on approximately 97.2 acres with a maximum of 2,117,017 square feet of building space, Business Park uses on 18.0 acres with a maximum of 392,040 square feet of building space; 11.4 acres of Open Space-Conservation, and 27.1 acres of Open Space-Conservation Habitat.

Within the RENAISSANCE RANCH COMMERCE CENTER SPECIFIC PLAN, 27.1 acres are conserved and protected as open space. This conservation area creates a visually-pleasing backdrop for the site while contributing to the MSHCP Reserve. The natural colors and materials associated with the Temescal Wash are emulated in the built environment of the RENAISSANCE RANCH COMMERCE CENTER through its use of building materials and a complementary architectural style. Additionally, the COMMERCE CENTER’S landscaping plan establishes a number of objectives to increase resource conservation, including the planting of water-efficient and drought-tolerant landscaping.

Table 2-1, *Land Use Plan Statistical Summary*, lists each Planning Area and their respective General Plan Land Use Designation, acreage, and maximum development intensity by General Plan Land Use Designation (maximum permitted building square footage). Refer to Chapter 3, *Development Standards*, for the Specific Plan Land Use and Development Standards applicable to each Planning Area. Figure 2-1, *Conceptual Land Use Plan*, depicts the physical arrangement of General Plan Land Uses, Planning Areas, and the major roadways within and abutting the RENAISSANCE RANCH COMMERCE CENTER.

Table 2-1 Land Use Plan Statistical Summary

PA	LAND USE DESIGNATION	ACRES	MAXIMUM BUILDING SQUARE FOOTAGE
1	Business Park	18.0	392,040
2	Light Industrial	97.2	2,117,017
3	Open Space-Conservation	6.1	N/A
4	Open Space-Conservation	5.4	N/A
Open Space-Conservation Subtotal		11.4	N/A
5	Open Space-Conservation Habitat	1.8	N/A
6	Open Space-Conservation Habitat	25.4	N/A
Open Space-Conservation Habitat Subtotal		27.1	N/A
--	Circulation	3.3	N/A
TOTAL		157.1	2,509,057



Source(s): Nearmap Aerial (2020), RCTLMA (2020)
Composite: KWC Engineering (03-08-2020)

FIGURE 2-1



2.1.3. BUSINESS PARK (BP) – 18.0 ACRES

The RENAISSANCE RANCH COMMERCE CENTER is designed to accommodate Business Park land uses, which take advantage of the site's proximity to I-15. The Lake Street/I-15 interchange is located approximately 1.7 miles to the south of the site, and the Indian Truck Trail/I-15 interchange is located approximately 2.0 miles to the north of the site. Business Park land uses within Planning Area 1 account for 18.0 acres of the Specific Plan. Approximately 392,040 square feet of Light Industrial building space at a maximum FAR of 0.5 is permitted in Planning Area 1.

The Development Standards and Design Guidelines set forth in this Specific Plan and the Specific Plan Zoning Ordinance direct that the buildings in Planning Area 1 be arranged and designed in a contemporary manner, that the buildings be softened by landscaping, and that parking areas not be a dominating visual feature.

2.1.4. LIGHT INDUSTRIAL (LI) – 97.2 ACRES

The RENAISSANCE RANCH COMMERCE CENTER is designed to accommodate Light Industrial land uses, which take advantage of the site's proximity to I-15. The Lake Street/I-15 interchange is located approximately 1.7 miles to the south of the site, and the Indian Truck Trail/I-15 interchange is located approximately 2.0 miles to the north of the site. Light Industrial land uses within Planning Area 2 account for 97.2 acres of the Specific Plan. Approximately 2,117,017 square feet of Light Industrial building space at a maximum Floor Area Ratio (FAR) of 0.5 is permitted in Planning Area 2.

The Development Standards and Design Guidelines set forth in this Specific Plan and the Specific Plan Zoning Ordinance direct that the buildings in Planning Area 2 be arranged and designed in a contemporary manner, that the buildings be softened by landscaping, and that parking areas not be a dominating visual feature.

2.1.5. OPEN SPACE-CONSERVATION (OS-C) – 11.4 ACRES

Approximately 11.4 acres of Open Space – Conservation land uses are located within Planning Areas 3 and 4 of the RENAISSANCE RANCH COMMERCE CENTER SPECIFIC PLAN. These Planning Areas are located along the COMMERCE CENTER'S western and southern boundaries to provide a minimum 75-foot wide landscape buffer between the Light Industrial land uses within Planning Area 2 and the off-site residential neighborhoods to the west and south. The minimum 75-foot wide landscape buffer provides landscaping, manufactured slopes, physical and visual buffering, and screening. The ultimate alignment of Street 'A' within Planning Area 2 will be determined with implementing project(s) and may encroach into Planning Areas 3 and 4 provided that the landscape buffers in Planning Areas 3 and 4 maintain a width of at least 75 feet.

2.1.6. OPEN SPACE-CONSERVATION HABITAT (OS-CH) – 27.1 ACRES

Approximately 27.1 acres of Open Space – Conservation Habitat land uses are located within Planning Areas 5 and 6 of the RENAISSANCE RANCH COMMERCE CENTER SPECIFIC PLAN. Pursuant to the Western Riverside County MSHCP, this area, concentrated along the eastern and northeastern portions of the Specific Plan is intended to be conveyed to the RCA as part of the MSHCP Reserve in order to maintain this habitat in its natural condition.

2.2. LAND USE AND DEVELOPMENT STANDARDS

To ensure the orderly and sensitive development of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan area, Development Standards have been prepared for each Planning Area to facilitate the efficient implementation of development (refer to Chapter 3, *Development Standards*). In addition to these specific standards, Specific Plan-wide Development Standards also have been prepared to address the unique circumstances within each Planning Area. The Community-wide Standards are as follows:

1. The RENAISSANCE RANCH COMMERCE CENTER Specific Plan shall be developed as a Commerce Center containing Light Industrial, Business Park, Open Space-Conservation, and Open Space-Conservation Habitat on 157.1 acres.
2. The RENAISSANCE RANCH COMMERCE CENTER Specific Plan shall be developed with a maximum of 2,509,057 square feet of building area.
3. The Permitted Uses and Development Standards of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan are established in Chapter 3, *Development Standards*, and the Specific Plan Zoning Ordinance, and will be further defined by Specific Plan Objectives, the Specific Plan Design Guidelines, and future detailed development implementation proposals, including Subdivisions, Plot Plans, Use Permits, and/or Conditional Use Permits.
4. Whenever the Development Standards contained herein and Specific Plan Zoning Ordinance differ from those contained in the County Ordinance No. 348, the provisions of this Specific Plan and Specific Plan Zoning Ordinance shall take precedence. Any development standard, condition, or situation not specifically addressed herein shall be subject to the applicable requirements of the County of Riverside.
5. Except as modified by this Specific Plan, the Specific Plan Zoning Ordinance, or as approved by the Planning Director, development of the property shall be in accordance with the mandatory requirements of all County of Riverside ordinances.
6. Prior to issuance of a building permit for construction of any new use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the Planning Department verifying that all pertinent conditions of this Specific Plan approval have been satisfied for the phase of development in question.
7. A review in compliance with the California Environmental Quality Act (CEQA) shall be conducted to determine potential environmental impacts resulting from each Parcel Map, Site Plan, Plot Plan, Change of Zone, Specific Plan Amendment, or any discretionary land use application required to implement this Specific Plan, unless such proposal is determined by the County, to be consistent with the project EIR (CEQ No. 200059) and does not require subsequent environmental review, or is exempt from the provisions of CEQA. Any required CEQA review shall be prepared as part of the review process for implementing projects.
8. Lots created within the Specific Plan area pursuant to any concurrent or subsequent tentative subdivision map(s) shall be in conformance with the Development Standards of the Specific Plan herein applied to the property, or as approved by the Planning Director.
9. Development applications which incorporate common areas (areas maintained by the Master POA or Sub POA) shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular and/or pedestrian), or as approved by the Planning Director.
10. For the security and safety of future employees and visitors, the applicant and/or developer shall incorporate the following design concepts within each individual plot plan and/or site plan, or as approved by the Planning Director and/or Transportation Department:

- ❖ Circulation for pedestrians, vehicles, and police patrols.
 - ❖ Lighting of streets, parking areas, and walkways (excluding soft surface trails).
 - ❖ Visibility of doors and windows from the street and between buildings, where practical.
 - ❖ Fencing heights and materials (which are developer's responsibility).
11. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of the County Ordinance No. 460 and/or No. 787, subject to approval by the Riverside County Fire Department.
 12. All lighting shall incorporate, to the extent feasible and permissible under County standards, measures to aid in reducing light pollution and shall be in accordance with Riverside County Ordinance No. 655 (Mt. Palomar Observatory) and Ordinance No. 915 (Regulating Outdoor Lighting), and other applicable Riverside County standards, or as approved by the Planning Director.
 13. A Master Sign Program for the RENAISSANCE RANCH COMMERCE CENTER shall be prepared and approved by the County of Riverside prior the issuance of occupancy permits of new structures or facilities. The Master Sign Program shall provide adequate and appropriate project, street, building, tenant identification, pedestrian path, and wayfinding signage for the anticipated variety of building sizes, designs, and uses.
 14. Common areas identified in the Specific Plan are intended to be owned and maintained as follows:
 - ❖ One or more permanent master maintenance organizations shall be established for the Specific Plan area to assume ownership and/or maintenance responsibility for all common space, private circulation systems, common parking lots, pedestrian paths, and other landscaped areas. Such a maintenance organization(s) may be public or private, or a combination of public and private.
 - ❖ The maintenance organizations shall be established concurrent with approval of the first Site Plan, Plot Plan, or Conditional Use Permit or issuance of any building permit for any approved development permit. The ownership and maintenance responsibility shall be identified for each common area at the time Site Plans, Plot Plans, or Conditional Use Permits are filed.
 15. Structures shall be constructed to comply with California Energy Commission Title 24, *Energy Efficiency Standards for Non-Residential Construction*, in place at the time Building Permits are issued.
 16. In accordance with the California Solid Waste Reuse and Recycling Access Act of 1991, Cal Pub Resources Code §42911, adequate areas for collecting and loading recyclable materials shall be provided.

2.3. CIRCULATION PLAN

The RENAISSANCE RANCH COMMERCE CENTER *Circulation Plan* provides direct, safe, and convenient access for visitors, employees, and goods to and from the Specific Plan through a safe and efficient network of roadways. Components of the Specific Plan's *Circulation Plan* are discussed and illustrated on the following pages.

2.3.1. VEHICULAR CIRCULATION

As illustrated on Figure 2-2, *Circulation Plan*, local access to the RENAISSANCE RANCH COMMERCE CENTER is provided via existing Horsethief Canyon Road and De Palma Road from the north, and via existing Bolo Court from the south. As illustrated on Figure 2-2A, *Freeway Connectivity*, regional access to the COMMERCE CENTER is provided via I-15 from the De Palma Road exit located approximately 1.8 miles to the northwest, and from the Indian Truck Trail exit located approximately 1.9 miles to the northwest, and Lake Street exit located approximately 2.8 miles to the southeast.

Primary heavy commercial truck and automobile access for the COMMERCE CENTER is provided at the Horsethief Canyon Road and Street 'A' intersection; secondary automobile access is provided at the Bolo Court and Street 'A' intersection. Heavy commercial truck traffic is prohibited from entering and exiting the COMMERCE CENTER at Bolo Court. A roundabout may be provided within the alignment of Street 'A' in Planning Area 2 to restrict heavy commercial trucks from entering and exiting the COMMERCE CENTER at Bolo Court, along with signage and other measures to discourage heavy commercial trucks from using Bolo Court as access. The conceptual locations of roundabouts are provided in Figure 2-2, however, the final location of the roundabout, if used, will be determined with the ultimate alignment of Street 'A' during the design of implementing project(s). Alternatively, the final design of Street 'A' may not utilize a roundabout and may include gated emergency access at Bolo Court in a design acceptable to the County Fire Department and County Transportation Department.

Street "A" serves as the backbone road of the COMMERCE CENTER and provides access to the Business Park land uses within Planning Area 1 and the Light Industrial land uses within Planning Area 2. The ultimate alignment of Street 'A' will be determined prior to approval of the first implementing project within the Specific Plan. Final intersection designs, intersection spacing, configuration of gated emergency access at Bolo Court (if used), roundabout (if used) and traffic controls shall conform to County roadway engineering standards or as approved by the County Transportation Department.

2.3.2. ROADWAY CROSS-SECTIONS

The Vehicular Circulation Plan includes a range of roadway sizes and classifications as described below and illustrated on Figure 2-3, *Roadway Cross-Sections*, and Figure 2-3A, *Roundabout Cross-Sections*.

❖ **Street 'A' – Modified Industrial Collector (78' ROW) (1 of 2)**

This segment of Street 'A' is a 81-foot wide Modified Industrial Collector accessed via existing Horsethief Canyon Road from the west, and serves as the COMMERCE CENTER'S primary access to Planning Areas 1 and 2. This 78-foot segment of Street 'A' provides access between Horsethief Canyon Road and a roundabout within Planning Area 2 (final location of the roundabout (if used) and ultimate alignment of Street 'A' to be determined prior to approval of the first implementing project(s) and connects with the 64' ROW segment of Street 'A' within Planning Area 2. This 81' ROW of Street 'A' includes 56 feet of paving curb to curb, a 6-footwide curb-adjacent sidewalk and 5-foot wide landscaped parkway (on the same side of Business Park/Light Industrial use), and an 8-foot wide Community Trail within a 14-foot wide parkway (on the opposite side of Business Park/Light Industrial use). A roundabout may be provided within Planning Area 2 to prohibit truck traffic from exiting the COMMERCE CENTER at Bolo Court.

Alternatively, the final design of Street 'A' may not utilize a roundabout and may include gated emergency access at Bolo Court in a design acceptable to the County Fire Department and County Transportation Department.

The ultimate alignment of Street 'A', roundabout design (if used), gated emergency access design (if used) shall be determined prior to approval of the first implementing project within the Specific Plan. Street 'A' may encroach into Planning Areas 3 and 4 provided that the landscape buffers in Planning Areas 3 and 4 maintain a minimum width of at least 75 feet. Street "A" within RENAISSANCE RANCH COMMERCE CENTER shall be aligned with approved TR32884R01 Street "A" located on the western side of Horsethief Canyon Road.

❖ **Street 'A' – Modified Local Street (64' ROW) (2 of 2)**

This segment of Street 'A' is a 64-foot wide Modified Local Street via existing Bolo Court from the site's southeastern entrance, and serves as the COMMERCE CENTER'S secondary automobile access to Planning Areas 1 and 2. This 64-foot segment of Street 'A' provides access between Bolo Court and a roundabout within Planning Area 2 (final location of the roundabout and ultimate alignment of Street 'A' to be determined with implementing project(s)) and connects with the 81' ROW segment of Street 'A' within Planning Area 2. Heavy commercial truck traffic is prohibited from entering and exiting the COMMERCE CENTER at Bolo Court. This 64' ROW of Street 'A' includes 40 feet of paving curb to curb, a 6-foot wide curb-adjacent sidewalk and 4-foot wide landscaped parkway (on the same side of the roadway as the Light Industrial land use), and an 8-foot wide Community Trail within a 14-foot wide parkway (on the opposite side of Business Park/Light Industrial use). A roundabout shall be provided within Planning Area 2 to prohibit heavy commercial truck traffic from exiting the COMMERCE CENTER at Bolo Court. The ultimate alignment of Street 'A' and roundabout will be determined when buildings are designed and oriented for implementing project(s) within Planning Areas 1 and 2. Street 'A' may encroach into Planning Areas 3 and 4 provided that the landscape buffers in Planning Areas 3 and 4 maintain a minimum width of at least 75 feet.

❖ **Existing Horsethief Canyon Road – Modified Secondary Highway (94' ROW)**

Existing Horsethief Canyon Road is a 94-foot wide Modified Secondary Highway and serves as the COMMERCE CENTER'S primary truck and automobile access connection to Street 'A'. The existing portion of Horsethief Canyon Road along the Specific Plan's frontage is built-out to its full 94-foot right-of-way, therefore no improvements other than the creation of the required curb and paving for Street "A" are proposed. Existing Horsethief Canyon Road includes 64 feet of paving curb to curb, a 6-foot wide curb-adjacent sidewalk and 12-foot wide landscaped parkway on the eastern side of the street, and a 6-foot curb-adjacent sidewalk and a 6-foot wide landscaped parkway on the other side of the street.

❖ **Roundabout**

A roundabout may be provided within Street "A" to prohibit heavy commercial truck traffic from exiting the COMMERCE CENTER at exiting Bolo Court. Conceptual roundabout locations are illustrated on Figure 2-2, *Circulation Plan*, and Figure 2-3A, *Roundabout Cross-Sections*. The final details, design, and location of the roundabout (if used) will be determined with the ultimate alignment of Street 'A' during the design of implementing project(s). As illustrated on Figures 2-2, and Figure 2-3A, three potential locations for the roundabout within Planning Area 2 are provided.

1. Conceptual Roundabout (1 of 3)

The first roundabout option anticipates Street 'A' running along the western and southern boundary of Planning Area 2. This option locates the roundabout at the southwestern corner of Planning Area 2, adjacent to Planning Areas 3 and 4, to prohibit trucks from accessing Bolo Court to the east.

2. Conceptual Roundabout (2 of 3)

The second roundabout option anticipates Street 'A' running along the western and southern boundary of Planning Area 2. This option locates the roundabout at the central segment of Street 'A' within Planning Area 2, adjacent to Planning Area 4, to prohibit trucks from accessing Bolo Court to the east.

3. Conceptual Roundabout (3 of 3)

The third roundabout option anticipates Street 'A' running along the northern and eastern boundary of Planning Area 2. This option locates the roundabout at the central segment of Street 'A' within Planning Area 2, adjacent to Planning Area 4, to prohibit trucks from accessing Bolo Court to the east.

In addition to the potential use of a roundabout, additional design features and signage to be determined with implementing project (s) is encouraged to be provided along Street "A" to prohibit heavy commercial truck traffic from exiting the COMMERCE CENTER at Bolo Court. Alternatively, the final design of Street 'A' may not utilize a roundabout and may include gated emergency access at Bolo Court in a design acceptable to the County Fire Department and County Transportation Department.

2.3.3. NON-VEHICULAR CIRCULATION AND MOBILITY PLAN

The RENAISSANCE RANCH COMMERCE CENTER Specific Plan encourages pedestrian and bicycle circulation by employees and visitors between the Light Industrial and Business Park uses. Sidewalks are provided in the public rights-of-way along Street 'A', connecting directly to the off-site sidewalk network and trail along Horsethief Canyon Road and sidewalk along Bolo Court. As shown on Figure 2-3, a 6-foot wide curb-adjacent sidewalk is provided along Street 'A', on the same side of the roadway as the Business Park and Light Industrial land uses, along with an 8-foot wide Community Trail on the opposite side of Business Park and Light Industrial uses to offer the residents of the surrounding communities and the COMMERCE CENTER'S visitors and employees with connectivity between Horsethief Canyon Road and Bolo Court alongside the open space in PA 3 and 4. Additional pedestrian pathways and bike facilities may be designed for individual building sites at the time buildings are designed and positioned in Planning Areas 1 and 2 as part of implementing project(s).

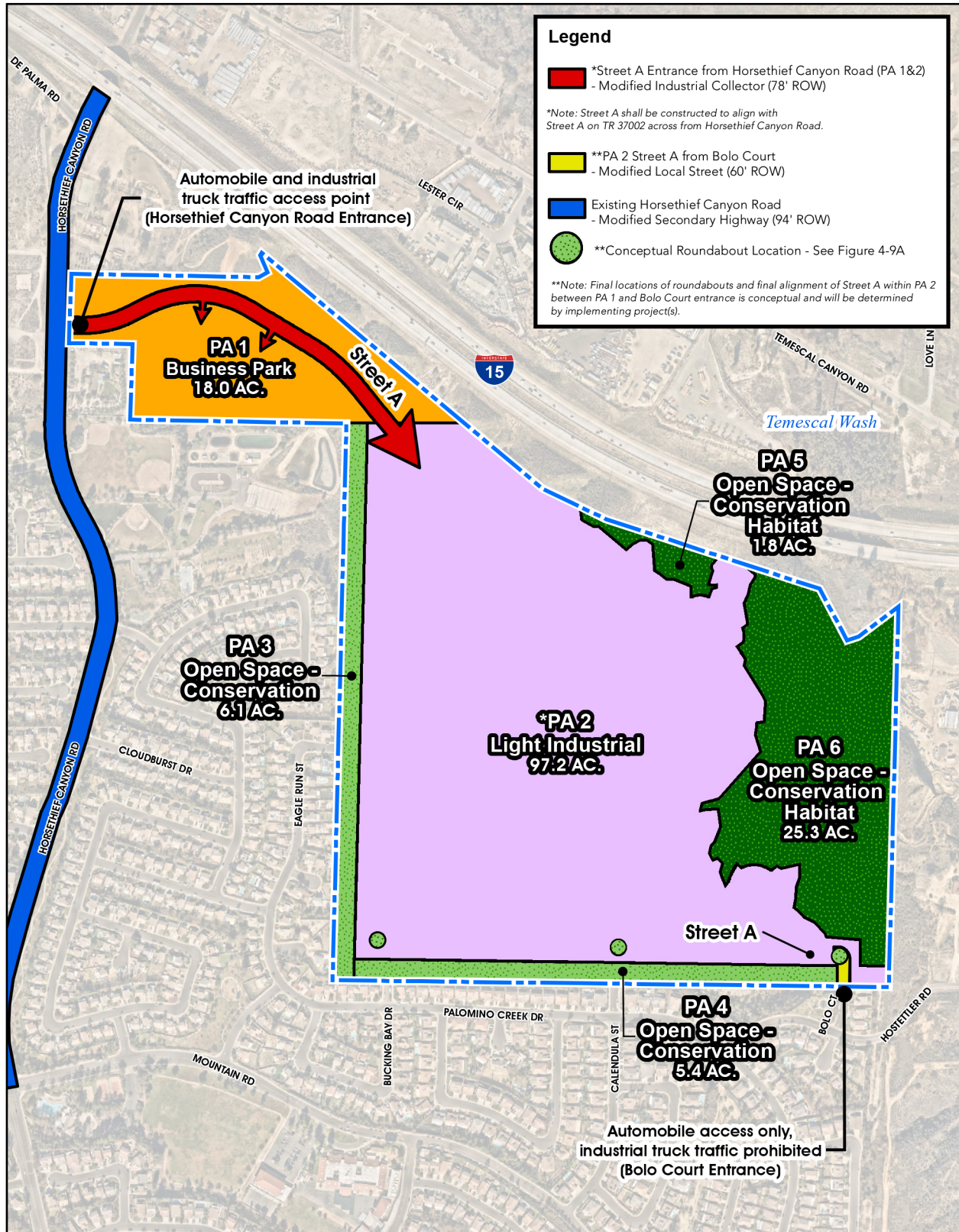
Provisions for additional pedestrian walkways between buildings and gathering areas are set forth in Chapter 4, *Design Guidelines*, of this Specific Plan.

2.3.4. CIRCULATION PLAN DEVELOPMENT STANDARDS

1. The alignment for both segments of Street 'A' illustrated in Figure 2-2, *Conceptual Circulation Plan*, is conceptual. The ultimate alignment of Street 'A' will be determined at the time buildings are designed and oriented with implementing project(s).
2. Roads within the Specific Plan boundary are constructed appropriate to County full -width standards in accordance with Riverside County Ordinance Nos. 460 and 461 (or as modifications, or as approved by the Riverside County Transportation Department) as a requirement of the implementing parcel maps for the Specific Plan, subject to approval by the Director of Transportation. To accommodate the hillside nature of this property, the minimum centerline radius for Street 'A' – Modified Industrial Collector shall be 600 feet.
3. The Developer applying for an implementing permit may participate in the phased construction of traffic signals as approved by the County Transportation Department.
4. Sidewalks and pedestrian paths located outside of the public right-of-way will require approval by the Riverside County Planning Department to ensure continuing maintenance through the establishment of a Property Owners'

Association (or Sub-Association), Landscape Maintenance District, or similar mechanism, as approved by the Riverside County Planning Department and/or Building and Safety Department.

5. All intersection spacing and/or access openings shall be per Riverside County Standard 114, Riverside County Ordinance No. 461, or as approved by the County Transportation Department.
6. Landscape requirements in public and private roadway rights-of-way shall generally be in accordance with the Roadway Landscape Treatments as depicted in Chapter 4.
7. This Specific Plan and all implementing plans and actions shall comply with the conditions and requirements set forth by the Riverside County Transportation Department.
8. Driveways and access point locations, as shown in this Specific Plan, are conceptual until approved by the Transportation Department and shall conform to Transportation Department standard access spacing, depending upon the street's classification.
9. Landscaping within public road rights-of-way will require approval by the Riverside County Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism, as approved by the Riverside County Transportation Department.
10. All applicable Transportation Uniform Mitigation Fees (TUMF) shall be paid in accordance with Riverside County Ordinance No. 824.
11. Sight distance shall be reviewed in compliance with Standard No. 821, Ordinance No. 461 and by the Riverside County Transportation Department in conjunction with the preparation of grading, landscaping, and street improvement plans. This review shall insure that setbacks allow for clear unobstructed sight distances at intersections.
12. The Developer applying for building permits shall provide on-site bicycle racks at every building, or building cluster with a shared common area, to encourage the use of bicycles as an alternate means of transportation.
13. In order to assure adequate evacuation time, alternate or secondary access shall be provided per Ordinance No. 460.
14. The roundabout within Planning Area 2, if used, shall be designed in accordance with the Federal Highway Administration, and shall be reviewed and approved by the Riverside County Transportation Department and Riverside County Fire Department prior to the approval of the first implementing project within the Specific Plan.

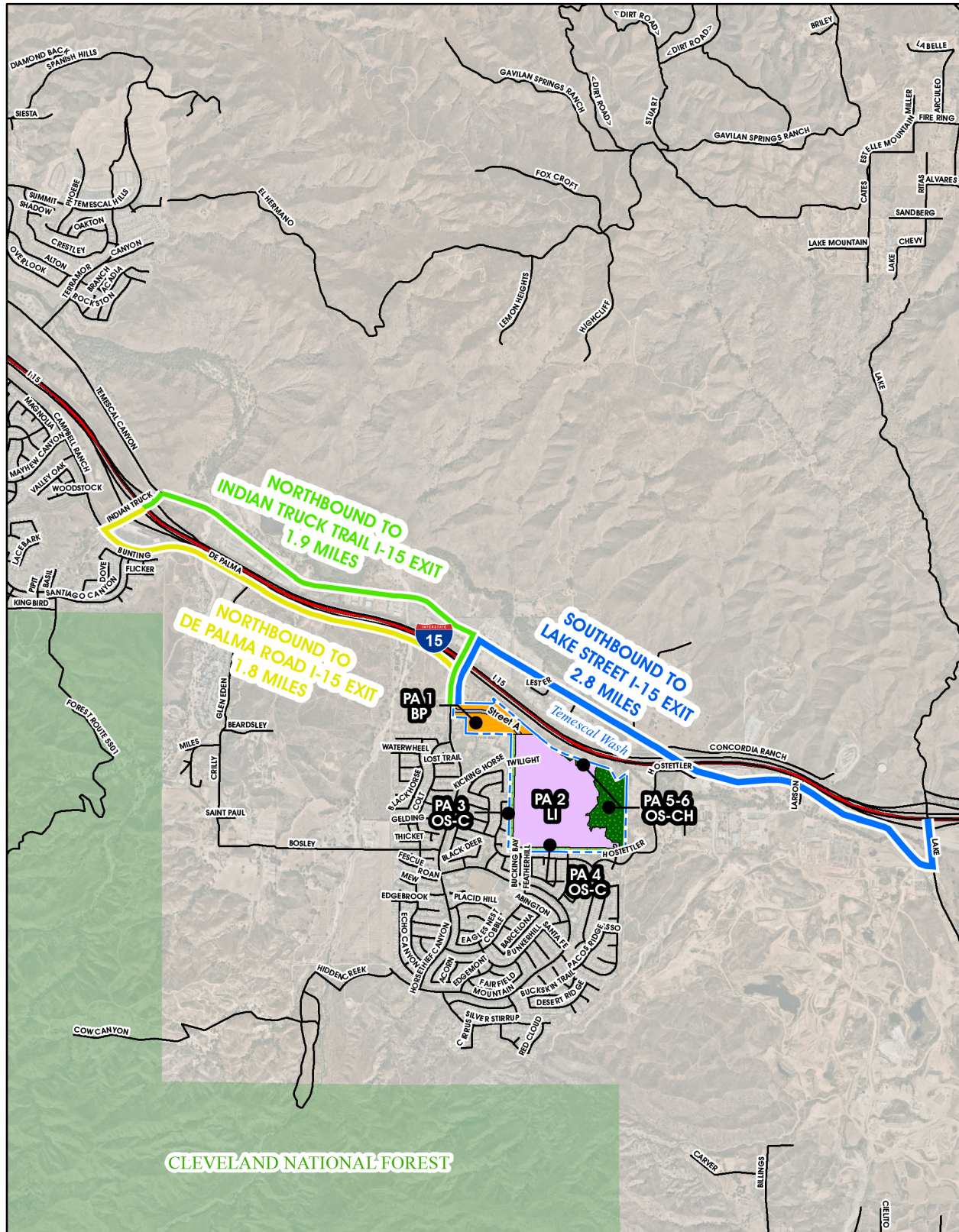


Source(s): Nearmap Aerial (2022), RCTLMA (2020), KWC Engineering (03-08-2021), Urban Crossroads (05-25-2021)

FIGURE 2-2



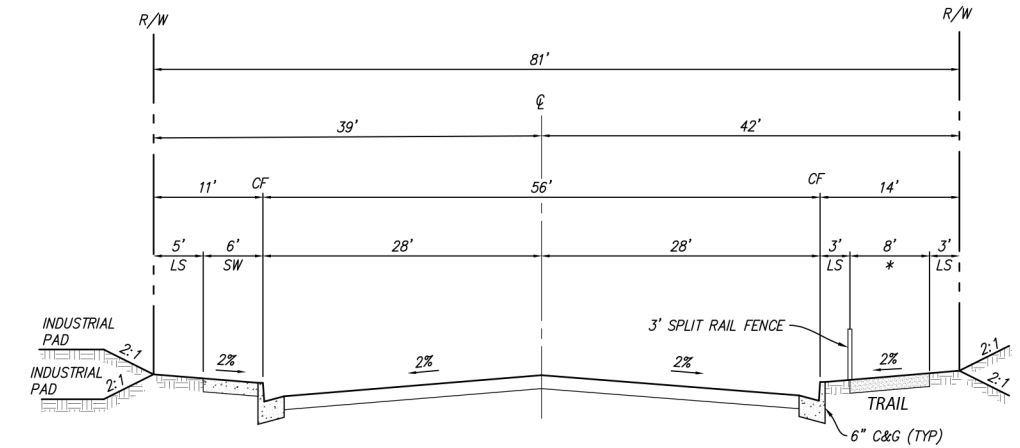
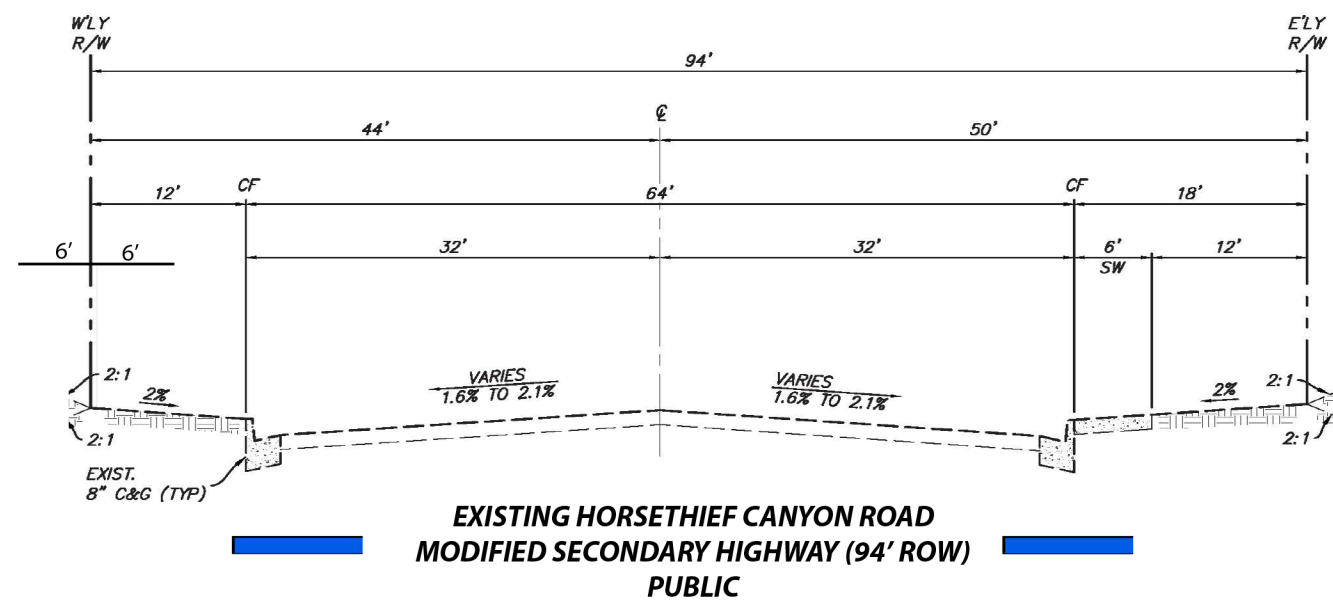
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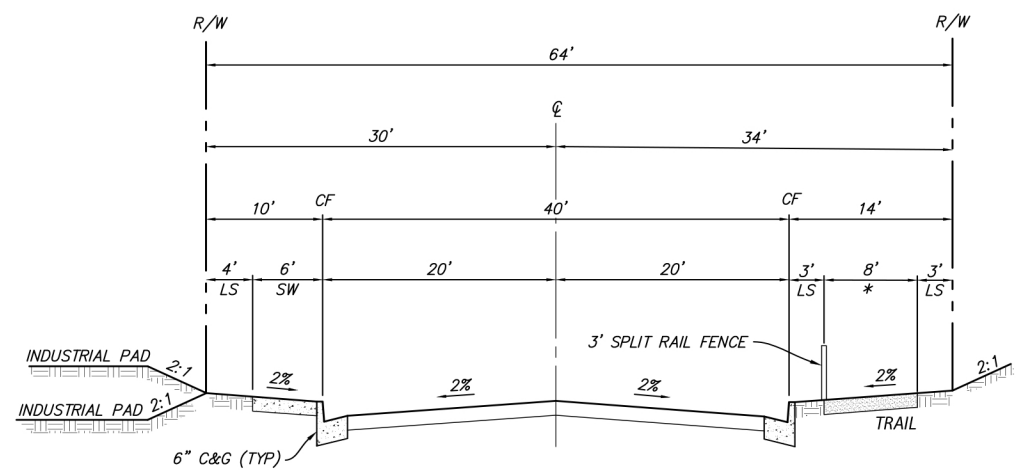
Source(s): Esri, Nearmap Aerial (2021), RCTLMA (2020)

Figure 2-2A



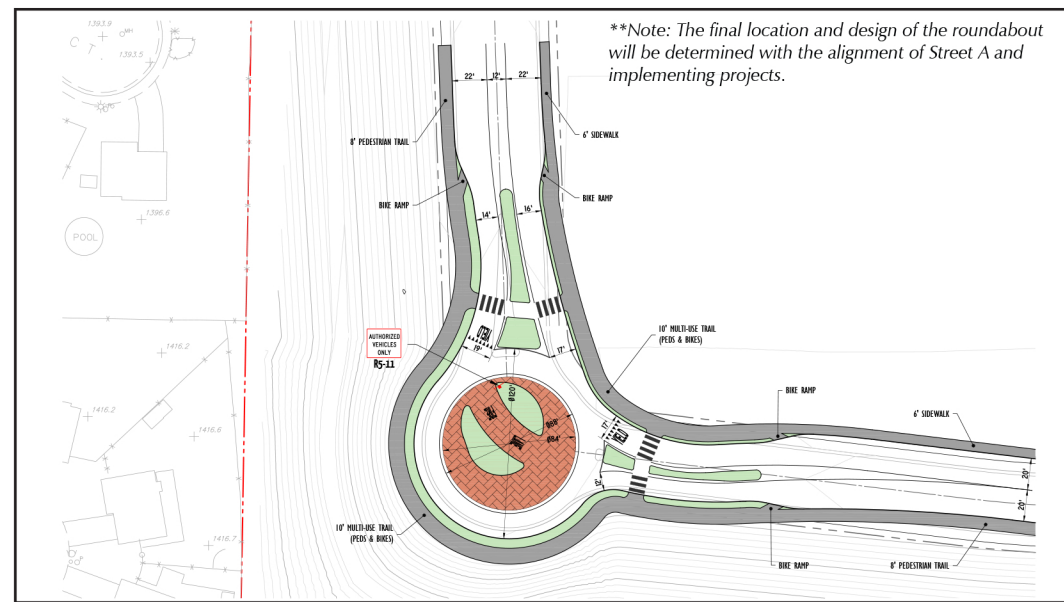


*Community Trail to be provided along Street 'A'
on either side, to be determined with implementing project(s).

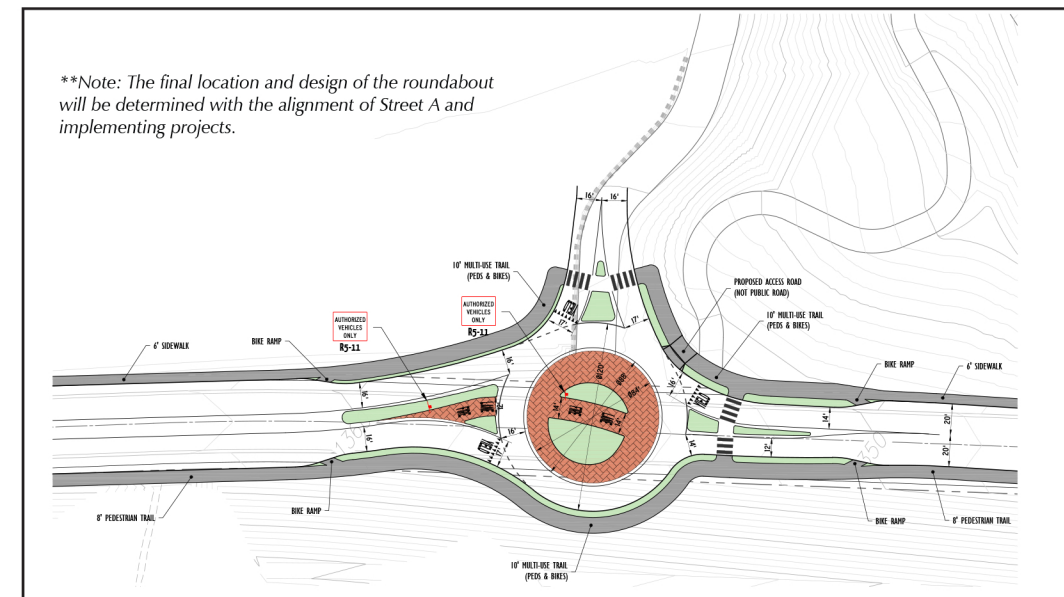


Source(s): K&A Engineering (04-13-2021)

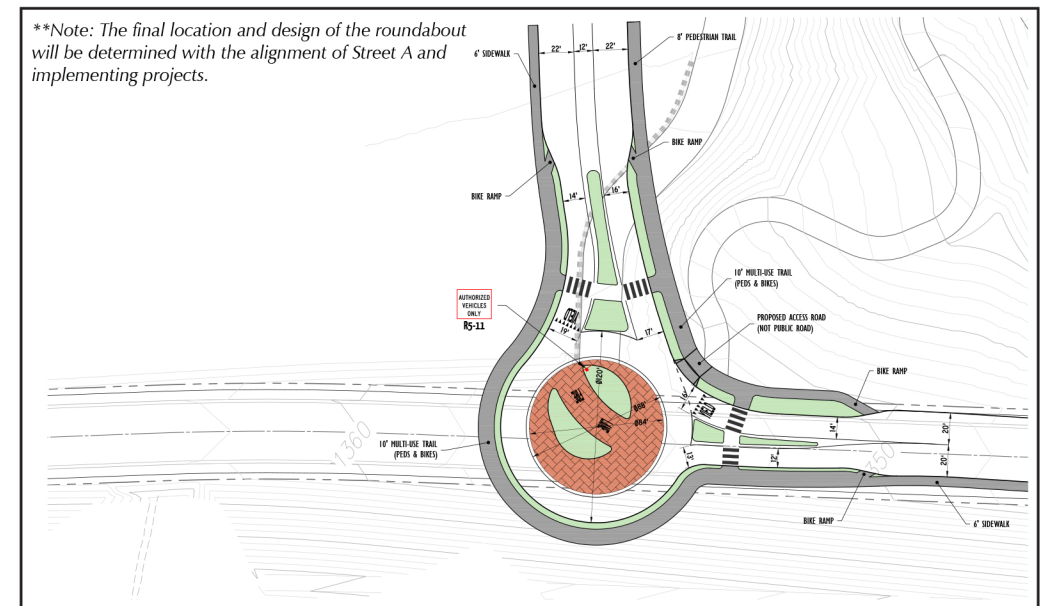
Figure 2-3



**CONCEPTUAL ROUNDABOUT (1 of 3)
STREET A ALONG PA 3 & 4**



**CONCEPTUAL ROUNDABOUT (2 of 3)
STREET A ALONG PA 3 & 4**



**CONCEPTUAL ROUNDABOUT (3 of 3)
STREET A ALONG PA 5 & 6**

Source(s): Urban Crossroads (02-28-2022)

Figure 2-3A

2.4. POTABLE WATER PLAN

The Elsinore Valley Municipal Water District (EVMWD) provides Potable Water service to the RENAISSANCE RANCH COMMERCE CENTER Specific Plan. Adequate water service infrastructure is provided using existing and proposed Potable Water facilities within and adjacent to the Specific Plan area.

The RENAISSANCE RANCH COMMERCE CENTER Specific Plan is served by two (2) EVMWD Pressure Zones. As illustrated on Figure 2-4, *Conceptual Potable Water Plan*, the northern portion of the COMMERCE CENTER will be served by the 1434 Pressure Zone; and the central and southern portion of the COMMERCE CENTER will be served by the 1601 Pressure Zone. A Pressure Reducing Station (PRS) is provided within the development. This PRS will serve as a second point of connection for the 1434 Pressure Zone to provide the required redundancy. The alignment of the on-site Potable Water system, and the location of the Pressure Reducing Station, will be determined by the ultimate alignment of Street 'A'.

❖ Pressure Zone 1434

Service to the 1434 Pressure Zone is provided by a proposed off-site 12-inch water line in Horsethief Canyon Road from the Horsethief Canyon Road/Street 'A' intersection northerly to connect with the existing 16-inch 1434 Zone water line, located immediately north of the I-15 Freeway. The on-site 1434 Pressure Zone System will consist of a proposed 12-inch water line in Street 'A' from Horsethief Canyon Road easterly to the PRS for the 1434/1601 Pressure Zone (location to be determined with the ultimate alignment of Street 'A'). The 1434 Pressure Zone has a surplus reservoir storage and no additional water storage is required by the Specific Plan to serve the RENAISSANCE RANCH COMMERCE CENTER.

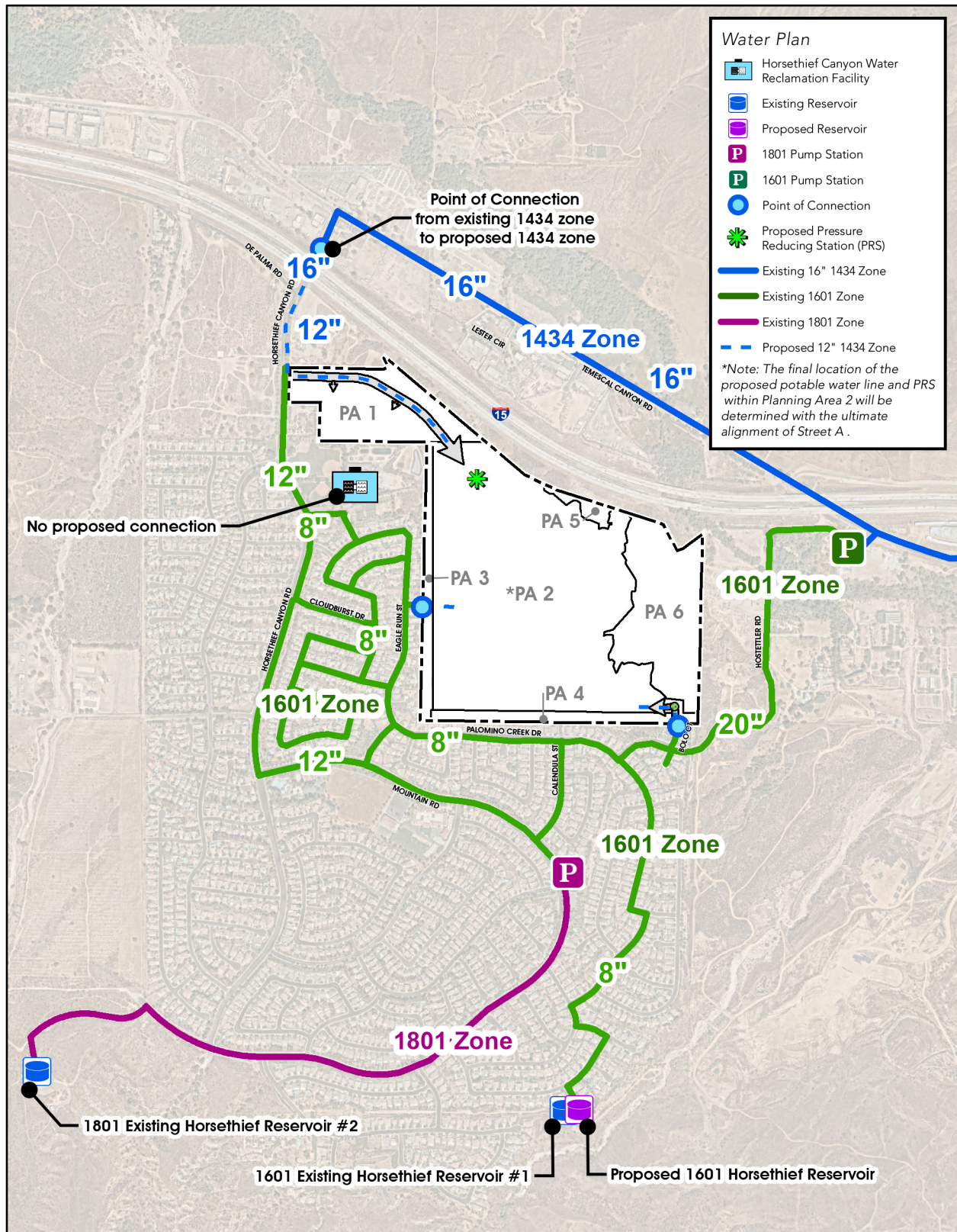
❖ Pressure Zone 1601

Service to the 1601 Pressure Zone is provided by connections to the existing 1601 Pressure Zone system at two (2) locations; one (1) point of connection at Abbeywood Drive at the Specific Plan's western boundary, one (1) point of connection at Bolo Court at the Specific Plan's southeastern boundary, and an on-site looped system between these points of connections. The precise alignment of the on-site piping system will be determined with the ultimate alignment of Street 'A' during implementing project(s). The on-site 1601 Pressure Zone water system connects to the 1434 Pressure Zone system at the future PRS location (location to be determined with the ultimate alignment of Street 'A').

At the time of this Specific Plan was prepared (2020), the reservoir storage for the existing 1601 Pressure Zone was not adequate to serve the COMMERCE CENTER'S water demands. An additional 1601 Pressure Zone reservoir is required within the existing 1601 Horsethief Pressure Zone reservoir site located approximately 0.7-mile to the south to meet existing deficiencies and serve the demands of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan and surrounding community. At the time of this Specific Plan was prepared (2020), EVMWD had adequate pumping capacity to supply the existing and proposed 1601 Pressure Zone reservoirs.

2.4.1. POTABLE WATER DEVELOPMENT STANDARDS

- (1) All Potable Water lines shall be placed underground.
- (2) All Potable Water lines and facilities shall be designed in accordance with the requirements of the EVMWD.
- (3) The Specific Plan's Potable Water distribution system shall provide adequate flows for fire protection in accordance with requirements of the County of Riverside Fire Department.
- (4) Proposed Potable Water facilities to be maintained by EVMWD shall be placed within public utility easements or public rights-of-way, which shall include rights for EVMWD.
- (5) The Potable Water infrastructure system shall be installed to the requirements of the Riverside County Building and Safety Department and the Riverside County Environmental Health Department.



Source(s): ESRI, Nearmap (2021), Dexter Wilson Engineering (2020)

FIGURE 2-4

2.5. RECYCLED WATER PLAN

Recycled Water within the Specific Plan and surrounding area is provided by the Horsethief Canyon Water Reclamation Facility (WRF), located off-site immediately south of Planning Area 1's boundary. At the time this Specific Plan was prepared (2020), the Horsethief Canyon WRF was operating at capacity and is planned for expansion to meet the needs of the RENAISSANCE RANCH Specific Plan and other proposed development in the area.

Recycled Water from the Horsethief Canyon WRF is pumped to the 1518 Pressure Zone to serve the existing Horsethief Canyon Ranch community. The existing Recycled Water system includes an 8-inch 1518 Pressure Zone Recycled Water line in Horsethief Canyon Road along the frontage of the RENAISSANCE RANCH COMMERCE CENTER, and runs southeasterly along Mountain Road to connect the existing Horsethief 1601 Pressure Zone reservoir (located approximately 0.7-mile south of the Specific Plan). The 1518 Pressure Zone in the area does not connect to the 1801 Pressure Zone Reservoir.

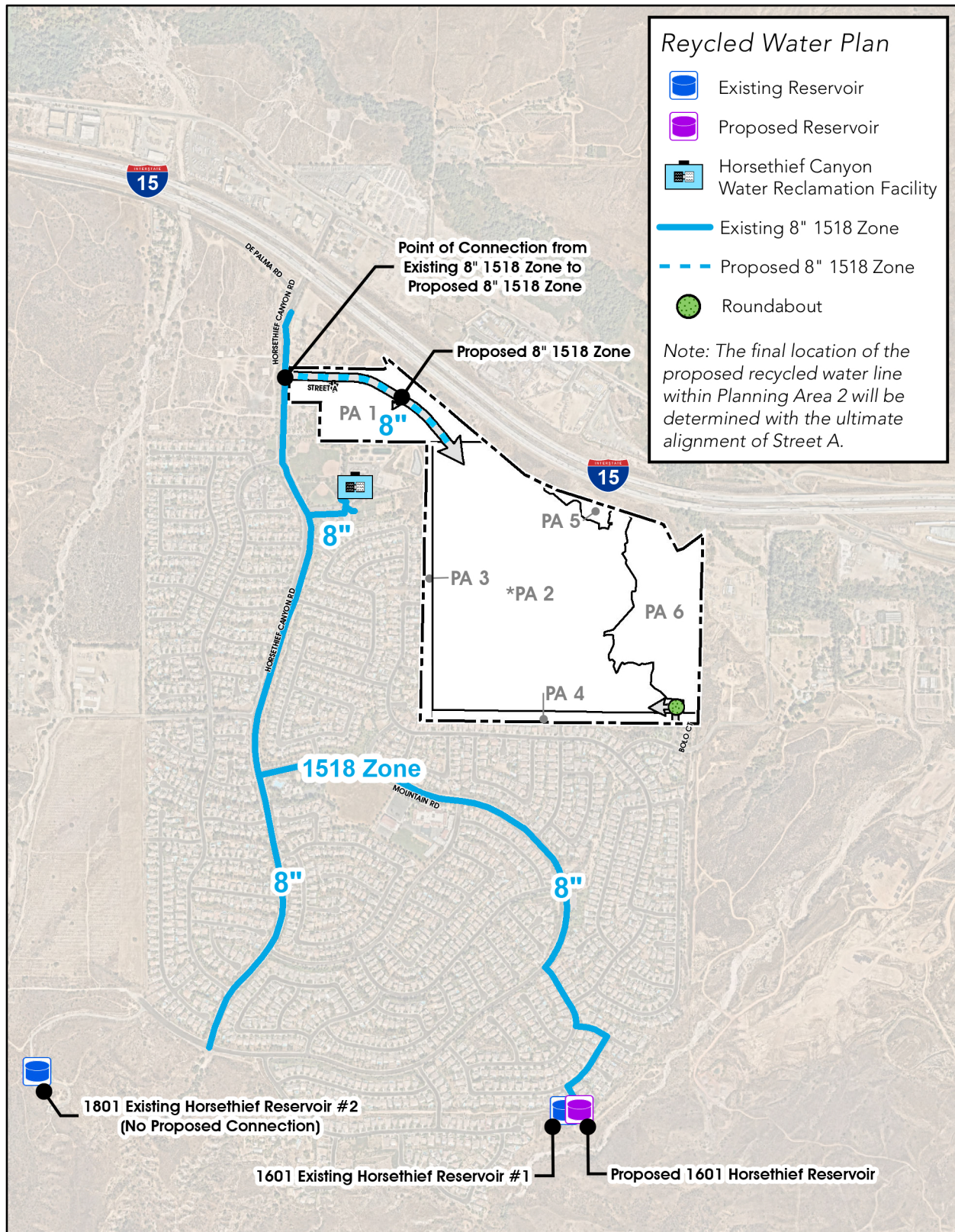
❖ 1518 Pressure Zone

As illustrated on Figure 2-5, *Conceptual Recycled Water Plan*, the Recycled Water system within the RENAISSANCE RANCH COMMERCE CENTER includes an 8-inch 1518 Pressure Zone Water Line within Street 'A', and a point of connection to the existing 8-inch 1518 Pressure Zone recycled water line within Horsethief Canyon Road. The alignment of the on-site recycled water system will be determined by the ultimate alignment of Street 'A' during implementing project(s).

The final alignment and endpoint of the proposed 8-inch Recycled Water line within Planning Area 2 will be determined by the locations of landscape connections and meters of implementing project(s). The 1518 Pressure Zone is capable of supplying Recycled Water to the irrigation point of connection, but private pumps downstream of the irrigation meter may be required to provide suitable pressure for the landscape irrigation design. The private pumps for the 1518 Pressure Zone will provide a static pressure of approximately 60 psi at the anticipated point of connection elevation and elevations slope up from there to the Specific Plan's southern boundary.

2.5.1. RECYCLED WATER PLAN DEVELOPMENT STANDARDS

- (1) All Recycled Water lines shall be placed underground.
- (2) All Recycled Water lines and facilities shall be designed in accordance with the requirements of the EVMWD.
- (3) Proposed Recycled Water facilities to be maintained by EVMWD shall be placed within public utility easements or public rights of way which shall include rights for EVMWD.
- (4) The Recycled Water infrastructure system shall be installed to the requirements of the Riverside County Building and Safety Department and the Riverside County Environmental Health Department.



Source(s): ESRI, Nearmap (2021), Dexter Wilson Engineering (2020)

FIGURE 2-5

2.6. SEWER PLAN

Wastewater services for the RENAISSANCE RANCH Specific Plan are provided by the Elsinore Valley Municipal Water District (EVMWD). All wastewater generated from the Specific Plan will be conveyed to the Horsethief Canyon Water Reclamation Facility (WRF) for treatment and disposal, located off-site immediately south of Planning Area 1. At the time this Specific Plan was prepared (2020), the Horsethief Canyon WRF was operating at, or near, its design capacity and plans were underway by EVMWD to expand the capacity of the Horsethief WRF to serve the surrounding area and RENAISSANCE RANCH COMMERCE CENTER.

2.6.1. PRIMARY SEWER PLAN

As illustrated on Figure 2-6, *Conceptual Sewer Plan*, the Primary Sewer Plan for the RENAISSANCE RANCH COMMERCE CENTER conveys sewer flows within the Specific Plan area through a proposed 8-inch gravity sewer line within Street 'A'. A proposed Sewer Lift Station is provided at the southeastern corner of the Horsethief Canyon Road and Street 'A' intersection to lift these flows to a proposed 6-inch sewer force main in Horsethief Canyon Road, and then flows southerly to discharge into the existing gravity sewer system and Horsethief Canyon WRF. The existing Sewer Lift Station within the Horsethief Canyon Park will be abandoned and replaced with the Specific Plan's proposed on-site Sewer Lift Station. The final location of the gravity sewer line within Planning Area 2 will be determined by the ultimate alignment of Street 'A' during implementing project(s).

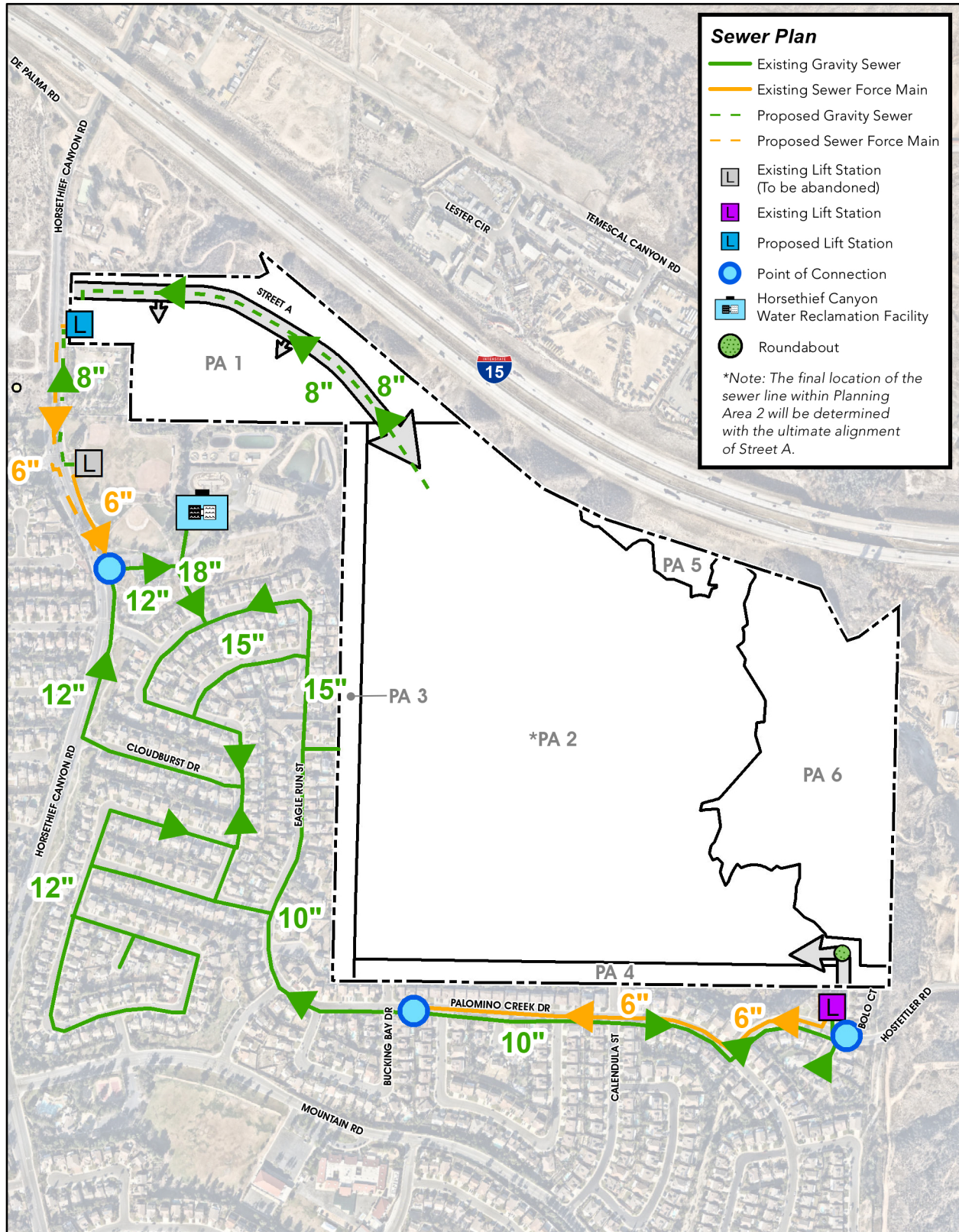
2.6.2. ALTERNATIVE SEWER PLAN

Depending on the timing of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan, and other planned developments in the area, a potential Regional Sewer Lift Station may be constructed approximately 0.5-mile northwest of the Specific Plan, located west of the Horsethief Canyon Ranch Specific Plan (SP152) boundary and south of De Palma Road. In the case that the potential Regional Sewer Lift Station is constructed and operational prior to development of the RENAISSANCE RANCH COMMERCE CENTER, then the on-site proposed Sewer Lift Station located at the southeastern corner of the Street 'A' and Horsethief Canyon Road intersection would not be required, and an on-site and off-site gravity sewer system would be constructed to discharge the COMMERCE CENTER's sewage flows into the potential Regional Sewer Lift Station.

As illustrated on Figure 2-6A, *Conceptual Sewer Plan (Alternative)*, the RENAISSANCE RANCH COMMERCE CENTER provides gravity sewer lines ranging from 8 inches to 12 inches within Street 'A' to provide a sewer system from Bolo Court to Horsethief Canyon Road. The on-site sewer conveys flows northwesterly towards the off-site 12-inch gravity sewer line in Horsethief Canyon Road and the off-site 15-inch gravity sewer line in De Palma Road, then flows northwesterly in De Palma Road towards the potential Regional Lift Station approximately 0.5-mile away from the Specific Plan area. Flows from the potential Regional Lift Station then are lifted southeasterly in De Palma Road and then southerly in Horsethief Canyon Road to the existing Horsethief WRF.

2.6.3. SEWER PLAN DEVELOPMENT STANDARDS

- (1) All sewer lines shall be placed underground.
- (2) All sewer lines and facilities shall be designed in accordance with the requirements of the EVMWD.
- (3) All new sewer facilities to be maintained by EVMWD shall be placed within public utility easements or public rights-of-way-which shall include rights for EVMWD.
- (4) The sewer infrastructure system shall be installed to the requirements of the Riverside County Building and Safety Department and the Riverside County Environmental Health Department.

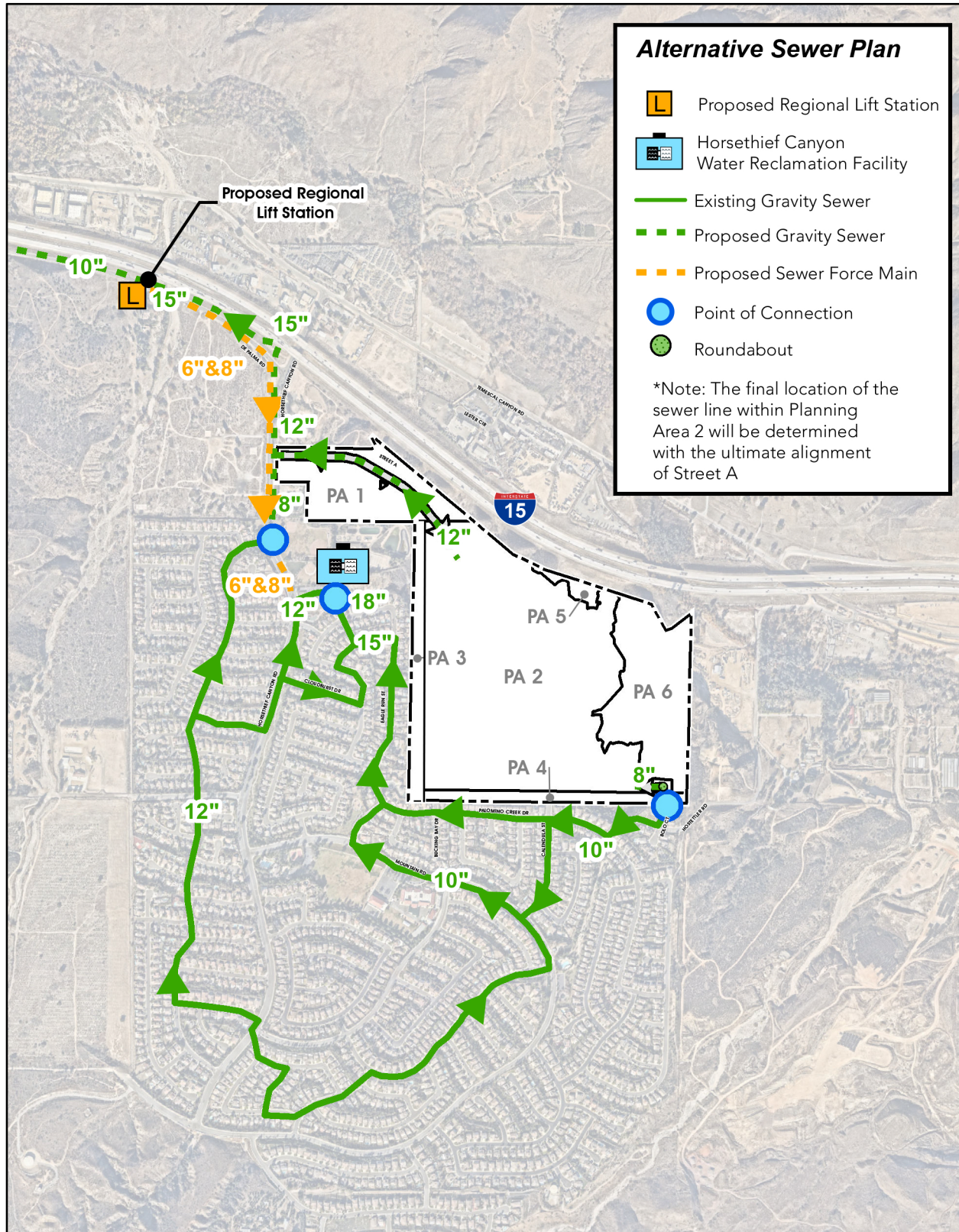


Source(s): Nearmap Imagery (2020), Dexter Wilson Entgineering (09-18-2020)

FIGURE 2-6

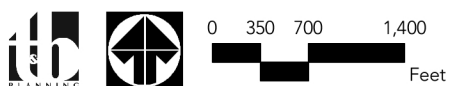


0 175 350 700
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Source(s): Nearmap Aerial (2021), Dexter Wilson Entgineering (09-18-2020)

FIGURE 2-6A



2.7. DRAINAGE AND WATER QUALITY PLAN

The RENAISSANCE RANCH COMMERCE CENTER is located within the Temescal Valley area of the Santa Ana River Basin in the westerly portion of Riverside County. The Specific Plan area is not located within a Riverside County Flood Control and Water Conservation District (RCFC&WCD) Master Drainage Plan (MDP). The Specific Plan is bounded on the south and west by the existing Horsethief Canyon Ranch Specific Plan (SP152, A5), on the north by the I-15 Freeway, and on the east by the Temescal Wash.

The pre-development topography of the site of generally slopes from south to north, and stormwater flows from the site into a series of existing culverts which convey stormwater flows under the I-15 Freeway where they ultimately enter in the Temescal Wash. The site is bisected by three (3) natural water courses: the easterly watercourse originates near the southeast corner of the property at the outlet of the Horsethief–Calendula Avenue Storm Drain which is owned and maintained by the RCFC&WCD; the second watercourse originates along the western boundary, southerly of the northwest corner of Planning Area 2, downstream of the outlet of the Horsethief–Mountain Road Storm Drain which is owned and maintained by the RCFC&WCD; and the third watercourse enters the site from the existing Horsethief Canyon Park site adjacent to the southwest corner of PA 1.

As shown of Figure 2-7, *Conceptual Drainage and Water Quality Plan*, there are seven (7) existing culverts, along with the Temescal Wash undercrossing, which convey storm flows from the south side of the I-15 Freeway to the north side of the freeway. These existing culverts are owned and maintained by CALTRANS.

The development of the RENAISSANCE RANCH Specific Plan establishes Business Park and Light Industrial land uses and will result in an increase of storm runoff from the existing condition. However, on-site peak flow detention facilities will mitigate the increase in onsite developed storm flows so that discharge from the property will be less than the flows previously proposed for the residential development and that will not exceed the capacity of downstream facilities. Therefore the proposed onsite drainage system will not result in an increase in storm flow runoff that exceeds the existing condition runoff to any of the existing culverts that runs the I-15 Freeway. Several detention mitigation basins will be developed within the Specific Plan and the primary peak flow detention basin will be located upstream of the Street “A” crossing of the existing wash as shown on Figure 2-7, *Conceptual Drainage and Water Quality Plan*. The final locations of drainage and water quality facilities and basins will be determined when buildings are oriented and designed with implementing project(s).

The proposed storm drain system includes the extension of the existing 66-inch Horsethief-Calendula storm drain from its current outlet, which is located approximately 100 feet south of the Specific Plan boundary in TR 24938 within an existing easement, to the Specific Plan’s southern boundary then northerly approximately 450 feet to discharge directly into an existing wash. This facility will be maintained by the RCFC&WCD. The proposed Primary Detention Basin, in the northwestern portion of Planning Area 2, will mitigate most of the increased flows from the development. This basin and the two outlet storm drains to the right-of-way of Street A will be maintained by the Master Property Owners Association (POA). The portion of the Primary Detention Basin outlet pipes within the right of way of Street A will be maintained by the Riverside County Transportation Department with manholes at each end of the two storm drains within the Street A right of way to separate maintenance responsibilities between the County and the POA. That portion of the two outlet drains located downstream of Street A shall be maintained by the POA.

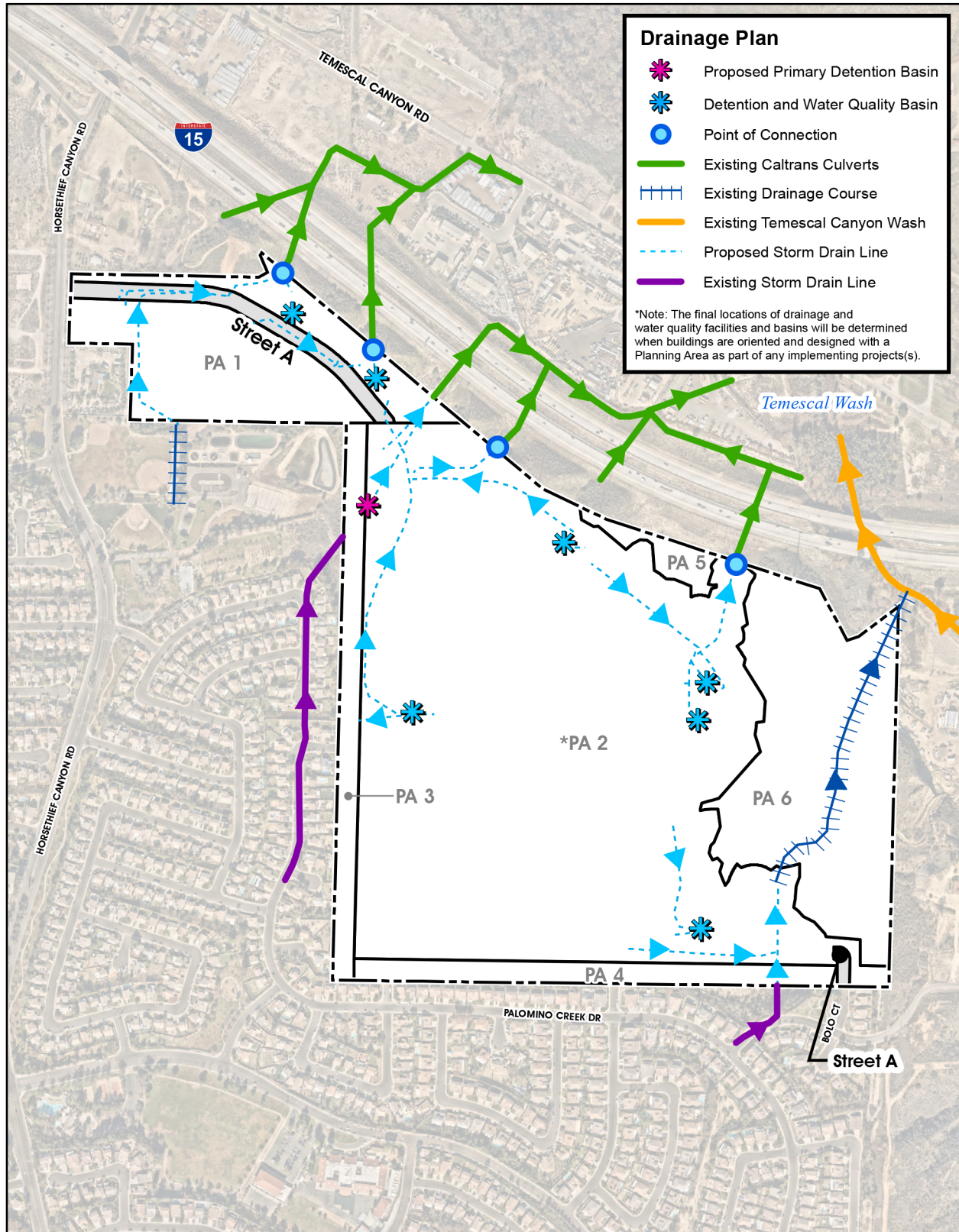
Other storm drains that are located within Street A shall be maintained by the County Transportation Department.

The balance of the onsite storm drain system, consisting of the storm drain facilities, access roads, basins and natural drainage courses shall be maintained by the POA unless the County Transportation Department determines that a facility should be maintained by a CSA or a CFD.

In addition to the mitigation of peak flows generated from the COMMERCE CENTER, hydro-modification standards will be implemented in accordance with the Santa Ana Regional Water Quality Control Board requirements. A Water Quality Management Plans (WQMP) shall be provided in accordance with the requirements of the County of Riverside and the requirements of the Regional Water Quality Control Board. The RENAISSANCE RANCH COMMERCE CENTER will comply with the current water quality requirements and regulations from these agencies. Best Management Practices (BMP's) shall be implemented for the RENAISSANCE RANCH COMMERCE CENTER to provide water quality protection during grading operations, construction activities and post-construction activities. Permanent BMP's for post-construction mitigation are anticipated to include extended detention basins and storage basins to address hydro-modification as well as the 100-year peak flow mitigation. Other BMP's may be required and these improvements, if any, will be identified in the development of the Stormwater Pollution Prevention Plan (SWPPP) and the WQMP for this Specific Plan. All water quality facilities will be maintained by the POA. The conceptual location of the proposed BMP's is illustrated on Figure 2-7, *Conceptual Drainage and Water Quality Plan*.

2.7.1. DRAINAGE AND WATER QUALITY DEVELOPMENT STANDARDS

- (1) The locations of proposed drainage and water quality facilities on Figure 2-7 are conceptual. The final locations of drainage and water quality facilities and basins will be determined when buildings are oriented and designed and the ultimate alignment of Street 'A' is determined with implementing project(s).
- (2) The proposed on-site infrastructure storm drain facilities shall be designed in accordance with the standard requirements of the RCFC&WCD to provide protection against flood hazard risks resulting from the 100-year storm event. However, smaller on-site private drainage systems within the individual building sites will be sized during the implementing project stage, per the RCFC&WCD requirements and may be designed for alternate materials, depths and other design criteria.
- (3) The extension of the Horsethief-Calendula Storm Drain shall be maintained by the RCFC&WCD. All storm drains within the public right of way of Street A shall be maintained by the Riverside County Transportation Department. All other onsite drainage facilities shall be maintained by the POA. These facilities include the Primary Detention Basin, outlet drains that are not in Street A, water quality basins, other peak flow detention facilities, private storm drains, access roads and natural drainage courses outside of Planning Area 5 and Planning Area 6. At the time of development, the County Transportation Department may determine that a CFD/CSA should maintain detention/water quality basins that serve multiple properties within the development.
- (4) Detention and water quality basins within the RENAISSANCE RANCH COMMERCE CENTER may either be constructed as surface basins or sub-terranean basins provided that the basins are designed in accordance with the standard requirements of the RCFC&WCD.
- (5) A National Pollutant Discharge Elimination System (NPDES) permit from the Regional Water Quality Control Board (RWQCB) shall be obtained prior to commencement of construction and operational activities. The permits will require the Developer to implement source control and structural best management practices (BMP's) during and after construction activities. The County will be responsible for enforcing the implementation of the BMP's.
- (6) The Specific Plan and its future implementing projects shall comply with the Water Quality Plan of the RWQCB, Santa Ana Region.



Source(s): Nearmap Aerial (2022), RCTLMA (2020), Dexter Wilson Engineering (2020)

FIGURE 2-7



2.8. GRADING PLAN

The pre-development topography of the site generally slopes from a south to north/northeast with the highest elevation on the site at the southwest corner at approximately 1,420 feet above mean seal level (asml) and the lowest elevation at the northeast corner of the property within the Temescal Wash at approximately 1,185 feet (asml). The Temescal Wash crosses the most northeastern portion of the Specific Plan area within Planning Area 6 as it flows northerly under the I-15 Freeway. Other smaller natural watercourses cross the Specific Plan and generally flow from south to north.

Development of the RENAISSANCE RANCH COMMERCE CENTER will consist of graded building pads for each Light Industrial building site within Planning Area 2 and Business Park building site in Planning Area 1, along with the construction of Street 'A', a peak flow mitigation basin, and water quality basins.

Retaining/geo-grid walls are anticipated to be used across the site (specifically along I-15 and the eastern boundary of the Light Industrial Planning Area) and these walls may range in height from 0 to 30 feet, and in some instances may exceed 50 feet in height. Retaining walls are anticipated to include keystone battered walls with planting, however, all walls will be designed and constructed at the time implementing project(s) are submitted, in accordance with the California Building Code and the standards and requirements of the County of Riverside.

Figure 2-8, *Conceptual Grading Plan*, is a conceptual illustration of one potential grading scenario for the creation of the Light Industrial and Business Park building pads and for the alignment for Street "A" to provide access to the COMMERCE CENTER's land uses. The final grading for the Specific Plan will be determined in conjunction with the future implementing project(s) within the RENAISSANCE RANCH COMMERCE CENTER Specific Plan. While Figure 2-8 depicts one possible grading scenarios for this Specific Plan, the estimated cut for this particular concept is approximately 1.8 million cubic yards with an additional estimated 500,000 cubic yards of remedial grading. It is anticipated that the Specific Plan's grading concept balances earthwork on-site without the need to export excess materials or to import materials from off-site.

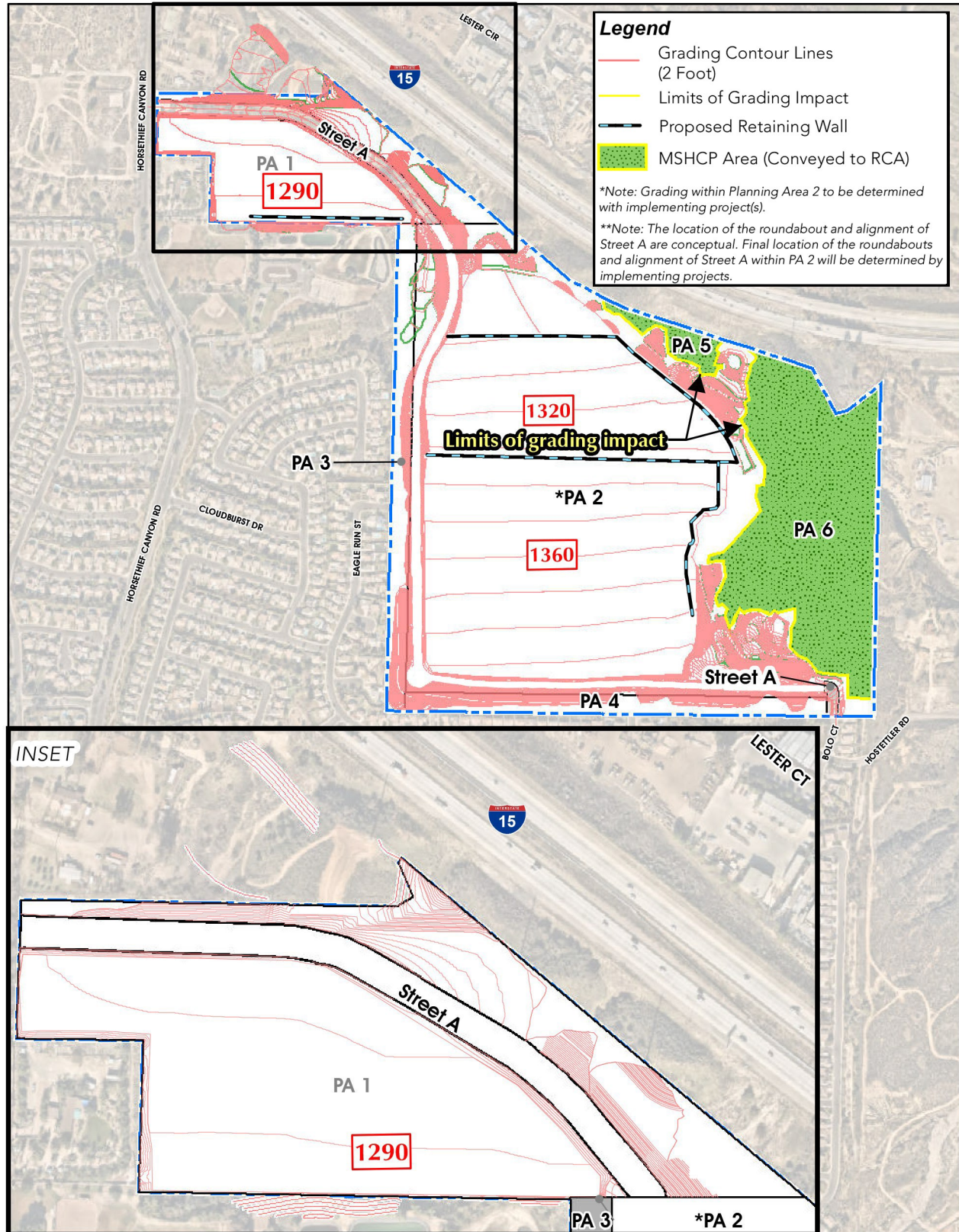
Approximately 27.1 acres of Open Space – Conservation Habitat land uses are located within Planning Areas 5 and 6 of the RENAISSANCE RANCH COMMERCE CENTER SPECIFIC PLAN. Pursuant to the Western Riverside County MSHCP, this area concentrated along the eastern and northeastern portions of the Specific Plan is conveyed to the RCA as part of the MSHCP Reserve in order to maintain the on-site habitat in its natural condition. No grading or construction will be permitted within Planning Areas 5 and 6.

2.8.1. GRADING DEVELOPMENT STANDARDS

- (1) All grading activities shall conform to the County of Riverside standards, and the California Building Code.
- (2) Grading of the Specific Plan may occur in one (1) phase, or in sub-phases, provided that adequate infrastructure and access is available to serve the Specific Plan.
- (3) Site grading, retaining wall design and construction shall be done in conformance with the recommendations of a Geotechnical Engineer and the County of Riverside Building and Safety Department.
- (4) Contour grading, slope rounding and land forming shall be used, as appropriate and practical, to grade roadways and edge conditions slopes into natural configurations consistent with the natural topography of the site.
- (5) A project-specific Master Grading Plan, and individual grading plans and stockpile/ borrow site plans for Planning Areas or phases shall govern such activity.



- (6) Prior to initial grading activities, a detailed soils report and geotechnical study for portions of the site anticipated to be graded shall be prepared to analyze on-site soil conditions and slope stability and will include appropriate measures to control erosion and dust during construction.
- (7) A grading permit shall be obtained from the County of Riverside, as required by the County Grading Ordinance No. 457, prior to grading.
- (8) Manufactured slopes shall be landscaped and maintained by the Master Property Owners Association (POA). Manufactured Slopes within any individual super pad shall be maintained by the Property Owner or the POA.
- (9) Pursuant to the requirements of the State Water Resources Control Board, a State- wide general National Pollution Discharge Elimination System (NPDES) construction permit will apply to all project construction activities involving clearing, grading or excavation that disturbs at least 5 acres or activity which is part of a larger common plan of development of 5 acres or greater.



Source(s): Nearmap Aerial (2020), K&A Engineering (09-2020)

FIGURE 2-8

2.9. OPEN SPACE PLAN

An essential element of the RENAISSANCE RANCH COMMERCE CENTER is the approximately 38.5 acres of Open Space areas provided along the site's western, southern, and eastern boundaries. Planning Areas 5 and 6 consist of approximately 27.1 acres and are designated as Open Space-Conservation Habitat (OS-CH) to preserve habitat conveyed to RCA under the MSCHP Reserve. No grading or development is permitted within Planning Areas 5 or 6.

Planning Areas 3 and 4 consist of approximately 11.4 acres and are designated as Open Space-Conservation (OS-C) to provide a minimum 75-foot wide landscape buffer for additional landscaping, buffering, and screening between the on-site Light Industrial/Business Park land uses, and existing Horsethief Canyon Ranch community to the west and south. In addition to the landscape buffers within Planning Areas 3 and 4, additional design criteria (setbacks, landscaping, orientation, etc.) within Planning Area 2 is provided to ensure an adequate buffer between the existing residential uses to the west and south to the dock doors of Light Industrial building is provided. The ultimate alignment of Street 'A' within Planning Area 2 will be determined with implementing project(s) and may encroach into Planning Areas 3 and 4 provided that the landscape buffers in Planning Areas 3 and 4 maintain a width of at least 75 feet.



Passive recreational opportunities are provided to employees and visitors of the RENAISSANCE RANCH COMMERCE CENTER through curb-adjacent sidewalks and pedestrian paths. Curb-adjacent sidewalks along Street 'A' are provided on one side of the street (the opposite side of the roadway from the Light Industrial/Business Park uses) to place pedestrians alongside the adjacent open space areas. These pathways encourage pedestrian activity throughout the RENAISSANCE RANCH COMMERCE CENTER. Provisions for sidewalks and pedestrian walkways, bicycle storage facilities, and employee and visitor gathering areas interior to the Planning Areas are set forth in Chapter 4, *Design Guidelines*.

Lastly, to encourage social interaction, the Light Industrial and Business Park building sites within the RENAISSANCE RANCH COMMERCE CENTER may include outdoor employee break areas, ancillary recreation, and other amenities. Partially shaded outdoor employee break areas may contain tables to provide employees with a location to eat, gather, and enjoy being outside. Shading of these areas may be achieved through a combination of shade trees, umbrellas, or man-made shade structures.

2.9.1. OPEN SPACE DEVELOPMENT STANDARDS

1. Open Space-Conservation Habitat areas within Planning Areas 5 and 6 will be the responsibility of the Western Riverside County Regional Conservation Authority (RCA).
2. The landscape buffers within Planning Areas 3 and 4 will be the responsibility of a Master Property Owners' Association, Property Owners' Association, or Sub-Association.
3. Gathering areas, and landscaping within private roads and driveways will be the responsibility of a Master Property Owners' Association, Property Owners' Association, or Sub-Association.



4. Landscaping within public right-of-way will be the responsibility of the County of Riverside.
5. All gathering areas will be landscaped and, where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
6. Landscaping within gathering areas shall be further governed by Chapter 4, *Design Guidelines*, of this Specific Plan.
7. Landscaping within gathering areas and park areas shall conform to the standards set forth by Riverside County Ordinance No. 859, *Water-Efficient Landscape Requirements*.
8. In accordance with the conditions of approval for implementing projects, conceptual landscape plans for their respective landscape areas shall be submitted to the County Planning Department with the implementing project application for review and approval. The plans shall include details of special treatments and buffer areas between open space and developed areas where appropriate, as well as any applicable mitigation measures involving the open space areas.

2.10. FIRE PROTECTION PLAN

Pursuant to the County of Riverside General Plan, the RENAISSANCE RANCH COMMERCE CENTER Specific Plan is located within the “Very High” Fire Hazard Severity Zone. Therefore, a Fire Protection Plan (FPP) is needed to ensure the protection of all development within the RENAISSANCE RANCH COMMERCE CENTER from fire hazards. The FPP creates a plan that provides this protection while at the same time creating a smooth visual transition from the natural vegetation which may be located to a building’s front, side, and/or rear landscapes, to the modified fuel zones beyond.

Fuel modification zones within the RENAISSANCE RANCH COMMERCE CENTER Specific Plan are provided adjacent to open space areas where these abut development areas. Fuel modification planting shall be in accordance with the Riverside County Fire Department (RCFD) standards and requirements, and utilize appropriate plant materials and irrigation treatments. Lots within Planning Areas adjacent to open space will be developed in accordance with the FPP to provide adequate buffering and fuel modification zones consistent with RCFD standards. Fuel modification zones will be provided where the conditions outlined below exist, as per the RCFD standards.

2.10.1. URBAN WILDLAND INTERFACE

For projects located within areas of very high wildfire risk, measures designed to manage areas of “urban-wildland interface” are critical.

In order to adequately protect structures adjacent to on-site and off-site open space areas, there must be sufficient “defensible space” between the structure and the fuel associated with the open land. A total of one-hundred feet of fuel modification treatment shall be required on all lots abutting native vegetation. In those areas where 100 feet of fuel modification zones cannot be achieved due to open space protection issues or property boundary limitation, special fire protection measures will be implemented to help protect the homes from wildfire. These special fire protection measures will be based on worst case scenarios (slope, wind, native vegetation, fuel moisture, humidity, etc.) and fire fuel modeling. The affected lots may include measures consisting of, but not limited to, non-combustible fire deflection walls, increased width of required irrigated landscaping, or additional ignition resistant construction requirements greater than the required building codes.

2.10.2. FUEL MODIFICATION ZONES

Below are the descriptions and required treatments for the two (2) Fuel Modification Zones (FMZ) within the RENAISSANCE RANCH COMMERCE CENTER Specific Plan.

1. FMZ 1 – Paved/Irrigated Zone (Property Owners’ Association Maintained)

FMZ 1 is a 50-foot wide paved/irrigated zone surrounding the building pad and is measured from the exterior walls of the building or from the most distal point of a combustible projection. FMZ 1 is applicable Specific Plan-wide for every perimeter structure. highly flammable native vegetation, as listed in Table 4-2, *Prohibited Plant Species*, shall be removed except for species approved by the Fire Marshal. FMZ 1 is planted with drought-tolerant, less flammable plants. A permanent, automatic irrigation system shall be installed FMZ 1 to maintain hydrated plants. Landscaping in this zone shall be in accordance with Table 4-1, *Plant Palette*, and Table 4-2, *Prohibited Plant Species*.

2. FMZ 2 – Thinning Zone (Property Owners' Association Maintained)

FMZ 2 is a 50-foot wide thinning zone beyond FMZ 1 reducing the fuel load of a wildland area adjacent to FMZ 1, and thereby, reduces heat and ember production from wildland fires, slows fire spread, and reduces fire intensity. FMZ 2 consists of thinning treatment to ensure that areas in this zone are free of any dead and dying combustible vegetation, and is measured from the end of FMZ 1's limits extending outwards 50 feet. Landscaping in this zone shall be in accordance with Table 4-1, *Plant Palette*, and Table 4-2, *Prohibited Plant Species*.

3. Enhanced Zones

Enhanced Zones may be required for buildings located within the Light Industrial and Business Park Planning Areas because they do not meet the minimum 100-foot fuel treatment setback. Any building that is located less than 100 feet shall provide enhanced exterior wall construction, which shall be a minimum one-hour rated construction (or greater rating); with no openings (windows or doors) unless openings are approved by RCFD. If exterior openings are provided in the walls that do not meet the minimum 100-foot fuel treatment setback, exterior fire sprinklers shall be provided. The Specific Plan's design features, asphalt roads and parking stalls, and a fully irrigated landscape, along with the additional required fire protection measure for certain structures that may have a reduce FMZ would provide a level of safety equal to a 100-foot wide FMZ.

2.1.1 FIRE PROTECTION PLAN STANDARDS

1. The Riverside County Fire Department shall review and approve the final Fire Protection Plan for all implementing projects.
2. Once the Fire Protection Plan is implemented, the Fuel Modification Zones shall be maintained in a manner consistent with the Plan.
3. The Specific Plan's Plant Palette, as listed in Table 4-1, *Plant Palette*, shall be approved by the RCFD.
4. Any landscaping provided within parkways and slopes adjacent to native habitat within natural open space areas shall conform to the landscaping prohibitions outlined in Table 4-1, *Plant Palette* and Table 4-2, *Prohibited Plant Species*.
5. Vegetation management, (i.e. assessment of FMZ condition and removal of dead and dying and undesirable species), as well as thinning as necessary to maintain specified plant spacing and fuel densities, shall be completed annually by May 1 of each year and more often as needed for fire safety, as determined by the during the interim period where FMZ is maintained on- or off-site.

DEVELOPMENT STANDARDS

3

CHAPTER THREE establishes the land uses, Development Standards, and Design Criteria for each Planning Area in the RENAISSANCE RANCH COMMERCE CENTER.



3.1 || PLANNING AREA DEVELOPMENT STANDARDS

3.1.1 | *BUSINESS PARK*

3.1.2 | *LIGHT INDUSTRIAL*

3.1.3 | *OPEN SPACE-CONSERVATION*

3.1.4 | *OPEN SPACE-CONSERVATION HABITAT*



RENAISSANCE RANCH
— COMMERCE CENTER —

CHAPTER 3 | DEVELOPMENT STANDARDS

This section establishes the land use regulations and Development Standards for each Planning Area in the RENAISSANCE RANCH COMMERCE CENTER Specific Plan. The standards provided herein work in concert with the architecture and landscape guidelines set forth in Chapter 4, *Design Guidelines*, to achieve the desired vision for the RENAISSANCE RANCH COMMERCE CENTER. The Development Standards presented in this section provide the development criteria for each Planning Area within the Specific Plan and are intended to be consistent with the Specific Plan Zoning Ordinance.

Planning Areas within the RENAISSANCE RANCH COMMERCE CENTER Specific Plan were formed on the basis of logical separate areas of land use and development. Design Criteria have been established for each individual Planning Area to ensure that development of the Light Industrial, Business Park, and Open Space areas are consistent with the quality of development and vision of Riverside County for the RENAISSANCE RANCH COMMERCE CENTER

The Planning Area Figures presented in this section (Figure 3-1 and Figure 3-2) are derived from the Specific Land Use Plan for the RENAISSANCE RANCH COMMERCE CENTER (Figure 2-1). The Design Criteria for each Planning Area reference the relevant Figures, including Figures that depict desired architecture and landscaping elements contained throughout this Specific Plan.

A Specific Plan Zoning Ordinance has been prepared and is contained in Chapter 6, *Specific Plan Zoning Ordinance*, of this Specific Plan document. The zoning provisions within that Ordinance formally establish use restrictions and Development Standards for each Planning Area. The zoning provisions should be used in conjunction with the planning standards for each respective Planning Area. The regulations set forth in this chapter shall apply to all Parcel Maps, Site Plans, Plot Plans, Conditional Use Permits, and any other action requiring administrative or discretionary approval within the RENAISSANCE RANCH COMMERCE CENTER Specific Plan.

Whenever the Development Standards contained in this Specific Plan differ from those contained in the Specific Plan Zoning Ordinance, the provisions of the Specific Plan Zoning Ordinance shall take precedence, or as may be interpreted and approved by the Planning Director. Whenever the Development Standards contained herein and Specific Plan Zoning Ordinance differ from those contained in the County Ordinance No. 348, the provisions of this Specific Plan and Specific Plan Zoning Ordinance shall take precedence. Any development standard, condition, or situation not specifically addressed herein shall be subject to the applicable requirements of the County of Riverside.

For additional information and specifications on the implementation and regulation of development within the RENAISSANCE RANCH COMMERCE CENTER Specific Plan, pursuant to the Development Standards of the Specific Plan and Specific Plan Zoning Ordinance, see Chapter 5, *Implementation Plan*.

3.1. PLANNING AREA DEVELOPMENT STANDARDS

3.1.1 PLANNING AREA 1 [BUSINESS PARK (BP) - 18.0 ACRES]

a. DESCRIPTION

As illustrated in Figure 3-1, Planning Area 1 is designated for 18.0 acres of Business Park land uses in the northwestern portion of the RENAISSANCE RANCH COMMERCE CENTER. Planning Area 1 provides for a maximum of 392,040 square feet of Business Park building area at a maximum FAR of 0.5.

Automobile and heavy commercial truck access to Planning Area 1 is provided via Street 'A' from existing Horsethief Canyon Road, and also may be provided by other internal roadways within Planning Area 1 established during development of the site. Connections to private driveways and drive aisles within Planning Area 1 will be designed and provided, as needed, in conjunction with development of this Planning Area. The ultimate alignment of Street 'A' shall be determined at the time buildings are designed and oriented within Planning Area 1 as part of any implementing project(s).

Planning Area 1 may provide Business Park employees and visitors with recreational amenities which may include, but are not limited to, shared outdoor patio break areas, seating areas, and benches. Planning Area 1 provides decorative landscaping along its frontage with Street 'A' as a visual amenity and provides a landscape buffer along its boundaries to provide a visual transition between the off-site service yard to the north, existing Horsethief Canyon Park to the west, and I-15 Interstate Freeway to the north, and the Horsethief Wastewater Reclamation Facility to the south. An 8-foot wide Community Trail and 6-foot wide curb-adjacent sidewalk are located within the right-of-way of Street "A" in Planning Area 1 to provide pedestrian connectivity through the COMMERCE CENTER, along with trail connectivity between Horsethief Canyon Road and Bolo Court.

b. BUSINESS PARK DEVELOPMENT STANDARDS

Below establish the Development Standards that shall apply to Planning Area 1, which is designated Business Park within the RENAISSANCE RANCH COMMERCE CENTER. Additional zoning provisions and design criteria for this Planning Area can be found in the Specific Plan Zoning Ordinance and Chapter 4, *Design Guidelines*.

- (1) The ultimate alignment of Street 'A' and the location of any roundabouts shall be determined at the time buildings are designed and oriented within a Planning Area as part of any implementing project(s).
- (2) Land uses within Planning Area 1 shall comply with the Permitted Uses provided in the Specific Plan Zoning Ordinance.
- (3) Planning Area 1 shall comply with the Development Standards for Business Park land uses, located in this Chapter 3 and the Specific Plan Zoning Ordinance.
- (4) Loading docks and truck parking areas shall be visually screened to the extent feasible in conformance with the wall height restrictions and requirements contained in the Development Standards, from the adjacent residential homes to the west and south, I-15 Freeway, Horsethief Canyon Road, and Bolo Court by any combination of walls, landscaping, and/or other screening features or barriers (such as berms).
- (5) Within outdoor storage areas, materials or equipment shall be stored to a height no greater than fourteen feet (14'). Outdoor loading and storage areas and loading doors shall be screened, to the extent feasible in conformance with the wall height restrictions and requirements contained in the Development Standards, from view from public streets and/or the adjacent residential homes to the west and south by concrete or masonry walls, tubular steel fencing, and/or landscaping. Any gates shall be lockable. Such walls, fencing, and/or landscaping used as screening shall be of sufficient height to screen all outdoor materials and equipment, tractors and trailers,

and loading doors from view of public streets. Screening walls shall be a minimum eight feet (8') in height and shall not exceed fourteen feet (14') in height.

- (6) Ground- and roof-mounted exterior mechanical equipment, heating and ventilating, air conditioning, tanks, and other mechanical devices shall be screened to the extent feasible in conformance with the wall height restrictions and requirements contained in the Development Standards, and treated with a neutral color where visible from the adjacent residential homes to the west and south, I-15 Freeway, Horsethief Canyon Road, and Bolo Court.
- (7) Exterior lighting fixtures shall be downward directed. Pole-mounted lights shall be shielded with the light source oriented away from public streets and/or adjacent properties.
- (8) All manufacturing and processing activities shall be conducted within a wholly-enclosed building.
- (9) Products for sale on the premises may be displayed outdoors and unscreened. This is most appropriate for retail businesses such as manufacturing/assembly businesses that produce large items such as boats, RVs, or other similar goods.
- (10) Exceptions to the Maximum Building Height may be requested up to 75 feet, pursuant to Section 18.34 (Structure Height) of Riverside County Ordinance No. 348.
- (11) Additional criteria regarding setbacks, interfaces with off-site uses, building orientation, and other design considerations encouraged during the implementation of this Planning Area are provided in Section 4.4, *Architectural Design Guidelines*, of this Specific Plan, and the Specific Plan Zoning Ordinance document.

c. BUSINESS PARK DESIGN CRITERIA

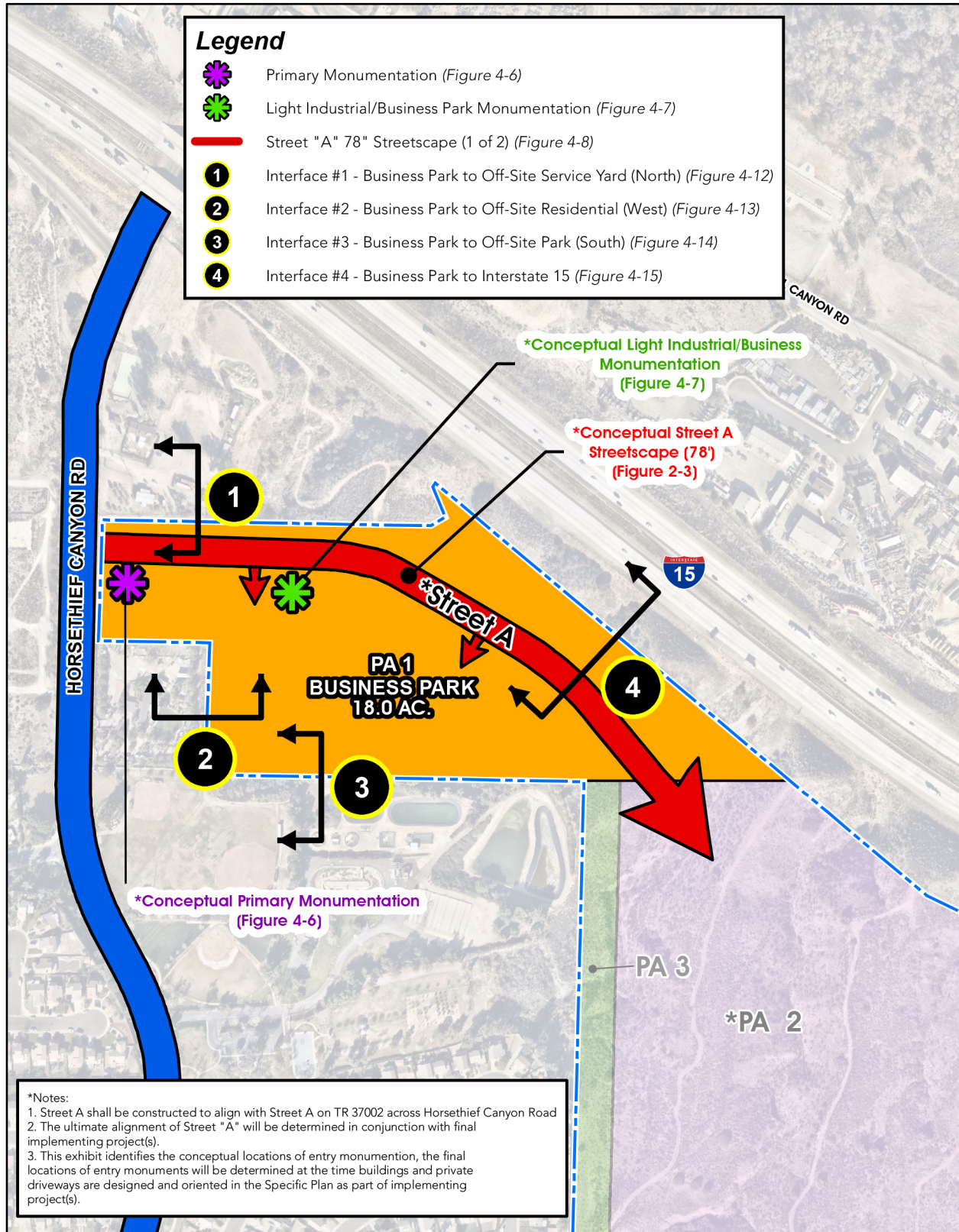
- (1) Primary access to Planning Area 1 shall be provided via Street 'A', as shown on Figure 2-3, *Conceptual Circulation Plan*.
- (2) The locations of Business Park entry monumentation for Planning Area 1 are conceptually illustrated on Figure 4-1, *Master Landscape Plan*. The final location(s) of all monumentation will be determined in conjunction with development of this Planning Area.
- (3) Roadway landscape treatments shall be provided along Street 'A', as conceptually illustrated on Figure 4-8, *Conceptual Street 'A' Streetscape (1 of 2)*.
- (4) Walls and fencing along the exterior of Planning Area 1 shall be provided as shown in Figure 4-10, *Conceptual Wall and Fence Details*, and Figure 4-11, *Conceptual Wall and Fence Plan*. The final location(s) of walls/fences interior to Planning Area 1 will be established in conjunction with development of this Planning Area.
- (5) A landscaped transition shall be provided between Planning Area 1 and the off-site service yard located to the north, as conceptually illustrated in Figure 4-12, *Interface #1 – Business Park to Off-Site Service Yard (North)*.
- (6) A landscaped transition shall be provided between Planning Area 1 and the off-site residential land uses located to the west, as conceptually illustrated in Figure 4-13, *Interface #2 – Business Park to Off-Site Residential (West)*.
- (7) A landscaped transition shall be provided between Planning Area 1 and the off-site Horsethief Canyon Park located to the south, as conceptually illustrated in Figure 4-14, *Interface #3 – Business Park to Off-Site Park (South)*.
- (8) A landscaped transition shall be provided between Planning Area 1 and the I-15 Freeway located to the north, as conceptually illustrated in Figure 4-15, *Interface #4 – Business Park to Interstate 15*.
- (9) Fuel modification zones may be provided around the perimeters or within this Planning Area, as described in Chapter 2.10, *Fire Protection Plan*.



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- (10) Please refer to Chapter 2, *Development Plan*, for other applicable standards that apply across the RENAISSANCE RANCH COMMERCE CENTER Specific Plan.
- (11) Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.



Source(s): Esri, Nearmap Aerial (2021), Brightview (10-15-2020), KWC Engineering (03-08-2021)

Figure 3-1

3.1.2 PLANNING AREA 2 [LIGHT INDUSTRIAL (LI) - 97.2 ACRES]

a. DESCRIPTION

As illustrated in Figure 3-2, Planning Area 2 is designated for 97.2 acres of Light Industrial land uses in the RENAISSANCE RANCH COMMERCE CENTER. Planning Area 2 provides for a maximum of 2,117,017 square feet of Light Industrial building area at a maximum FAR of 0.5.

Primary automobile and heavy commercial truck access to Planning Area 2 is provided via Street 'A' from Horsethief Canyon Road (through Planning Area 1); secondary automobile access is provided via Street 'A' from Bolo Court. Heavy commercial truck traffic is prohibited from entering and exiting the COMMERCE CENTER at Bolo Court. The ultimate alignment of Street 'A' shall be determined at the time buildings are designed and oriented within Planning Area 2 as part of any implementing project(s).

A Roundabout shall be provided within the alignment of Street 'A' in Planning Area 2 to prohibit heavy commercial trucks from entering and exiting the COMMERCE CENTER at Bolo Court. The final locations of the roundabout will be determined with the ultimate alignment of Street 'A' during the design of implementing project(s). Three potential locations for the roundabout are provided on Figure 2-2, *Circulation Plan*, and Figure 2-3A, *Roundabout Cross-Sections*. A traditional intersection may be provided in lieu of a roundabout to prohibit heavy commercial trucks from using Bolo Court for access. Driveway connections to private driveways and drive aisles within Planning Area 2 will be designed and provided, as needed, in conjunction with development of this Planning Area.

Planning Area 2 may provide employees and visitors to the Light Industrial uses with open space and recreational amenities, which may include, but are not limited to, shared outdoor patio break areas, pedestrian walkways, seating areas, and overhead structures. Planning Area 2 provides decorative landscaping along Street 'A' as a visual amenity, and provides a landscape buffer along its northern boundary to create a visual transition between Planning Area 2 and the I-15 Freeway to the north, adjacent Horsethief Canyon Ranch community to the west and south, and Open Space-Conservation Habitat areas within Planning Areas 5 and 6. An 8-foot wide Community Trail and 6-foot wide curb-adjacent are located within the right-of-way of Street "A" in Planning Area 1 to provide pedestrian connectivity through the COMMERCE CENTER, along with trail connectivity between Horsethief Canyon Road and Bolo Court.

b. LIGHT INDUSTRIAL DEVELOPMENT STANDARDS

The standards identified below establish the development criteria that shall apply to Planning Area 2, which is designated Light Industrial within the RENAISSANCE RANCH COMMERCE CENTER. Additional zoning provisions and design criteria for this Planning Area can be found in the Specific Plan Zoning Ordinance and Chapter 4, *Design Guidelines*.

- (1) The ultimate alignment of Street 'A' and the location of any roundabouts shall be determined at the time buildings are designed and oriented within a Planning Area as part of any implementing project(s).
- (2) Land uses within Planning Area 2 shall comply with the Specific Plan Zoning Ordinance.
- (3) Planning Area 2 shall comply with the Development Standards for Light Industrial land uses, located in this Chapter and the Specific Plan Zoning Ordinance.
- (4) Loading docks and truck parking areas shall be visually screened to the extent feasible in conformance with the wall height restrictions and requirements contained in the Development Standards, from the adjacent residential homes to the west and south, I-15 Freeway, Horsethief Canyon Road, and Bolo Court by any combination of walls, landscaping, and/or other screening features or barriers (such as berms).
- (5) Within outdoor storage areas, materials or equipment shall be stored to a height no greater than fourteen feet (14'). Outdoor loading and storage areas and loading doors shall be screened, to the extent feasible in

conformance with the wall height restrictions and requirements contained in the Development Standards, from view from public streets and/or the adjacent residential homes to the west and south by concrete or masonry walls, tubular steel fencing, and/or landscaping. Any gates shall be lockable. Such walls, fencing, and/or landscaping used as screening shall be of sufficient height to screen all outdoor materials and equipment, tractors and trailers, and loading doors from view of public streets. Screening walls shall be a minimum eight feet (8') in height and shall not exceed fourteen feet (14') in height.

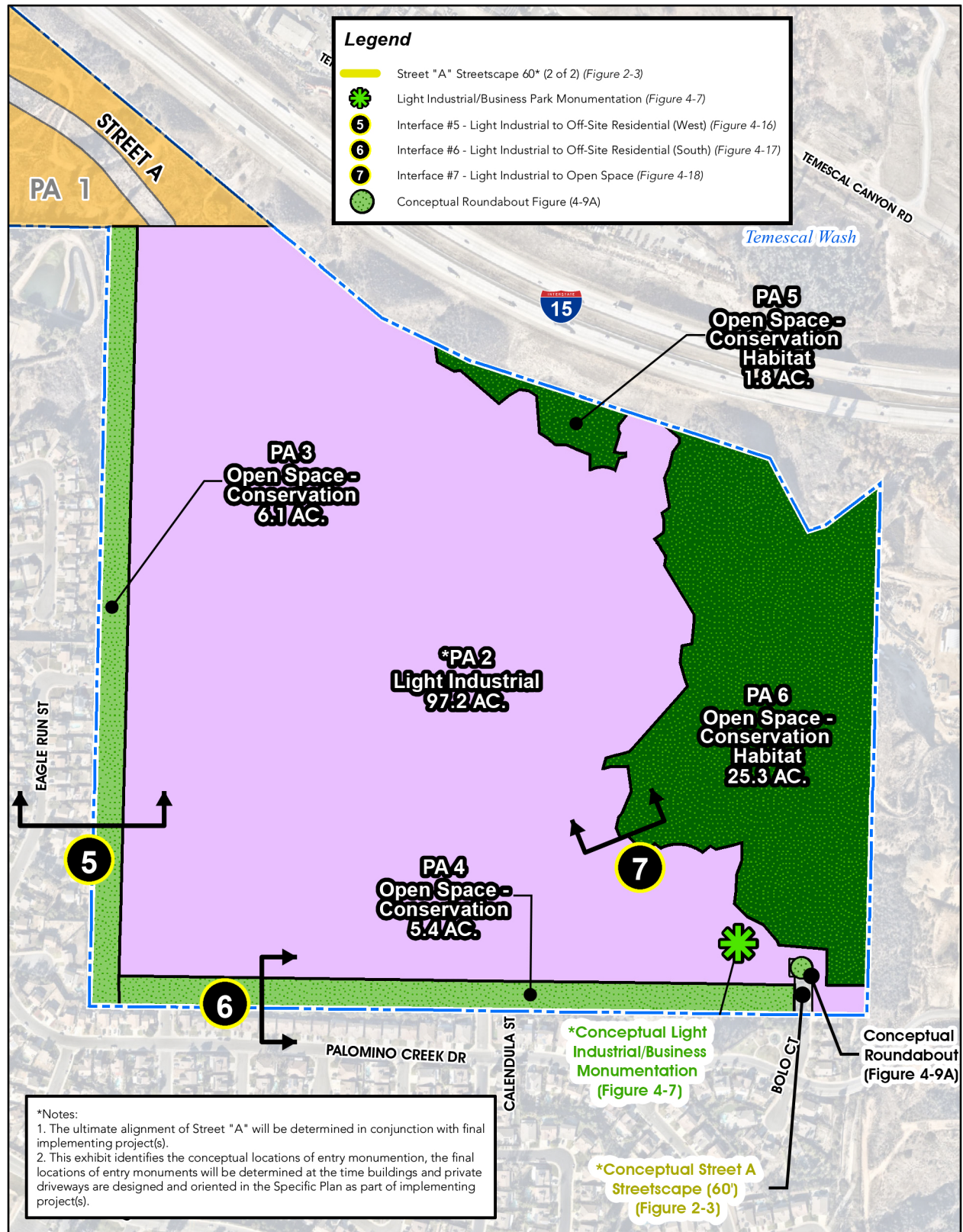
- (6) Ground- and roof-mounted exterior mechanical equipment, heating and ventilating, air conditioning, tanks, and other mechanical devices shall be screened to the extent feasible in conformance with the wall height restrictions and requirements contained in the Development Standards, and treated with a neutral color where visible from the adjacent residential homes to the west and south, I-15 Freeway, Horsethief Canyon Road, and Bolo Court.
- (7) Exterior lighting fixtures shall be downward directed. Pole-mounted lights shall be shielded with the light source oriented away from public streets and/or adjacent properties.
- (8) All manufacturing and processing activities shall be conducted within a wholly-enclosed building.
- (9) Products for sale on the premises may be displayed outdoors and unscreened. This is most appropriate for retail businesses such as manufacturing/assembly businesses that produce large items such as boats, RVs, or other similar goods.
- (10) Exceptions to the Maximum Building Height may be requested up to 75 feet, pursuant to Section 18.34 (Structure Height) of Riverside County Ordinance No. 348.
- (11) Additional criteria regarding setbacks, interfaces with off-site uses, building orientation, and other design considerations encouraged during the implementation of this Planning Area are provided in Section 4.4, *Architectural Design Guidelines*, of this Specific Plan, and the Specific Plan Zoning Ordinance document.
- (12) Additional traffic measure such as signage and weight restrictions may be provided within Planning Area 2 to prohibit heavy commercial trucks from using Bolo Court as access.

c. LIGHT INDUSTRIAL DESIGN CRITERIA

- (1) Primary automobile and heavy commercial truck access to Planning Area 2 shall be provided via Street 'A' from Horsethief Canyon Road (through Planning Area 1); secondary automobile access is provided via Street 'A' from Bolo Court, as shown on Figure 2-3, *Conceptual Circulation Plan*.
- (2) The final locations of utility infrastructure facilities in Planning Area 2 will be determined with the ultimate alignment of Street 'A', when buildings are oriented and designed with implementing project(s).
- (3) The locations of Light Industrial Entry Monumentation for Planning Area 2 are conceptually illustrated on Figure 4-1, *Master Landscape Plan*. The final location(s) of all monumentation will be determined in conjunction with development of this Planning Area.
- (4) Roadway landscape treatments shall be provided along Street 'A', as conceptually illustrated on Figure 4-8, *Conceptual Street 'A' Streetscape (1 of 2)*, and Figure 4-9, *Conceptual Street 'A' Streetscape (2 of 2)*.
- (5) Walls and fencing along the exterior of Planning Area 2 shall be provided as shown in Figure 4-10, *Conceptual Wall and Fence Details*, and Figure 4-11, *Conceptual Wall and Fence Plan*. The final location(s) of walls/fences interior to Planning Area 2 will be established in conjunction with development of this Planning Area.
- (6) A landscaped transition shall be provided between Planning Area 2 and the off-site Horsethief Canyon Ranch to the west and south, as conceptually illustrated in Figure 4-16, *Interface #5 – Light Industrial to Off-Site Residential (West)*, and Figure 4-17, *Interface #6 – Light Industrial to Off-Site Residential (South)*.



- (7) A landscaped transition shall be provided between Planning Area 2 and the Open Space-Conservation Habitat Planning Areas 5 and 6 (MSHCP) to the east, as conceptually illustrated in Figure 4-18, *Interface #7 – Light Industrial to Open Space*.
- (8) Fuel modification zones may be provided around the perimeters or within this Planning Area, as described in Chapter 2.10, *Fire Protection Plan*.
- (9) Please refer to Chapter 2, *Development Plan*, for other applicable standards that apply across the RENAISSANCE RANCH COMMERCE CENTER Specific Plan.
- (10) Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.



Source(s): Esri, Nearmap Aerial (2020), Brightview (10-15-2020), KWC Engineering (03-08-2021)

Figure 3-2



3.1.3 PLANNING AREAS 3 & 4 [OPEN SPACE-CONSERVATION - 11.4 ACRES]

a. DESCRIPTION

As illustrated in Figure 3-2, Planning Area 3 (6.1 acres) and Planning Area 4 (5.4 acres) are designated for a combined total of 11.4 acres of Open Space-Conservation uses along the western and southern boundaries of the RENAISSANCE RANCH COMMERCE CENTER. These Planning Areas provide a minimum of 75 feet of additional manufactured slopes, landscaping, buffering, and screening between the Light Industrial Planning Area and Specific Plan boundary.

As shown on Figure 3-2, Planning Area 3 is bordered to the east by the Light Industrial uses within Planning Area 2; Planning Area 4 is bordered to the north by Light Industrial uses within Planning Area 2. Along with the minimum 75-foot buffer provided by Planning Areas 3 and 4, the full right-of-way of Street "A" (81' or 64' ROW), and further landscaping and parking areas within Planning Area 2 are provided to ensure an adequate buffer between the existing residential homes and to the Light Industrial building's dock doors.

b. OPEN SPACE-CONSERVATION DEVELOPMENT STANDARDS

- (1) The ultimate alignment of Street 'A' within Planning Area 2 will be determined with implementing project(s) and may encroach into Planning Areas 3 and 4 provided that the landscape buffers in Planning Areas 3 and 4 maintain a minimum width of 75 feet.
- (2) The maintenance of the landscape buffers within Planning Areas 3 and 4 are the responsibility of a Master Property Owners' Association, Property Owners' Association, or Sub-Association.
- (3) Walls and fencing along the exterior of Planning Areas 3 and 4 shall be provided to serve as a visual and physical buffer between the Light Industrial land uses within Planning Area 2 and the off-site Horsethief Canyon Ranch community to the west and south, as shown in Figure 4-10, *Conceptual Wall and Fence Details*, and Figure 4-11, *Conceptual Wall and Fence Plan*. The final location(s) of walls/fences interior to Planning Areas 3 and 4 will be determined in conjunction with development of Planning Area 1 and/or Planning Area 2.
- (4) The landscape buffers in Planning Areas 3 and 4 are provided in the landscaped transition between the Light Industrial uses within Planning Area 2 and the off-site Horsethief Canyon Ranch community located to the west and south, as conceptually illustrated in Figure 4-16, *Interface #5 – Light Industrial to Off-Site Residential (West)*, and Figure 4-17, *Interface #6 – Light Industrial to Off-Site Residential (South)*.
- (5) Fuel modification zones may be provided around the perimeters or within this Planning Area, as described in Chapter 2.10, Fire Protection Plan.
- (6) Please refer to Chapter 2, *Development Plan*, for other applicable standards that apply across the RENAISSANCE RANCH COMMERCE CENTER Specific Plan.
- (7) Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.

3.1.4 PLANNING AREAS 5 & 6 [OPEN SPACE-CONSERVATION HABITAT - 27.1 ACRES]

a. DESCRIPTION

As illustrated in Figure 3-2, Planning Area 5 (1.8 acres) and Planning Area 6 (25.3 acres) are designated for a combined total of 27.1 acres of Open Space-Conservation Habitat uses (Temescal Wash) in the northeastern and southeastern portion of the RENAISSANCE RANCH COMMERCE CENTER consistent with approved HANS00206. Planning Areas 5 and 6 also facilitate the site's natural drainage patterns of stormwater originating on and off-site.

Planning Areas 5 and 6 have been conveyed to the Western Riverside County Regional Conservation Authority (RCA) for inclusion in the MSHCP Reserve, pursuant to HANS00206 and the approved Renaissance Ranch Specific Plan from 2005. The COMMERCE CENTER prohibits development and grading within Planning Areas 5 and 6, respect the limits of development established in HANS00206.

As shown on Figure 3-2, Planning Areas 5 and 6 are bordered on the west and south by the Light Industrial uses within Planning Area 2, and to the east by the Specific Plan boundary).

b. OPEN SPACE-CONSERVATION HABITAT DEVELOPMENT STANDARDS

- (1) No development, grading or fuel management shall occur within Planning Area 5 and 6 to preserve habitat areas conveyed to RCA for inclusion in the MSCHP Reserve.
- (2) Walls and fencing along the exterior of Planning Area 2 may be provided to serve as a visual and physical buffer to the open space areas within Planning Area 5 and 6, as shown in Figure 4-10, *Conceptual Wall and Fence Details*, and Figure 4-11, *Conceptual Wall and Fence Plan*. The final location(s) of walls/fences interior to Planning Area 2 will be determined in conjunction with development of this Planning Area.
- (3) Please refer to Chapter 2, *Development Plan*, for other applicable standards that apply across the RENAISSANCE RANCH COMMERCE CENTER Specific Plan.
- (4) Please refer to Chapter 4, *Design Guidelines*, for other applicable design criteria.

DESIGN GUIDELINES

4

CHAPTER FOUR establishes the quality and character of the built environment through the design of architecture and landscaping for the master-planned development of RENAISSANCE RANCH COMMERCE CENTER.



- 4.1 PURPOSE AND INTENT
- 4.2 DESIGN THEME
- 4.3 SPECIFIC PLAN-WIDE DESIGN GUIDELINES
- 4.4 ARCHITECTURAL DESIGN GUIDELINES
- 4.5 SUPPLEMENTAL GUIDELINES FOR LIGHT INDUSTRIAL & BUSINESS PARK USES
- 4.6 LANDSCAPE DESIGN GUIDELINES



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CHAPTER 4 | DESIGN GUIDELINES

4.1 PURPOSE AND INTENT

The Design Guidelines presented in this section establish the quality and character of the built environment for the master-planned development of the RENAISSANCE RANCH COMMERCE CENTER. While the Design Guidelines provide direction, they are simultaneously intended to provide a certain level of flexibility to allow creative expression during the design of implementing development projects.

The Design Guidelines provide criteria for landscape design, signage, lighting, architecture, and energy efficiency.

The RENAISSANCE RANCH COMMERCE CENTER'S visual identity will be expressed primarily through landscape, hardscape, and signage elements. The Architectural Design Guidelines contained herein are presented in a manner that ensures consistent architectural expression across the Specific Plan area, while allowing for flexibility in response to the modern-day reality of continuously evolving building design.

The objectives of the Design Guidelines are:

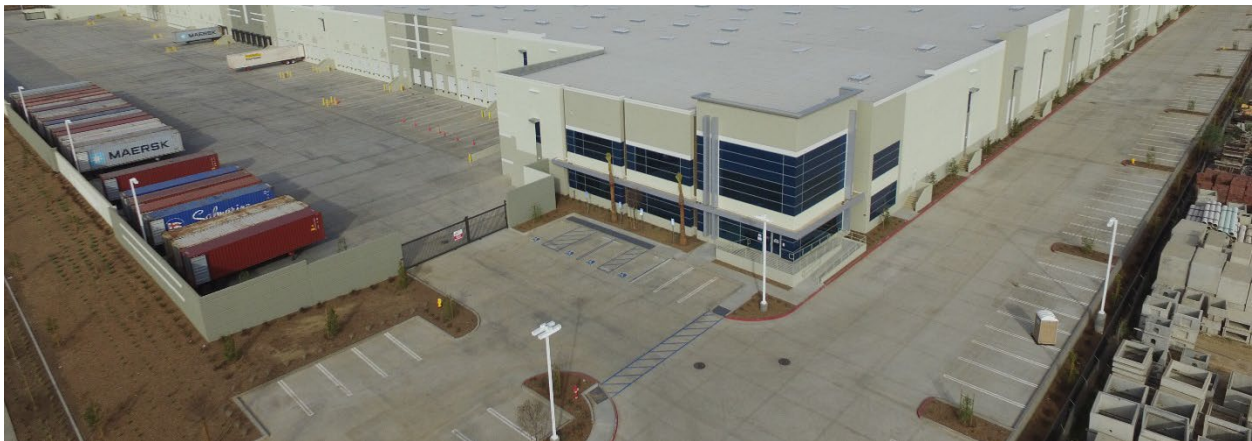
- ❖ To describe the thematic elements and the construction quality expected for the RENAISSANCE RANCH COMMERCE CENTER.
- ❖ To provide the County of Riverside with assurance that the RENAISSANCE RANCH COMMERCE CENTER will be developed in accordance with the quality and character described within this Specific Plan.
- ❖ To serve as a guide to developers, builders, engineers, architects, landscape architects, and other professionals involved with implementing development within the RENAISSANCE RANCH COMMERCE CENTER, in order to achieve and maintain the desired design quality.
- ❖ To provide an aesthetic benchmark for the County of Riverside to use in their review of future implementing projects within the Specific Plan.
- ❖ To provide a baseline for the RENAISSANCE RANCH COMMERCE CENTER to convey a contemporary aesthetic theme and character while allowing flexibility for practical application and creative expression.
- ❖ To encourage the implementation of energy efficiency design features that can be implemented in the site planning, design, and construction phases of the Specific Plan to minimize waste deposited at landfills, decrease energy use and particularly fossil fuel consumption, and reduce domestic water consumption.
- ❖ To ensure that the Specific Plan implements the intent of the Riverside County General Plan and applicable County Ordinances.

The majority of the Design Guidelines presented in this section apply to all development within the RENAISSANCE RANCH COMMERCE CENTER, regardless of the land use category. All photographs, illustrations, and diagrams contained in these Design Guidelines serve as visual aids to convey the overall theme. Exact replication of the examples is neither required nor anticipated.

4.2 DESIGN THEME

The RENAISSANCE RANCH COMMERCE CENTER is a contemporary employment containing Light Industrial, Business Park, and Open Space land uses. The property's location provides the businesses that will locate here with quick and easy access to the regional transportation network, proximity to workers, proximity to the Ports of LA and Long Beach (approximately 80 miles to the west), and visibility to passers-by along Interstate 15 and Horsethief Canyon Road. The design of the RENAISSANCE RANCH COMMERCE CENTER creates an inviting place to work, shop, and conduct business.

The design theme features a contemporary aesthetic, which provides architectural styling with attractive detailing, steel accents, a light-toned color palette, and timeless features. Signs are modern, lighting is focused and directed, landscaping is colorful and drought-tolerant, and design features are applied that lower energy use demands of building operations.



4.3 SPECIFIC PLAN-WIDE DESIGN GUIDELINES

This section sets forth Design Guidelines that apply to all Planning Areas within the RENAISSANCE RANCH COMMERCE CENTER. Developers, builders, engineers, architects, landscape architects, and other design professionals should utilize these Guidelines in order to maintain design continuity throughout the Specific Plan area.

4.4 ARCHITECTURAL DESIGN GUIDELINES

The architectural style of the RENAISSANCE RANCH COMMERCE CENTER emphasizes a contemporary interpretation of the traditional context with building massing over structural articulation. Buildings are characterized by simple and distinct cubic masses with interlocking volumes of wall planes, colors, and materials to create visual appeal, aesthetically pleasing proportions and strong shadow patterns. Colors, materials, and textures can be mixed to create interest.

Design elements are selected to be compatible in character, massing, and materials in order to promote a clean and contemporary feel. Individual creativity and identity are encouraged, but design integrity and compatibility must be maintained among all buildings and between Planning Areas, to reinforce a unified image and campus-like setting within the RENAISSANCE RANCH COMMERCE CENTER.



4.4.1 BUILDING FORM

Building form is one of the primary elements of architecture. Numerous design aspects, including shape, mass (size), scale, proportion, and articulation, are elements of a building's "form." Building forms are especially important for building faces that are visible along the following view corridors:

- ❖ Building façades in Planning Area 1 that are visible from I-15, Street 'A' and Horsethief Canyon Road.
- ❖ Building façades in Planning Area 2 that are visible from Street 'A', I-15 Freeway, and the existing residential land uses to the west and south.



Although provided for illustrative purposes only, the image above shows how building faces visible from public roadways incorporate angular changes in massing, building materials, color, texture, and accents; no loading docks are to be visible

The following guidelines apply to all buildings within the RENAISSANCE RANCH COMMERCE CENTER to ensure that structural development is visually consistent, appealing, and inviting to pedestrians and motorists. Note that building faces that orient inward to truck courts or service areas and that are not clearly visible from the adjacent residential homes to the west and south, abutting public roads, or abutting publicly accessible viewing areas, are not required to adhere to the below Building Form guidelines.

- (1) Use simple geometric shapes as the overall building form. Rectangular forms are encouraged to promote balance and visual interest. Avoid arbitrary, complicated building forms.
- (2) Long horizontal wall planes visible from a public street should include periodic changes in exterior building materials, color, decorative accents, and/or articulated features.
- (3) Modulation and variation of building masses between adjacent buildings visible from public streets is encouraged.
- (4) Make pedestrian entrances to buildings (with the exception of service doors and emergency exit doors) obvious through changes in massing, color, and/or building materials.
- (5) Pedestrian and ground-level building entries intended for visitor use should be recessed or covered by architectural projections, roofs, or arcades in order to provide shade and visual relief.
- (6) Architectural and trim detailing on building façades shall be clean, simplistic, and not overly complicated
- (7) Materials applied to any elevations shall turn the corner of the building to a logical termination point in relation to architectural features or massing.

4.4.2 BUILDING MATERIALS, COLORS, AND TEXTURES

Building materials and colors play a key role in developing a clean, contemporary visual environment; therefore, the selected exterior materials, colors, and textures should complement one another throughout the RENAISSANCE RANCH COMMERCE CENTER. Slight variations are encouraged to provide visual interest.

- (1) Appropriate primary exterior building materials include concrete and similar materials, as well as tilt-up panels. The primary materials should be accented by secondary materials including but not limited to natural or fabricated stone, Fire resistant wood siding (horizontal or vertical), and metal.
- (2) Trim details may include metal finished in a consistent color, plaster, or concrete elements finished consistently with the building treatment. Use of overly extraneous “themed” detailing, like oversized or excessive foam cornice caps, foam molding and window detailing is discouraged.
- (3) Material changes should occur at intersecting planes, preferably at the inside corners of change of wall planes, or where architectural elements intersect.
- (4) Primary exterior building colors should be light and gray tones. Darker and/or more vibrant accent colors may be provided in focal point areas, such as around building entrances and near outdoor gathering spaces.
- (5) Bright primary colors, garish use of color and arbitrary patterns or stripes that will clash with this color palette are discouraged, except in signage logos.
- (6) Exposed downspouts, service doors and mechanical screen colors shall be the same color as the adjacent wall.

4.4.3 WINDOWS AND DOORS

The patterns of window and door openings shall correspond with the overall rhythm of the building and should be consistent in form, pattern, and color within each planning area. Guidelines for windows and doors within the RENAISSANCE RANCH COMMERCE CENTER are as follows:

- (1) When possible, the positioning of doors and windows on individual building façades should occur in a symmetrical and repetitive pattern to create continuity.
- (2) Window styles and trims shall be consistent in form and color in each planning area. Window trims shall be finished in a consistent color on each building.
- (3) Gold or unfinished/untreated metal window or door frames are prohibited. Clear silver anodized frames are allowed.
- (4) Glass shall be clear or colored with subtle reflectiveness. Silver glass is prohibited.
- (5) Pedestrian entry doors to buildings shall be clearly defined by features such as overhangs, awnings, and canopies or embellished with decorative framing treatments – including but not limited to accent trim. Dark and confined entries, flush doorways (except emergency exit and service doors), and tacked-on entry alcoves are discouraged.



Although provided for illustrative purposes only, the image above shows the repetitive and symmetrical patterns and appropriate styles of windows and doors, desired for buildings in the RENAISSANCE RANCH COMMERCE CENTER.

4.4.4 WALLS AND FENCES

The following guidelines for walls and fencing will ensure that these features complement the overall RENAISSANCE RANCH COMMERCE CENTER design theme, and are attractive from public viewing areas, scaled appropriately, durable, and integrated consistently within the Specific Plan area.

- (1) Freestanding walls and fences should not exceed a height of fourteen (14') feet, measured from the base of the wall/fence to the top of wall/fence.
- (2) Landscaping may be used for visual screening instead of, or in combination with, walls and fences in locations where a solid physical barrier is not needed.
- (3) Freestanding walls and fences in public view should be built with attractive, durable materials.
- (4) Chain-link fencing is only allowed in areas not within view of public streets.
- (5) Along public street frontages, long expanses of freestanding wall surfaces should be offset and/or architecturally treated to prevent monotony. Techniques to accomplish this may include, but are not limited to: openings, material changes, pilasters and posts, and staggered sections.

- (6) Wall and fencing materials shall be compatible with other design elements of the RENAISSANCE RANCH COMMERCE CENTER.



Although provided for illustrative purposes only, the image above shows screening and wall concepts for truck courts and loading docks.

4.4.5 TRUCK COURTS AND LOADING DOCKS

- (1) Loading doors, service docks, and equipment areas should be oriented or screened to reduce visibility from public roads and publicly accessible locations within the RENAISSANCE RANCH COMMERCE CENTER. Screening may be accomplished with solid walls or fences that are compatible with the architectural expression of the building. Screening may also be accomplished by landscaping and/or berms.
- (2) Light Industrial and Business Park buildings shall not have loading docks on the building façade(s) facing Street A, Bolo Court, or the adjacent residential homes to the west and south.
- (3) No loading or unloading activity is permitted to take place from public streets.
- (4) Adequate queuing distance should be provided on site in front of security gates to avoid the circumstance of trucks stacking on public streets waiting to enter at gates.
- (5) Truck and service vehicle entries should be designed to provide clear and convenient access to truck courts and loading areas such that passenger vehicle, pedestrian, and bicycle circulation is not adversely affected by truck movements.
- (6) Loading bays that are utilized by refrigerated trailers shall have dock seals and be equipped with plug-in electrical outlets.
- (7) Conduit should be installed in truck courts in logical locations that would allow for the future installation of charging stations for electric trucks, in anticipation of this technology becoming available in the lifetime of the RENAISSANCE RANCH COMMERCE CENTER.
- (8) Electrical rooms to hold sufficiently sized electrical panels should be installed to facilitate the future potential installation of electrical connections from the electrical room to dock doors and/or a separate designated location where diesel engine trucks and/or trailers for freezer/refrigerated warehouse space would park and connect to the electrical system



Although provided for illustrative purposes only, the image above conceptually shows the design of truck courts and loading docks.

4.4.6 GROUND OR WALL-MOUNTED EQUIPMENT

- (1) Ground-mounted equipment, including but not limited to mechanical or electrical equipment, emergency generators, boilers, storage tanks, risers, and electrical conduits, should be screened when feasible from public viewing areas including adjacent public roads. Screening may be accomplished with solid walls, fences, and/or landscaping.
- (2) Electrical equipment rooms should be located within the building envelope. Pop-outs or shed-like additions are discouraged.
- (3) Wall-mounted items, such as roof ladders or electrical panels, should not be located on the building façade facing adjacent public roads. Wall-mounted items should be screened or incorporated into the architectural elements of the building so as not to be visually apparent from the street or other public areas.



Although provided for illustrative purposes only, the image above conceptually shows the screening and locations of ground or wall-mounted equipment.

4.4.7 ROOFTOP EQUIPMENT

- (1) Rooftop equipment, including but limited to mechanical equipment, electrical equipment, storage tanks, cellular telephone facilities, satellite dishes, vents, exhaust fans, smoke hatches, and mechanical ducts, shall be screened by rooftop screens or parapet walls to minimize, to the extent feasible, visibility from the adjacent residential homes, and shall not be visible abutting public roads, and publicly accessible locations within the RENAISSANCE RANCH COMMERCE CENTER.
- (2) Integrate rooftop screens (i.e. parapet walls) into the architecture of the main building. Wood finished rooftop screens are prohibited.
- (3) Design the roofs of Industrial buildings to support the future installation of solar panels.



Although provided for illustrative purposes only, the image above shows how rooftop equipment can be screened from public viewing areas.

4.4.8 TRASH ENCLOSURES

- (1) All outdoor refuse containers shall be screened within a permanent, durable enclosure and should be oriented so they are not clearly visible from public roads, publicly accessible parking lots within the Renaissance Ranch Commerce Center, or other public viewing areas. The enclosure's design shall reflect the architectural style of adjacent buildings and use similar, high-quality materials.
- (2) All outdoor trash enclosures shall be constructed with solid roofs to prevent exposure of dumpster contents to rainfall and prevent polluted storm water runoff from these structures.
- (3) Refuse collection areas shall be located behind or to the side of buildings, away from the building's main entrance.

4.4.9 OUTDOOR EMPLOYEE AMENITIES

- (1) Bicycle racks should be provided at each building or in a common area that serves multiple buildings to encourage non-vehicular circulation, per CAL GREEN standards (5.106.4 Bicycle Parking).
- (2) Light Industrial and Business Park buildings may include an outdoor employee amenity area, including tables and chairs so that workers do not have to travel off-site for outdoor enjoyment.



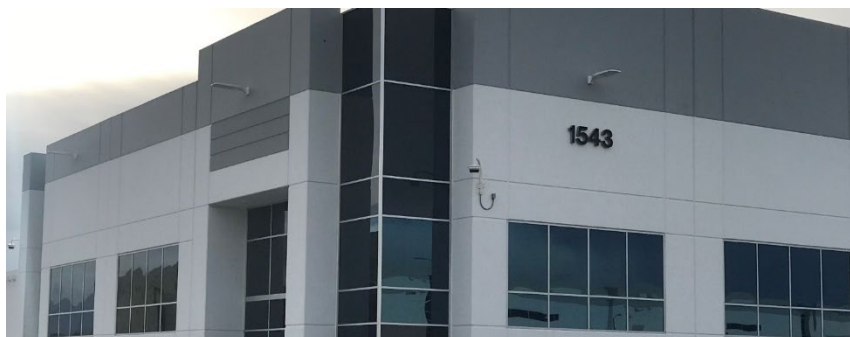
Although provided for illustrative purposes only, the image above shows the placement of outdoor patio break areas and employee amenities adjacent to buildings.

4.4.10 OUTDOOR LIGHTING

Outdoor lighting of the RENAISSANCE RANCH COMMERCE CENTER is an essential architectural component that provides aesthetic appeal, enhances safe pedestrian and vehicular circulation, and adds to security. All lighting within the boundaries of the Specific Plan and public rights-of-way shall be in accordance with applicable Riverside County standards, including but not limited to the standards for the Mount Palomar Observatory Special Lighting District (Riverside County Ordinance No. 655).

All other lighting on private property in the Specific Plan should adhere to the following guidelines.

- (1) Minimize glare and “spill over” light onto public streets, adjacent properties, adjacent residential homes, and MSCHP areas by using downward-directed lights and/or cutoff devices on outdoor lighting fixtures, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, parking, loading, unloading, and similar areas. Where desired, illuminate trees and other landscape features by concealed up-light fixtures. Limit light spillover or trespass to one-quarter foot-candle or less, measured from within five feet of any adjacent property line.
- (2) Select all lighting fixtures used in the Specific Plan area from the same – or a complementary – family of fixtures with respect to design, materials, fixture color, and light color. Use of LED lighting is encouraged.
- (3) Lights should be unbreakable plastic, recessed, or otherwise designed to reduce the problems associated with damage and replacement of fixtures.
- (4) Neon and similar types of lighting are prohibited in all areas within the RENAISSANCE RANCH COMMERCE CENTER.
- (5) Locate all electrical meter pedestals and light switch/control equipment in areas with minimum public visibility or screen them with appropriate plant materials.
- (6) Illuminate parking lots, loading dock areas, pedestrian walkways, building entrances, and public sidewalks to the level necessary for building operation and security reasons. Dimmers and motion detectors are permitted.
- (7) Along sidewalks and walkways, the use of low mounted fixtures (ground or bollard height), which reinforce the pedestrian scaled, are encouraged.
- (8) Use exterior lights to accent entrances, plazas, activity areas, and special features.
- (9) To illuminate parking lots or parking structures and their pedestrian links that provide more than five parking spaces for use by the general public, provide a minimum coverage of one foot-candle of light with a maximum of eight foot-candles on the parking or walkway surface, unless otherwise approved by the County of Riverside for visibility and security.
- (10) To illuminate aisles and passageways within a building complex, provide a maximum of one-half to one foot-candle of maintained lighting.
- (11) High Pressure Sodium (HPS) light fixtures are prohibited for site lighting.



Although provided for illustrative purposes only, the image to the left conceptually lighting fixture consistent with the overall theme of the RENAISSANCE RANCH COMMERCE CENTER, and minimizes glare and spill over onto public streets and adjacent properties.

4.4.11 SIGNAGE GUIDELINES

Signage within the Specific Plan area serves a variety of purposes. Signs will identify the RENAISSANCE RANCH COMMERCE CENTER and its building occupants and ensure the efficient circulation of vehicle traffic within the site by identifying vehicular entry points and directing vehicles to their on-site destinations. Also, signage will enhance the pedestrian experience through the design of way finding components: directories, directional signage and destination identifiers.

As such, clear, concise, and easy-to-understand signage that is also visually appealing is vitally important for positive worker and visitor experiences at the RENAISSANCE RANCH COMMERCE CENTER. General design requirements for signage are as follows:

- (1) A Master Sign Program for the entire RENAISSANCE RANCH COMMERCE CENTER shall be prepared and approved by the County of Riverside prior to, or concurrent with, the first implementing project.
- (2) Subsequent changes to the Master Sign Program following approval of the Specific Plan are deemed "Administrative Changes to the Specific Plan" and shall be reviewed and approved by the Planning Director.
- (3) The Master Sign Program shall at a minimum address the following issues related to sign construction, illumination, location, and mounting methods. The Master Sign Program provides adequate and appropriate project, street, building, commercial tenant identification, trail, path, and wayfinding signage for the anticipated variety of building sizes, designs, and uses to ensure that all project signage is designed with a single vision and theme, generally outlined below in Items (4) through (15).
- (4) All building signage should be in scale with and in proportion to the primary building facades so that the signage is not 'overpowering' and does not dominate the overall appearance.
- (5) The design of the signage shall reflect the type of business and/or uses through its design, material, shape and graphic form. Signage is encouraged to use natural materials where possible.
- (6) All signs shall be contained within the parcel to which applicable and shall be so oriented as to preclude hazardous obstructions to person and/or vision of pedestrians and/or vehicle operators.
- (7) Building occupant identification signage shall be in keeping with the character established for the RENAISSANCE RANCH COMMERCE CENTER with variations allowed to accommodate individual user identities/corporate branding standards.
- (8) Signs should not cover up windows or important architectural features.



Although provided for illustrative purposes only, the image above conceptually shows the signage to be provided for the RENAISSANCE RANCH COMMERCE CENTER to enhance the exposure and visibility of the COMMERCE CENTER.



- (9) All conductors, transformers, cabinets, housing and other equipment for the illumination of signs shall be concealed and/or incorporated into the building architecture.
- (10) Signs shall be constructed so as to not have exposed wiring, raceways, ballasts, conduit, transformers, or the like.
- (11) Direction signs may be located at any vehicular or pedestrian decision point.
- (12) Vehicular direction signs shall clearly direct to destination anchors within the RENAISSANCE RANCH COMMERCE CENTER, on-site parking areas, and truck routes.
- (13) Vehicular direction signs shall be consistent in size, shape, and design throughout the RENAISSANCE RANCH COMMERCE CENTER.
- (14) Typography on vehicular direction signs should be legible and have enough contrast to be read from an appropriate windshield viewing distance.
- (15) Vehicular direction signs shall incorporate reflective vinyl copy for night-time illumination.

4.5 SUPPLEMENTAL GUIDELINES FOR LIGHT INDUSTRIAL & BUSINESS PARK USES

This section sets forth additional guidelines that address considerations unique to all uses permitted within the Light Industrial and Business Park land uses within the RENAISSANCE RANCH COMMERCE CENTER. These Guidelines apply to the design of building sites in Planning Areas 1 and 2 to accommodate Light Industrial and Business Park use(s).

- (1) Locate the office portion of warehouse buildings at the corner(s) of the building. For buildings adjacent to Street 'A', 1-15 Freeway, Horsethief Canyon Road, and Bolo Court, orient the office toward these roads to provide visual interest from the public roadway.
- (2) Orient and screen elements such as trash enclosure areas, loading bay doors, and service docks in ways that minimize their visibility from the adjacent residential homes, 1-15 Freeway, Horsethief Canyon Road, and Bolo Court.
- (3) Site design shall specifically address the needs of pick-up, delivery, and service vehicles related to Light Industrial and Business Park land uses.
 - a. Design interior driveways and drive aisles to provide adequate stacking and prevent queuing of vehicles on public streets. Position guardhouses and gates sufficiently inside the site to allow at least one truck to queue in front of the guardhouse or gate off the public street, unless fewer or additional queuing space is deemed necessary by a building-specific queuing analysis based on the expected traffic volumes of the building occupant.
 - b. Locate and design service entrances so they do not interfere with owner/tenant/ customer access.
 - c. Design loading areas to provide for tractor trailer backing and maneuvering on-site and not from a public street.
 - d. Provide appropriate on-site service vehicle parking/turnouts in an efficient, non-obtrusive location appropriate to the scale and needs of the development.
 - e. Loading vehicles, when parked, shall not impede normal traffic flow.
- (4) Architectural design of Light Industrial and Business Park buildings may be utilitarian in form; however, the design should complement the RENAISSANCE RANCH COMMERCE CENTER overall design theme.
- (5) Textured forms, reveals, or scoring on concrete tilt-up panels is recommended for visual relief and to create a base and cornice expression; however, smooth panels with color variation may be used in lieu of textured finishes.
- (6) Use primary roof forms that are flat or gently sloping. The ridge line elevation of the primary roof form should not exceed the parapet wall. Change of parapet height is strongly encouraged.
- (7) Avoid the use of arched gable, hip and shed roof forms as a primary roof form. These roof forms may be used as a secondary/accent roof form.
- (8) With the exception of solar panels, where required, screen all rooftop mounted equipment to the extent practical, from public view using materials complementary to those used on the main structure.

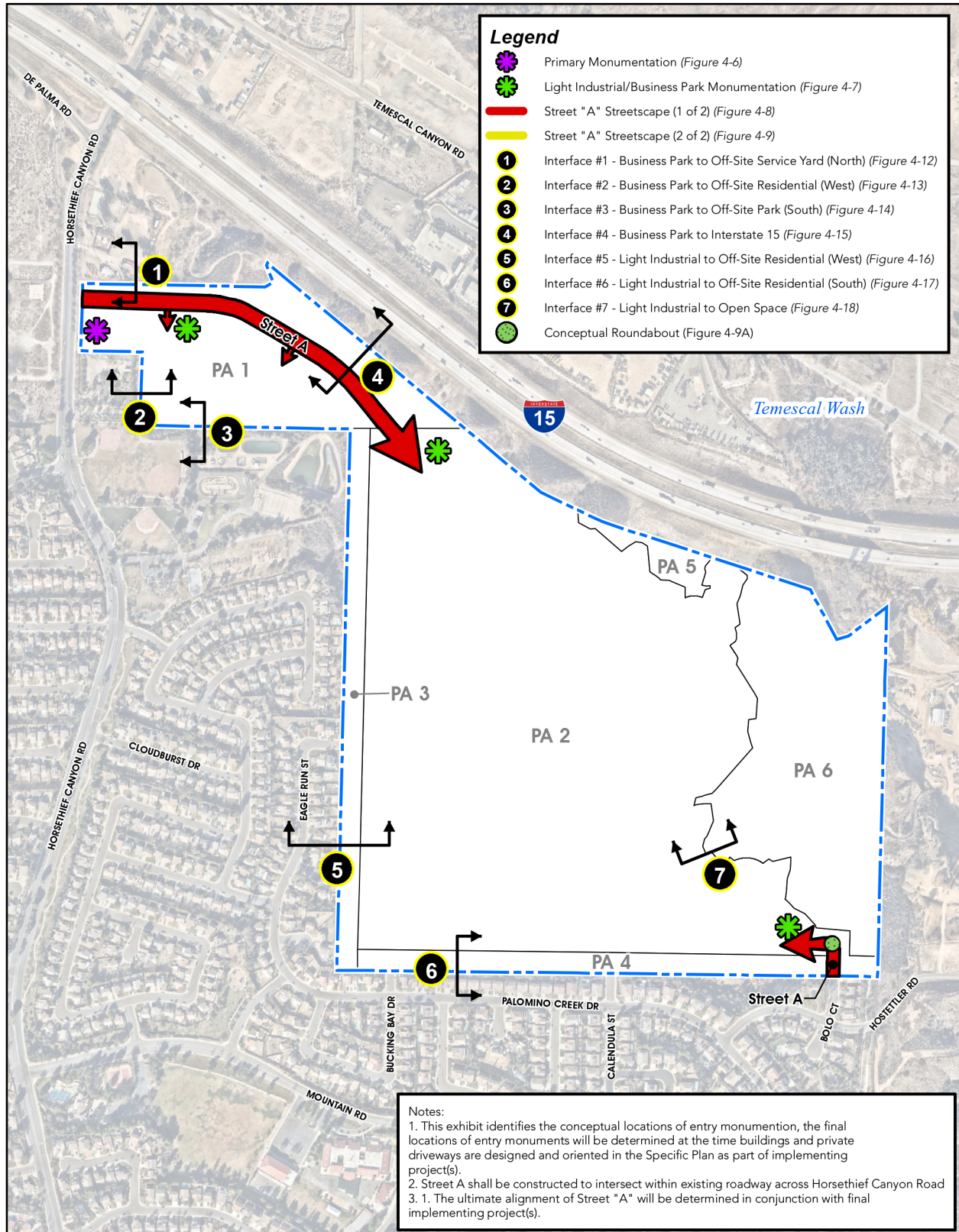
4.6 LANDSCAPE DESIGN GUIDELINES

These Landscape Design Guidelines establish landscape principles and standards that apply to all Planning Areas within the RENAISSANCE RANCH COMMERCE CENTER to ensure that plant materials, entries and monuments, streetscapes and other amenities are compatible with the overall design theme, and that all implementing development projects are united under a common design theme. Additionally, these Landscape Design Guidelines respond to the proximity of the site to MSHCP Open Space areas along the eastern and northeastern boundaries, by avoiding invasive and prohibited plant species. These Landscape Design Guidelines, when taken with the companion Architectural Design Guidelines provided herein, establish an identity for the RENAISSANCE RANCH COMMERCE CENTER that is contemporary, visually appealing, and takes the surrounding areas into consideration.

Although a great deal of specific design information is presented herein, these Guidelines are not intended to establish a set of rigid landscaping requirements for the RENAISSANCE RANCH COMMERCE CENTER. It is recognized that, at times, there will be a need to adapt these Guidelines to meet certain parcel-specific or user-identity requirements. As such, these Landscape Guidelines are provided to be flexible, and are subject to modification over time. However, it is critical to the RENAISSANCE RANCH COMMERCE CENTER long-term design integrity that any deviations from these Landscape Guidelines are in keeping with the spirit of the core elements of the overall theme described herein to ensure a cohesive and unified landscape concept across the RENAISSANCE RANCH COMMERCE CENTER.

The Landscape Design Guidelines serves the dual purpose of adding year-round visual appeal while being sensitive to the environment and Southern California climate by using drought-tolerant materials. Landscaping occurs throughout the RENAISSANCE RANCH COMMERCE CENTER, but most prominently at street corners, along roadways, and at building entrances and in passenger car parking lots. Monumentation, occurring at the corners of entrances into the RENAISSANCE RANCH COMMERCE CENTER, welcomes employees and visitors, featuring colorful accent trees, shrubs, and groundcovers.

Streetscape landscaping presents a combination of evergreen and deciduous trees, low shrubs, and masses of groundcovers to create a visually pleasing experience for pedestrians and passing motorists. As identified on Figure 4-1, *Master Landscape Plan*, the RENAISSANCE RANCH COMMERCE CENTER thematic identity is reinforced by the landscape design of interfaces, monumentation, streetscapes, and pedestrian paths. Furthermore, the recommended Plant Palette, community elements, and hardscape materials work in concert to reinforce and emphasize the RENAISSANCE RANCH COMMERCE CENTER landscape theme.



Source(s): Esri, Nearmap Aerial (2021, RCTLMA (2020), KWC Engineering (2021), Brightview (10-15-2021)

Figure 4-1



0 175 350 700
Feet

4.6.1 PLANT PALETTE

Inspired by the adjacent natural landscapes of Santiago Peak and the Lake Mathews Mountain Reserve, the RENAISSANCE RANCH COMMERCE CENTER Plant Palette includes plant communities that are native to the surrounding area. The planting design provides visual interest along highly-traveled portions of the site, using color and form to provide an inviting setting for employees and visitors alike. These areas then strategically transition into more naturalized open spaces.

The Plant Palette for the RENAISSANCE RANCH COMMERCE CENTER was chose to accentuate and enhance the setting of the site, while ensuring the conservation of the site's natural vegetation, water resources, and provide for the unique needs of the Temescal Wash and MSHCP area. The Plant Palette was chose to accentuate the COMMERCE CENTER'S architectural styles and design elements (hardscape, monumentation, walls and fences, etc.). Table 4-1, *Plant Palette*, provides a base Plant Palette which includes a list for the RENAISSANCE RANCH COMMERCE CENTER'S landscape design along with the associated Water Use Classification of Landscape Species (WUCOLS) value of each species. Alternative plant species may be used in lieu of species listed in Table 4-1, provided the alternative plants are drought-tolerant and accentuate the RENAISSANCE RANCH COMMERCE CENTER design aesthetic.

Five (5) Plant Palette Categories are used to establish and differentiate areas of the RENAISSANCE RANCH COMMERCE CENTER and are described below.

❖ Zone A – Entries



Image from - <https://logansimpson.com/landscape-architecture/>

The planting in Zone A is provided at entry points into the COMMERCE CENTER at Street 'A' from Horsethief Canyon Road, and along Street 'A's frontage with building sites within Planning Areas 1 and 2. Zone A planting is defined by its showy, eye-catching Plant Palette, as well as its varied heights, colors, and textures. The planting diversity in Zone A provides visual interest along the highly-traveled area of the COMMERCE CENTER.

❖ **Zone B – Transitional**



<https://calscape.org/planting-guide.php>

The planting in Zone B is provided around the building site perimeters within Planning Areas 1 and 2 to provide a landscaped transition between Zone A (Entries) and Zone C (Open Space-Conservation). Zone B is an ecotone zone and contributes to knitting the COMMERCE CENTER's landscaping and theme together by balancing diversity with plants which are low maintenance and low water use.

❖ **Zone C – Open Space-Conservation**



<https://www.trailrunproject.com/photo/7034911>

The planting in Zone C is provided within the landscape buffers in Planning Areas 3 and 4, and the open space areas around the perimeters of the building sites within Planning Area 2. The planting in Zone C is defined by its conservation efforts and will remain as such by using native plant communities inspired by the Santiago Peak and Lake Mathews Estelle Mountain Preserve. The plant communities provided in the COMMERCE CENTER are found historically around

the Santiago Peak and consist of sage scrub, chaparral, foothill grasslands, and the oak woodland communities to establish a natural and inviting setting for the COMMERCE CENTER.

❖ Zone D – Open Space-Conservation Habitat

Zone D occurs within the Temescal Wash located in Planning Areas 5 and 6 of the Specific Plan the habitat within these areas shall remain in its natural state. No planting or fuel management shall occur within Planning Area 5 and 6, unless authorized by the County of Riverside or Regional Conservation Authority and in accordance with the MSHCP guidelines.

❖ Zone E – Bioswales/Basins

The planting in Zone E occurs within the detention and water quality basins located within the COMMERCE CENTER. This Zone features plants that are acclimated to sudden changes in in conditions such as bioswales, where adaptability to thrive with or without water is required.

Photos of selected plants from the Plant Palette can be found in Figure 4-2, Figure 4-3, Figure 4-4, and Figure 4-5.

TABLE 4-1 PLANT PALETTE

Zone A – Entry Plant Palette		
TREES		
COMMON NAME	BOTANICAL NAME	WUCOLS
Peppermint Tree	<i>Agonis flexuosa</i>	M
Marina Strawberry Tree	<i>Arbutus 'Marina'</i>	L
Western Redbud	<i>Cercis occidentalis</i>	L
Fruitless Olive	<i>Olea europaea 'Fruitless'</i>	L
Desert Museum Palo Verde	<i>Parkinsonia x 'Desert Museum'</i>	L
Coast live Oak	<i>Quercus agrifolia</i>	L
Holly Oak	<i>Quercus ilex</i>	L
SHRUBS		
COMMON NAME	BOTANICAL NAME	WUCOLS
Fox Tail Agave	<i>Agave attenuata</i>	L
Century plant	<i>Agave americana</i>	VL
Tree Aloe	<i>Aloe barberae</i>	L
Blue Elf Aloe	<i>Aloe x 'Blue Elf'</i>	L
Coral Aloe	<i>Aloe striata</i>	L
Lemon Verbena	<i>Aloysia triphylla</i>	L
Cushion Bush	<i>Calocephalus brownii</i>	L
Foothill Sedge	<i>Carex Tumulicola</i>	M
Coast Sunflower	<i>Encelia californica</i>	L
Red Hot Poker	<i>Kniphofia uvaria</i>	L
Mexican Lobelia	<i>Lobelia laxiflora</i>	VL
Creeping Rosemary	<i>Rosmarinus officinalis 'Prostratus'</i>	L
Coast Rosemary	<i>Westringia fruticosa</i>	L
Adam's Needle	<i>Yucca filamentosa</i>	VL

GROUND COVER		
COMMON NAME	BOTANICAL NAME	WUCOLS
Dwarf Coyote Bush	Baccharis 'Pigeon Point'	L
Dymondia	Dymondia margaretae	L
California Buckwheat	Eriogonum fasciculatum 'Warriner Lytle'	L
Blue Fescue	Festuca glauca 'Ovina'	M
New Gold Lantana	Lantana x 'New Gold'	L
Majorcan Germander	Teucrium cossonii	L
Blue Chalksticks	Senecio mandraliscae	L
Zone B - Transitional		
TREES		
COMMON NAME	BOTANICAL NAME	WUCOLS
Mulga	Acacia aneura	L
Marina Strawberry Tree	Arbutus 'Marina'	L
Western Redbud	Cercis occidentalis	L
Fruitless Olive	Olea europaea 'Fruitless'	L
California Sycamore	Platanus racemosa	L
Coast Live Oak	Quercus agrifolia	L
African Sumac	Rhus lancea	L
SHRUBS		
COMMON NAME	BOTANICAL NAME	WUCOLS
Fox Tail Agave	Agave attenuata	L
Coyote Bush	Baccharis pilularis	L
Blue Grama	Bouteloua gracilis 'Blonde Ambition'	L
Stalked Bulbine	Bulbine frutescens	L
Baja Fairy Duster	Calliandra californica	L
Foothill Sedge	Carex Tumulicola	M
Spoon Yucca	Dasyllirion wheeleri	L
Coast Sunflower	Encelia californica	L
Apache plume	Fallugia paradoxa	VL
Red Yucca	Hesperaloe parvifolia	L
Mexican Lobelia	Lobelia laxiflora	L
Creeping Rosemary	Rosmarinus officinalis 'Prostratus'	L
Coast Rosemary	Westringia fruticosa	L
Adam's Needle	Yucca filamentosa	VL
GROUND COVER		
COMMON NAME	BOTANICAL NAME	WUCOLS
Coyote Bush	Baccharis 'pigion Point'	L
European Grey Sedge	Carex divulsa	L
California Buckwheat	Eriogonum fasciculatum 'Warriner Lytle'	L
Atlas Fescue	Festuca mairei	M
New Gold Lantana	Lantana x 'New Gold'	L

Pink Australian Racer	Myoporum parvifolium 'Pink'	L
Fountain Grass	Pennisetum messiacum 'Red Bunny Tails'	L
Blue Chalksticks	Senecio mandraliscae	L

Zone C - Open Space-Conservation

TREES

COMMON NAME	BOTANICAL NAME	WUCOLS
Peppermint Tree	Agonis flexuosa	L
S. California Black Walnut	Juglans Californica	I
California Sycamore	Platanus racemosa	M
Coast Live Oak	Quercus agrifolia	L
Canyon Live Oak	Quercus Chrysolepis	L
Nuttall's Scrub Oak	Quercus dumosa	L
Black Elderberry	Sambucus nigra	L

SHRUBS

COMMON NAME	BOTANICAL NAME	WUCOLS
Chamise	Adenostoma fasciculatum	VL
California Sagebrush	Artemisia californica	L
Little Sur Manzanita	Arctostaphylos edmundsii	L
Coyote Brush	Baccharis pilularis	L
Baja Fairy Duster	Calliandra californica	L
California Wild Lilac	Ceanotus spp.	L
Spoon Yucca	Dasylirion wheeleri	L
Coast Sunflower	Encelia californica	L
Brittlebush	Encelia farinosa	VL
Toyon	Heteromeles arbutifolia	L
Sugarbush	Rhus ovata	L
Chaparral currant	Ribes malvaceum	L
Black Sage	Salvia Mellifera	L
Adam's Needle	Yucca filamentosa	VL

GROUND COVERS

COMMON NAME	BOTANICAL NAME	WUCOLS
Monterey Manzanita	Arctistaphylos hookeri	L
Dwarf Coyote Bush	Baccharis 'Pigion Point'	L
Yankee Point Ceanothus	Ceanothus griseus	M
Rock Purslane	Cistanthe grandiflora	L
Atlas Fescue	Festuca mairei	M
New Gold Lantana	Lantana x 'New Gold'	L
Pink Australian Racer	Myoporum parvifolium 'Pink'	L

Zone E – Bioswales/Basins

TREES

COMMON NAME	BOTANICAL NAME	WUCOLS
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California Buckeye	Aesculus californica	L
Desert Willow	Chilopsis linearis	L
SHRUBS AND GROUND COVERS		
COMMON NAME	BOTANICAL NAME	WUCOLS
California Sagebrush	Artemisia californica	L
Baja Fairy Duster	Calliandra californica	L
California Wild Lilac	Ceanothus spp.	L
Creeping Cotoneaster	Cotoneaster adpressus praecox	L
Mesa Melaleuca	Malacothamnus fasciculatus	L
Firethorn	Pyracantha spp.	L
Coffeeberry	Rhamnus californica	L
Hydroseed Mix		
SHRUBS AND GROUNDCOVERS		
COMMON NAME	BOTANICAL NAME	WUCOLS
California Sagebrush	Artemisia californica	L
Brittlebush	Encelia farinosa	L
Eriogonum fasciculatum	California Buckwheat	L
California Poppy	Eschscholzia californica	L
Small Fescue	Festuca microstachys	L
Our Lords Candle	Hesperoyucca whipplei	L
Dwarf Goldfields	Lasthenia californica	L
Bicolor Lupins	Lupinus bicolor	L
Monkey Flower	Mimulus aurantiacus	L
Great Valley Phacelia	Phacelia cilata	L
White Sage	Salvia apiana	L
Black Sage	Salvia mellifera	L
Purple Needlegrass	Stipa pulchra	L
Tomcat Clover	Trifolium wildenovii	L

4.6.2 PROHIBITED PLANT SPECIES

Certain plants are considered prohibited in the landscape due to characteristics that make them highly flammable and are invasive. These characteristics can be physical (structure promotes ignition or combustion) or chemical (volatile chemicals increase flammability or combustion characteristics). Table 4-2, *Prohibited Plant Species*, identifies plant species strictly prohibited from use in landscaped areas and fuel modification zones within the RENAISSANCE COMMERCE CENTER. These plants are prohibited in order to protect the native habitats within and surrounding the RENAISSANCE COMMERCE CENTER from these highly flammable, invasive non-native specific and for fire protection purposes.

TABLE 4-2 PROHIBITED PLANT SPECIES

BOTANICAL NAME	COMMON NAME	COMMENT* F = Flammable I = Invasive
TREES		
<i>Abies</i> species	Fir	F
<i>Agonis juniperina</i>	Juniper Myrtle	F
<i>Casuarina cunninghamiana</i>	River She-Oak	F
<i>Chamaecyparis</i> species (numerous)	False Cypress	F
<i>Cryptomeria japonica</i>	Japanese Cryptomeria	F
<i>Cupressocyparis leylandii</i>	Leyland Cypress	F
<i>Cupressus</i> species (<i>C. fobesii</i> , <i>C. glabra</i> , <i>C. sempervirens</i> .)	Cypress (Tecate, Arizona, Italian, others)	F
<i>Eucalyptus</i> species (numerous)	Eucalyptus	F, I
<i>Juniperus</i> species (numerous)	Juniper	F
<i>Lithocarpus densiflorus</i>	Tan Oak	F
<i>Melaleuca</i> species (<i>M. linariifolia</i> , <i>M. nesophila</i> , <i>M. quinquenervia</i>)	Melaleuca (Flaxleaf, Pink, Cajeput Tree)	F, I
<i>Picea</i> (numerous)	Spruce	F
<i>Palm</i> species (numerous)	Palm	F, I
<i>Pinus</i> species (<i>P. brutia</i> , <i>P. canariensis</i> , <i>P. b. eldarica</i> , <i>P. halepensis</i> , <i>P. pinea</i> , <i>P. radiata</i> , numerous others)	Pine (Calabrian, Canary Island, Mondell, Aleppo, Italian Stone, Monterey)	F
<i>Platycladus orientalis</i>	Oriental arborvitae	F
<i>Pseudotsuga menziesii</i>	Douglas Fir	F
<i>Tamarix</i> species (<i>T. africana</i> , <i>T. aphylla</i> , <i>T. chinensis</i> , <i>T. parviflora</i>)	Tamarix (Tamarisk, Athel Tree, Salt Cedar, Tamarisk)	F, I
<i>Taxodium</i> species (<i>T. ascendens</i> , <i>T. distichum</i> , <i>T. mucronatum</i>)	Cypress (Pond, Bald, Monarch, Montezuma)	F
<i>Taxus</i> species (<i>T. baccata</i> , <i>T. brevifolia</i> , <i>T. cuspidata</i>)	Yew (English, Western, Japanese)	F
<i>Thuja</i> species (<i>T. occidentalis</i> , <i>T. plicata</i>)	Arborvitae/Red Cedar	F
GROUNDCOVERS, SHRUBS & VINES		
<i>Acacia</i> species	Acacia	F, I
<i>Adenostoma fasciculatum</i>	Chamise	F
<i>Adenostoma sparsifolium</i>	Red Shanks	F
<i>Agropyron repens</i>	Quackgrass	F, I
<i>Anthemis cotula</i>	Mayweed	F, I
<i>Arctostaphylos</i> species	Manzanita	F
<i>Arundo donax</i>	Giant Reed	F, I
<i>Artemisia</i> species (<i>A. abrotanum</i> , <i>A. absinthium</i> , <i>A. californica</i> , <i>A. caucasica</i> , <i>A. dracunculus</i> , <i>A. tridentata</i> , <i>A. pinocephala</i>)	Sagebrush (Southernwood, Wormwood, California, Silver, True tarragon, Big, Sandhill)	F
<i>Atriplex</i> species (numerous)	Saltbush	F, I
<i>Avena fatua</i>	Wild Oat	F
<i>Baccharis pilularis</i>	Coyote Bush	F
<i>Bambusa</i> species	Bamboo	F, I

<i>Bougainvillea</i> species	Bougainvillea	F, I
<i>Brassica</i> species (<i>B. campestris</i> , <i>B. nigra</i> , <i>B. rapa</i>)	Mustard (Field, Black, Yellow)	F, I
<p>*F = Flammable, I = Invasive</p> <p>Notes:</p> <ol style="list-style-type: none"> Plants on this list that are considered invasive are a partial list of commonly found plants. There are many other plants considered invasive that should not be planted in a fuel modification zone and they can be found on The California Invasive Plant Council's Website www.cal-ipc.org/ip/inventory/index.php. Other plants not considered invasive at this time may be determined to be invasive after further study. For the purpose of using this list as a guide in selecting plant material, it is stipulated that all plant material will burn under various conditions. The absence of a particular plant, shrub, groundcover, or tree, from this list does not necessarily mean it is fire resistant. All vegetation used in Fuel Modification Zones and elsewhere in this development shall be subject to approval of the Riverside County Fire Department. Landscape architects may submit proposals for use of certain vegetation on a project specific basis. They shall also submit justifications as to the fire resistivity of the proposed vegetation. 		

TREE SELECTION



Agonis flexuosa
(Peppermint Tree)



Arbutus 'Marina'
(Marina Strawberry Tree)



Cercis occidentalis
(Western Red Bud)



Olea europaea 'Swan Hill'
(Fruitless Olive)



Parkinsonia x 'Desert Museum'
(Desert Museum Palo Verde)



Quercus Agrifolia
(Coast Live Oak)



Quercus ilex
(Holly Oak)

SHRUB SELECTION



Agave attenuata
(Fox Tail Agave)



Agave americana
(Century plant)



Aloe barberae
(Tree Aloe)



Aloe x 'Blue Elf'
(Blue Elf Aloe)



Aloe striata
(Coral Aloe)



Aloysia triphylla
(Lemon Verbena)



Calocephalus brownii
(Cushion Bush)



Carex tumulicola
(Foothill Sedge)



Encelia californica
(Coast Sunflower)



Kniphofia uvaria
(Red Hot Poker)



Lobelia laxiflora
(Mexican Lobelia)



Rosmarinus officinalis 'Prostratus'
(Creeping Rosemary)



Westringia fruticosa
(Coast Rosemary)



Yucca filamentosa
(Adam's Needle)

GROUND COVER



Baccharis pilularis
(Dwarf Coyote Bush)



Dymondia margaretae
(Dymondia)



Eriogonum fasciculatum
'Warriner Lytle'
(Common Buckwheat)



Festuca glauca 'Ovina'
(Blue Fescue)



Lantana x 'New Gold'
(New Gold Lantana)



Teucrium cossonii
(Majorcan Germander)



Senecio mandraliscae
(Blue Chalksticks)

Source(s): BrightView (12-09-2020)

Figure 4-2

TREE SELECTION



Acacia aneura
(Mulga)



Arbutus 'Marina'
(Marina Strawberry Tree)



Cercis occidentalis
(Western Redbud)



Olea europaea 'Fruitless'
(Fruitless Olive)



Platanus racemosa
(California Sycamore)



Quercus agrifolia
(Coast Live Oak)



Rhus lancea
(African Sumac)

SHRUB SELECTION



Agave attenuata
(Fox Tail Agave)



Baccharis pilularis
(Coyote Brush)



Bouteloua gracilis
(Blue Grama)



Bulbine frutescens
(Stalked Bulbine)



Calliandra Californica
(Baja Fairy Duster)



Carex tumulicola
(Foothill Sedge)



Dasylirion wheeleri
(Spoon Yucca)



Encelia californica
(Coast Sunflower)



Fallugia paradoxa
(Apache plume)



Hesperaloe parviflora
(Red Yucca)



Lobelia laxiflora
(Mexican Lobelia)



Rosmarinus officinalis 'Prostratus'
(Creeping Rosemary)



Westringia fruticosa
(Coast Rosemary)



Yucca filamentosa
(Adam's Needle)

GROUND COVER



Baccharis Pilularis
(Dwarf Coyote Bush)



Carex
(European Grey Sedge)



Festuca mairei
(Atlas Fescue)



Lantana x 'New Gold'
(New Gold Lantana)



Myoporum parvifolium 'Pink'
(Pink Australian Racer)



Pennisetum messiacum 'Red Bunny Tails'
(Fountain Grass)



Senecio mandraliscae
(Blue Chalksticks)

Source(s): BrightView (10-15-2020)

Figure 4-3

TREE SELECTION



Agonis flexuosa
(Peppermint Tree)



Juglans californica
(S. California Black Walnut)



Platanus racemosa
(California Sycamore)



Quercus agrifolia
(Coast Live Oak)



Quercus chrysolepis
(Canyon Live Oak)



Quercus dumosa
(Nuttall's Scrub Oak)



Sambucus nigra
(Black Elderberry)

SHRUB SELECTION



Adenostoma fasciculatum
(Chamise)



Artemisia californica
(California Sagebrush)



Arctostaphylos edmundsii
(Little Sur Manzanita)



Baccharis pilularis
(Coyote Brush)



Calliandra californica
(Baja Fairy Duster)



Ceanothus spp.
(California Wild Lilac)



Dasylirion wheeleri
(Spoon Yucca)



Encelia californica
(Coast Sunflower)



Encelia farinosa
(Brittlebush)



Heteromeles arbutifolia
(Toyon)



Rhus ovata
(Sugarbush)



Rhamnus malvaceum
(Curren)



Salvia mellifera
(Black Sage)



Yucca filamentosa
(Adam's Needle)

GROUND COVERS



Arctostaphylos hookeri
(Monterey Manzanita)



Baccharis pilularis
(Dwarf Coyote Bush)



Ceanothus griseus
(Yankee Point Ceanothus)



Cistanthe grandiflora
(Rock Purslane)



Festuca mairei
(Atlas Fescue)



Lantana x 'New Gold'
(New Gold Lantana)



Myoporum parvifolium
'Pink' (Pink Australian Racer)

Source(s): BrightView (12-09-2020)

Figure 4-4

TREES SELECTION



Aesculus californica
(California Buckeye)



Chilopsis linearis
(Desert Willow)

SHRUB SELECTION



Pyracantha spp.
(Firethorn)



Rhamnus californica
(Coffeeberry)



Artemisia californica
(California Sagebrush)



Calliandra californica
(Baja Fairy Duster)



Ceanothus spp.
(California Wild Lilac)



Cotoneaster adpressus
praecox
(Creeping Cotoneaster)



Malacothamnus fasciculatus
(Mesa Melaleuca)

HYDROSEED MIX - CHAPARRAL SAGE SCRUB MIX TO BE APPLIED TO 3:1 SLOPES SEE INTERFACE SECTIONS FOR PLACEMENT



Artemisia californica
(California Sagebrush)



Encelia farinosa
(Brittlebush)



Eriogonum fasciculatum
(California Buckwheat)



Eschscholzia californica
(California Poppy)



Festuca microstachys
(Small Fescue)



Hesperoyucca whipplei
(Our Lord's Candle)



Lasthenia californica
(Dwarf Goldfields)



Lupinus bicolor
(Bicolor Lupine)



Mimulus aurantiacus
(Monkey Flower)



Phacelia ciliata
(Great Valley Phacelia)



Salvia apiana
(White Sage)



Salvia mellifera
(Black Sage)



Stipa pulchra
(Purple Needlegrass)



Trifolium wildenovii
(Tomcat Clover)

Source(s): BrightView (10-15-2020)

Figure 4-5

4.6.3 IRRIGATION

The following general irrigation concepts shall be considered in the design and installation of irrigation systems within the RENAISSANCE RANCH COMMERCE CENTER:

- (1) All landscaped areas shall be equipped with a permanent, automatic, underground irrigation system. Drip systems and highly efficient rotators are encouraged in all areas needing irrigation. Irrigation systems must conform to all County of Riverside requirements and State Model Water Efficient Landscape Ordinance AB1881.
- (2) Irrigation systems should be designed to apply water slowly, allowing plants to be deep soaked and to reduce run-off. (E)
- (3) Connect the irrigation system to the recycled water conveyance system, if available.
- (4) "Pop-up" type sprinkler heads may be used adjacent to walks, drives, curbs (car overhangs), parking areas and public right-of-way but must be designed and maintained to prevent run-off and overspray.
- (5) The design of irrigation systems, particularly the location of controller boxes, valves, and other above-ground equipment (e.g., backflow prevention devices), shall be incorporated into the overall landscaping design. Where aboveground equipment is provided, it shall be screened or otherwise removed from public view, to the extent possible.
- (6) The irrigation system shall be programmed to operate between 8:00pm and 9:00am.

4.6.4 MONUMENTATION

Entry Monumentation has been created in order to identify arrival to the RENAISSANCE RANCH COMMERCE CENTER, distinguish individual Planning Areas, and establish a sense of place consistent with the overall COMMERCE CENTER theme. The entry treatments have been designed to create a distinctive visual statement that emphasizes the RENAISSANCE RANCH COMMERCE CENTER's image as a high-quality, contemporary development.

The Conceptual Primary and Light Industrial/Business Park Monumentation examples illustrated within these Design Guidelines represent consistent interpretations of the COMMERCE CENTER's character and theme. Implemented monumentation need not match these examples exactly, and may be designed with enough flexibility to respond to physical contexts and the needs and desires of specific tenants, but all entry monuments should be consistent in theme and character. Consistency should be established through use of matching or complementary logos, type styles, materials and color schemes throughout the area being identified.

The conceptual location of entry monumentation is depicted on Figure 4-1, *Master Landscape Plan*. Note that Figure 4-1 identifies the conceptual locations of entry monumentation, the final locations of entry monuments will be determined at the time buildings and private driveways are designed and oriented in the Specific Plan area as part of implementing project(s).

❖ Primary Monumentation

The Primary Monumentation provided within the RENAISSANCE RANCH COMMERCE CENTER creates an inviting atmosphere for employees and visitors by providing a form of wayfinding and sense of identity to the COMMERCE CENTER. Primary Entry Monuments may be provided along the Street 'A' entry point at Horsethief Canyon Road. As shown on Figure 4-6, *Conceptual Primary Monumentation*, the Primary Monumentation takes inspiration from natural elements and could consist of rammed earth walls with steel cut out plaques of the project name, and/or board formed concrete with steel cut out letters of the project name. The trees, shrubs, and groundcovers planted in the background

and foreground of the Primary Entry Monument are in accordance with the “Entry Plant Palette” landscaping zone listed in Table 4-1, *Plant Palette*.

❖ Light Industrial/Business Park Monumentation

The Light Industrial/Business Park Monumentation may be provided at entries into individual building sites within Planning Areas 1 and 2 to announce the arrival into the Light Industrial and Business Park areas for employees and visitors. As shown on Figure 4-7, *Conceptual Light Industrial/Business Park Monumentation*, the Light Industrial/Business Park Monumentation takes inspiration from natural elements and could consist of rammed earth walls with steel cut out plaques of the project name and building tenants, and/or board formed concrete with steel cut out letters of the project name and building tenants. The trees, shrubs, and groundcovers planted in the background and foreground of the Light Industrial/Business Park Monuments are in accordance with the “Entry Plant Palette” landscaping zone listed in Table 4-1, *Plant Palette*.

❖ Project Identification Signage

The final location, design, and materials of Project Identification Signage will be determined during the RENAISSANCE RANCH COMMERCE CENTER'S Master Sign Program process. Project Identification Signage may be provided to maximize exposure and enhance the visibility of the RENAISSANCE RANCH COMMERCE CENTER by orienting the signs towards the site's frontage with Interstate 15 and Horsethief Canyon Road. This Project Identification Signage may include freestanding monument signs, freestanding pylon signs, and freestanding tenant signs at a maximum height of 60 feet and maximum width of 25 feet. The Project Identification Signage may consist of the project's name, project's logo, tenant logos, and/or tenant text. Signage is encouraged to use natural materials where possible.

4.6.5 STREETSCAPES

Street 'A' is designed with two different widths and serves as the backbone road for the RENAISSANCE RANCH COMMERCE CENTER. The wider section (78' ROW) provides primary automobile and heavy commercial truck access from Horsethief Canyon Road, as well as through the COMMERCE CENTER. The narrower section (60' ROW) starts at the roundabout within Planning Area 2 (final location to be determined) and provides secondary access to Bolo Court for passenger vehicles only. The Street "A" Streetscapes are critical to creating a sense of place, and maintaining the COMMERCE CENTER'S high-quality theme. Streetscapes also serve the functional purposes of softening and screening less desirable project elements from public view. Streetscapes throughout the COMMERCE CENTER are planted with a combination of street trees, shrubs, and large masses of groundcover. The landscaping Plant Palette for streetscapes links the roadway to the rest of the COMMERCE CENTER by providing continuity throughout the entire development using the Landscape Zones discussed in Section 4.6.1, *Plant Palette*. Landscape treatments could include elements such as trails, sidewalks, pedestrian paths, and parkway trees to enhance roadway appearances. Landscaping should consist of drought-tolerant plants, colorful shrubs, and street trees in accordance with Table 4-1, *Plant Palette*. In all instances, an appropriate line-of-sight for entering/exiting vehicles shall be maintained at street intersections within the COMMERCE CENTER. The conceptual streetscape landscape treatments within the RENAISSANCE RANCH COMMERCE CENTER are presented on the following pages.

❖ Street 'A' Streetscape 81' ROW (1 of 2)

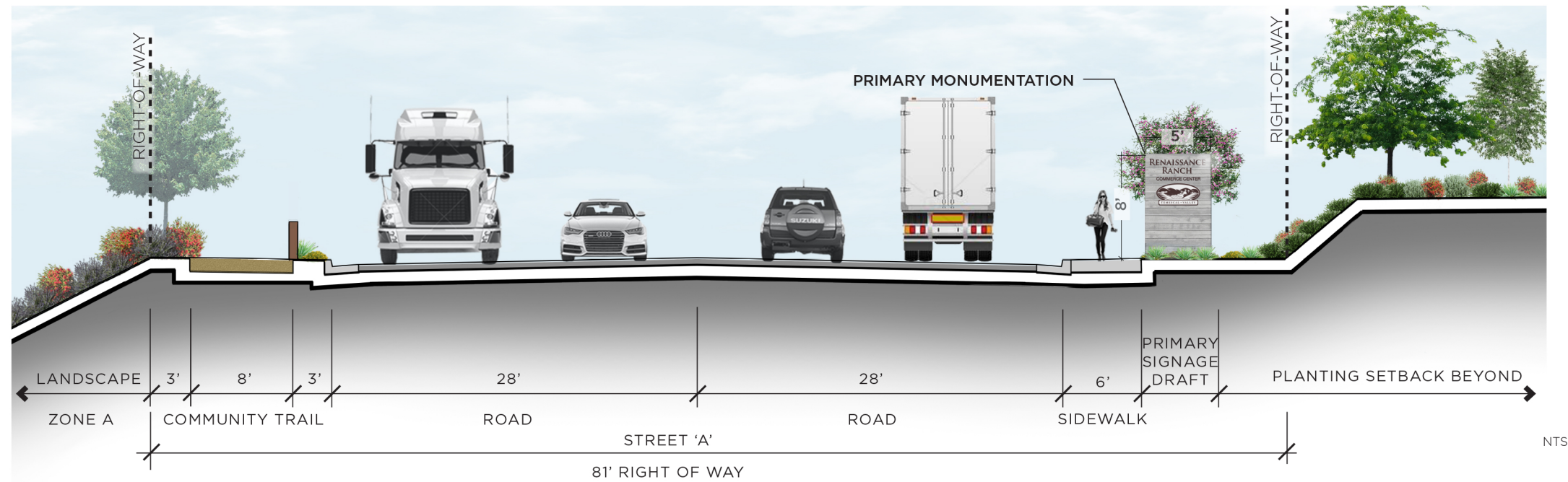
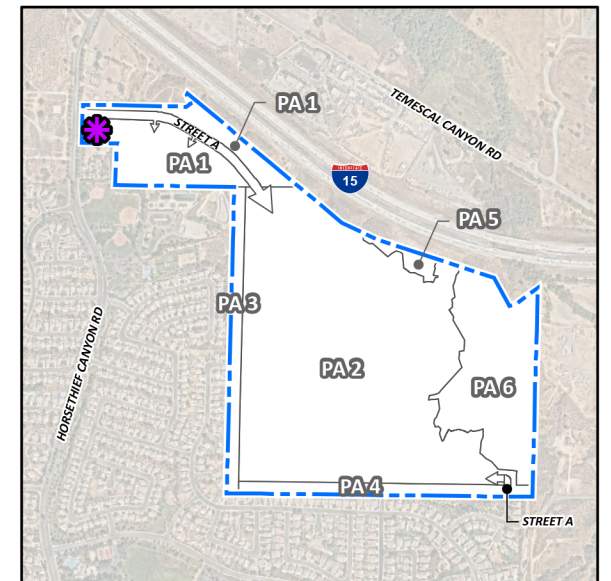
As shown on Figure 4-8, *Conceptual Street 'A' Streetscape (1 of 2)*, the portion of Street 'A' providing access from Horsethief Canyon Road to the roundabout within Planning Area 2 (final location to be determined) is a Modified Industrial Collector, with a 81-foot right-of-way. The right-of-way consists of 56 feet of paving curb-to-curb, with a 5-foot wide landscaped parkway and 6-foot wide curb-adjacent sidewalk provided on the same side of the roadway as the Business Park or Light Industrial uses, and an 8-foot wide Community Trail within a 14-foot wide easement on the

opposite side of the roadway from the Business Park and Light Industrial uses. The trees, shrubs, and groundcovers planted in the landscape zones along Street 'A' are in accordance with the "Entry Palette" landscaping zone listed in Table 4-1, Plant Palette. The ultimate alignment of Street 'A' shall be determined at the time buildings are designed and oriented within a Planning Area as part of any implementing project(s).

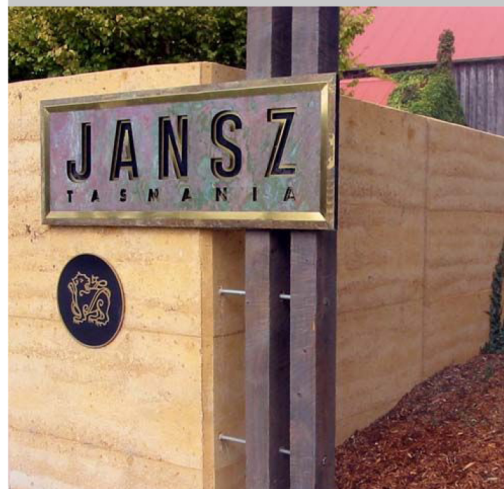
❖ Street 'A' Streetscape 64' ROW (2 of 2)

A narrower section of Street 'A' provides secondary automobile access from Bolo Court to the roundabout within Planning Area 2 (final location to be determined) and connects to the 81' ROW segment of Street 'A' within Planning Area 2. Heavy commercial truck access is prohibited from entering and exiting the COMMERCE CENTER at Bolo Court. As shown on Figure 4-9, *Conceptual Street 'A' Streetscape (2 of 2)*, Street 'A' is a Modified Local Street, with a 64-foot right-of-way consisting of 40 feet of paving curb-to-curb, with a 4-foot wide landscaped parkway and 6-foot wide curb-adjacent sidewalk provided on the same side of the roadway as the Light Industrial uses, and an 8-foot wide Community Trail on the opposite side of the roadway from the Light Industrial uses. The trees, shrubs, and groundcovers planted in the landscape zones along Street 'A' are in accordance with the "Entry Palette" landscaping zone listed in Table 4-1, Plant Palette. The ultimate alignment of Street 'A' shall be determined at the time buildings are designed and oriented within a Planning Area as part of any implementing project(s).

KEY MAP



MATERIAL EXAMPLES



Rammed earth wall with steel cut out plaque



Rammed earth wall



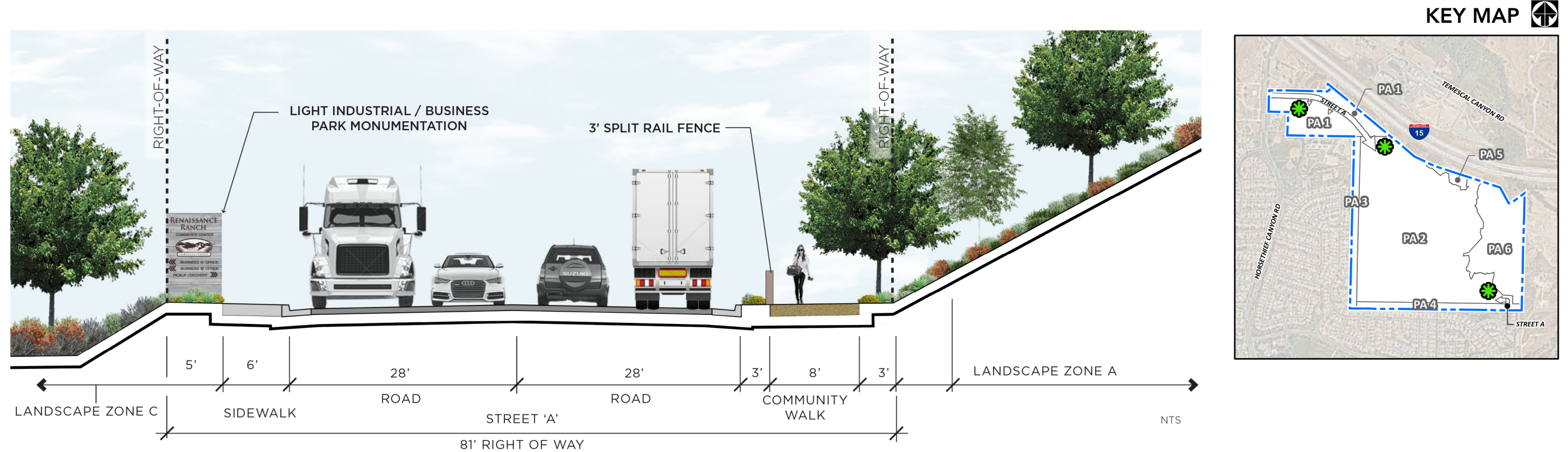
Board formed concrete with steel cut out letters



Text Dimension - Signage Enlargement

Source(s): BrightView (04-30-2020), Coloradohardscapes.com, Nic Lehoux Photography, Tassiesurf.com

Figure 4-6



MATERIAL EXAMPLES



Rammed earth wall with steel cut out plaque



Rammed earth wall



Board formed concrete with steel cut out letters

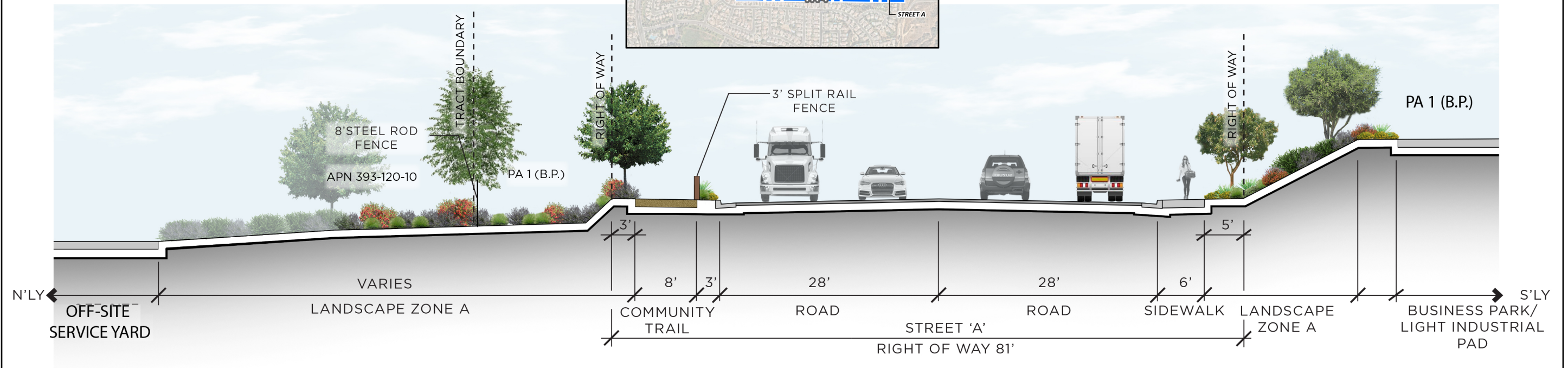
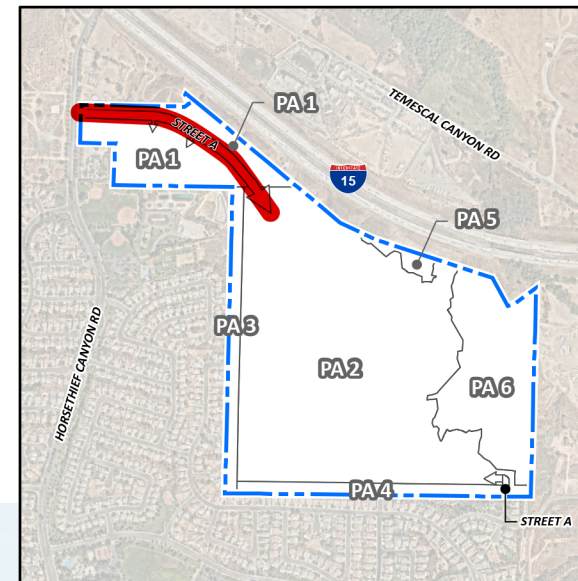


Text Dimension - Signage Enlargement

Source(s): BrightView (04-30-2021),

Figure 4-7

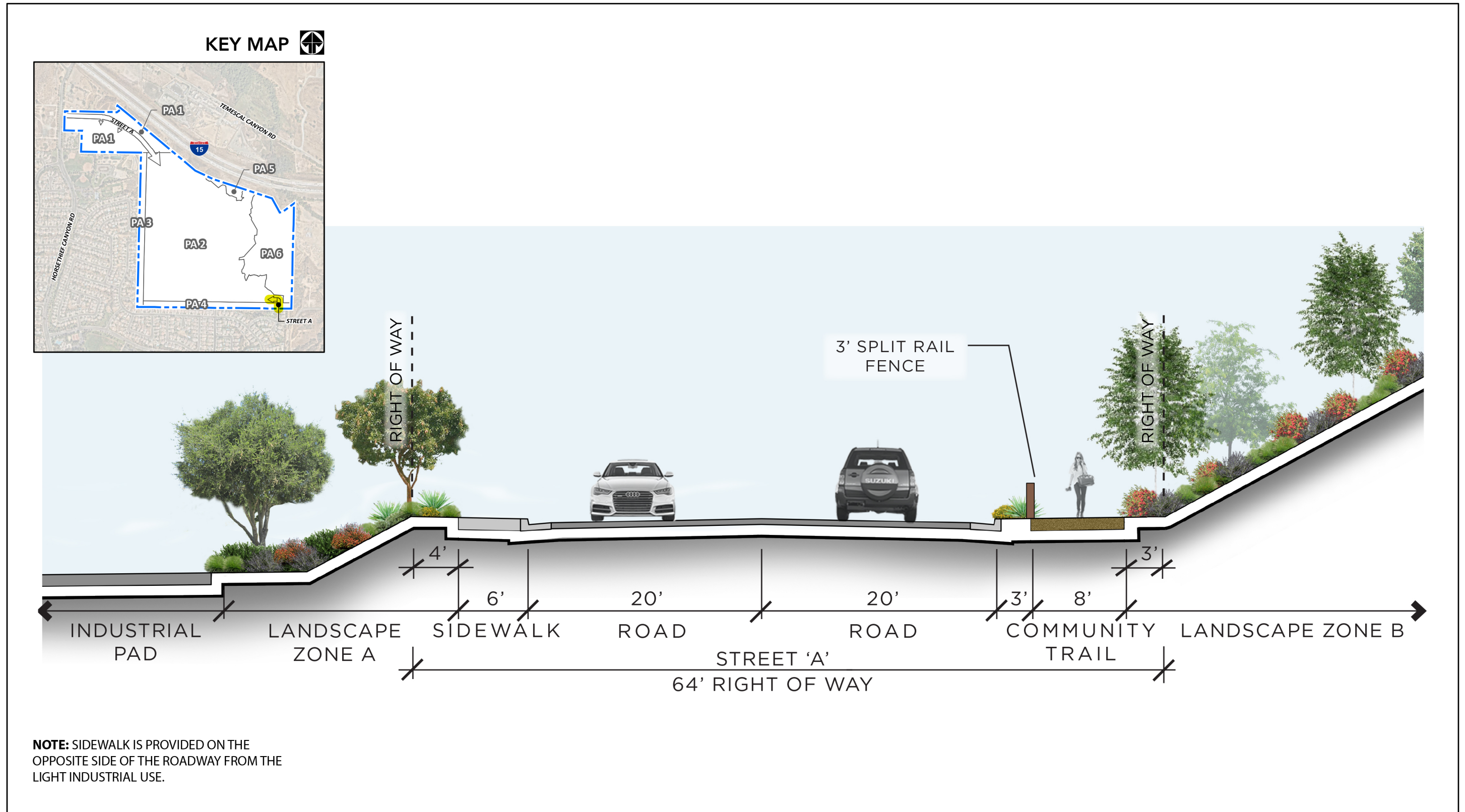
KEY MAP



NOTE: SIDEWALK IS PROVIDED ON THE OPPOSITE SIDE OF THE ROADWAY FROM THE LIGHT INDUSTRIAL USE.

Source(s): BrightView (04-30-2021)

Figure 4-8



Source(s): BrightView (04-30-2021)

Figure 4-9

4.6.6 WALL AND FENCES

Along building site perimeters and interior to building sites, walls and fences will be provided for screening, buffering, and security purposes within the RENAISSANCE RANCH COMMERCE CENTER. The final locations and details of these walls and fences will be determined when buildings are designed and oriented within a Planning Area as part of any implementing project(s). As shown on Figure 4-10, *Conceptual Wall and Fence Details*, and Figure 4-11, *Conceptual Wall and Fence Plan*, block walls, steel rod fences, concrete screen walls, and concrete block walls may be provided around the perimeters of individual building sites. Walls and fences should be provided around loading and dock areas, trailer parking areas, and parking lots to screen on-site uses from public views and public roads. Limited use of colored and slatted chain link fencing is permitted where this fence is not visible from public roadways or view areas. Landscaping also provides screening between the COMMERCE CENTER'S land uses and off-site areas.

❖ Steel Rod Fence

Steel rod fences may be provided around the perimeters of Planning Areas 1 and 2, within individual building sites around loading and dock areas, truck yards, and parking lots, and/or as an alternative to concrete block walls, and concrete screen walls, when screening is not required. Steel rod fences have a minimum height of six (6') feet and include solid steel rods which are hot-dipped galvanized and powder coated with aluminum square caps.

❖ Concrete Block Wall

A concrete block wall may be provided along the COMMERCE CENTER's western and southern boundaries, around the perimeters of the Business Park uses within Planning Area 1, as an alternative to steel rod fences or concrete screen walls, and within individual building sites around loading and dock areas, truck yards, and parking lots. A solid wall is preferred over fencing when complete visual screening is necessary, or for noise attenuation. Concrete block walls are designed to range from six (6') to eight (8') feet tall, consisting of a split-face block wall, split-face block pilaster with precision caps, and precision block caps. Existing concrete block walls are provided along the rear property line of the homes located to the west and south.

❖ Concrete Screen Wall

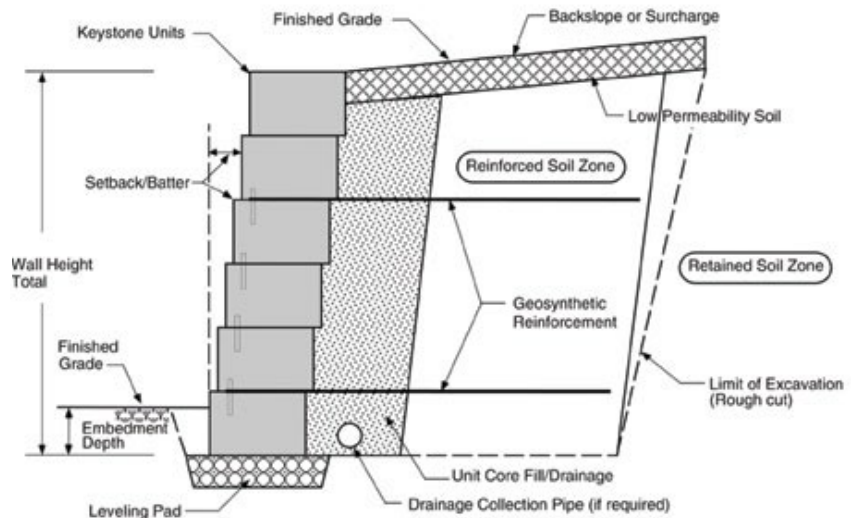
A concrete screen wall may be provided along the boundaries of the Light Industrial and Business Park uses within Planning Areas 1 and 2 and within individual building sites around loading and dock areas, truck yards, and parking lots. A solid wall is preferred over fencing when complete visual screening is necessary, or for noise attenuation. Concrete screen walls range from six (6') to fourteen (14') feet tall, consisting of painted concrete tilt-up screen walls, with the top of the walls painted. In addition, concrete screen walls may provide rolling gates made of tubular steel fencing for additional security. The final details of the locations and heights of concrete screen walls will be determined when buildings are designed and oriented during implementation of the RENAISSANCE RANCH COMMERCE CENTER.

❖ Retaining Wall



Retaining/geo-grid walls are anticipated to be used within the Specific Plan (specifically along I-15 and the eastern boundary of the Light Industrial Planning Area) and these walls may range in height from 0 to 30 feet, and in some instances may exceed 50 feet in height. As shown in the images to the left and below, retaining walls are anticipated to include keystone battered walls with planting, however, all walls will be designed and constructed at the time implementing project(s) are submitted, in accordance with the California Building Code and the standards and requirements of the County of Riverside.

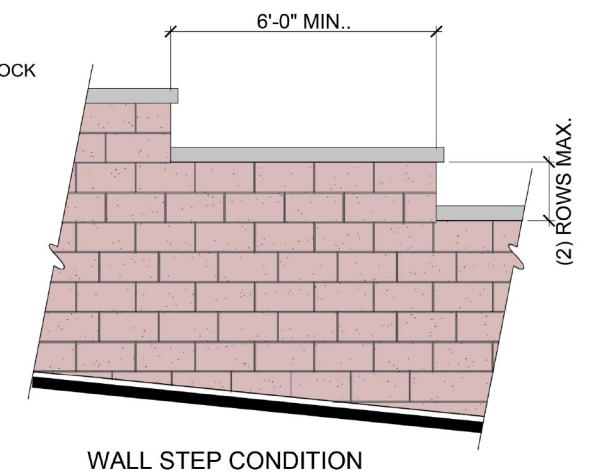
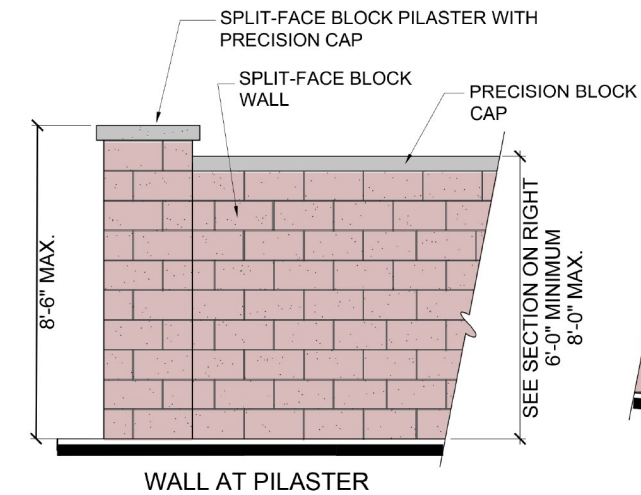
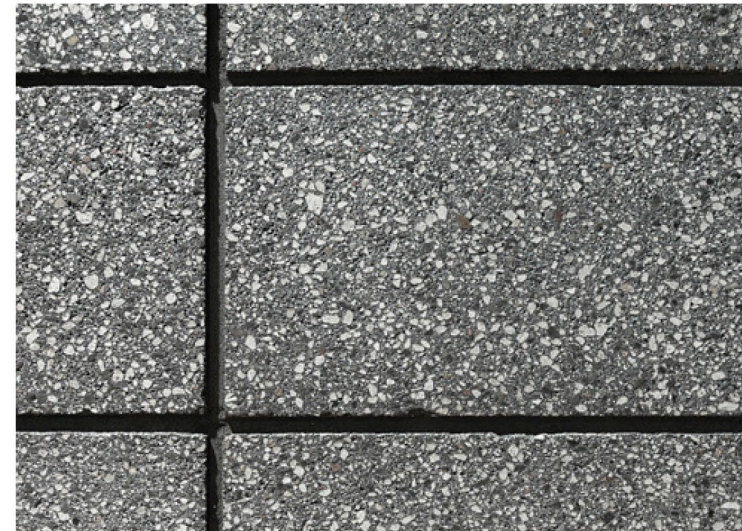
Although provided for illustrative purposes only, the image above and to the right conceptually show the retaining/geo-grid wall anticipated to be provided for the RENAISSANCE RANCH COMMERCE CENTER.



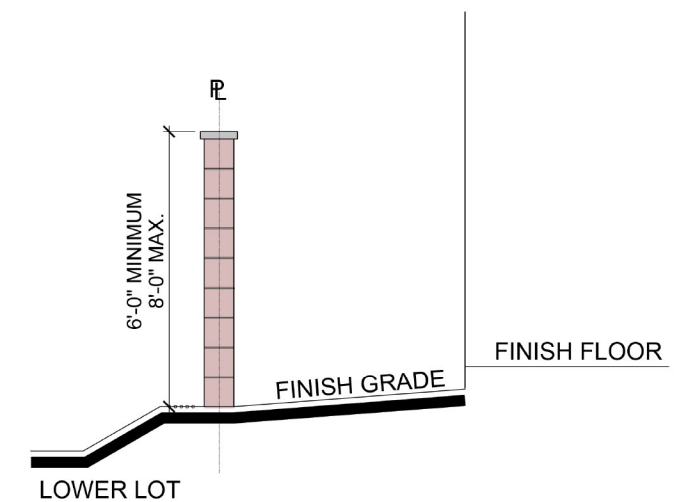
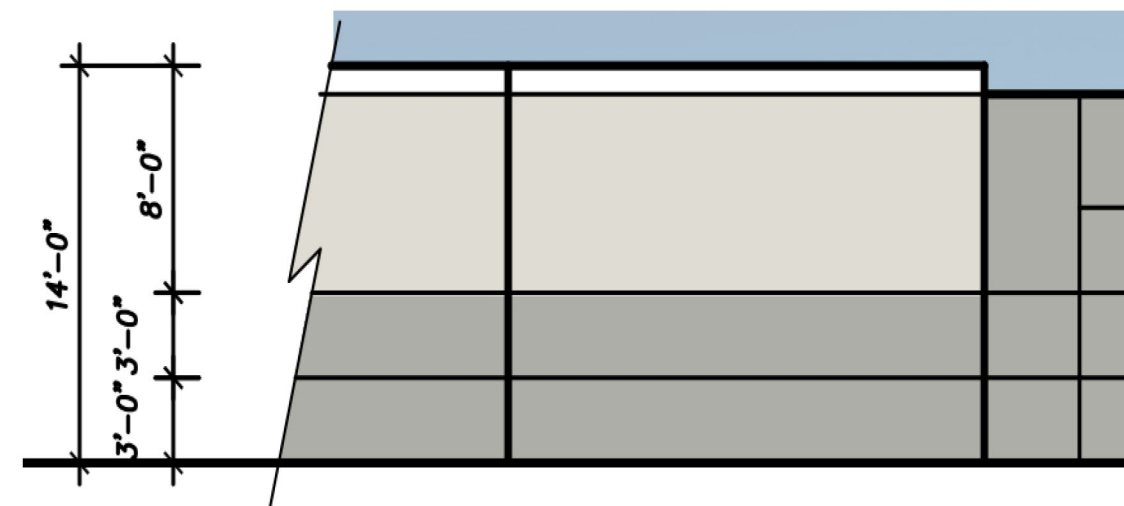
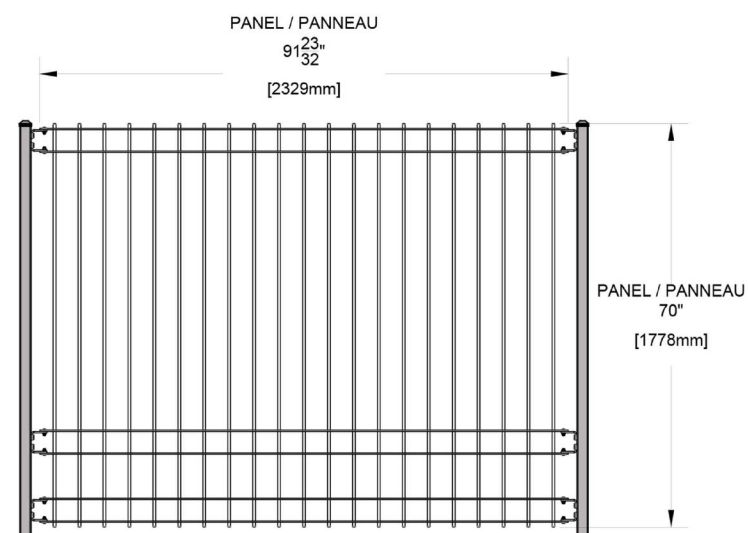
6'-8' STEEL ROD FENCE



6'-10' CONCRETE BLOCK WALL

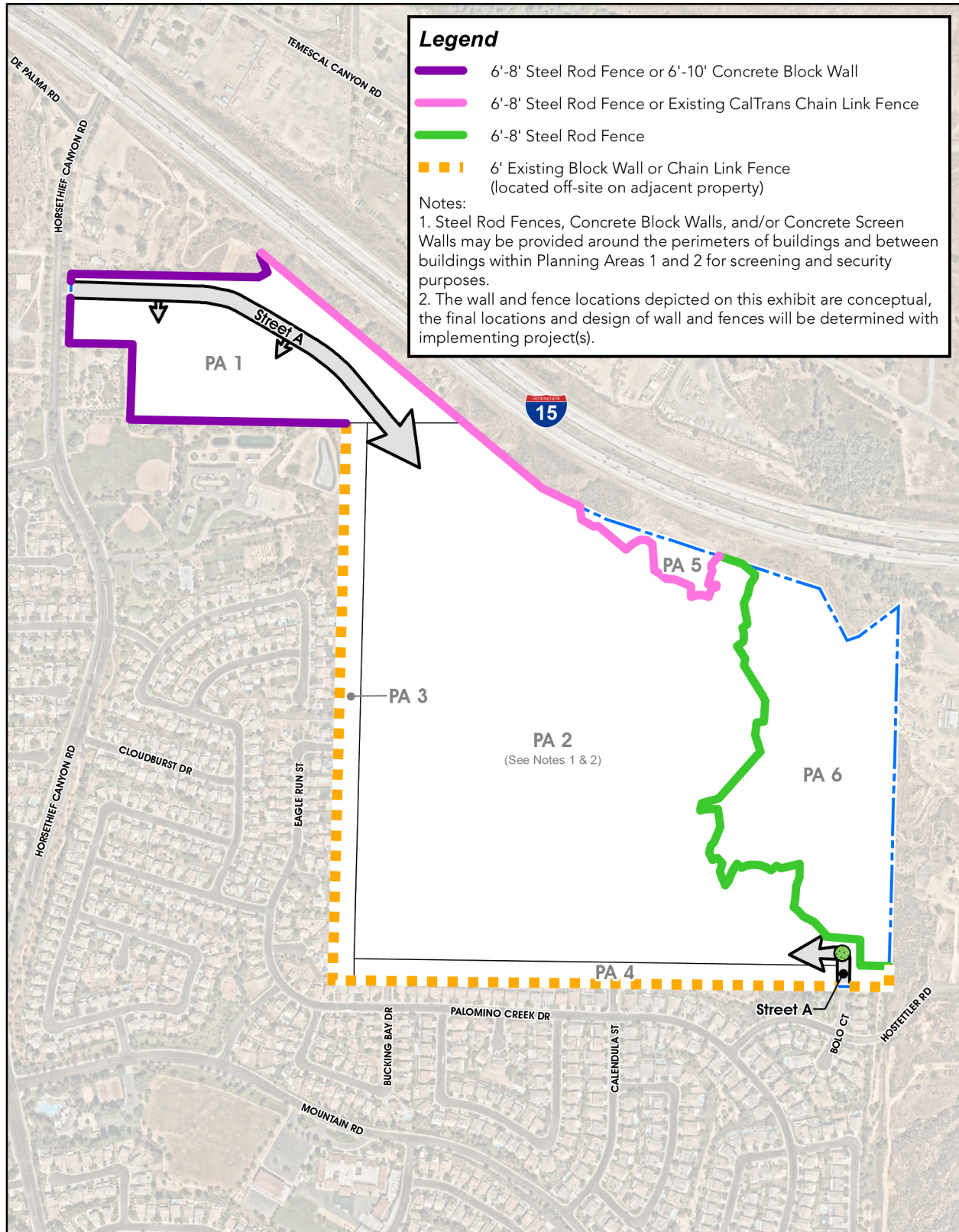


8'-14' CONCRETE SCREEN WALL



Source(s): BrightView (10-15-2020)

Figure 4-10



Source(s): Esri, Nearmap Aerial (2021)

Figure 4-11



4.6.7 LANDSCAPE INTERFACES

The RENAISSANCE RANCH COMMERCE CENTER contains seven (7) distinct Landscape Interfaces, or edge treatments, which provide visually interesting and practical buffers at the boundaries of adjacent off-site land uses. The general location of each of these Landscape Interfaces is depicted on Figure 4-1, *Master Landscape Plan*. Each of these landscape interfaces is discussed in detail below.

The interfaces depicted in this section may be modified by the requirements for fuel modification or brush clearing associated with future implementing projects. The types of walls, landscape material, and width may be modified if needed to address the ultimate alignment of Street 'A', final building orientations, fire safety, or MSHCP issues.

1. Interface #1 – Business Park to Off-Site Service Yard (North)

Interface #1, as illustrated on Figure 4-12, identifies the interface condition where Business Park land uses within Planning Area 1 are directly adjacent to the off-site service yard located to the north. In this condition, Business Park land uses are buffered from the off-site service yard by landscaping along the perimeter of building sites, Entry Plant Palette landscaping within the landscaped parkways of Street 'A', and landscaping between Street A's right-of-way and the northern boundary of Planning Area 1, and a minimum 6-foot tall concrete block wall or steel rod fence. The trees, shrubs, and groundcovers within this interface are planted in accordance with Table 4-1, *Plant Palette*.

2. Interface #2 – Business Park to Off-Site Residential (West)

Interface #2, as illustrated on Figure 4-13, identifies the interface condition where Business Park land uses within Planning Area 1 are directly adjacent to the off-site residential uses located to the west. The average distance between Business Park building pad within Planning Area 1 and the existing residential homes to the west is approximately 60 feet (varies at different sections along the western boundary). In this condition, Business Park land uses are buffered from the off-site residential by Transitional Plant Palette landscaping along the perimeter of building sites, a private driveway and parking area, Transitional Plant Palette landscaping along Planning Area 1's western boundary, and a minimum 6-foot tall concrete block wall or steel rod fence. The trees, shrubs, and groundcovers within this interface are planted in accordance with Table 4-1, *Plant Palette*.

3. Interface #3 – Business Park to Off-Site Park (South)

Interface #3, as illustrated on Figure 4-14, identifies the interface condition where Business Park land uses within Planning Area 1 are directly adjacent to the off-site Horsethief Canyon Park located to the south. In this condition, Business Park land uses are buffered from the off-site Horsethief Canyon Park by a private driveway and parking area, Transitional Plant Palette landscaping along Planning Area 1's southern boundary and a minimum 6-foot tall concrete block wall or steel rod fence. The trees, shrubs, and groundcovers within this interface are planted in accordance with Table 4-1, *Plant Palette*.

4. Interface #4 – Business Park to Interstate 15

Interface #4, as illustrated on Figure 4-15, identifies the interface condition where Business Park land uses within Planning Area 1 are directly adjacent to Interstate 15 located to the north. In this condition, Business Park land uses are buffered from Interstate 15 by landscaping along the perimeter of building sites, Entry Plant Palette landscaping within the landscaped parkways of Street 'A', and landscaping between Street A's right-of-way and the northern boundary of Planning Area 1, and a minimum 6-foot tall concrete block wall or steel rod fence. The trees, shrubs, and groundcovers within this interface are planted in accordance with Table 4-1, *Plant Palette*.

5. Interface #5 – Light Industrial to Off-Site Residential (West)

Interface #5, as illustrated on Figure 4-16, identifies the interface condition where Light Industrial land uses within Planning Area 2 are directly adjacent to the off-site Horsethief Canyon Ranch community located to the west. The minimum distance between Light Industrial building pad within Planning Area 2 and the existing residential homes to the west is 300 feet (varies at different sections along the western boundary). The finished floor elevation of the Light Industrial building pad within Planning Area 2 is lower in elevation from the adjacent residential homes to the west by approximately 32 feet (varies at different sections along the western boundary). In this condition, Light Industrial land uses are buffered from the off-site community by Entry Plant Palette landscaping along the perimeter of building sites and landscaped parkways of Street 'A', Street 'A's 78-foot wide right-of-way, a minimum 75-foot wide landscape buffer in Planning Area 3 between Street A's right-of-way and the western boundary of Planning Area 2, and a minimum 6-foot tall concrete block wall. Additionally, the existing homes with the Horsethief Canyon Ranch community contain established CMU block walls at the rears of backyards. The trees, shrubs, and groundcovers within this interface are planted in accordance with Table 4-1, *Plant Palette*.

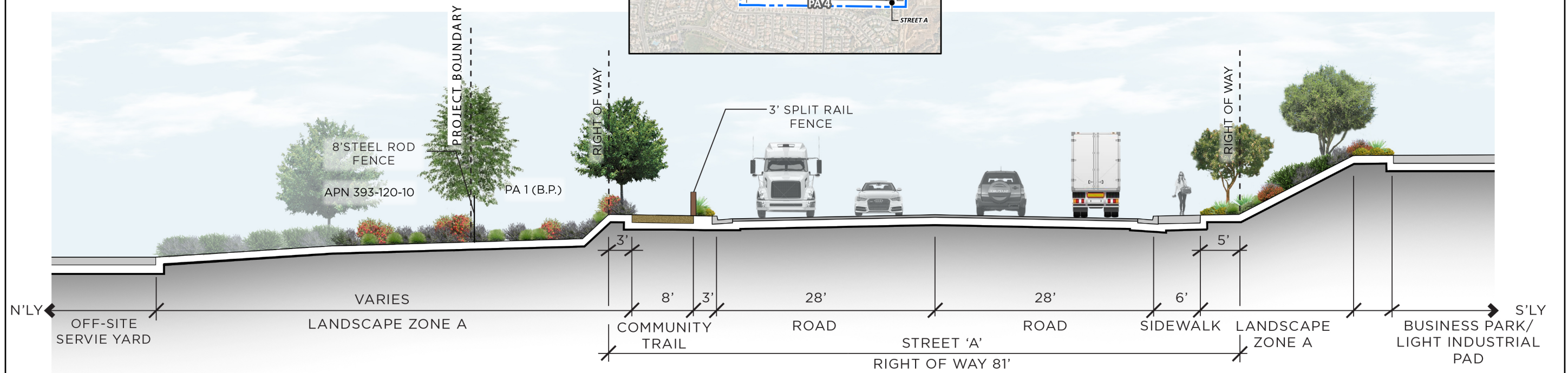
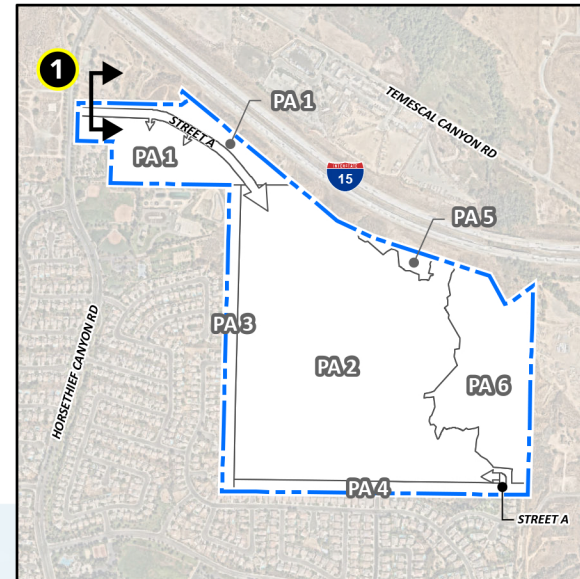
6. Interface #6 – Light Industrial to Off-Site Residential (South)

Interface #6, as illustrated on Figure 4-17, identifies the interface condition where Light Industrial land uses within Planning Area 2 are directly adjacent to the off-site Horsethief Canyon Ranch community located to the south. The average distance between Light Industrial building pad within Planning Area 2 and the existing residential homes to the south is approximately 245 feet (varies at different sections along the southern boundary). The finished floor elevation of the Light Industrial building pad within Planning Area 2 is lower in elevation from the adjacent residential homes to the south by approximately 106 feet (varies at different sections along the southern boundary). In this condition, Light Industrial land uses are buffered from the off-site community by Entry Plant Palette landscaping along the perimeter of building sites and landscaped parkways of Street 'A', Street 'A's 60-foot wide right-of-way, a minimum 75-foot wide landscape buffer in Planning Area 4 between Street A's right-of-way and the southern boundary of Planning Area 2, and a minimum 6-foot tall concrete block wall. The trees, shrubs, and groundcovers within this interface are planted in accordance with Table 4-1, *Plant Palette*.

7. Interface #7 – Light Industrial to Open Space

Interface #7, as illustrated on Figure 4-18, identifies the interface condition where Light Industrial land uses within Planning Area 2 are directly adjacent to the MSHCP areas conveyed to the RCA within Planning Areas 5 and 6. In this condition, Light Industrial land uses are buffered from the MSHCP areas by a Geo-Grid Battered Retaining Wall, a 20-foot wide maintenance road, Transitional Plant Palette landscaping along the perimeter of building sites, and a minimum 6-foot tall steel rod fence. No fuel management or landscaping is permitted within Planning Areas 5 and 6. The trees, shrubs, and groundcovers within this interface are planted in accordance with Table 4-1, *Plant Palette*.

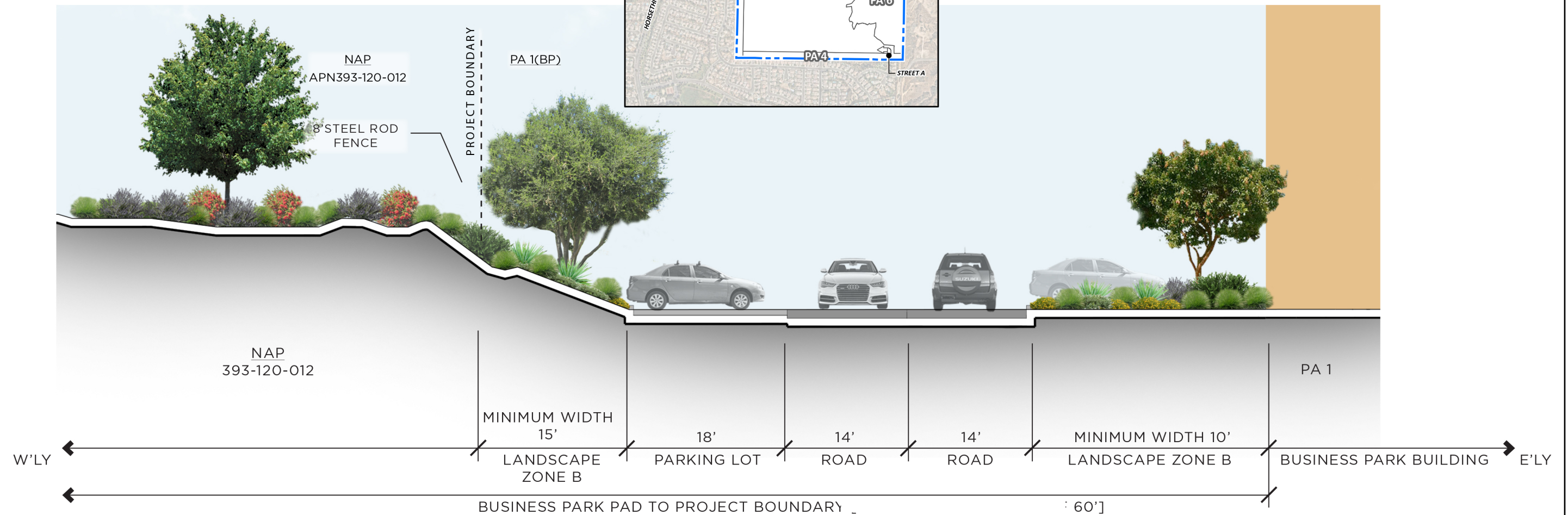
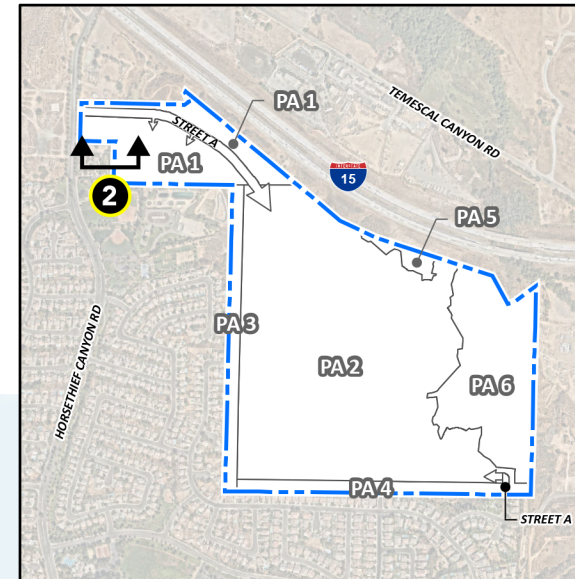
KEY MAP



Source(s): BrightView (04-30-2021)

Figure 4-12

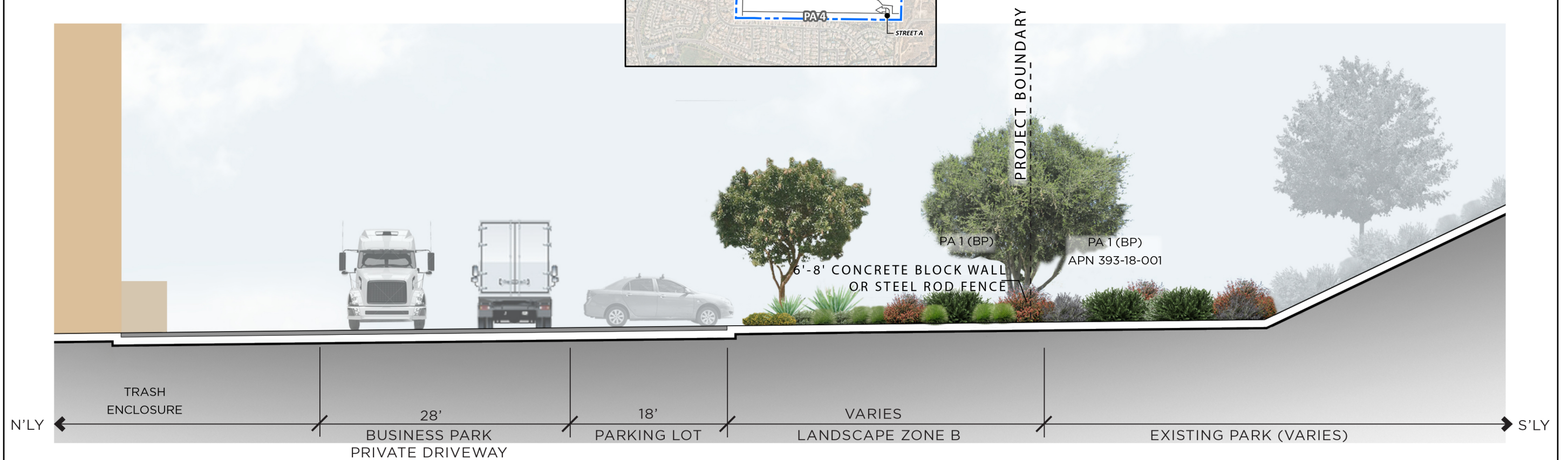
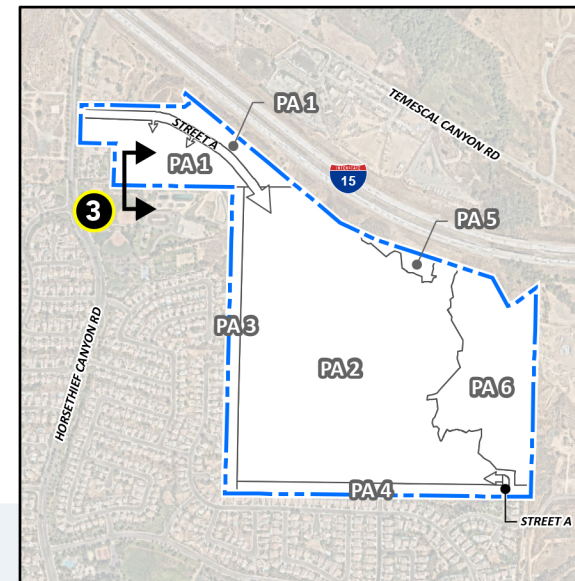
KEY MAP



Source(s): BrightView (04-30-2021)

Figure 4-13

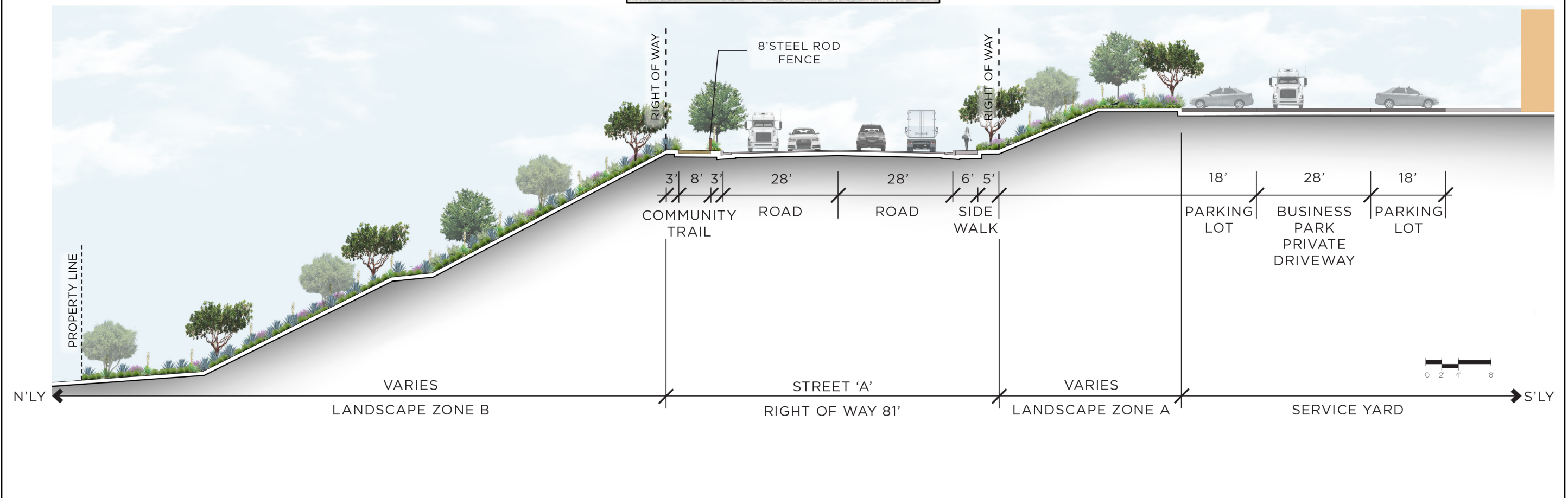
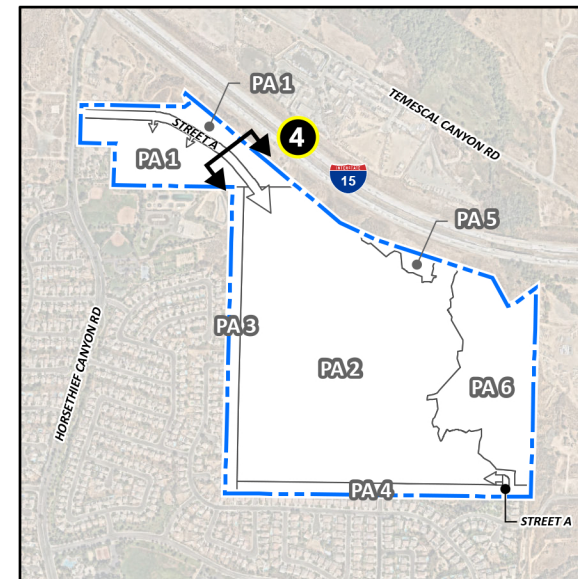
KEY MAP



Source(s): BrightView (04-30-2021)

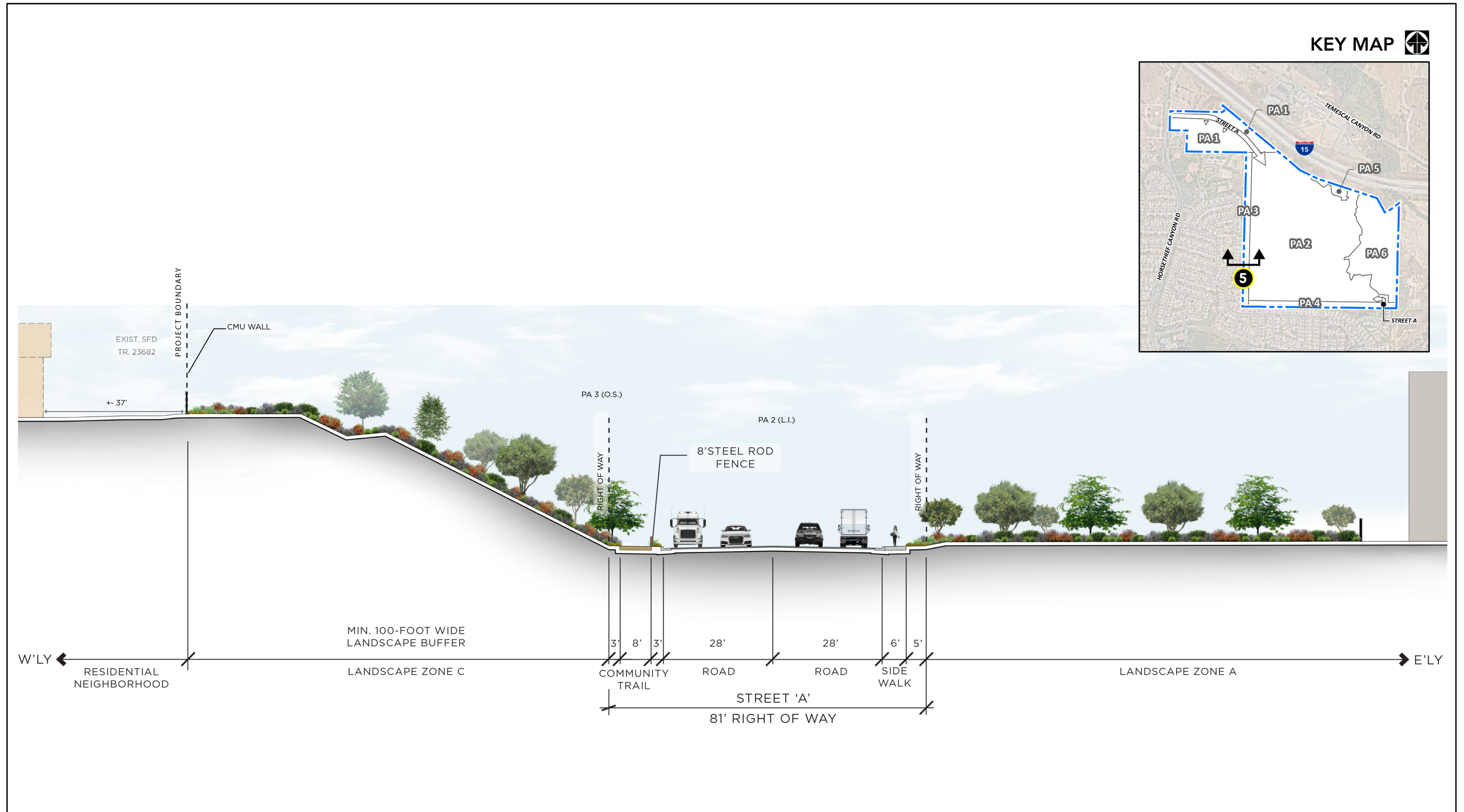
Figure 4-14

KEY MAP



Source(s): BrightView (04-30-2021)

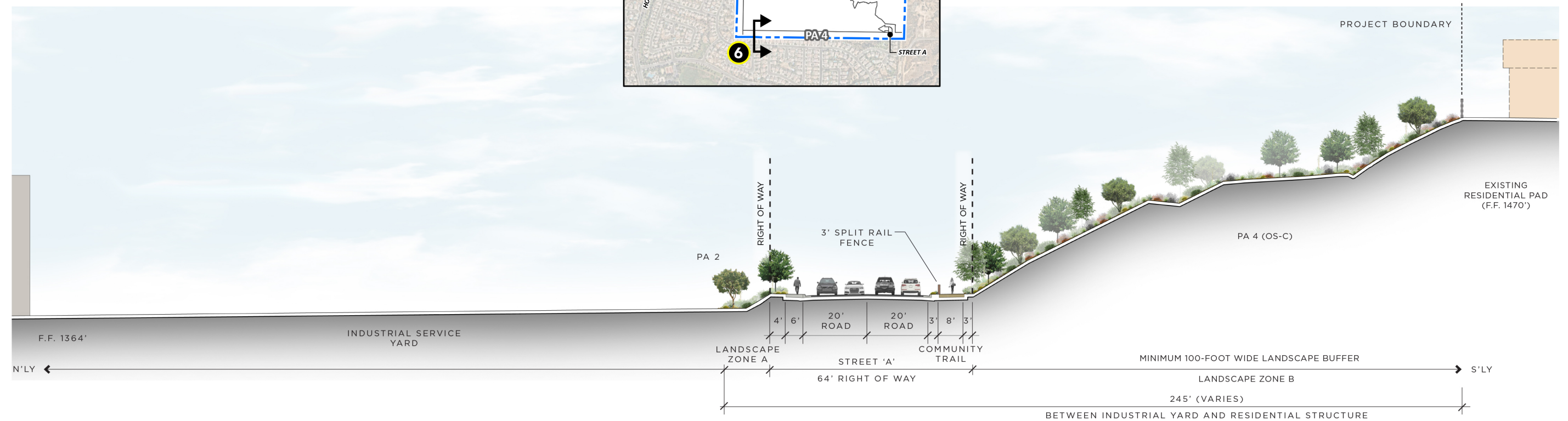
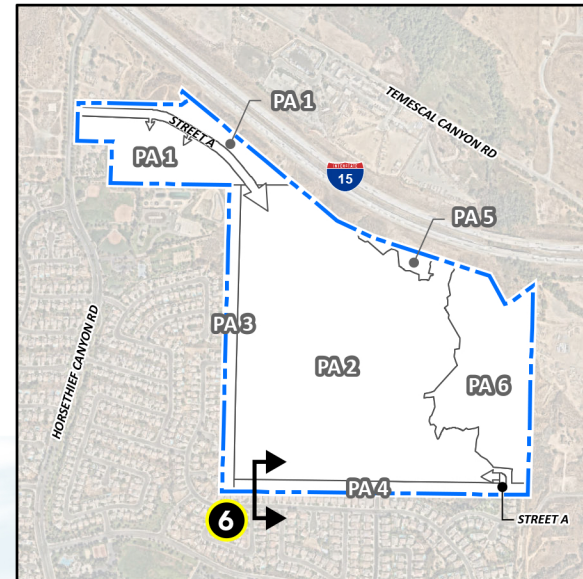
Figure 4-15



Source(s): BrightView (04-30-2020)

Figure 4-16

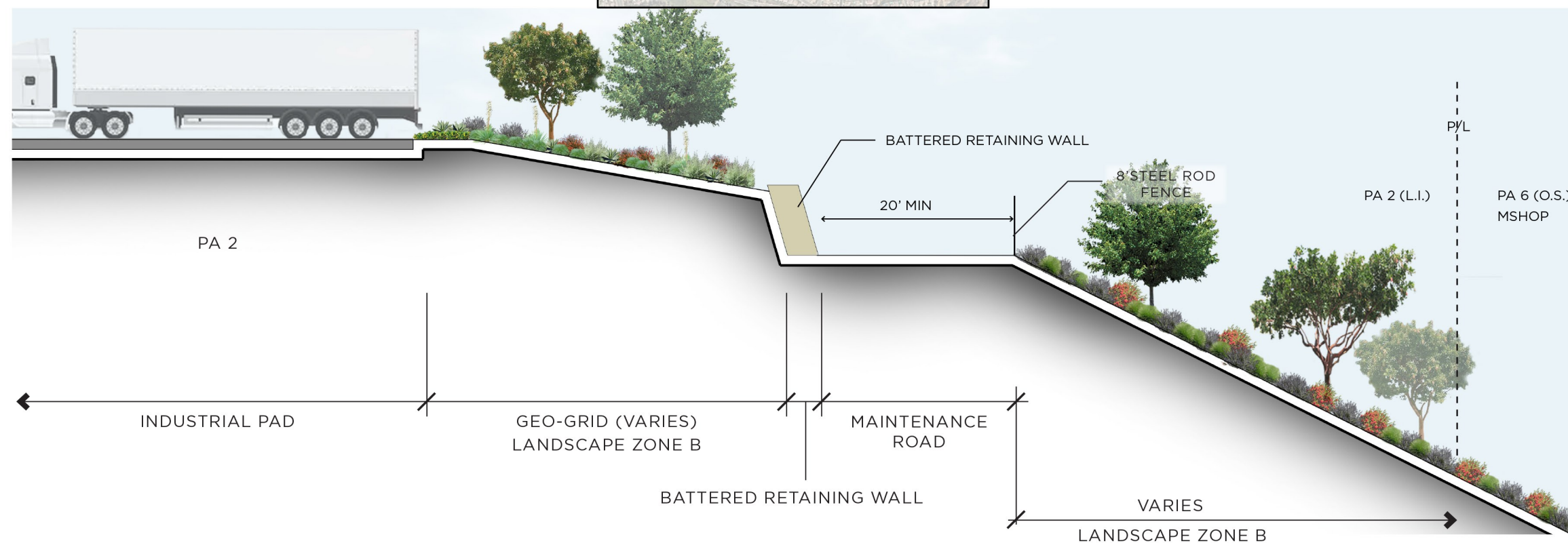
KEY MAP



Source(s): BrightView (05-04-2021)

Figure 4-17

KEY MAP



Source(s): BrightView (11-19-2020)

Figure 4-18

IMPLEMENTATION PLAN

5

CHAPTER FIVE presents the policies and procedures for the County of Riverside's review and approval of implementing projects, and describes the methods and procedures for interpreting and amending the Specific Plan as necessary.



- 5.1 || IMPLEMENTATION OF SP333, A1
- 5.2 || MODIFICATIONS TO THE SPECIFIC PLAN
- 5.3 || CONCEPTUAL IMPLEMENTATION PLAN
- 5.4 || MAINTENANCE PLAN



RENAISSANCE RANCH
— COMMERCE CENTER —

CHAPTER 5 | IMPLEMENTATION PLAN

5.1 IMPLEMENTATION OF SPECIFIC PLAN NO. 333, AMENDMENT #1

Approval of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan (SP333) indicates acceptance by the Riverside County Board of Supervisors of the general framework of development for the 157.1-acre property described therein. Part of that framework establishes explicit development standards that constitute the zoning regulations for the RENAISSANCE RANCH COMMERCE CENTER Specific Plan. Further, it is anticipated that this Specific Plan No. 333 will be implemented through a series of Parcel Maps, Plot Plans, and Conditional Use Permits, which shall be reviewed and approved by Riverside County.

5.1.1 PARCEL MAPS

Parcel Maps are employed to implement a Specific Plan by subdividing land into smaller parcels. A parcel map application generally includes the following items:

- (a) Lot lines and dimensions of each parcel.
- (b) Street improvement cross-sections.
- (c) Locations, dimensions, and heights of existing and proposed structures in the development area.
- (d) Preliminary grading plans, including all cut/fill slopes to scale with slope ratios and slope setbacks from structures and property lines, the elevations of all individual building pads, the elevations at the perimeter of the subdivision, conceptual drainage facilities, existing topography and the relationship to adjoining land and development, and any existing grading.
- (e) Location, widths, and improvements of existing and proposed public utility easements, transmission lines, power and telephone poles, and underground utilities on or abutting the property.

The Riverside County Planning Department's Parcel Map application and check list includes a comprehensive list of required information for parcel maps.

5.1.2 PLOT PLANS AND CONDITIONAL USE PERMITS

Plot Plans and Conditional Use Permits are the primary entitlement mechanism for implementing development within this Specific Plan. A Plot Plan implements uses "permitted by right" by the Specific Plan Zoning Ordinance, and provides a detailed description of how a subject parcel is to be developed. A Conditional Use Permit allows the County to consider particular uses that are not "permitted by right" by the Zoning Ordinance; typically, because the use requires a higher level of review of the design features and components to assure compatibility with the intent of the Specific Plan. Uses permitted subject to a Conditional Use Permit are listed within the SP Zoning Ordinance, and are reviewed by the County of Riverside to determine if the design and use is in conformance with the intent of the Specific Plan.

Consideration of a Plot Plan or Conditional Use Permit is thus a discretionary action, and may be subject to CEQA review. The Plot Plan application and Conditional Use Permit application generally contains the following information:

- (a) Location of each existing and proposed structure within the subject site and the use or uses to be contained therein.
- (b) Location of all pedestrian walks, outdoor employee break areas, plazas, and recreation areas.
- (c) Location and height of all walls, fences and screen planting, including a plan for the landscaping and surfacing of the project.
- (d) Plans and elevations of typical structures that indicate architectural type and construction standards.

The Riverside County Planning Department's Plot Plan and Conditional Use Permit applications and check lists include comprehensive descriptions of required information for both of these actions.

5.2 MODIFICATIONS TO THE SPECIFIC PLAN

It is anticipated that certain modifications to the Specific Plan text, exhibits, and/or project may be necessary during the implementation phase of the RENAISSANCE RANCH COMMERCE CENTER due to changes to market forces, architecture styles, building materials, alternative energy strategies, etc. All modifications to the Specific Plan shall occur in accordance with one of the applications and its' associated procedures described in this Section.

Modifications to the Specific Plan may occur through two distinct processes: "Substantial Conformances" and "Specific Plan Amendments." To qualify for consideration as a Substantial Conformance, the proposed modifications must be found, by the County Planning Department, a non-substantial modification of a condition of approval, diagram, or text of the Specific Plan that does not change the basic design or improvements required and is consistent with the original resolution adopting the Specific Plan, the conditions of approval, and the Specific Plan text. Specific Plan Amendments are not required to be in considerable conformance with the RENAISSANCE RANCH COMMERCE CENTER Specific Plan. Modifications to the Specific Plan may be requested at any time pursuant to California Government Code §65453(a).

5.2.1 SUBSTANTIAL CONFORMANCE

A Substantial Conformance shall be processed in the event that the Riverside County Planning Department determines that the proposed modifications to the Specific Plan text, graphics, and/or project design do not change the character or intent of the project, and therefore do not require a Specific Plan Amendment. Substantial Conformances to the Specific Plan shall be processed in accordance with Section 2.11 (Determination of Project Conformance With Adopted Specific Plan), of the Riverside County Zoning Ordinance (Ordinance No. 348).

1. Modifications to this Specific Plan text and graphics which do not substantially change the intent of the RENAISSANCE RANCH COMMERCE CENTER Specific Plan
2. The ultimate alignment of Street 'A' and final roundabout locations within any Planning Area as part of the development of implementing project(s).
3. Changes to the maximum building square footage for any or all of the Planning Area provided that the overall maximum square footage within this Specific Plan (2,509,057 s.f.) is not exceeded.
4. The reduction of development intensity/density (building square footage) in any or all of the Planning Areas.

5. Expansions or reductions of the net acreage covered by a given Planning Area within the Specific Plan by no more than 15% of that stated within this Specific Plan.
6. Modification of design criteria such as paving treatments, architectural details, landscape treatments, fencing, lighting, and entry treatments.
7. Implementation of landscape treatments, which are in addition to Landscape Treatment identified in the Specific Plan.
8. Final infrastructure facility sizing and precise location of water, recycled water, sewer, and drainage improvements which are approved by the County of Riverside, EVMWD, or RCFC&WCD.
9. Modifications to public or private roadway ROW design, when such modifications are approved by the Riverside County Transportation Department.
10. Modifications to landscape, wall material, wall alignment, and streetscape which are determined by the Planning Department to be consistent with the Design Guidelines contained in this Specific Plan.
11. Modifications to Architectural Design Guidelines, such as variation of materials within the particular architectural style and variations in colors.
12. Modifications to architecture, plotting, and building size that have been previously reviewed and approved through the design review process.
13. Modification to the Master Sign Program.
14. Modification, deletions, and additions to the list of permitted and conditional uses.
15. Modifications of a similar nature to those listed above, which are deemed minor by the Director of the Riverside County Planning Department, because they are consistent with the Goals and intent of this Specific Plan and in conformance with the Riverside County General Plan.

5.2.2 SPECIFIC PLAN AMENDMENTS

All Specific Plan modifications which do not meet the criteria of a Substantial Conformance as defined in Section 5.2.1 of this Specific Plan or as may be determined by the Director of the Riverside County Planning Department, shall be deemed to require a Specific Plan Amendment. This Amendment #1 to Specific Plan No. 333 was prepared pursuant to California Government Code §65450, *et. seq.* Subsequent Amendments to the Specific Plan shall be processed in accordance with the applicable requirements of the law, which include California Government Code §65450, *et. seq.* and Chapter XVIIa, Section 17.25 (SP Zone - Specific Plan), of the Riverside County Zoning Ordinance (Ordinance No. 348). Depending on the nature of the proposed Specific Plan Amendment, a supplemental analysis may be required, pursuant to the California Environmental Quality Act (CEQA) §15162.

5.3 CONCEPTUAL IMPLEMENTATION PLAN

The RENAISSANCE RANCH COMMERCE CENTER Specific Plan is designed for development in response to market demands and according to the logical and orderly extension of roadways, public utilities, and infrastructure. Planning Areas may be developed in any sequence, or increment, provided that the infrastructure improvements required to serve the implementing development are available at the time of development or constructed concurrently with the development. Phasing of the grading may occur in one phase, and/or may occur in smaller increments, subject to approved Grading Plans and Permits.

A detailed description of the potable water services, recycled water services, sewer services, drainage and water quality facilities, and vehicular circulation plans is described within the relevant sub-sections of this *Chapter 2, Development Plan*, of this Specific Plan.

The exact timing of implementation for any Planning Area may vary based on a number of factors, including market and economic demands, as well as physical constraints or timing of infrastructure improvements. Implementing projects within the RENAISSANCE RANCH COMMERCE CENTER may be approved by the County of Riverside Planning Department, provided vehicular access, public facilities and infrastructure is constructed to adequately service the development or as needed for public health and safety in each stage of development.

5.3.1 CONCEPTUAL IMPLEMENTATION PLAN STANDARDS

- (1) An agreement with Elsinore Valley Municipal Water District (EVMWD) or other capable service provider shall be made in writing which states that the provision of services to any implementing project shall be available prior to the recordation of any subdivision maps.
- (2) Prior to the issuance of building permits, improvement plans for the development of common open space areas, including planting and irrigation plans, shall be submitted for planning development approval for the stage of development for the area in question. These landscape improvement plans shall be prepared by and reviewed for substantial conformance by a licensed landscape architect.
- (3) Planning Areas which are dependent on adjacent Planning Areas for access shall be phased in a manner that demonstrates an ability to provide the necessary infrastructure and access, prior to Tentative Map approval.

5.4 MAINTENANCE PLAN

Successful operation of maintenance entities and maintenance associations are important in maintaining the quality of a development. The public and private improvements constructed within the RENAISSANCE RANCH COMMERCE CENTER shall be maintained through a combination of public and private entities as described in Table 5-1, *Maintenance Responsibilities*. A Master Property Owners Association (POA) shall be established for the maintenance of common area landscape improvements and private driveways within areas of the RENAISSANCE RANCH COMMERCE CENTER. For areas in public ownership (such as public roadway ROWs), maintenance districts may fund the maintenance of these areas.

TABLE 5-1 MAINTENANCE RESPONSIBILITIES

FACILITY	MASTER PROPERTY OWNERS ASSOCIATION	PROPERTY OWNER OR OCCUPANT	COUNTY OF RIVERSIDE	EVMWD	OTHER MAINTENANCE ENTITY ¹
CIRCULATION & RELATED FACILITIES					
Public Roadways (Street "A")					
Pavement & Curbs			X		
Landscaping within public right-of-way, including medians and parkways			X		
Sidewalks			X		
Community Trail			X		
Private Driveways and Drive Aisles	X	X			
Parking Lots, including landscaping	X	X			
Traffic Signals			X		
Traffic Signs					
Within public right-of-way			X		
Outside public right-of-way	X				
Street Lights					
Within public right-of-way			X		
Outside public right-of-way	X				
LANDSCAPING, OPEN SPACE, & RELATED FACILITIES					
MSHCP Open Space (PAs 5 & 6)					X
Common area landscaping, including entry treatments	X				
Monuments and Signage	X	X			
Walls and Fences	X	X			X
Outdoor Employee Patio Areas	X	X			
Landscape Buffers/Manufactured Slopes within PAs 3 & 4	X	X			
Fuel Modification Zones	X	X			
UTILITY INFRASTRUCTURE					
Potable and recycled water facilities/infrastructure	X			X	
Sanitary sewer facilities/infrastructure	X			X	
Storm water drainage facilities/infrastructure	X		X		X
Dry utilities (electricity, natural gas, communications systems)					X
Notes:					
1. Other Maintenance Entities may include utility providers, public conservation agencies, flood control district, and other public/private entities.					
2. Traffic signals and utility facilities/infrastructure may require maintenance easements.					