

MENIFEE NORTH

SPECIFIC PLAN No. 260, AMENDMENT No. 2

SUBSTANTIAL CONFORMANCE No. 4

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I. SUMMARY OF CHANGES

Substantial Conformance No. 4 to the MENIFEE NORTH Specific Plan, Amendment No. 2 (SP260-A2-SC4) does not change the use of Planning Area 39 but reallocates units to Planning Area 39 from underbuilt Planning Area 41. This is in line with the provisions for Planning Area 39 of approved specific plan. A proposed Tentative Tract Map No. 38503 is being processed concurrently with Substantial Conformance No. 4.

Substantial Conformance No. 4 maintains the approved maximum of 2,025 residential units permitted on 829.2 acres, while modifying the Specific Plan text and graphics to allocate units to Planning Area 39 from Planning Area 41. Additionally, Substantial Conformance No. 4 makes other, non-substantive changes throughout the document to accommodate these modifications.

Table SC-1 - Specific Plan No. 260, Amendment No. 2, Substantial Conformance No. 4

Approved Menifee North Specific Plan No. 260 Amendment No. 2 Substantial Conformance No. 3					Menifee North Specific Plan No. 260 Amendment No. 2 Substantial Conformance No. 4				
PA	Land Use	Target Units	Acres	Target Density	PA	Land Use	Target Units	Acres	Target Density
39	Public Facility	0	9.9	0	39	Public Facility	37	9.9	3.7
41	Medium Density Residential – 7,200 SF min.	120	39.8	3.0	41	Medium Density Residential – 7,200 SF min.	83	39.8	2.1
Total		120	49.7	--	Total		120	49.7	--

II. SUMMARY

A. INTRODUCTION

Section 65450 of the California Government Code grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan, for the purpose of establishing systematic methods of implementation of the agency's General Plan. A Specific Plan, as the name implies, is specific in nature as compared to a General Plan. It is designed to address site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. A General Plan does not show local streets, individual parcels or specific land uses. While a General Plan examines an entire City or County, a Specific Plan will concentrate on the individual development issues of a particular project or region. The Riverside County General Plan has established objectives which mandate the preparation of individual Specific Plan documents in order to ensure that new developments meet the basic standards of environmental safety, infrastructure, quality of structural design, site planning and contain the provisions to maintain aesthetic quality and cultural identity. Most importantly, the Specific Plan has strong implications on government budgeting decisions.

In addition to the *MENIFEE NORTH* Specific Plan, the accompanying Environmental Impact Report (EIR), was prepared under the authority of the County of Riverside and is in compliance with the California Environmental Quality Act (CEQA) and County of Riverside Guidelines. The EIR is intended to serve as the project-wide Master Environmental Document for the *MENIFEE NORTH* Specific Plan and all subsequent development projects undertaken pursuant to and within the Specific Plan boundaries. Furthermore, the EIR is an informational document designed to provide decision-makers and members of the general public with a full understanding of the potential environmental effects of the development proposal. Together, the Specific Plan and EIR provide a path to properly develop the site, taking into account all local goals, objectives and environmental considerations.

B. PROJECT SUMMARY

Since the adoption of Amendment No. 2 to the *MENIFEE NORTH* Specific Plan in 2008, the City of Menifee incorporated, resulting in an approximately 775.4 acre portion of the adopted Specific Plan west of Briggs Road being removed from County of Riverside jurisdiction. In January 2016, Substantial Conformance No. 1 to Amendment No. 2 was adopted and modified the Specific Plan boundary, removing all areas west of Briggs Road from the *MENIFEE NORTH* Specific Plan. The revised limits of the *MENIFEE NORTH* Specific Plan were reduced to approximately 829.2 acres east of Briggs Road, west of Juniper Flats Road, south of Alicante Drive, and north of Matthews Road and provides for a wide range of land uses including 2,025 residential units. In March of 2020, the Riverside County Board of Supervisors approved Substantial Conformance No. 2, which modified the acreages, unit counts and lot sizes for Planning Areas 24, 25, 26 and 28 to be consistent with Minor Change No. 1 to Tentative Tract Map No. 29322 and Tentative Tract Map No. 37533 while making a number of minor technical corrections. On March 9, 2021, the Riverside County Board of Supervisors approved Substantial Conformance No. 3 to the SP 260, Amendment No. 2, (SP 260A2-SC3), Change of Zone No. 2000027, Tentative Parcel Map No. 37787, and Plot Plan No. 190035 and adopted Mitigated Negative Declaration (CEQ190162). The purpose of SP 260A2-SC3 was to modify specific plan text and zoning text with respect to Planning Area 43's permitted uses and development standards to allow for covered RV/trailer storage.

Substantial Conformance No. 4 to the MENIFEE NORTH Specific Plan, Amendment No. 2 (SP260-A2-SC4) reallocates units to Planning Area 39 from underbuilt Planning Area 41. A proposed Tentative Tract Map No. 38503 is being processed concurrently with Substantial Conformance No. 3.

The *MENIFEE NORTH* Specific Plan provides the County of Riverside, as well as future developers, community groups and community service districts, with a comprehensive set of plans, regulations, conditions and programs for guiding the systematic development of the project. The Specific Plan also implements each applicable Element of the Riverside County General Plan. The *MENIFEE NORTH* Specific Plan assures that development of the proposed land use plan will proceed as a coordinated project involving the orderly and systematic construction of residential, commercial, industrial and open space uses and the provisions of public infrastructure and services necessary to ensure that Riverside County standards for orderly growth are implemented.

The project area primarily consists of vacant land with some existing scattered residential and commercial uses surrounded by either fragmented residential, commercial, agricultural or some limited forms of professional office land uses. When fully developed, the *MENIFEE NORTH* Specific Plan will provide a balance of residential land uses varying in density from 3.0 dwelling units per acre to 5.7 dwelling units per acre. The project will also include a community park, and natural open space, as well as commercial retail, business park, mixed use planning areas, and light industrial uses.

The residential products to be provided will serve to meet a market need in this urbanizing portion of southwest Riverside County, while maintaining a sensitive approach to development relative to existing streets and anticipated traffic volumes that are planned for within the Riverside County Circulation Plan and Master Plan of Highways.

MENIFEE NORTH will provide a community which offers a unique living and working environment, providing a range of residential densities, commercial and industrial square footage and park and open space amenities consistent with the on-going development in the Southern Perris Valley region. Many of the future residents, who are projected to range from first-time to move-up buyers, will be able to take advantage of amenities offered in the *MENIFEE NORTH* Specific Plan project area.

The *MENIFEE NORTH* Specific Plan can be briefly summarized as follows:

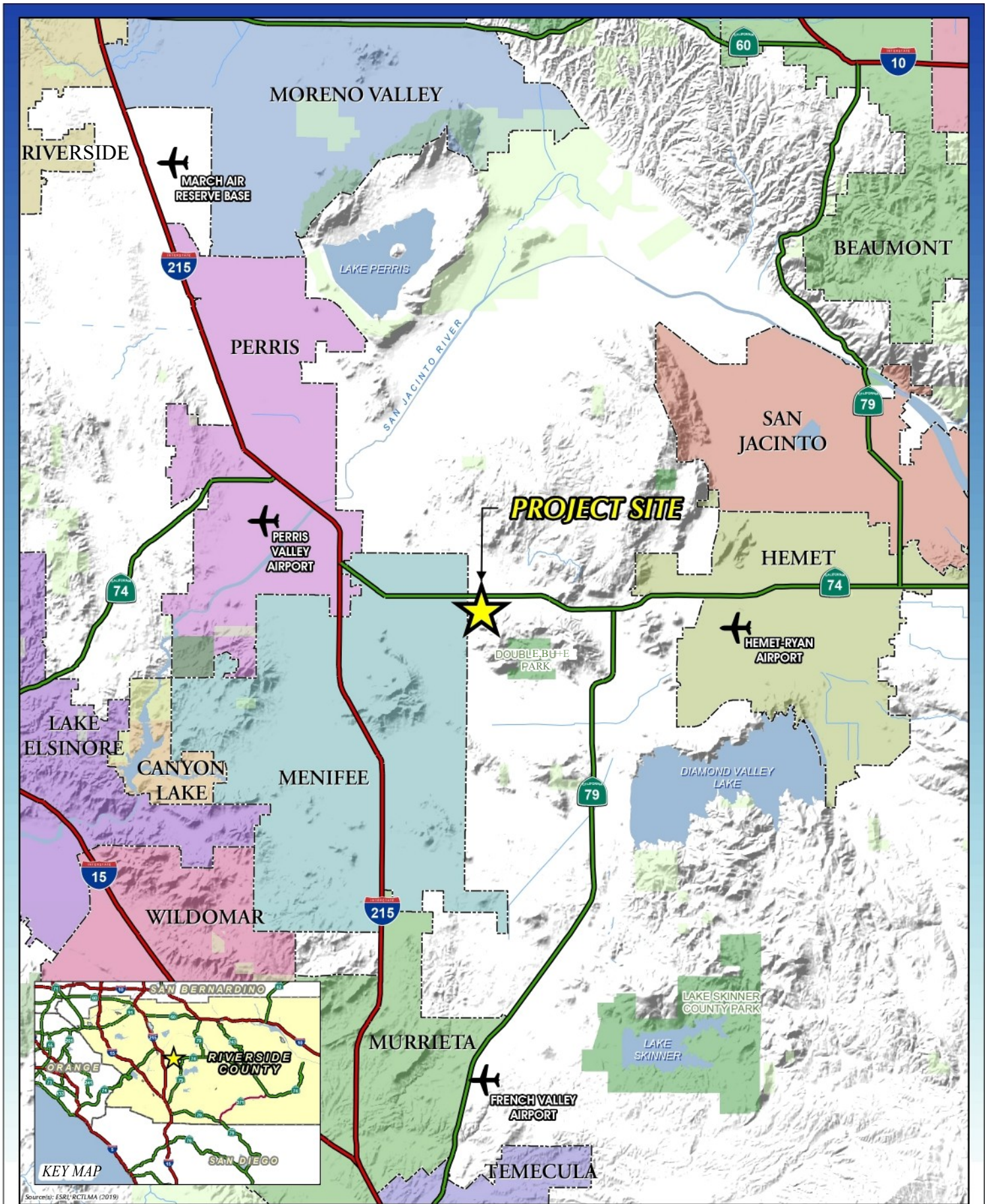
Table I Land Use Summary

LAND USE	ACREAGE	DWELLING UNITS / ACRE	MAXIMUM DWELLING UNITS	PERCENTAGE
RESIDENTIAL				
7,200 SF Medium	150.4	3.3	501	18.1%
6,000 SF Medium	135.8	4.2	564	16.3%
5,000 SF Medium ^{(1),(2)}	152.1	4.4	670	18.3%
3,500 SF Medium High	44.6	5.7	253	5.3%
RESIDENTIAL SUBTOTAL ⁽⁴⁾	482.9	4.1	1988	58.0 %
NON-RESIDENTIAL				
Commercial Retail	58.2	-	-	7.0%
Light Industrial	18.8	-	-	2.3%
Mixed Use Planning Area	18.5	-	-	2.2%
Business Park	21.8	-	-	2.6%
Public Facility ⁽⁴⁾	9.9	3.7	37	1.2%
Open Space-Recreation ⁽³⁾	5.5	-	-	0.7%
Open Space-Conservation	102.8	-	-	12.4%
Open Space-Water	33.8	-	-	4.1%
Public Facility Fire Station	1.6	-	-	0.2%
Major Roads	74.8	-	-	9.0%
Easements/Existing Uses	0.6	-	-	0.1%
NON-RESIDENTIAL SUBTOTAL ⁽⁴⁾	346.3	-	-	42.0%
PROJECT TOTAL	829.2	2.4	2,025	100.0%

- (1) The maximum density may be increased to 6.0 du/ac with a 5,000 square foot lot size in Planning Area 34 in either of the following two circumstances:
- (a) The project is designed for and restricted to senior citizen housing; or
 - (b) The project is a mobile home park or mobile home subdivision.
- If this option is elected, the maximum number of dwelling units shown in Table II for Planning Areas 34 may increase, however, the overall maximum number of dwelling units for the entire Specific Plan may not exceed 2,025.
- (2) The overall number of units for Planning Areas 33B and 34 is restricted to require that several neighborhoods of differing lot sizes be developed.
- (3) Mini-parks are required in Planning Areas 26, 32, 35 and 37. A 4.9-acre Public Park is located within Planning Area 25.
- (4) Planning Area 39 consisting of 9.9 acres, can alternatively be developed as residential allowing up to 37 dwelling units on 5,000 s.f. lots at a target density of 3.7 du/ac resulting in a Residential Subtotal and Project Total of 2,025 dwelling units. Under this development alternative, total residential acreage would increase to 492.8 and non-residential acreage would decrease to 336.4 resulting in an Overall Residential Project Density of 4.1 du/ac. Under this alternative, SP 260 would consist of 59.4% Residential Uses and 40.6% in Non-Residential Uses.

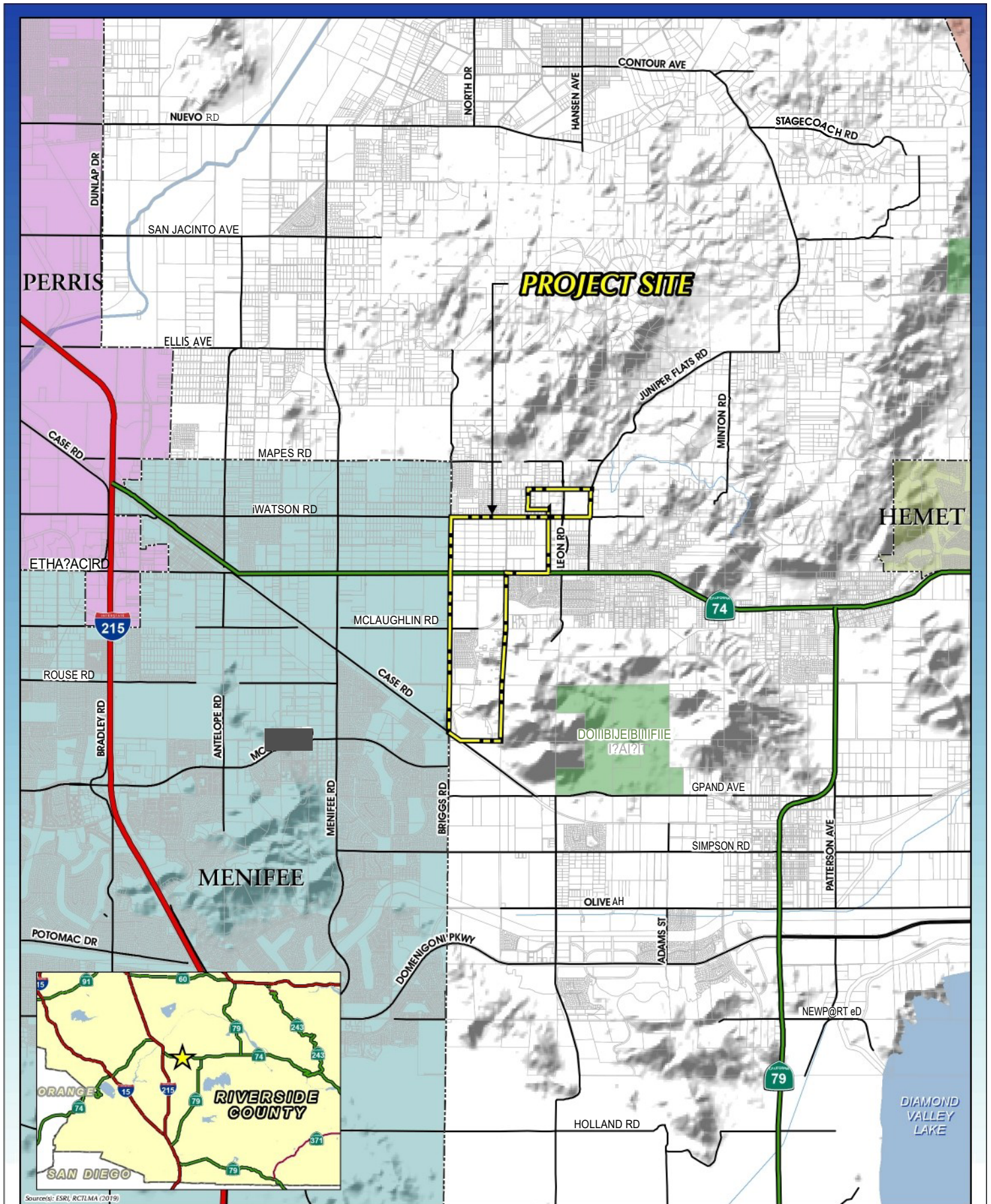
II. SUMMARY

**MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 2
SUBSTANTIAL CONFORMANCE NO.4**



MENIFEE NORTH SP 260 - A2, SC4

FIGURE II-1



MENIFEE NORTH SP 260 - A2, SC4

FIGURE II-2



III. SPECIFIC PLAN

A. DEVELOPMENT PLANS AND STANDARDS

1. PLANNING OBJECTIVES

This Specific Plan has been prepared within the framework of a detailed and comprehensive multi-disciplinary planning program. Issues such as engineering feasibility, market acceptance, economic viability, County Comprehensive General Plan goals and objectives, development phasing and local community goals have been fully examined and considered. To further ensure the environmental compatibility, aesthetic satisfaction and functional integrity of the plan, specific planning goals and objectives were identified. With this analysis and the specific project goals and objectives in mind, the *MENIFEE NORTH* Specific Plan:

- Provides a development plan of superior environmental sensitivity including a high quality of visual aesthetics, suppression of noise, protection of health and safety, and the promotion of the community and region.
- Considers topographic, geologic, hydrologic and environmental opportunities and constraints to create a design that generally conforms to the character of the land by retaining and utilizing basic existing landforms as much as possible.
- Reflects anticipated market needs and public demand by providing a range of housing types which will be marketable within the developing economic profile of Southern Perris Valley Area as well as the County of Riverside.
- Provides residential uses with specific emphasis on employing natural and created open space for a heightened aesthetic environment.
- Provides direct and convenient access to clustered neighborhoods via a convenient and efficient circulation system.
- Provides additional employment opportunities for the current and future residents of the region and surrounding communities.
- Creates a unique residential character that provides for a distinct environment through architectural treatment, viewshed, and natural terrain.

2. SPECIFIC LAND USE PLAN

a. Project Description

When completed, the *MENIFEE NORTH* project area will be composed of a high-quality mix of residential uses varying in density from 3.0 du/ac to 5.7 du/ac. These residential uses will be constructed in compliance with a site design that is consistent with the Riverside County General Plan. The residential products to be provided will meet a market need in the urbanizing Southern Perris Valley community. When fully

developed, a maximum of 2,025 homes will be constructed in *MENIFEE NORTH*. The units will be developed across a spectrum of lot sizes as depicted in the *Specific Plan Land Use Plan* (Figure III-1). In order to create a full service, balanced community, the project plans for one community park, natural open space, commercial retail, business park, light industrial, and mixed use planning areas.

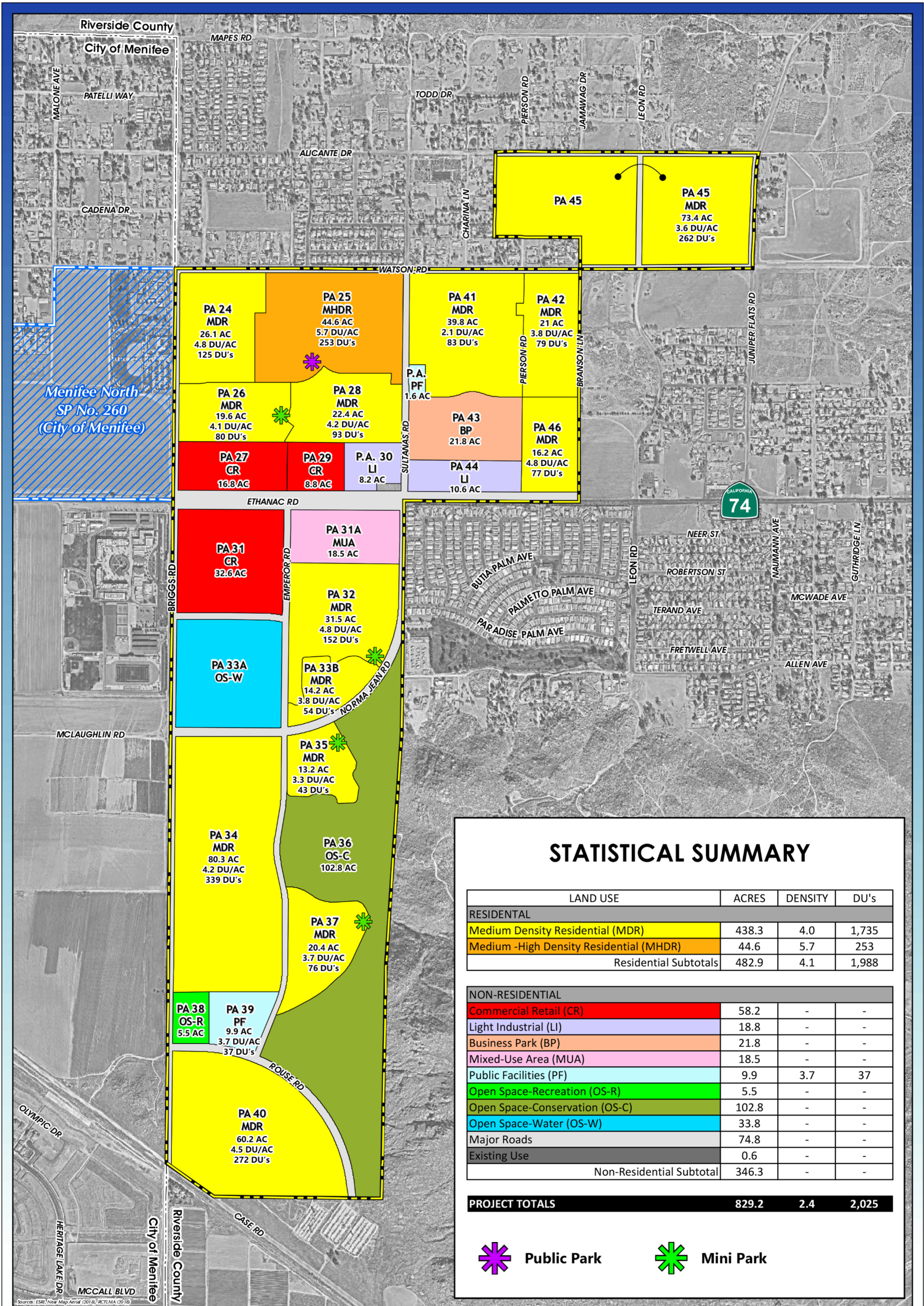
The project site has been divided into 26 planning areas on the basis of logical, separate units of development. Specific information on each of the planning areas within *MENIFEE NORTH* is provided within Section III.B; Planning Area Development Standards, in the Detailed Land Use Summary (Table II) and in Figures III-14 through 26).

The proposed land uses within the *MENIFEE NORTH* Specific Plan include:

- RESIDENTIAL¹ - The Specific Plan was formulated based on the goal of providing a variety of housing types, styles, sizes and values to attract a variety of homebuyers. The residential element of the plan accounts for 492.8 acres of the project site, containing 2,025 dwelling units. Residential densities within the project will net 4.2 du/ac and gross 2.4 du/ac overall. The housing mix will be spread over four density ranges varying from Medium to High, as described below.
 - Medium Density Residential (7,200 s.f. lots, 3.6 du/ac) - consists of 501 dwelling units on 150.4 acres in Planning Areas 41, 42, 45, and 46. Lot sizes in these areas will be a minimum of 7,200 square feet.
 - Medium Density Residential (6,000 s.f. lots, 4.2 du/ac) - consists of 564 dwelling units on 135.8 acres in Planning Areas 26, 28, 35, 37, and 40. Lot sizes in these areas will be a minimum of 6,000 square feet.
 - Medium Density Residential (5,000 s.f. lots, 4.4 du/ac) - consists of 670 dwelling units on 151.3 acres in Planning Areas 24, 32, 33B and 34. Lot sizes in these areas will be a minimum of 5,000 square feet.
 - Medium High Density Residential (3,500 s.f. lots, 5.7 du/ac) - consists of 253 dwelling units on 44.6 acres in Planning Areas 25. Lot sizes in these areas will be a minimum of 3,500 square feet.

The maximum density of Planning Area 34 may be increased to 6.0 du/ac with a 5,000 square foot lot minimum if the planning area is designed for and restricted to senior citizen housing or if the planning area is a mobile home park or mobile home subdivision. Additional residential opportunities are also provided by Planning Area 31A which could accommodate high density residential uses within a mixed use/neighborhood commercial environment.

¹ While Planning Area 39 is designated Public Facilities, it may alternately be developed with 37 dwelling units on 5,000 s.f. lots, across 9.9 acres with a target density of 3.7 du/ac. This way the total dwelling units in this section of the discussion add up to 2,025.



STATISTICAL SUMMARY

LAND USE	ACRES	DENSITY	DU's
RESIDENTIAL			
Medium Density Residential (MDR)	438.3	4.0	1,735
Medium -High Density Residential (MHDR)	44.6	5.7	253
Residential Subtotals	482.9	4.1	1,988

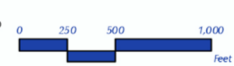
NON-RESIDENTIAL			
Commercial Retail (CR)	58.2	-	-
Light Industrial (LI)	18.8	-	-
Business Park (BP)	21.8	-	-
Mixed-Use Area (MUA)	18.5	-	-
Public Facilities (PF)	9.9	3.7	37
Open Space-Recreation (OS-R)	5.5	-	-
Open Space-Conservation (OS-C)	102.8	-	-
Open Space-Water (OS-W)	33.8	-	-
Major Roads	74.8	-	-
Existing Use	0.6	-	-
Non-Residential Subtotal	346.3	-	-

PROJECT TOTALS	829.2	2.4	2,025
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Public Park
 Mini Park

MENIFEE NORTH SP 260 - A2, SC4

FIGURE III-1



- COMMERCIAL RETAIL - *MENIFEE NORTH* will contain several commercial sites totaling 58.2 acres, proposed for Planning Areas 27, 29 and 31. The commercial uses proposed will serve residents of *MENIFEE NORTH*, off-site users and persons employed in the area. The commercial sites are located to provide easy access for both on-site residents and the regional population. The provision of commercial uses is important not only for convenience, but also to satisfy commercial needs of the future population in this region.
- LIGHT INDUSTRIAL - The Light Industrial uses, totaling 18.8 acres of land, are proposed for Planning Areas 30, and 44. This land use is intended to provide areas for wholesale commercial, business/office, supportive commercial, and light industrial uses.
- BUSINESS PARK - The Business Park uses, totaling 21.8 acres of land, are proposed for Planning Area 43. This land use is intended to provide development areas for professional office and related supportive commercial uses as well as some limited types of "clean" light industrial uses.
- MIXED USE PLANNING AREA - The Mixed Use area in Planning Area 31A encompasses 18.5 acres and provides a mix of limited commercial and high density residential land uses.
- PUBLIC FACILITY – One elementary school site was planned within *MENIFEE NORTH*, containing a total of 9.9 acres, located in Planning Area 39. However, the school district has declined to develop the school site and at this time the residential back up is being implemented. Proposed 37 dwelling units should be in Planning Area 39. Lot sizes in this area will be a minimum of 5,000 square feet. The Specific Plan satisfied the standards of the Perris Union and Romoland School Districts for the reservation of school sites as the project was implemented over the phasing period.
- OPEN SPACE-RECREATION - The *MENIFEE NORTH* project offers various sites for active recreation, highlighted by a 4.9-acre public park in Planning Area 25 and a 5.5-acre community park in Planning Area 38. In addition, mini-parks are required in portions of Planning Areas 26, 32, 35, and 37. Including 5.3 acres of mini-parks, the project provides 15.7 acres of neighborhood parkland.
- OPEN SPACE-CONSERVATION - Approximately 102.8 acres of the Specific Plan area will remain as natural open space, preserved in Planning Area 36. This open space area includes the preservation of a significant hillside in the eastern portion of the site.
- ROADS - Major roadways totaling 74.8 acres will be developed in conjunction with the proposed project. The Riverside County Master Plan of Streets and Highways will adequately serve future traffic volumes for the region. On-site traffic will be handled by a hierarchical roadway system consisting of Expressway, Urban Arterial Highway, Major Highway, Secondary Highway, Industrial Collector, Collector and local roadways ranging in right-of-way width from 56 feet to 220 feet.

b. Land Use Development Standards

In order to ensure the orderly and sensitive development of the land proposed for *MENIFEE NORTH*, special techniques or mitigations have been created for each planning area. These area-specific standards, discussed in detail in Section III.B., Planning Area Development Standards, will assist in accommodating the proposed development and provide adequate transitions among neighboring land uses.

In addition to these specific techniques, project-wide development standards also have been prepared which complement the unique conditions within each planning area. These general standards are:

- 1) The total Specific Plan area shall be developed with a maximum of 2,025 dwelling units on 829.2 acres, as illustrated on the *Specific Plan Land Use Plan* (Figure III-1). General uses permitted will include a variety of residential, including mixed use planning areas, commercial retail, business park, light industrial, public facilities, open space-recreation, open space-conservation, and circulation as delineated on the *Specific Plan Land Use Plan*. These permitted uses are also depicted in Figures III-14- through 26, which support the discussion of individual planning areas.
- 2) Uses and development standards will be in accordance with the County of Riverside Zoning Code and will be defined by Specific Plan objectives, future detailed plot plans and potential conditional use permits as appropriate.
- 3) Standards relating to signage, landscaping, parking and other related design elements will conform to the County of Riverside Zoning Ordinance No. 348. When appropriate and necessary to meet the goals of this Specific Plan, the standards contained within this document will exceed the zoning code requirements. In addition, a Specific Plan Zoning Ordinance will be processed concurrently with this Specific Plan.
- 4) All project lighting shall be in accordance with applicable Riverside County standards, including Ordinance No. 655 regarding Mt. Palomar Observatory standards.
- 5) Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinances No. 348 and 460. Development shall conform substantially with adopted Specific Plan No. 260 as filed in the office of the Riverside County Planning Department, unless otherwise amended. This Specific Plan conforms with state laws.
- 6) Except for the Specific Plan Zoning Ordinance adopted concurrently with this Specific Plan, no portion of this Specific Plan which purports or proposes to change, waive, or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted Specific Plan.
- 7) A land division filed for the purpose of phasing or financing shall not be considered an implementing development application provided that if the maintenance organization is a property owner's association, the legal documentation necessary to establish the association shall be recorded concurrently with the recordation of the final map.
- 8) Common areas identified in the specific plan shall be owned and maintained as follows:
 - a) A permanent master maintenance organization shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common recreation, open space, and landscaped areas (including those in commercial retail, light industrial, business park, and mixed use planning areas). The organization may be public or private. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization

is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, then neighborhood associations shall be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.

- b) Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or any subdivision is recorded.
 - c) The maintenance organization shall be established prior to or concurrent with the recordation of the first land division or issuance of any building permit for any approved development permit (use permit, plot plan, etc.). The ownership and maintenance responsibility shall be identified for each open space lot at the time Tentative Subdivision Maps are filed.
- 9) The permittee shall defend, indemnify, and hold harmless the County of Riverside or its agents, officers, and employees from any claim, action, or proceeding against the County of Riverside or its agents, officers, or employees to attack, set aside, void, or annul an approval of the County of Riverside, its advisory agencies, appeal boards or legislative body concerning Specific Plan No. 260. The County of Riverside will promptly notify the permittee of any such claim, action, or proceeding against the County of Riverside and will cooperate fully in the defense. If the County fails to promptly notify the permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the County of Riverside.
 - 10) Prior to issuance of building permits for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
 - 11) An environmental assessment shall be conducted for each Tract, Plot Plan, Specific Plan Amendment or any other discretionary permit required to implement the Specific Plan. At a minimum, the environmental assessment shall utilize the evaluation of impacts addressed in the EIR No. 329 prepared for this Specific Plan.
 - 12) Lots created pursuant to this Specific Plan and any subsequent tentative maps shall be in conformance with the development standards of the specific plan zone herein applied to the property.
 - 13) Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures and circulation (vehicular, pedestrian and/or bicycle.)
 - 14) Passive solar heating techniques will be employed whenever possible within the project. Passive solar systems do not utilize sophisticated hardware. Passive systems involve orienting buildings properly, planting trees to take advantage of the sun, seeing that roof overhangs are adequate, making sure that walls are properly insulated and installing simple heat storage systems.

- 15) If necessary, roadways, infrastructure and open space will be coordinated by and paid for through an assessment or community services district to facilitate construction, maintenance and management.
- 16) Final development densities for each planning area shall be determined through the appropriate development application up to the maximum density identified, based upon but not limited to the following:
 - a) Adequate availability of services.
 - b) Adequate access and circulation.
 - c) Sensitivity to landforms.
 - d) Innovation in housing types and design.
 - e) Density transfer.
 - f) Sensitivity to neighborhood design through lot and street layouts.
 - g) Lot sizes as proposed in this Specific Plan.
 - h) Density bonuses for affordable or senior citizen housing.
- 17) Areas designated as open space that will be conveyed within parcel boundaries to individual property purchases shall be deed restricted so as to create open space easements and prohibit grading, construction or other development activity in such open space.
- 18) Prior to the issuance of building permits, improvement plans for developed common open space areas, including irrigation plans, shall be submitted for Planning Department approval for the stage of development in question. Irrigation plans shall be certified by a landscape architect.
- 19) For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract:
 - a) Circulation for pedestrians, vehicles and police patrols.
 - b) Lighting of streets, walkways and bikeways.
 - c) Visibility of doors and windows from the street and between buildings, where practical.
 - d) Fencing heights and materials.
- 20) It is anticipated that maintenance associations, CSAs or CSDs, if formed, will be established as follows:

The master property owner's association shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owner's association shall be responsible for private roads, parking, open space area, signing, landscaping, irrigation, common areas and other responsibilities as necessary.
- 21) Prior to the issuance of final grading plans for individual planning areas, a detailed noise analysis shall be prepared to determine the height and location of noise barriers needed to achieve acceptable noise levels.
- 22) Designation and/or dedication of parkland and open space acreage, necessary to satisfy both County and State requirements, will be based on the final number of dwelling units and subsequent

III. SPECIFIC PLAN

**MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 2
SUBSTANTIAL CONFORMANCE NO.4**

population generated by the *MENIFEE NORTH* Specific Plan as adopted by the Riverside County Board of Supervisors, unless otherwise amended.

Table II
MENIFEE NORTH
DETAILED LAND USE SUMMARY

DESIGNATION	PLANNING AREA	ACREAGE	TARGET DENSITY	DWELLING UNITS
RESIDENTIAL				
Medium - 7,200 SF min	41	39.8	2.1	83
	42	21	3.8	79
	45	73.4	3.6	262
	46	16.2	4.8	77
SUBTOTAL - MEDIUM - 7,200 SF MIN.		150.4	3.3	501
Medium - 6,000 SF min	26	19.6	4.1	80
	28	22.4	4.2	93
	35	13.2	3.3	43
	37	20.4	3.7	76
	40	60.2	4.5	272
SUBTOTAL - MEDIUM - 6,000 SF MIN.		135.8	4.3	564
Medium - 5,000 SF min	24	26.1	4.8	125
	32	31.5	4.8	152
	33B	14.2	3.8	54
	34 ⁽¹⁾	80.3	4.2	339
SUBTOTAL - MEDIUM - 5,000 SF MIN.		152.1	4.4	670
Medium High - 3,500 SF min.	25	44.6	5.7	253
SUBTOTAL - MEDIUM HIGH - 3,500 SF MIN.		44.6	5.7	253
RESIDENTIAL SUBTOTALS ⁽⁴⁾		482.9	4.1	1,988
NON-RESIDENTIAL				
Business Park	43	21.8	-	-
SUBTOTAL - BUSINESS PARK		21.8	-	-
Commercial Retail	27	16.8	-	-
	29	8.8	-	-
	31	32.6	-	-
SUBTOTAL - COMMERCIAL RETAIL		58.2	-	-
Mixed Use Planning Area	31A	18.5	-	-
SUBTOTAL - MIXED USE PLANNING AREA		18.5	-	-
Light Industrial	30	8.2	-	-
	44	10.6	-	-
SUBTOTAL - LIGHT INDUSTRIAL		18.8	-	-

III. SPECIFIC PLAN

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 2
SUBSTANTIAL CONFORMANCE NO.4

Public Facility ⁽⁴⁾	39	9.9	3.7	37
SUBTOTAL - PUBLIC FACILITY		9.9	3.7	37
Open Space - Recreation	38	5.5	-	-
SUBTOTAL - OPEN SPACE - RECREATION		5.5	-	-
Open Space - Conservation	36	102.8	-	-
Open Space - Water	-	33.8	-	-
Utility Easements/Existing Uses	-	0.6	-	-
Major Roadways	-	74.8	-	-
Fire Station	-	1.6	-	-
NON - RESIDENTIAL SUBTOTALS ⁽⁴⁾		346.3	-	-
PROJECT TOTALS		829.2	2.4	2,025

⁽¹⁾ The maximum density may be increased to 6.0 du/ac with a 5,000 square foot lot size in Planning Area 34 in either of the following two circumstances:

- a. The project is designed for and restricted to senior citizen housing, or
- b. The project is a mobile home park or mobile home subdivision

If this option is elected, the maximum number of dwelling units shown in Table II may be exceeded up to a new maximum which is listed in the Planning Area description for the relevant Planning Area. The overall maximum number of dwelling units for the Specific Plan may not exceed 2,025,815.

⁽²⁾ Mini-parks are required in Planning Areas 26, 32, 35 and 37. A 4.9-acre Public Park is located within Planning Area 25.

⁽³⁾ Planning Area 39 consisting of 9.9 acres, can alternatively be developed as residential allowing up to 37 dwelling units on 5,000 s.f. lots at a target density of 3.7 du/ac resulting in a Residential Subtotal and Project Total of 2,025 dwelling units. Under this development alternative, total residential acreage would increase to 492.8 and non-residential acreage would decrease to 336.4 resulting in an Overall Residential Project Density of 4.1 du/ac. Under this alternative, SP 260 would consist of 59.4% Residential Uses and 40.6% in Non-Residential Uses.

3. CIRCULATION PLAN

a. Circulation Plan Description

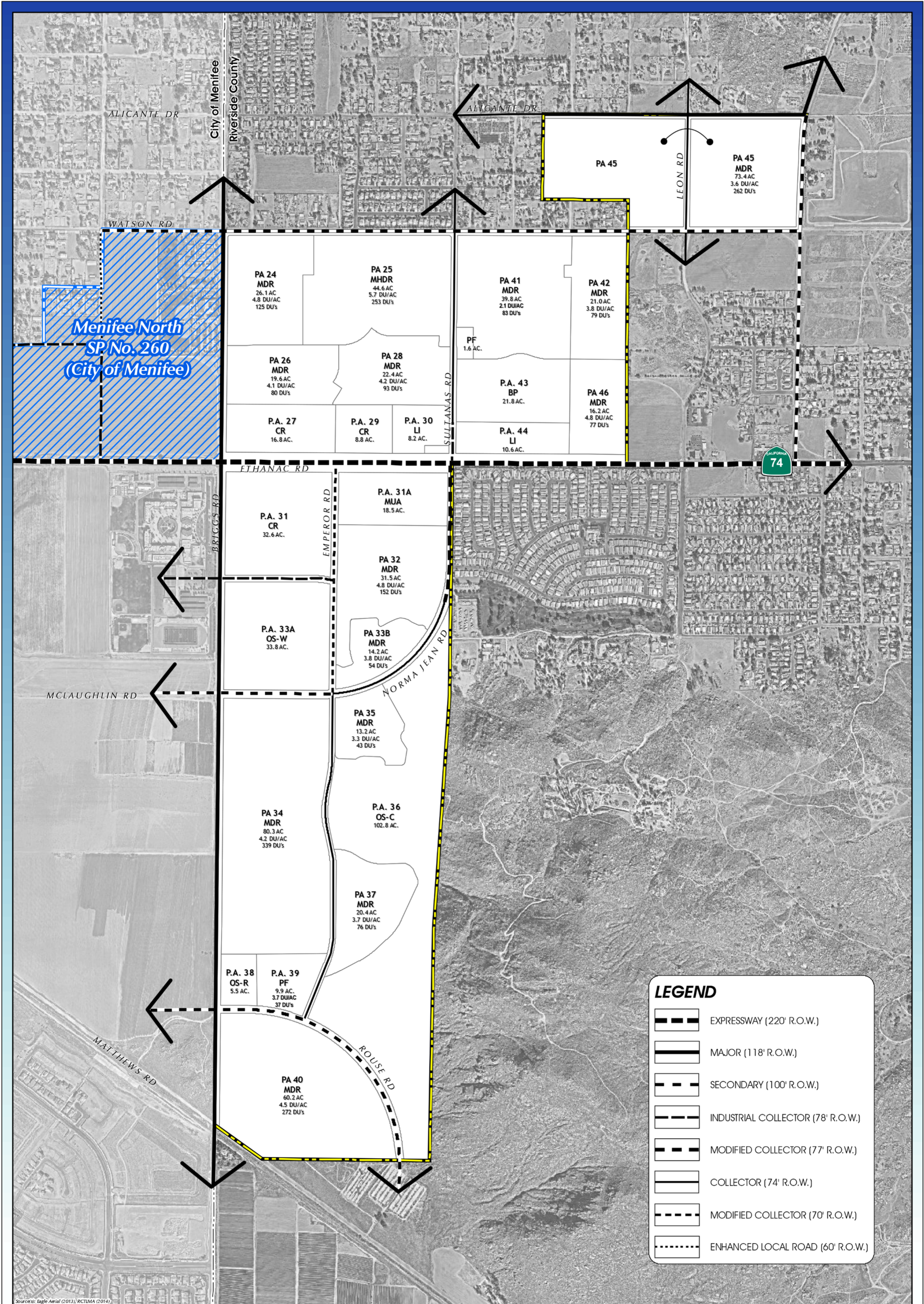
As the result of a thorough traffic analysis conducted by Robert Kahn, John Kain and Associates, Inc. (See Technical Appendices), a project roadway concept has been developed for *MENIFEE NORTH*, as illustrated in the *Specific Plan Circulation Plan* (Figure III-2). In addition to the project roadway concept, Amendment No. 2 has modified the circulation plan to be in conformance with the Circulation Element of the Riverside County Integrated Project.

Principal east-west roadway access to and through the site will be provided by the existing Highway 74 and the proposed improved Ethanac Road Corridor. Primary north-south traffic through the project site will be conveyed via Briggs Road, proposed on-site as a 118' ROW Major Highway. On-site circulation will be accommodated by a network of public and private roadways. Each major roadway's location and size are designed, as illustrated on Figure III-2, to facilitate the efficient movement of traffic throughout the site.

The main objective of the Circulation Plan is to provide direct and convenient access to individual neighborhoods and supportive land uses through a safe and efficient system of urban arterial, arterial, secondary, industrial collector, collector, and local roadways. Non-vehicular circulation will be promoted through the provision of bicycle lanes, sidewalks and a community trail.

b. Circulation Development Standards

- 1) The proposed Circulation Plan provides an efficient traffic design that meets the needs of the project. The on-site system depicted on the *Specific Plan Circulation Plan* (Figure III-2) has been derived from the Master Circulation Plan outlined in the project Traffic Analysis and will serve as the composite Circulation Plan for the *MENIFEE NORTH* Specific Plan. (See Technical Appendices.) The illustrated, on-site roadway improvements will be phased in accordance with this plan.
- 2) Heavy through-traffic should be eliminated from residential neighborhoods. Major roadways should be implemented as non-access roadways, with residential neighborhoods served by smaller residential collectors.
- 3) Each subdivision shall comply with the on-site and off-site street improvement recommendations and mitigation measures outlined in subsequent traffic studies for each individual project.



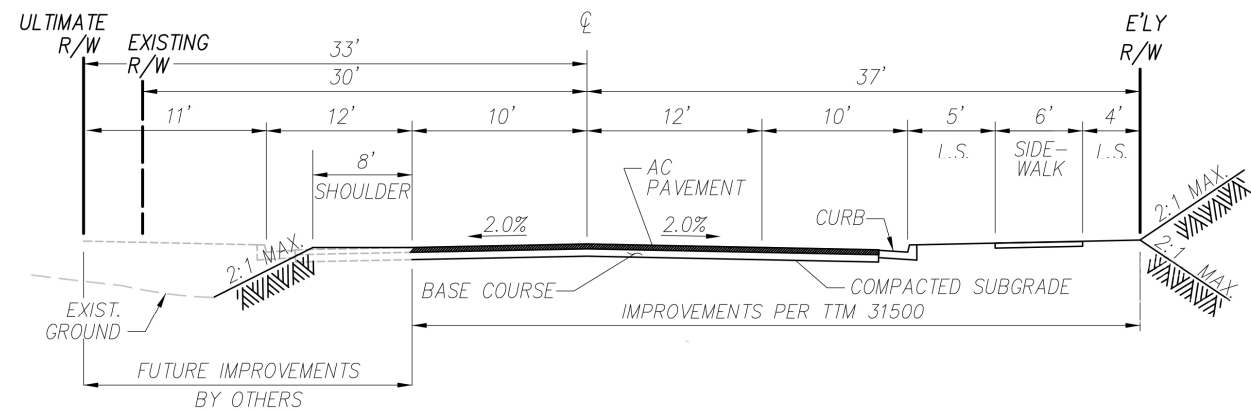
MENIFEE NORTH SP 260 - A2, SC4

FIGURE III-2

4) Roadway cross-sections are depicted in Figure III-3 and Figure III-4. On-site roads will be constructed as:

- Expressway (220' ROW)
- Major Highway (118' ROW)
- Secondary Highway (100' ROW)
- Industrial Collector (78' ROW)
- Modified Collector (77' ROW)
- Collector (74' ROW)
- Modified Collector (70' ROW)
- Enhanced Local Road (60' ROW)
- Local streets (56' ROW)

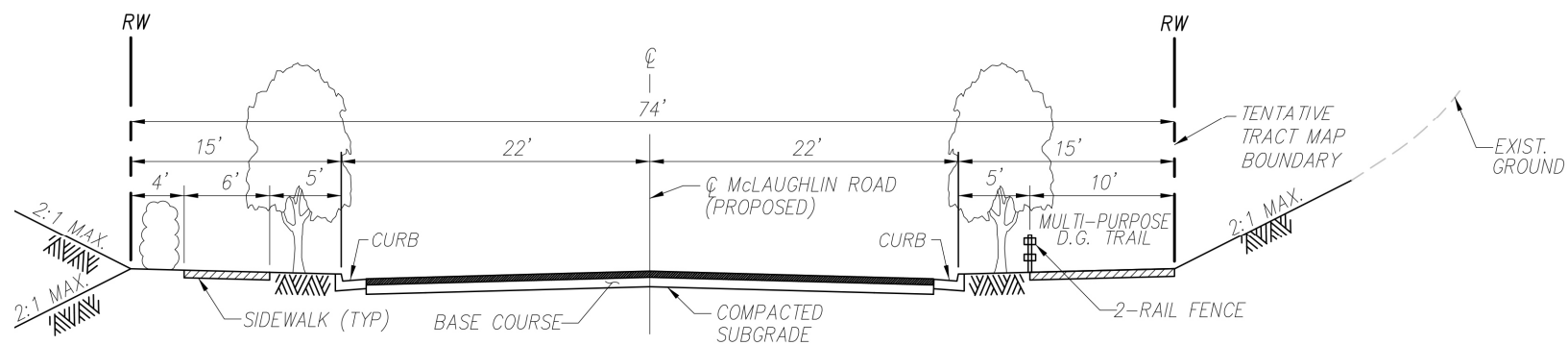
- 4a) The minimum interior local street width may be reduced from the 60-foot standard to no less than 56 feet for the purpose of providing more landscaped area. Any approved reduction shall be accomplished by reducing the width of the asphalt travel lanes by two feet in each direction. Any reduction in street width shall be used solely to augment landscape areas on the exterior street and shall be done on a 1:1 basis.
- 4b) A reduction in the width of a local street may be appropriate to reduce traffic speeds on internal residential streets. Such reduction in pavement width must be utilized to accomplish other design objectives, e.g., enhancing the buffer treatment of reverse frontage lots, providing for sheltered parking opportunities, or incorporating bus stop turnouts.
- 5) Landscape requirements shall be in accordance with the Roadway Landscape Treatments as depicted in Section IV, Design Guidelines.
- 6) Major roadway improvements shall be financed through an assessment district or similar financing mechanism.
- 7) The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the Board of Supervisors.
- 8) All projects, including subdivisions and plot plans within this Specific Plan, shall be subject to the Development Monitoring Program as described in the Development Monitoring Program (Section II.C) of this Specific Plan.
- 9) Any application for any subdivision within the Specific Plan boundary (including a Schedule I Parcel Map) shall cause the design and construction of the Specific Plan master planned infrastructure within the final map boundaries, with the exception of a division of land that has no parcel less than 40 acres or that is not less than a quarter of a quarter section.
- 10) All roadways intersecting four lane facilities or greater shall be a minimum of 66 feet of right-of-way and constructed in accordance with Standard 103, Ordinance 461 from the four-lane facility to the nearest intersection.



EMPEROR ROAD - (SEGMENT 1)

BETWEEN MCLAUGHLIN AND ETHANAC ROAD/SR 74

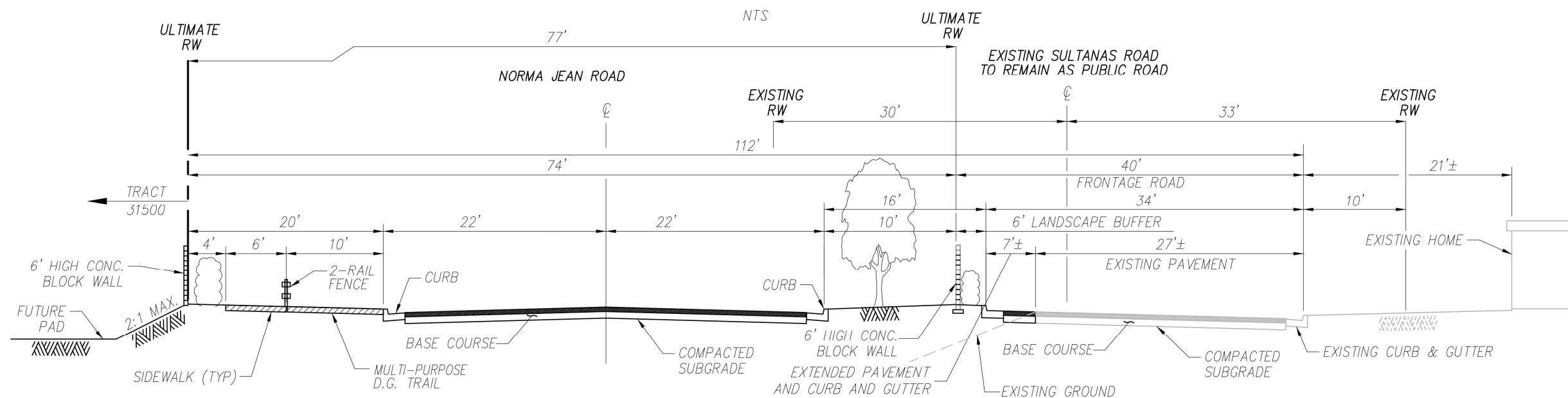
NTS



NORMA JEAN ROAD - (SEGMENT 2A)

BETWEEN EMPEROR ROAD AND SULTANAS ROAD

NTS

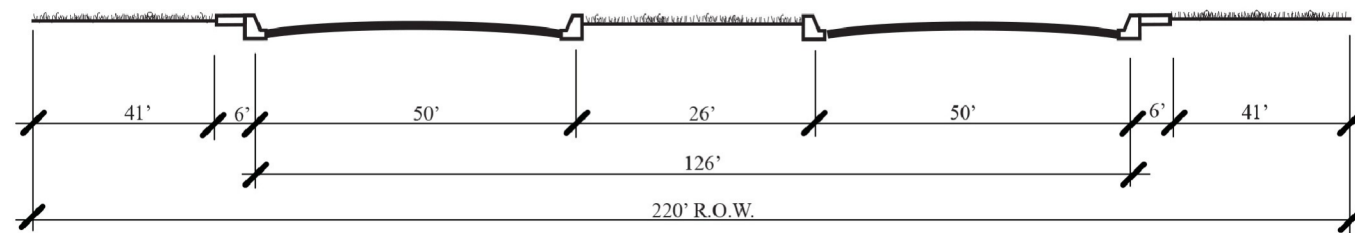


NORMA JEAN ROAD/SULTANAS ROAD - (SEGMENT 2B)

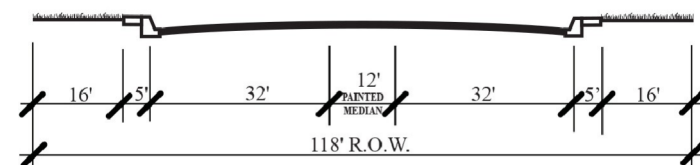
FROM SOUTH END OF SULTANAS ROAD TO ETHANAC ROAD/SR74

NTS

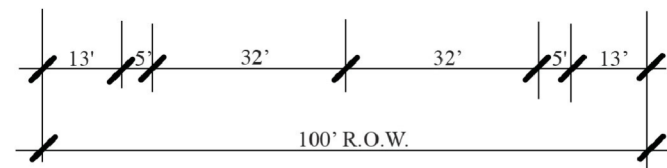
Source(s): ACD Engineering



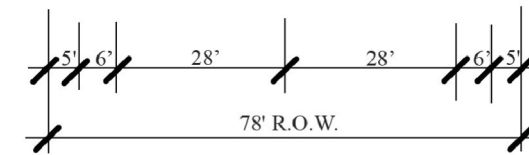
EXPRESSWAY (220' ROW)
Highway 74/Ethanac Road (Briggs Road to Juniper Flats Road)



MAJOR (118' R.O.W.)
Briggs Road

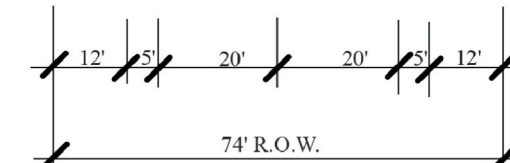


SECONDARY (100' R.O.W.)
Rouse Road
Watson Road
Juniper Flats Road (Highway 74 to Alicante Road)



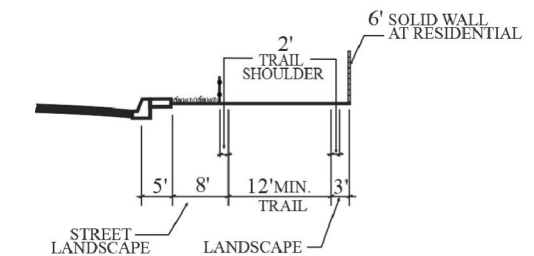
INDUSTRIAL COLLECTOR (78" R.O.W.)

Sultans Road (Highway 74 to North Boundary of Planning Area 44)
Street "B" (Emperor Road to Briggs Road)



COLLECTOR (74' R.O.W.)

Leon Road
Emperor Road (McLaughlin Road to Rouse Road)
Sultans Road (North Boundary of Planning Sea 44 to Watson Road)



TRAIL OPTION

Source(s): ACD Engineering, RCIP

MENIFEE NORTH SP 260 - A2, SC4

T&B PLANNING
17942 East 17th Street, Suite 100, Tustin, CA 92780
P: 714.505.6362 F: 714.505.6361
www.tbplanning.com

FIGURE III-4

ROADWAY CROSS-SECTIONS (2 of 2)

- 11) All typical sections shall be per Ordinance 461, or as approved by the Transportation Department.
- 12) All intersection spacing and/or access openings shall be per Standard 114, Ordinance 461, or as approved by the Transportation Department.
- 13) No textured pavement accents will be allowed within any County right-of-way.
- 14) Mid-block crosswalks are not approved.
- 15) No driveways or access points as shown in this Specific Plan are approved. All access points shall conform to Transportation Department standard access spacing, depending upon the street's classification.
- 16) This Specific Plan proposes no drainage facilities to be maintained by the Transportation Department. Therefore, all facilities other than facilities to be constructed in the road right-of-way will be either private or be Flood Control District facilities.
- 17) Per the Riverside County General Plan, "*Neighborhood Commercial Uses must be located along Secondary or greater highways, at or near intersections with Secondary Highways.*"
- 18) The Transportation Department's policy regarding streets adjacent to the park sites requires a minimum of 66' right-of-way (Standard 103).
- 19) Any landscaping within public road rights-of-way will require approval by the Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism as approved by the Transportation Department.
- 20) All bike trails developed as part of this Specific Plan should be designated as Class I bikeways generally located within separate rights-of-way in accordance with the standards contained within Chapter 1000 of the California Department of Transportation - Highway Design Manual (Fourth Edition).
- 21) Right-of-way dedication for Sultanas Road improvements beyond those now existing will be granted from the *MENIFEE NORTH* project site.
- 22) Where the project site boundary abuts Paradise Palm Drive, access to the adjacent golf course will be re-established at no cost to Highland Palms residents as right-of-way improvements in this area proceed.

Table IIA
CIRCULATION ELEMENT ROADWAYS

ROADWAY NAME	CURRENT CIRCULATION ELEMENT CLASSIFICATION	PROPOSED CIRCULATION ELEMENT CLASSIFICATION
Highway 74/Ethanac Road	Major 100' ROW	Expressway 220' ROW
Briggs Road	Major 118' ROW	Major 118' ROW
Rouse Road	Secondary 100' ROW	Secondary 100' ROW
Watson Road (Briggs Road to Juniper Flats Road)	Secondary 100' ROW	Secondary 100' ROW
McLaughlin Road (Briggs Road to Emperor Road)	Secondary 100' ROW	Secondary 100' ROW
Juniper Flats Road (Highway 74 to Alicante Drive)	Secondary 100' ROW	Secondary 100' ROW
Norma Jean Road (Previously referred to as McLaughlin Road/Sultanas Road) (Highway 74 to the northern half of Planning Area 32)	Secondary 100'ROW	Modified Collector 77' ROW
Norma Jean Road (Previously referred to as McLaughlin Road/Sultanas Road) (Emperor Road to the southern half of Planning Area 32)	Secondary 100'ROW	Modified Collector 74' ROW
Emperor Road (Highway 74 to McLaughlin Road)	Industrial Collector 78'ROW	Modified Collector 70' ROW
Street "B"	Industrial Collector 78' ROW	Industrial Collector 78' ROW
Sultanas Road (Highway 74 to Northern boundary of Planning Area 44)	Industrial Collector 78' ROW	Industrial Collector 78' ROW
Sultanas Road (Watson Road to Northern boundary of Planning Area 44)	Collector 74' ROW	Collector 74' ROW
Emperor Road (McLaughlin Road to Rouse Road)	Collector 74' ROW	Collector 74' ROW
Leon Road	Collector 74' ROW	Collector 74' ROW

4. DRAINAGE PLAN

a. Drainage Plan Description

The *MENIFEE NORTH* Specific Plan is mainly located within the boundaries of the Riverside County Flood Control and Water Conservation District's (RCFCD) Homeland/Romoland Area Drainage Plan (see Figure III-5, *Regional Drainage Plan*). A southern portion of the project site is outside of this area drainage plan, and there are no area drainage plans developed at this time to address drainage issues in this southern area.

The master drainage plan developed by the applicant suggests a combination of master drainage lines proposed by the RCFCD Area Drainage Plan, and new or revised lines per the *MENIFEE NORTH* Specific Plan to be utilized to address off-site drainage issues relative to the site. Figure III-6 outlines the proposed storm drain system within the project site.

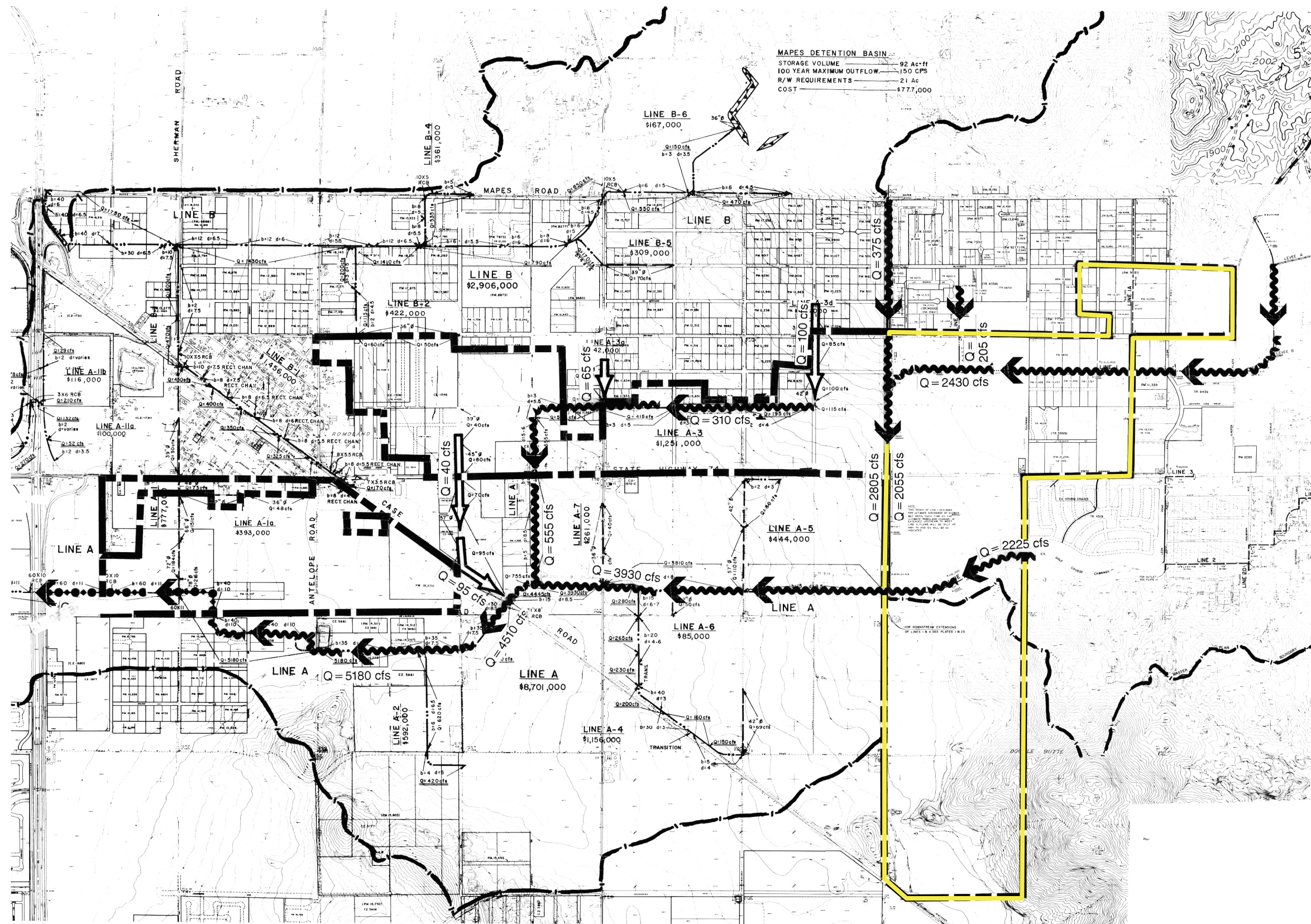
Off-site flows will be intercepted at existing drainage courses where possible, and if necessary, drainage swales will be constructed to concentrate all off-site drainage at proposed inlets on the north project boundary.


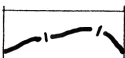
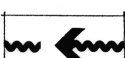
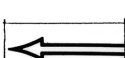
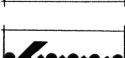
The Romoland/Homeland Area Drainage Plan anticipates the construction of storm drain facilities north of *MENIFEE NORTH* to reduce some of the run-off tributary to the north boundary of the project. Since these off-site facilities are not constructed yet, *MENIFEE NORTH* development is responsible to intercept the run-off at its existing conditions. Due to increased run-off in Lines A-3 and A-1, on-site retention basins are proposed in order to reduce flows to designed run-off per the Romoland/Homeland Drainage Plan. Lines 1 and 4 will be constructed per the Homeland/Romoland Area Drainage Plan. A portion of Line A within the Specific Plan area has already been designed and will be utilized in the Specific Plan. On-site regional drainage facilities could be required if storm water exceeds street capacities. The actual size and location of the on-site storm drain system will be determined during design stage of on-site improvement plans.

The construction of Line 1 will cause diversion of flows. This line discharges to proposed Line A per the Master Drainage Plan. The construction of Line A through the site creates a diversion. A portion of Line A from Antelope Road to I-215 has already been designed by RCFCD but it cannot be constructed until the San Jacinto River project is completed. For the portion of Line A through the project to be approved, all downstream facilities including the Antelope Road stormdrain should be established or under construction. A financing mechanism such as a Community Facilities District (CFD) or Assessment District may be formed by all the affected property owners in order to construct the facilities between Antelope Road and the project boundary.

b. Drainage Plan Development Standards

- 1) Drainage and flood control facilities and improvements shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements.
- 2) It is anticipated that major backbone drainage facilities will be maintained by the County Flood Control District. Local drainage devices within street rights-of-way will be maintained by County Transportation Department.

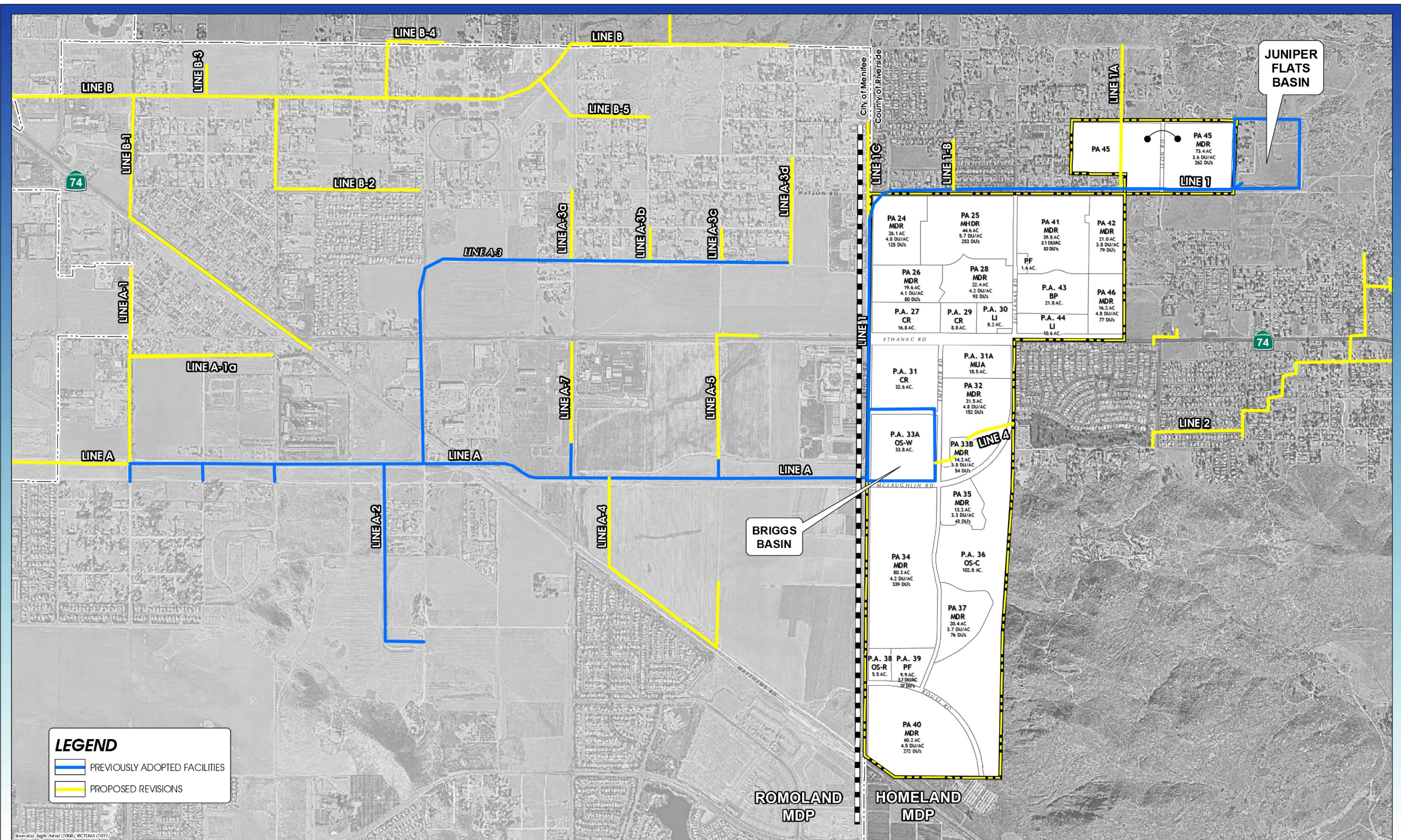


-  PROJECT BOUNDARY
-  MASTER DRAINAGE PLAN (MDP) BOUNDARY
-  MDP PROPOSED OPEN CHANNEL
-  PROPOSED UNDERGROUND STORM DRAIN
-  MDP PROPOSED DIRT TRAP CHANNEL

Source(s): J.F. Davidson & Associates, Riverside County Flood Control and Water District

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FIGURE III-5



MENIFEE NORTH SP 260 - A2, SC4

FIGURE III-6

- 3) An erosion, sedimentation and flood control plan should be prepared for all development areas draining into the San Jacinto River and Salt Creek. This plan should include no improvements, and should protect these water courses from erosion and siltation during and after construction. Drainage of urban areas should be controlled prior to reaching either the San Jacinto or Salt Creek courseways through the use of velocity reduction devices at the points where run-off enters the waterways.

- 4) All projects proposing construction activities including: clearing, grading or excavation that results in the disturbance of at least five acres of total land area, or activity which is part of a larger common plan of development of one acre or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. There is a statewide General Permit applicable to most areas of the state; however, because *MENIFEE NORTH* is located in the San Jacinto Watershed, the project is subject to a special NPDES permit (No. CAG 618005) per Order No. 01-34 as adopted by the California Regional Water Quality Control Board, Santa Ana Region, on January 19, 2001. The developer or builder shall comply with the requirements of the NPDES construction permit by developing and implementing a Storm Water Pollution Prevention Plan (SWPPP), approved by the Executive Officer of the Regional Water Quality Control Board, that specifies Best Management Practices (BMPs) to minimize pollutants in storm water runoff. During construction, the project would follow the specifications per the site's SWPPP.

5. WATER AND SEWER PLAN

The water and sewer facilities requirements identified below are based on correspondence from Eastern Municipal Water District (November 19, 1992) and the project civil engineer (June 1, 1993). The *MENIFEE NORTH* project proposes to phase sewer and water system improvements to serve the project area which would allow initial developments to proceed by connecting to existing facilities. As these developments proceed, generated capital from the collection of connection fees will provide funding for new facilities to serve the entire area. In addition, as development proceeds, *MENIFEE NORTH* will have the ability to form Community Facility/Assessment Districts to provide funding for additional improvements.

a. **Water Plan Description**

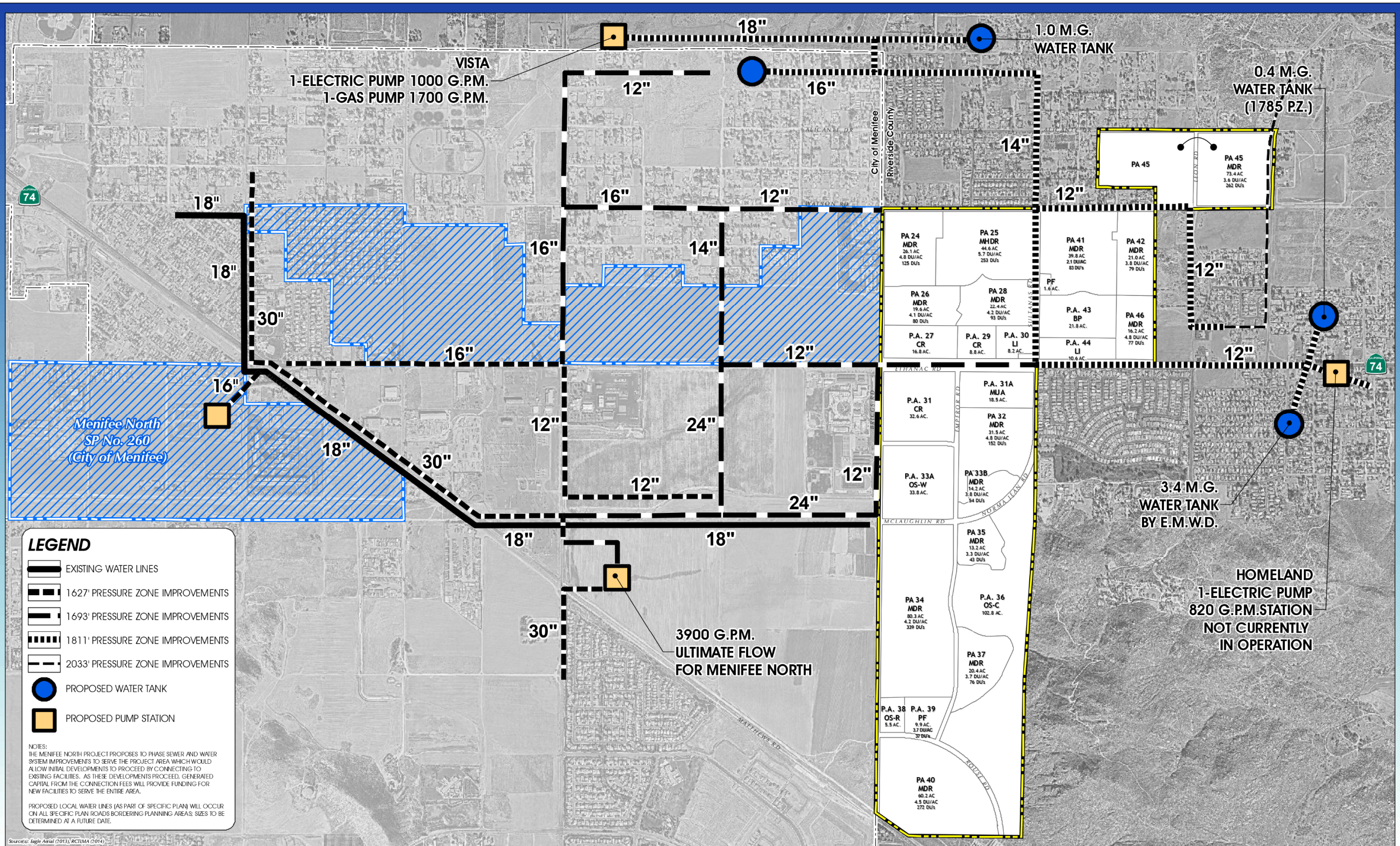
Domestic water will be supplied to the *MENIFEE NORTH* project area by Eastern Municipal Water District (EMWD). EMWD's facilities master plan indicates that system improvements should occur within the project area. The proposed backbone water distribution and storage system improvements for the project area are illustrated on Figure III-7, *Master Water Plan*. The plan for providing water service to the area is based on EMWD's regional planning effort and therefore is compatible with the District's current planning concepts. District water system improvements include approximately 12 million gallons of storage with water lines ranging in diameter from 12" to 30". Pumping improvements include approximately 5,500 gallons per minute of new capacity as well as reworking and/or automation of the Ellis, Homeland and Vista pumping plants.

The project is included within four existing water pressure zones: 1693' zone, 1785' zone, 1811' zone, and 2033' zone. Development is anticipated to occur within Planning Areas 24, 25 and 45 by connecting to the 1811'/1785' zone system with minimal off-site water line improvements.

Planning Areas 33 and 34 will be served by constructing additional pumping capacity at the Vista Pump Station to increase the water supply into the 1811' zone. The storage for Planning Areas 33 and 34 will initially be provided by pressure reduction into the 1693' pressure zone from the 1811'/1785' pressure zone.

Currently, the 1693' zone has no storage. Water is pumped from the 1697' zone through the 1693' zone and into the 1811' zone. Currently, there is approximately one million gallons of storage in the 1811' zone and 0.4 million gallons of storage in the 1785' zone. In EMWD's master plan, the 1811' zone and the 1785' zone merge and continue providing service as the 1811' zone. This will occur once EMWD constructs a 3.4 million gallon storage tank southeasterly of Juniper Flats Road and Highway 74, along with other facilities necessary to fill this tank, providing available storage capacity for new connections.

It is anticipated that EMWD will require the project to construct reclaimed water lines on-site so that when the regional system is complete, the project can ultimately utilize reclaimed water for certain types of irrigation.



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FIGURE III-7

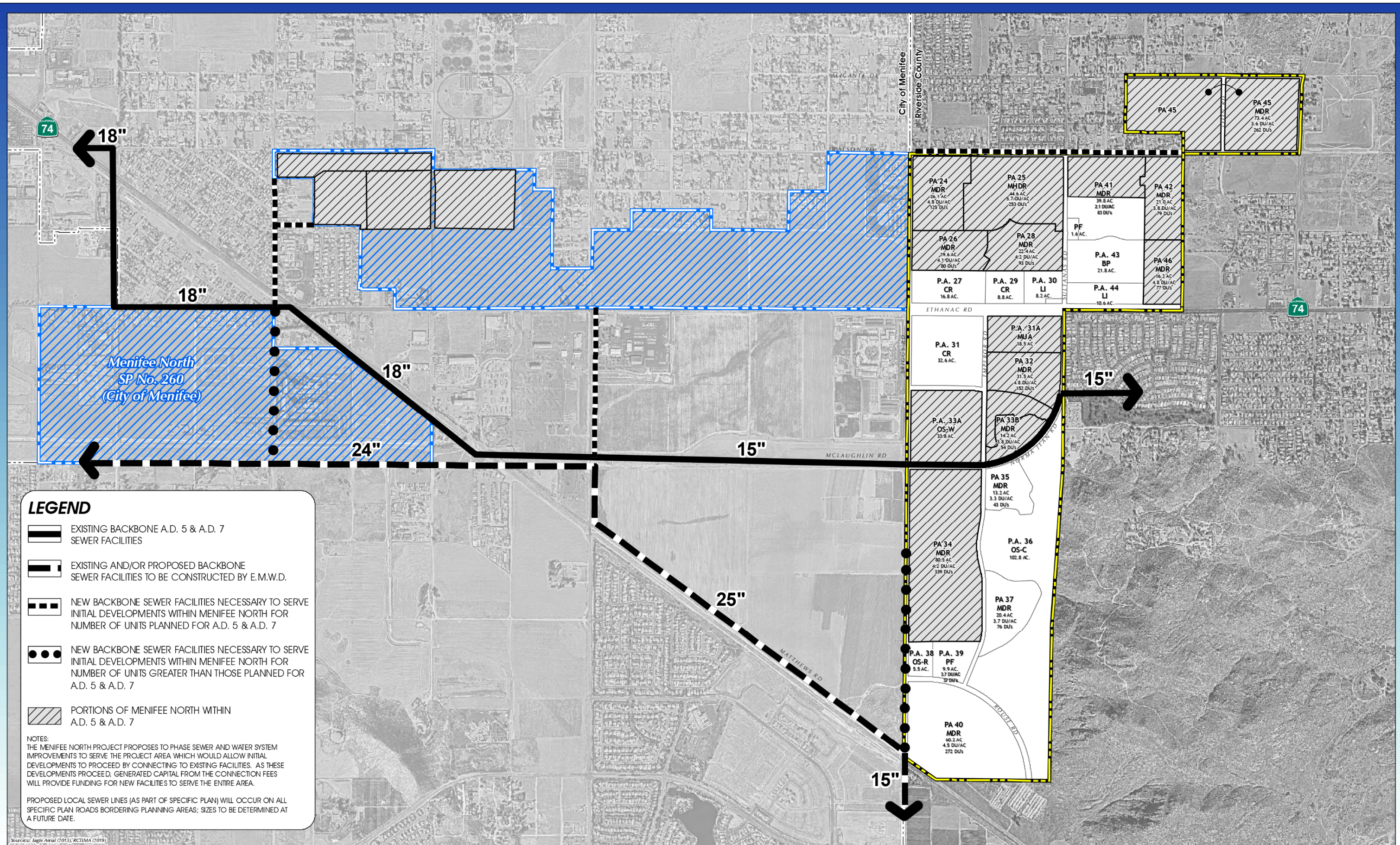
b. Sewer Plan Description

Collection and treatment of wastewater will be provided by Eastern Municipal Water District (EMWD). Portions of the *MENIFEE NORTH* project are located within EMWD Assessment Districts Nos. 5 (Romoland AD) and 7 (Homeland AD). These portions of the project site are eligible to connect to the AD funded facilities for wastewater service. However, due to the project's service demand above that which was anticipated at the time AD Nos. 5 and 7 were formed, some improvements to these systems would be necessary to provide an adequate level of service.

In order for the portions of the project area not located within AD Nos. 5 or 7 to receive sewer service, system improvements will be necessary. EMWD's wastewater facilities master plan describes a conceptual layout of gravity-flow sewer lines that would accomplish the required service. The *MENIFEE NORTH* project would be required to design and construct master-planned facilities which would allow for a system of sewers located within public road right-of-ways which are capable of conveying all on-site generated flow by gravity. Backbone wastewater system improvements necessary to provide an adequate level of service to *MENIFEE NORTH* are illustrated on Figure III-8, *Master Sewer Plan*. For residential areas located within AD Nos. 5 and 7, sewer lines will be constructed to join the existing AD funded sewer facilities to developing areas up to the AD planned densities. Densities greater than planned for the ADs will pay connection fees and construct facilities to join the District funded 24" and larger trunk sewer main that will connect to the expanded Perris Valley Regional Water Reclamation Facility.

c. Water and Sewer Plan Development Standards

- 1) All water and sewer lines shall be placed underground.
- 2) All water and sewer lines shall be designed per the Eastern Municipal Water Districts requirements.
- 3) The infrastructure system will be installed to the requirements of the County Building and Safety Department.
- 4) Water and sewage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
- 5) The project developer shall submit information which describes estimates of the project's reclaimed water demand, and landscape/irrigation conceptual plans to EMWD for review. At the time of EMWD's review, a determination shall be made regarding requirements for reclaimed water use and system improvements by the subject project.



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FIGURE III-8

6. OPEN SPACE AND RECREATION PLAN

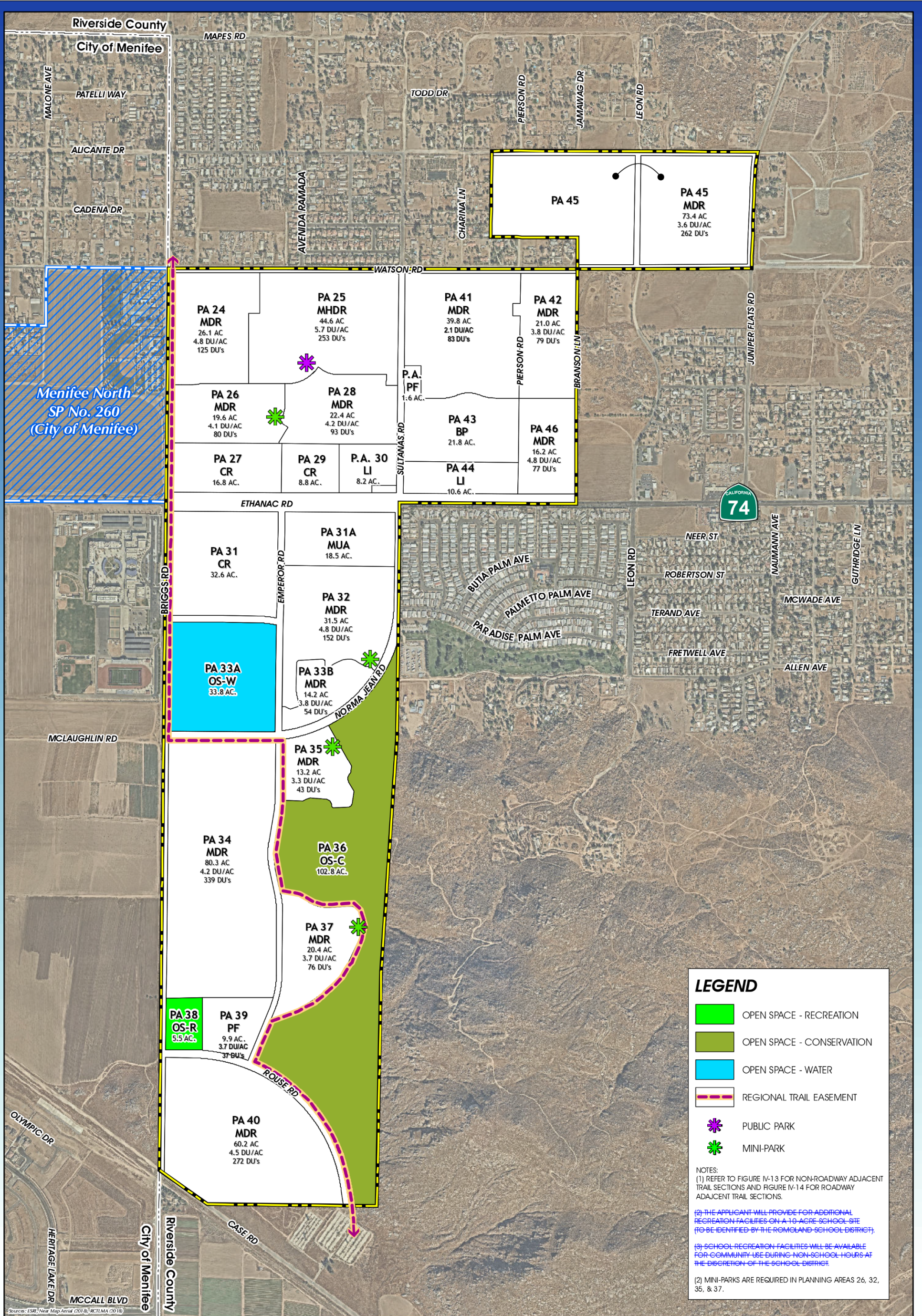
a. Open Space and Recreation Plan Description

The *MENIFEE NORTH* project provides for an open space and recreation program which offers recreational opportunities in which all members of the community can participate. The program incorporates many diverse elements in a coordinated, cohesive plan that interrelates with and links the various neighborhoods of the community and certain destination points, such as a neighborhood parkland, open spaces and shopping facilities. Recreational opportunities vary from passive (i.e. undeveloped open space), to active (i.e. community parks and mini-parks). Varying types and degrees of activities will be available which will provide residents with the opportunity to take quiet "walks in the park," participate in social gatherings, and participate in active outdoor informal recreational activities such as hiking and biking. Figure III-9, *Open Space and Recreation Plan*, depicts the various open spaces and recreational areas that are proposed for *MENIFEE NORTH*. The elements and acreages of the *Open Space and Recreation Plan* are summarized in Table III and discussed below.

The adopted MENIFEE NORTH Specific Plan Amendment No. 2 provided 29.4 acres of neighborhood parkland as well as trails and other open space. However, since the adoption of Amendment No. 2, the City of Menifee incorporated, and annexed the portion of MENIFEE NORTH located west of Briggs Road, which included 23.9 acres of the Specific Plan’s 29.4 acres of recreational facilities.

**Table III
OPEN SPACE AND RECREATION PLAN SUMMARY**

	ACREAGE
Parks	
● Community Park (Planning Area 38)	5.5
● Mini-Parks (Portions of Planning Areas 26, 32, 35, and 37)	5.3
● Public Park (within a portion of Planning Area 25).....	4.9
SUBTOTAL	15.7
Natural Open Space.....	102.8
Community Trail	—
Landscaped Parkways	—
OVERALL OPEN SPACE AND RECREATION OPPORTUNITIES	118.5



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FIGURE III-9

- **COMMUNITY PARK:** The *MENIFEE NORTH* Specific Plan includes one community park in Planning Area 38, and is designated as Open Space-Recreation. This 5.5-acre park is located in the southern portion of the community and is designed to offer a variety of active recreational opportunities to *MENIFEE NORTH* residents. Proposed park amenities include picnic areas, tot lots, sport fields and courts, and barbecue facilities, as well as parking areas and restrooms.
- **PUBLIC PARK:** One (1) 4.9-acre public park is located within residential Planning Area 25 and is designed to offer a variety of recreational opportunities to *MENIFEE NORTH* residents and residents of the surrounding communities. Park amenities may include a sports field, basketball court, tot lots, shaded structures, and walking paths. This park will be owned and maintained by the Valley-Wide Recreation and Park District.
- **MINI-PARKS:** Four mini-parks, totaling approximately 5.3 acres are proposed within the *MENIFEE NORTH* community. The mini-parks, varying in size from 0.2 acres to 4 acres are proposed within Planning Areas 26, 32, 35 and 37. These parks will function as central gathering places for the neighborhoods in which they are located, adding to the overall amenity package for *MENIFEE NORTH*. The mini-parks may be either public or private.
- **NATURAL OPEN SPACE:** The *MENIFEE NORTH* community provides for 102.8 acres of natural open space. The open space—represented by Planning Area 36—is located on the southeastern portions of the site. The open space may allow for some passive recreational activities, depending upon the nature of the vegetation and terrain.
- **REGIONAL TRAIL AND LANDSCAPED PARKWAYS:** A regional trail will be provided in Planning Area 36 and along designated project roadways. Landscaped parkways will be incorporated within the streetscapes of major project roads. These elements will provide additional open space for pedestrian use.

The Specific Plan limits were revised in Substantial Conformance No. 2 provide for 15.3 acres of dedicated, neighborhood parkland, which include a 5.5-acre community park in Planning Area 38, a 4.9-acre Public Park in Planning Area 25, and 5.3-acres of pocket parks in Planning Areas 26, 32, 35, and 37. In addition passive recreation opportunities are provided in Planning Area 36 (which includes a regional trail).

Riverside County's policy implementing the State Quimby Ordinance (regulating parkland requirements) requires that 5.0 acres of parkland be provided for each 1,000 residents. Using the County's standard of 2.59 persons per single-family dwelling unit (attached garage) and 2,025 dwelling units, *MENIFEE NORTH* is estimated to generate a population of 5,245. As depicted below in Table IIIA - Quimby Act Requirements,

the project would require 26.2 acres of parkland. However, the annexation of the area west of Briggs Road by the City of Menifee removed 23.9 acres of the Specific Plan’s 29.4 acres of recreational facilities. Substantial Conformance No. 2 increased the park acreage within the County portion of the SP from 10.6 to 14.0 acres.

**Table IIIA
QUIMBY ACT REQUIREMENTS**

LAND USE	SPECIFIC PLAN RESIDENTIAL DENSITY	ORDINANCE 460 HOUSEHOLD GENERATION RATE	NO. OF DWELLING UNITS	TOTAL RESIDENTS	QUIMBY ACREAGE REQUIRED
Single Family Detached	Medium and Medium-High	2.59	2,025	5,245	26.2
TOTAL				5,245	26.2

b. Open Space and Recreation Plan Development Standards

- 1) A community park will be provided for the benefit of all residents within the community.
- 2) At a minimum, the community park will contain the following facilities/equipment: Picnic area(s), tot lot(s), two sport fields or courts, restrooms and parking areas.
- 3) The community park (Planning Area 38), Public Park (Planning Area 25), natural open space (Planning Area 36), the regional trail and landscaped parkways will be publicly owned and maintained. Possible maintenance mechanisms include CSA 146, Valley-Wide Recreation and Park District and the formation of a new Community Service District. The maintenance mechanism shall be selected at the time that the first implementing development application is submitted.
- 4) The mini-parks may either be public or private. If they are public, they shall be owned and maintained as described in item 3) above. If they are private, a neighborhood homeowners' association shall be formed for ownership and maintenance.
- 5) All recreational facilities will be landscaped, and where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
- 6) All recreational facilities will provide parking in accordance with Riverside County standards.
- 7) Landscaping within recreation and open space areas will be further governed by the Development Standards contained with this Specific Plan (Section III.B.7.) and the Design Guidelines contained within this Specific Plan (Section IV).

7. GRADING PLAN

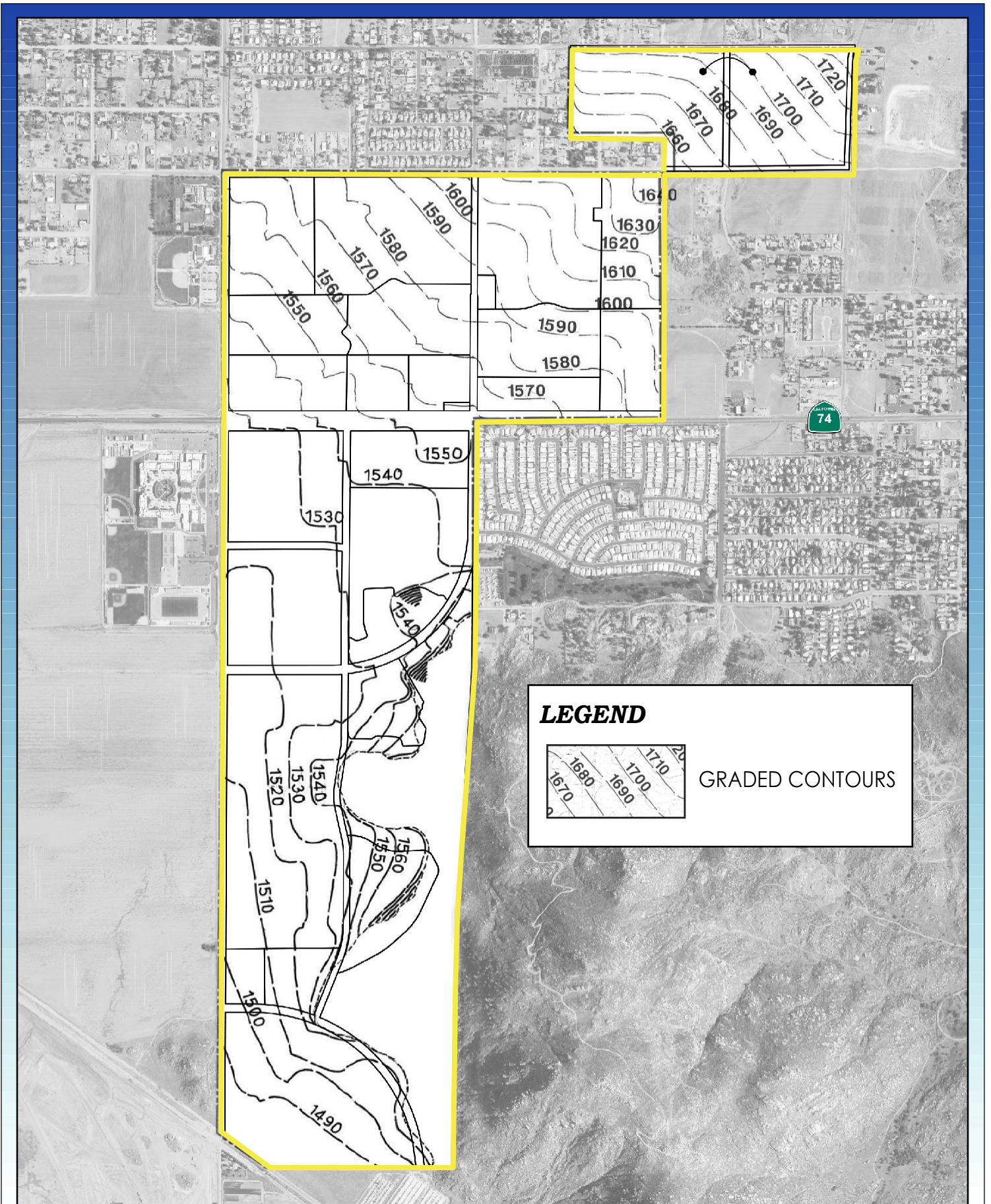
a. Grading Plan Description

The *MENIFEE NORTH* Specific Plan grading is tailored to the existing topography of the project site. It is intended that the proposed plan be sensitive to and reflect natural landforms where possible, incorporating project requirements for drainage and infrastructural improvements so that residential, commercial, industrial and recreational uses are accommodated. (See Figure III-10, *Grading Concept*.)

According to an earthwork quantity take-off conducted by the project engineer, it appears that the project site will balance and will not require import or export.

b. Grading Plan Development Standards

- 1) All grading activities shall be in substantial conformance with the overall *Grading Concept* (Figure III-10).
- 2) Prior to any development within any area of the Specific Plan boundaries, an overall Conceptual Grading Plan for the portion in process shall be submitted for Planning Department approval. The Grading Plan for each such area shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that area, and shall include: Techniques employed to prevent erosion and sedimentation during and after the grading process; approximate time frames for grading; identification of areas which may be graded during higher probability rain months (January through March), and preliminary pad and roadway elevations.
- 3) All streets shall have a gradient not exceeding 15%.
- 4) Graded slopes shall be oriented to minimize visual impacts to surrounding areas.
- 5) The overall slope, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
- 6) The toes and tops of all slopes higher than ten (10) feet shall be rounded with curves with radii designed in proportion to the total height of the slope, where drainage and stability permit such rounding.
- 7) Cut or fill slopes exceeding one hundred (100) feet in horizontal length, if any, shall be graded to meander the toe and top of the slope.



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FIGURE III-10

GRADING CONCEPT



- 8) Slopes exceeding ten (10) feet in vertical height shall be hydromulched, prior to final acceptance and prior to the beginning of the rain season (October-March).
- 9) Prior to initial grading activities, a soils report and a geotechnical study shall be performed that further analyze on-site soil conditions and slope stability and include appropriate measures to control erosion and dust. (See Preliminary Geotechnical Investigations in Appendices.)
- 10) Detailed grading plans shall be prepared prior to any on-site grading for each project or group of projects.
- 11) All dwelling units shall have a minimum five (5) foot side setback and a minimum ten (10) foot rear setback from the toe of slopes higher than ten (10) feet. County Subdivision Ordinance 348 will be observed regarding setback requirements.
- 12) Where cut and fill slopes are created higher than ten (10) feet, detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to grading plan approval. The plans shall be reviewed for type and density of ground cover, shrubs and trees.
- 13) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibility of other parties.
- 14) Angular forms shall be discouraged. The graded form shall reflect natural terrain, where possible.
- 15) Potential brow ditches, terrace drains or other minor swales, determined necessary at future stages of project review, shall be lined with natural erosion control materials or concrete.
- 16) Grading work shall be balanced on-site whenever possible.
- 17) Graded but undeveloped land shall be maintained weed-free and planted with interim landscaping within 90 days of completion of grading, unless building permits are obtained.
- 18) Unless otherwise approved by the County of Riverside Department of Building and Safety, all cut and fill slopes shall be constructed at inclinations of no steeper than two (2) horizontal feet to one (1) vertical foot. The Grading Plan will reflect a contouring intended to control slope erosion.
- 19) Natural features such as significant rock outcrops shall be protected to the greatest extent feasible in the siting of individual lots and building pads.
- 20) A grading permit shall be obtained from the County of Riverside, as required by the County Grading Ordinance 457, prior to grading. The project shall comply with all applicable provisions of Ordinance 457.
- 21) If any historic or prehistoric remains are discovered during grading, a qualified archaeologist should be consulted to ascertain their significance. If human remains are discovered, work shall halt in that area and procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be followed, including notification to the County Coroner.
- 22) Soil stabilizers shall be used to control dust as required by SCAQMD Rule 403.

- 23) The developer or builder for the *MENIFEE NORTH* Specific Plan shall be required, pursuant to requirements of the State Water Resources Control Board, to obtain a National Pollutant Discharge Elimination System (NPDES) construction permit, prior to issuance of grading permits. There is a statewide General Permit applicable to most areas of the state; however, because *MENIFEE NORTH* is located in the San Jacinto Watershed, the project is subject to a special NPDES permit (No. CAG 618005) per Order No. 01-34 as adopted by the California Regional Water Quality Control Board, Santa Ana Region, on January 19, 2001. The developer or builder shall comply with the requirements of the NPDES construction permit by developing and implementing a Storm Water Pollution Prevention Plan (SWPPP), approved by the Executive Officer of the Regional Water Quality Control Board, that specifies Best Management Practices (BMPs) to minimize pollutants in storm water runoff. During construction, the project would follow the specifications per the site's SWPPP.

8. ILLUSTRATIVE LANDSCAPING PLAN

a. Landscaping Plan Descriptions

As illustrated on Figure III-11, *Conceptual Landscape Plan*, project landscaping will play an important role in maintaining project design themes, while emphasizing community continuity. This section of the Specific Plan provides a general description and development standards for the landscaping concept. Detailed landscaping information is provided in the Design Guidelines contained within this Specific Plan (Section IV.D.).

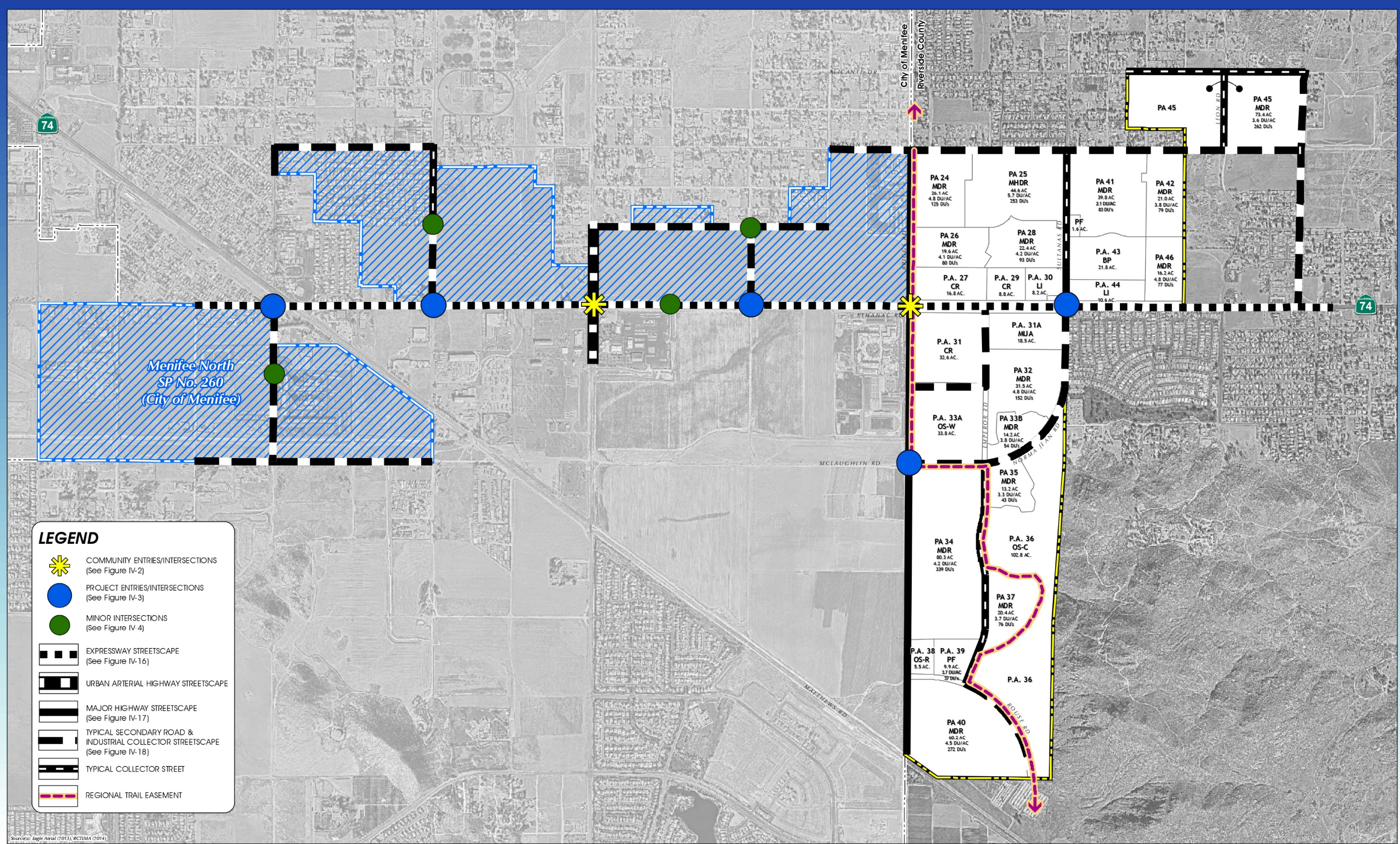
Entry monumentation will provide initial definition for the site, and will be viewed when approaching the site from any direction. Once within the site, entry monumentation will continue to be present at all key intersections. Monumentation will be developed in a hierarchical format which will provide initial community identification for each residential planning area, and the community as a whole.

Landscaping within the project itself will articulate community design elements at the commercial areas, business parks, parks, and will define boundaries and transitions between differing land uses and easements. Individual neighborhoods and residential development enclaves will also be distinguished by varied planting themes. Special treatments including land use transition areas, will be provided between certain planning areas identified in the Planning Area Development Standards (Section III.B.).

Landscaping will be used to identify the hierarchy of the street system, from major access roads to interior residential streets, creating definite landscaped corridors. This is accomplished by careful considerations of the relationship between street and plant materials characteristics such as size, form, texture and color.

b. Landscaping Plan Development Standards

- 1) All detailed landscaping programs for planning areas and roadways shall be prepared by a qualified landscape architect for review by County staff and decision-making agencies.
- 2) Project entry statements shall be designed with landscaping and architectural treatments that project a high quality image for the mixed-use development.
- 3) The landscaping design for the site shall include turf, trees, shrubs and ground cover compatible with natural vegetation on-site, where feasible. Detailed landscaping design information is provided in the Section IV, *Design Guidelines* of this Specific Plan.
- 4) Special treatment areas shall be designed to provide definition to certain planning areas as identified in Section III.B.
- 4) Major entrance roads into the *MENIFEE NORTH* project shall have planted medians and landscaped shoulders to define the project's design concept. The introductory landscape theme shall include elements such as tree clustering to reinforce the project theme and character.



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FIGURE III-11

- 5) Planted raised medians (according to Ordinance 461 Standard No. 113) may be established within any roadway right-of-way as long as access and safety criteria can be met as approved by the County Transportation Department.
- 6) Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for the stage of development, shall be submitted to the County Planning Department for approval. The improvement plans shall include, but not be limited to the following:
 - Final grading plan.
 - Irrigation plans certified by a landscape architect.
 - A landscape plan with seed mixes for mulching and staking methods; locations, type, size and quantity or plantings.
 - A hardscape plan with location, type and quantity of potential recreational amenities/facilities (in medium and medium-high density residential areas).
 - Fence treatment plans.
 - Special treatment/buffer area treatment plans.
- 7) The master developer shall be responsible for maintenance and upkeep of all slope plantings, common landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.
- 8) At the time of recordation of any tentative subdivision which contains a common greenbelt or open space area, the subdivision shall have those common areas conveyed to the master property-owners' association or appropriate public maintenance agency.
- 9) The landscaping plan shall reflect the following water conservation methods, whenever possible: landscape with low water-using plants, wherever feasible; group plants of similar water use to reduce over-irrigation of low water-using plants; use mulch extensively, as mulch applied on top of soil will improve the water-holding capacity of the soil by reducing evaporation and soil compaction; install efficient irrigation systems that minimize runoff and evaporation and maximize the water that will reach plant roots. Drip irrigation, soil moisture sensors, and automatic irrigation systems are a few methods of increasing irrigation efficiency.
- 10) Front yard landscaping shall be provided on all lots smaller than one-half acre. Typical plans will be submitted during tract map processing.
- 11) For further Landscape Development Standards, please refer to Section IV.D., Design Guidelines.

9. PUBLIC FACILITY SITES PHASING PLAN

a. Public Facility Phasing Description

In order to ensure timely development of public facilities, a phasing plan has been prepared for the community parks (Planning Area 38), Public Park (Planning Area 25), , and the mini-parks within Planning Areas 26, 32, 35, and 37. The public facility sites phasing plan is depicted in Figure III-12.

Public facility construction shall be phased as provided by the Public Facilities Phasing Table (Table IV), below:

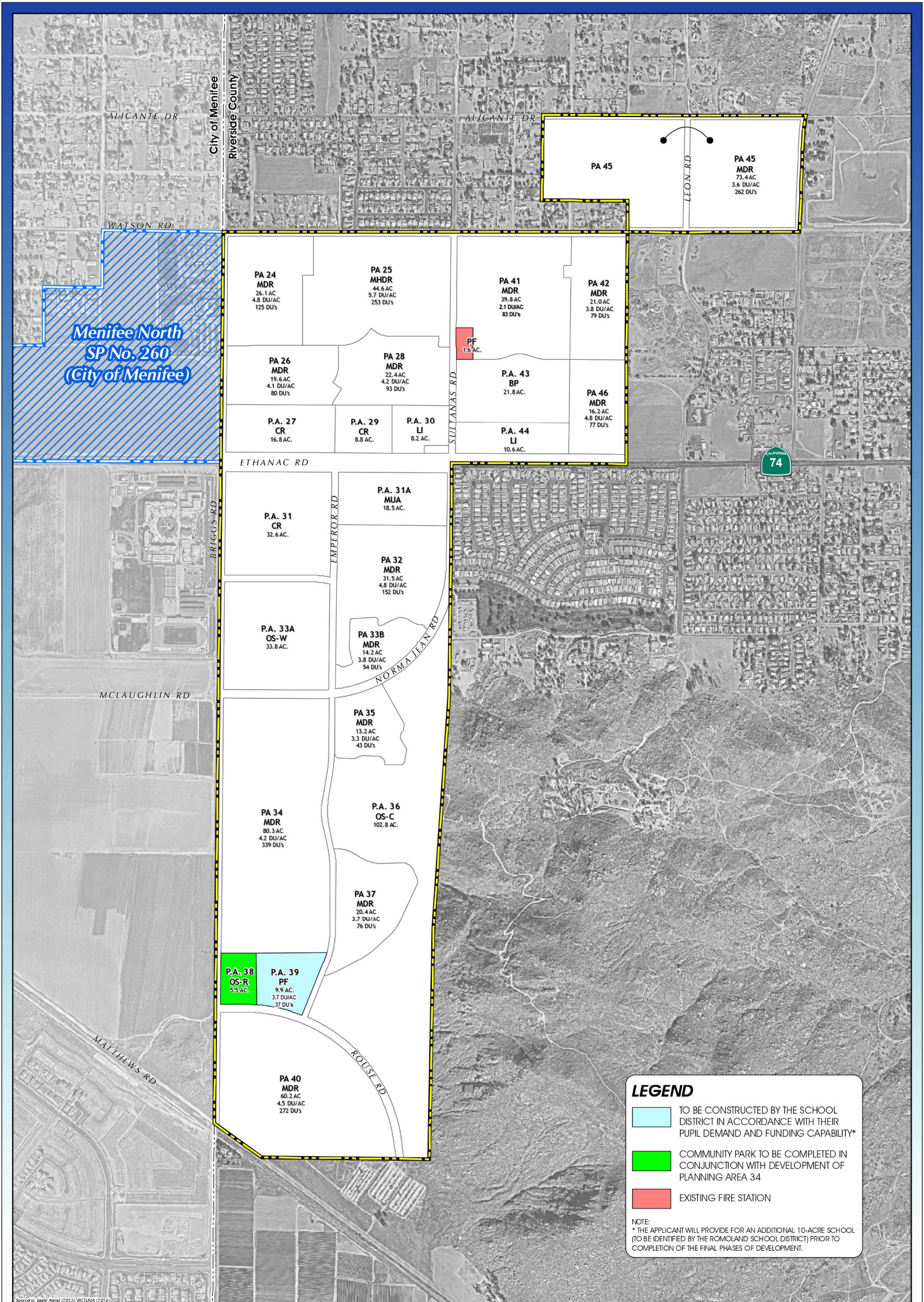
**Table IV
PUBLIC FACILITIES PHASING**

PLANNING AREA	PUBLIC FACILITY	ACREAGE	MILESTONES AND REQUIREMENTS
25 (portion)	Public Park	4.9	To be completed during Phase I, prior to issuance of the 280th building permit in Planning Areas 24 and 25.
26 (portion)	Mini-Park	0.2	To be completed during Phase I, prior to issuance of the 60th building permit in Planning Area 26.
32 (portion)	Mini-Park	4.0 *	To be completed during Phase I, prior to issuance of the 25th building permit in Planning Area 32.
35 (portion)	Mini-Park	0.4	To be completed during Phase I, prior to issuance of the 21st building permit in Planning Area 35.
38	Community Park	5.5	To be completed during Phase I in conjunction with the development of Planning Area 34.
37 (portion)	Mini-Park	0.2	To be completed during Phase III, prior to issuance of the 23rd building permit in Planning Area 37.
	Fire Station	1.6	Existing.

** The acreage of the mini-park in Planning Area 32 is an approximation.*

b. Public Facility Phasing Standards

- 1) Improvement plans for mini-park sites shall accompany the first development application for the Planning Area in which the park is contained.
- 2) Improvement plans for the 5.5-acre community park (Planning Area 38) shall accompany the first development application for Planning Area 34 or 40, whichever occurs first.
- 3) Improvement plans for the Public Park within Planning Area 25 shall accompany the first development application for Planning Area 25.



LEGEND

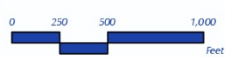
- TO BE CONSTRUCTED BY THE SCHOOL DISTRICT IN ACCORDANCE WITH THEIR PUPIL DEMAND AND FUNDING CAPABILITY*
- COMMUNITY PARK TO BE COMPLETED IN CONJUNCTION WITH DEVELOPMENT OF PLANNING AREA 34
- EXISTING FIRE STATION

NOTE:
* THE APPLICANT WILL PROVIDE FOR AN ADDITIONAL 10-ACRE SCHOOL (TO BE IDENTIFIED BY THE ROMOLAND SCHOOL DISTRICT) PRIOR TO COMPLETION OF THE FINAL PHASES OF DEVELOPMENT.

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FIGURE III-12

T&B PLANNING
 17542 East 17th Street, Suite 100, Tustin, CA 92780
 p. 714.505.6360 f. 714.505.6361



www.tbplanning.com

PUBLIC FACILITY SITE PHASING PLAN

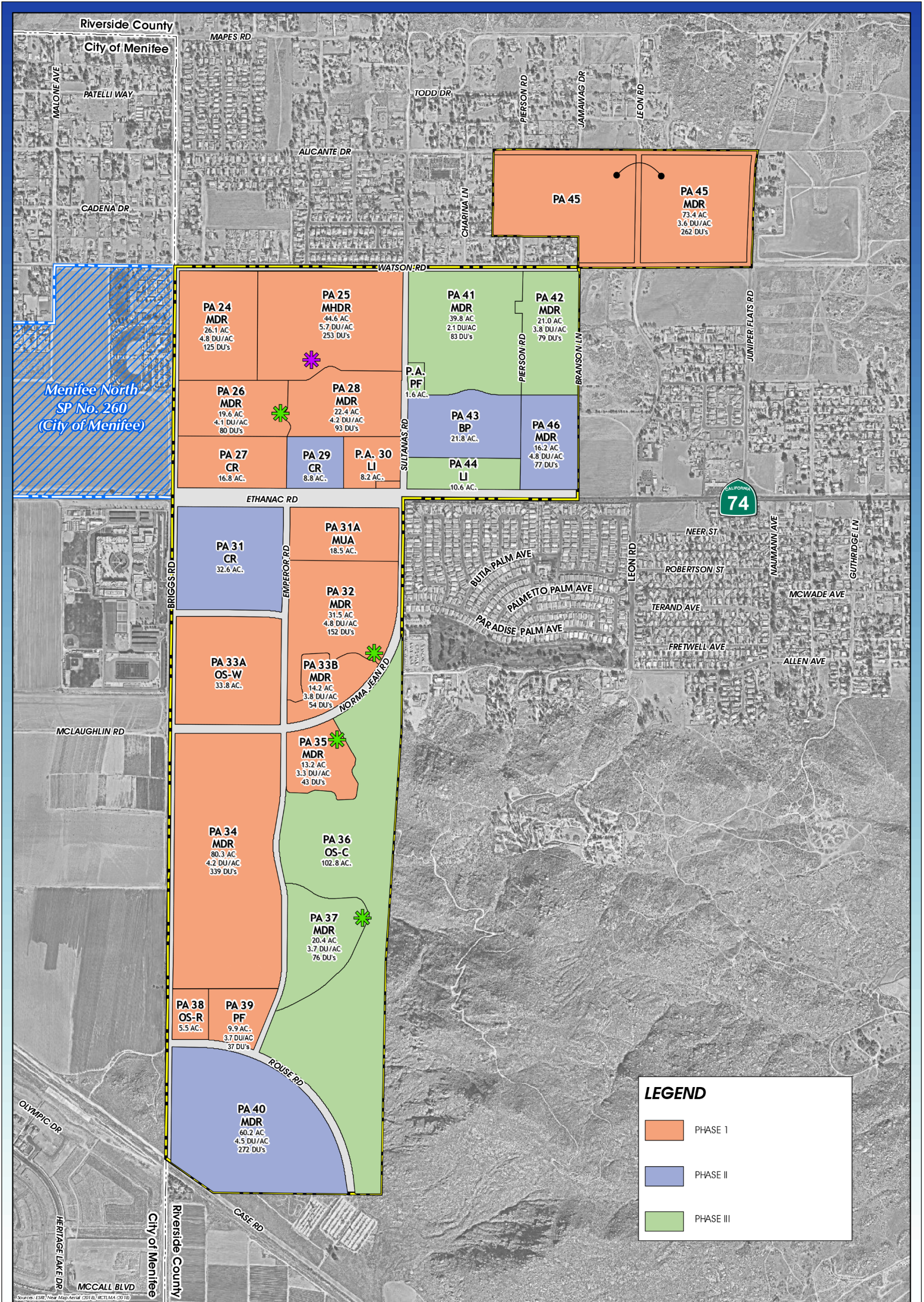
10. **PROJECT PHASING PLAN**

a. **Project Phasing Plan Description**

MENIFEE NORTH has three phases to be developed in response to market demands and according to a logical and orderly extension of roadways, public utilities and infrastructure. Figure III-13, *Phasing Plan*, is provided as a visual guide to how development is anticipated to proceed. Table V, *Phasing Summary*, outlines the acreages and number of dwelling units of each phase.

b. **Project Phasing Standards**

- 1) Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an environmental impact for that stage of development, shall be submitted to the County Planning Department for approval. The improvement plans shall include, but not be limited to the following:
 - Final grading plan.
 - Irrigation plans certified by a landscape architect.
 - A landscape plan with seed mixes for mulching, staking methods and locations, type, size and quantity of plant materials.
 - Fence treatment plans.
 - Special treatment/buffer area treatment plans.
- 2) Each planning area shall include development of common open space areas, infrastructure and adjacent landscape development zones.
- 3) Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages, provided adequate vehicular access is constructed for all dwelling units in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of the Specific Plan Phasing Program.
- 4) Prior to the first subdivision map approval in each planning area, the applicant shall provide evidence to the Planning Department of progress towards completion of the development standards outlined for that planning area.
- 5) The phasing sequence described herein is conceptual based on current market demand. Certain planning areas may be developed out of the expected sequence, provided the required infrastructure and services are available at the time of development.



LEGEND

- PHASE I
- PHASE II
- PHASE III

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FIGURE III-13

**TABLE V
PHASING PLAN**

LAND USE	PLANNING AREA	ACRES	DWELLING UNITS
PHASE I			
Medium Density Residential	24	26.1	125
Medium-High Density Residential	25	44.6	253
Medium Density Residential	26	19.6	80
Commercial Retail	27	16.8	—
Medium Density Residential	28	22.4	93
Light Industrial	30	8.2	—
Mixed Use/Planning Area	31A	18.5	—
Medium Density Residential	32	31.5	152
Medium Density Residential	33B	14.2	54
Medium Density Residential	34	80.3	339
Medium Density Residential	35	13.2	43
Open Space - Recreation	38	5.5	—
Medium Density Residential	45	73.4	262
SUBTOTAL - PHASE I		374.3	1401
PHASE II			
Commercial Retail	29	8.8	—
Commercial Retail	31	32.6	—
Medium Density Residential	40	60.2	272
Business Park	43	21.8	—
SUBTOTAL - PHASE II		123.4	272
PHASE III			
Medium Density Residential	37	20.4	76
Medium Density Residential	41	39.8	83
Medium Density Residential	42	21.0	79
Light Industrial	44	10.6	—
Medium Density Residential	46	16.2	77
SUBTOTAL - PHASE III		108	315
OTHER LAND USES			
Public Facility (School)	39	9.9	37
Major Roads	—	74.8	—
Easements/Existing Uses	—	0.6	—
Public Facility (existing Fire Station)	—	1.6	—
Open Space-Conservation	—	102.8	—

LAND USE	PLANNING AREA	ACRES	MAXIMUM DWELLING UNITS
Open Space-Water	33A	33.8	—
SUBTOTAL - OTHER LAND USES		223.5	37
PROJECT GRAND TOTAL		829.2	2,025

11. COMPREHENSIVE MAINTENANCE PLAN

Successful operation of maintenance districts and associations are important in maintaining quality in the project area. It is anticipated that maintenance responsibilities for common project facilities will be divided among a Master Maintenance Organization, Neighborhood Associations or similar financing mechanisms. The decision regarding the maintenance mechanism will be made at a future stage of project design and review in concert with County agencies.

a. **Master Maintenance Organization**

Common areas identified in the Specific Plan shall be owned and maintained by a permanent public or private master maintenance organization, to assume ownership and maintenance responsibility for all common recreation, open space, circulation systems and landscaped areas (including those in commercial areas). Areas of responsibility would include the community parks, the community center, parkway landscaping medians, entry monuments, open space and the community trail. The following are possible maintenance mechanisms:

- 1) CSA 146 - is not currently empowered to handle landscape maintenance. The portion of the CSA covering *MENIFEE NORTH* could be empowered to meet the project's maintenance needs.
- 2) Valley-Wide Recreation and Park District - could maintain all project level facilities. The District currently performs similar functions in Hemet and in the Meniffee project south of *MENIFEE NORTH*. *MENIFEE NORTH* is currently within the Valley-Wide sphere of influence but is not within or abutting the current District boundaries. Under the current procedures and regulations, annexation of the project site and certain intervening properties would be necessary.
- 3) Community Service District (CSD) - A new CSD could be formed, designed specifically for the *MENIFEE NORTH* project.

b. **Residential Neighborhood Associations**

In certain residential areas of the project, smaller associations may be formed to assume maintenance responsibility for common areas and facilities that benefit only residents in those areas. Potential private recreation centers, mini-parks, common open space areas, and potential private roadways exemplify facilities that may be under the jurisdiction of a neighborhood association.

c. **Commercial Retail/Business Park/Light Industrial/Mixed Use Planning Areas**

Commercial Retail, Business Park, Light Industrial, and Mixed Use Planning Areas may have their own private associations. If no association is formed, a common maintenance charge will be assessed to cover common area maintenance. Maintenance for these planning areas also may be assumed by individual property owners.

d. Project Roadways

All public project roadways and private streets will be designed and constructed to standards acceptable to the County. All public roads will be entered into the County system of roads for operation and maintenance, as approved by the Riverside County Board of Supervisors. Private roadways, if any, will be maintained by a private homeowners' association.

B. PLANNING AREA DEVELOPMENT STANDARDS

Development standards for *MENIFEE NORTH* have been established at three levels: *General Development Provisions*, which were addressed in Section III; *Design Guidelines*, which are provided in Section IV; and *Planning Area Development Standards* to which this section is devoted. In addition, the standards of the Specific Plan Zone applicable to *MENIFEE NORTH* shall apply.

Planning areas were selected on the basis of logical, separate units of development. Criteria considered in this process included uniformity of use as it pertains to zoning, relationship to adjoining product and surrounding topography.

The planning area graphics for this section (Figures III-14 through 26) were derived from the *Conceptual Landscape Plan* (Figure III-11). The site plans depicted herein are only conceptual in nature. Although development may conform closely to some elements of the illustrative plans provided in Section IV it is anticipated that actual lotting will not be determined until the tract map stage.

A Specific Plan Zoning Ordinance was prepared and submitted separately from this Specific Plan document. The zoning provisions within that Ordinance establish use restrictions for each planning area. The zoning provisions should be used in conjunction with the planning standards for each respective planning area.

Development standards and corresponding figures for Planning Areas 1 through 23 have been deleted from Section III.B (Specific Plan, Planning Area Development Standards) of this document because these Planning Areas are outside the jurisdiction of Riverside County. As a result, subsections B.1 through B.23 have been deleted, and Planning Area development standards begin with subsection B.24.

Figure sequencing has also been updated to account for the removal of Planning Areas 1 through 23.

24. PLANNING AREA 24: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 24, as depicted in Figure III-14, provides for development of 26.1 acres of Medium Density Residential uses with minimum lot sizes of 5,000 square feet. A maximum total of 125 dwelling units are planned at a target density of 4.8 du/ac.

b. Land Use and Development Standards

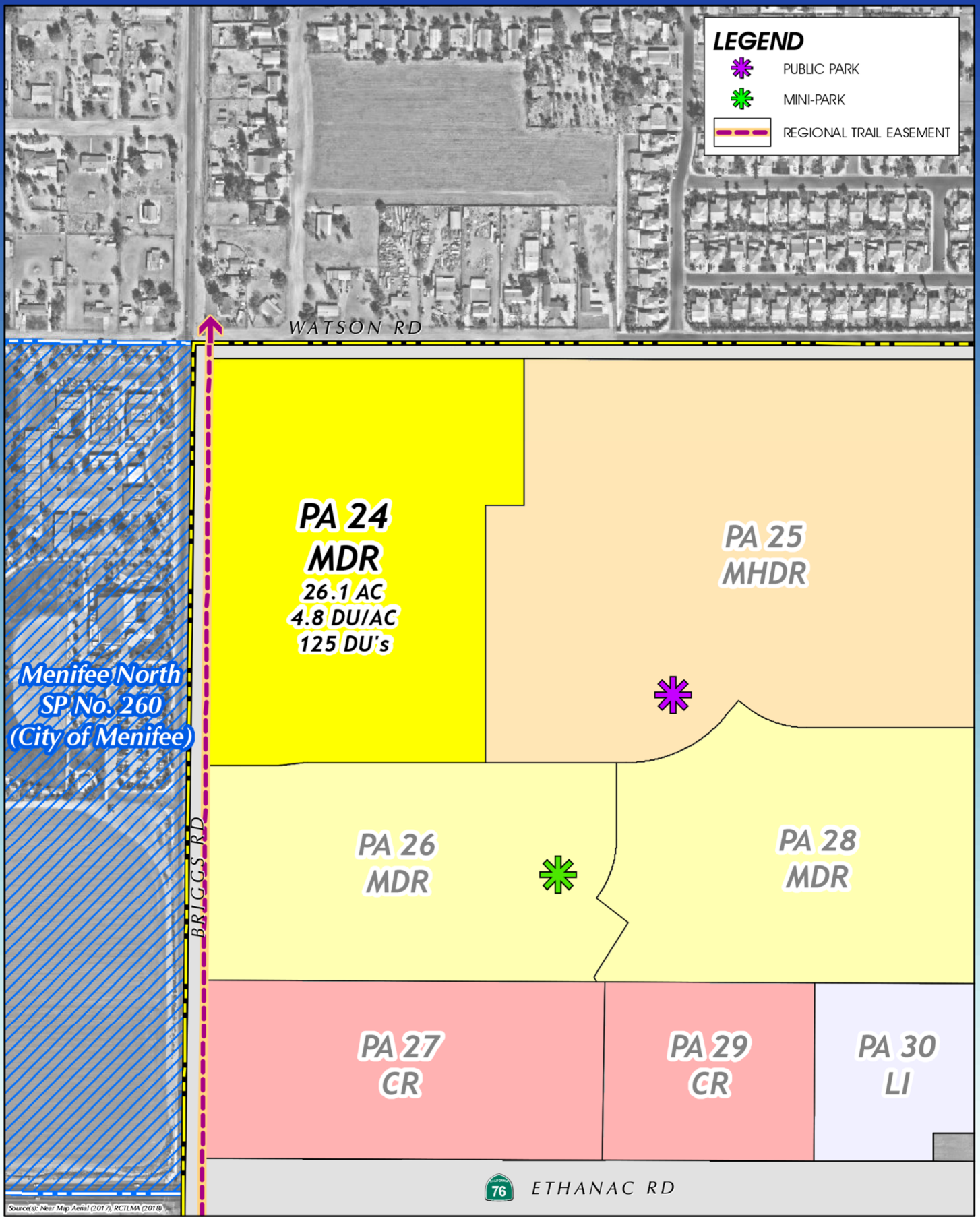
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 24 shall be provided from Briggs Road.
- 2) Roadway landscape treatments, such as those depicted in Figures IV-17 and 18, shall be provided along Briggs Road, and Watson Road.
- 3) A drainage channel edge treatment shall be provided between the residential uses in Planning Area 24 and the adjacent drainage channel proposed along the northern edges of this planning area, as shown on Figure IV-9.
- 4) A special landscape treatment, as shown on Figure IV-8, shall be provided along Watson Road to limit views of this planning area from existing adjacent residential uses.
- 6) A regional trail easement is proposed along Briggs Road, as displayed on Figure IV-14.
- 7) A retaining wall, which results in an increase in the Solid Wall height of up to two (2) feet may be constructed along Planning Area 24's perimeter abutting Briggs Road.
- 8) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 9) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use
Plan III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-14

25. PLANNING AREA 25: MEDIUM-HIGH DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 25, as depicted in Figure III-15, provides for development of 44.6 acres of Medium-High Density Residential uses with minimum lot sizes of 3,500 square feet. A maximum total of 253 dwelling units are planned at a target density of 5.7 du/ac. A 4.9-acre Public Park is located within Planning Area 25 and provides amenities that may include, but are not limited to, a sports field, basketball court, tot lots, shaded structures, and walking paths.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 25 shall be provided from Sultanas Road and Watson Road.
- 2) A special landscape treatment, as shown in Figure IV-8, shall be provided along Watson Road to limit views of this planning area from existing adjacent residential uses.
- 3) The Public Park within Planning Area 25 will be owned and maintained by the Valley-Wide Recreation and Park District.
- 4) Improvement plans for the Public Park within Planning Area 25 shall accompany the first development application for Planning Area 25.
- 5) The Public Park within Planning Area 25 shall be completed prior to the issuance of the 280th building permit in Planning Areas 24 and 25.
- 6) A drainage channel edge treatment, as depicted on Figure IV-9, shall be established between the residential uses in Planning Area 25 and the adjacent drainage channel proposed along the northern edge of the planning area.
- 7) A retaining wall, which results in an increase in the Solid Wall height of up to two (2) feet may be constructed along Planning Area 25's perimeter abutting Sultanas Road.
- 8) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 9) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use
Plan III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

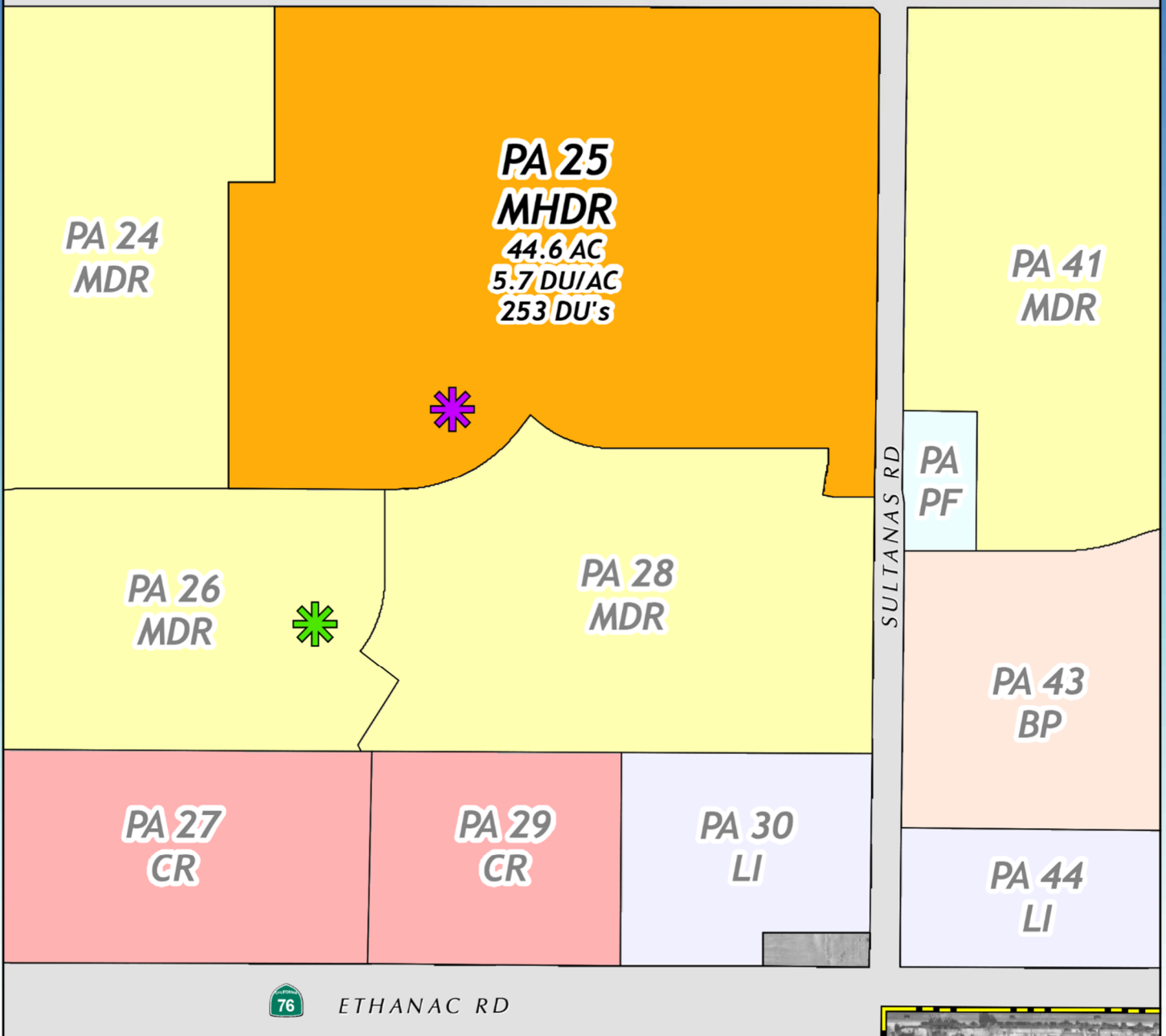
III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

LEGEND

-  PUBLIC PARK
-  MINI-PARK



WATSON RD



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FIGURE III-15



26. PLANNING AREA 26: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 26, as depicted in Figure III-16, provides for development of 19.6 acres of Medium Density Residential uses with minimum lot sizes of 6,000 square feet. A maximum total of 80 dwelling units are planned at a target density of 4.1 du/ac. A mini-park site is provided within Planning Area 26.

b. Land Use and Development Standards

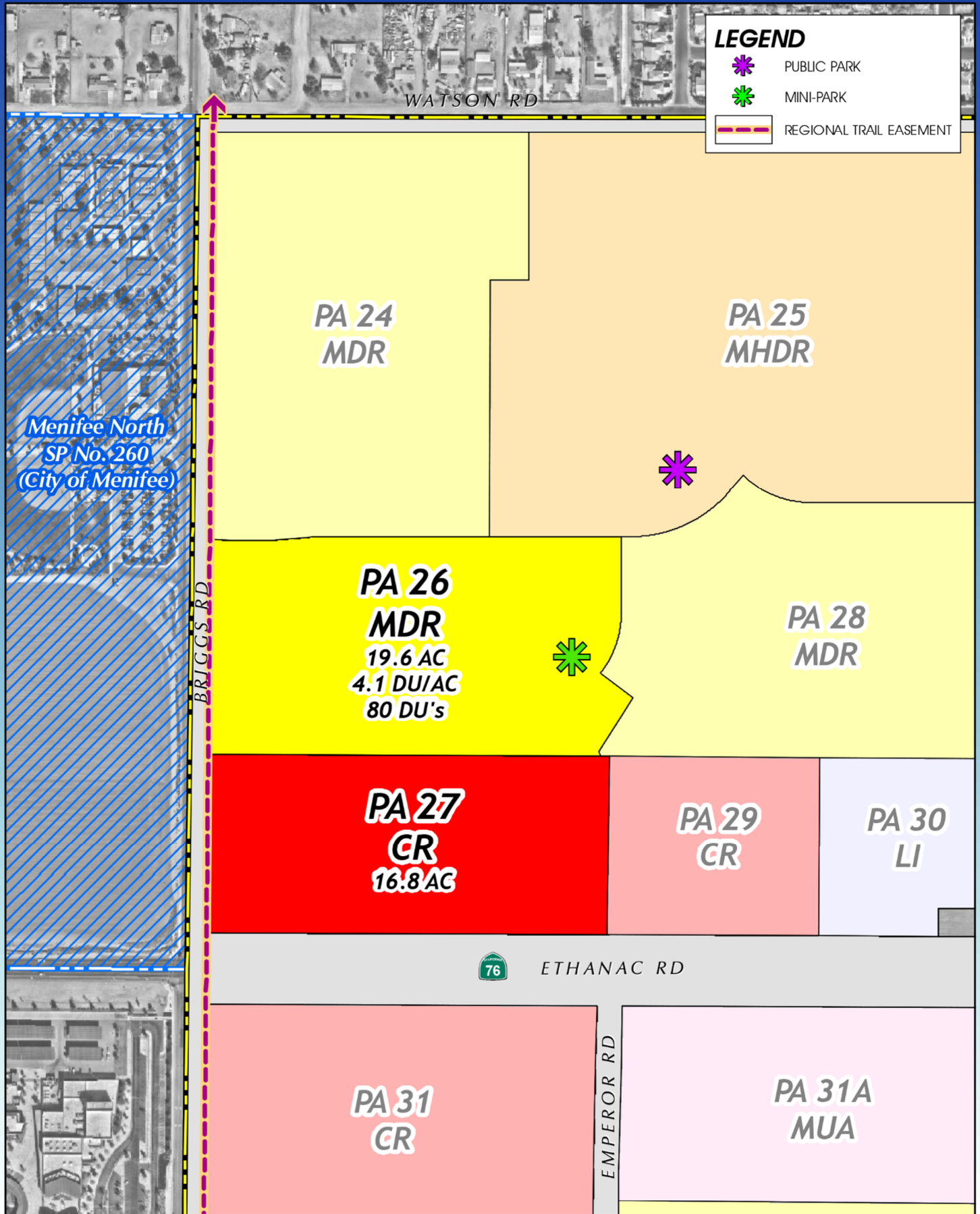
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 26 shall be provided from Briggs Road.
- 2) A regional trail easement, as shown on Figure IV-14, is proposed along Briggs Road at the planning area's western boundary.
- 3) Roadway landscape treatments, as illustrated in Figures IV-17, shall be provided along Briggs Road.
- 4) A drainage channel edge treatment, as depicted on Figure IV-10, shall be established between the residential uses in Planning Area 26 and the proposed drainage channel along Briggs Road.
- 5) A retaining wall, which results in an increase in the Solid Wall height of up to two (2) feet may be constructed along Planning Area 26's perimeter abutting Briggs Road.
- 6) Improvement plans for the mini-park site within Planning Area 26 shall accompany the first development application for Planning Area 26.
- 7) The mini-park within Planning Area 26 shall be completed prior to the issuance of the 60th building permit in Planning Area 26.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) A special landscaped treatment, as depicted on Figure IV-12, shall be established between the residential uses in Planning Area 26 and the adjacent commercial retail uses in Planning Area 27.
- 9) Please refer to Section III.A. for the following Development Plans and Standards that apply site- wide:

III.A.1: Specific Land Use
Plan III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-16

27. PLANNING AREA 27: COMMERCIAL RETAIL

a. Descriptive Summary

Planning Area 27, as depicted in Figure III-16, provides for development of 16.8 acres devoted to Commercial Retail uses.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 27 shall be provided from Highway 74 (as approved by Cal- Trans) and Briggs Road.
- 2) A community entry/intersection statement, as depicted on Figure IV-2, shall be provided at the intersection of Highway 74 and Briggs Road.
- 3) A regional trail easement is proposed along the western boundary of Planning Area 27, as shown on Figure IV-14.
- 4) Roadway landscape treatments, as illustrated in Figures IV-16 and 17 are planned along Highway 74 and Briggs Road respectively.
- 5) A drainage channel edge treatment, as depicted on Figure IV-10, is proposed between the commercial uses in Planning Area 27 and the proposed drainage channel along Briggs Road.
- 6) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) A special landscaped treatment, as depicted on Figure IV-12, shall be established between the commercial uses in Planning Area 27 and the adjacent residential uses in Planning Area 26.
- 9) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use
Plan III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

28. PLANNING AREA 28: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 28, as depicted on Figure III-17, provides for the development of 21.8 acres of Medium Density Residential uses with minimum lot sizes of 6,000 square feet. A maximum total of 93 dwelling units are planned at a target density of 4.2 du/ac.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

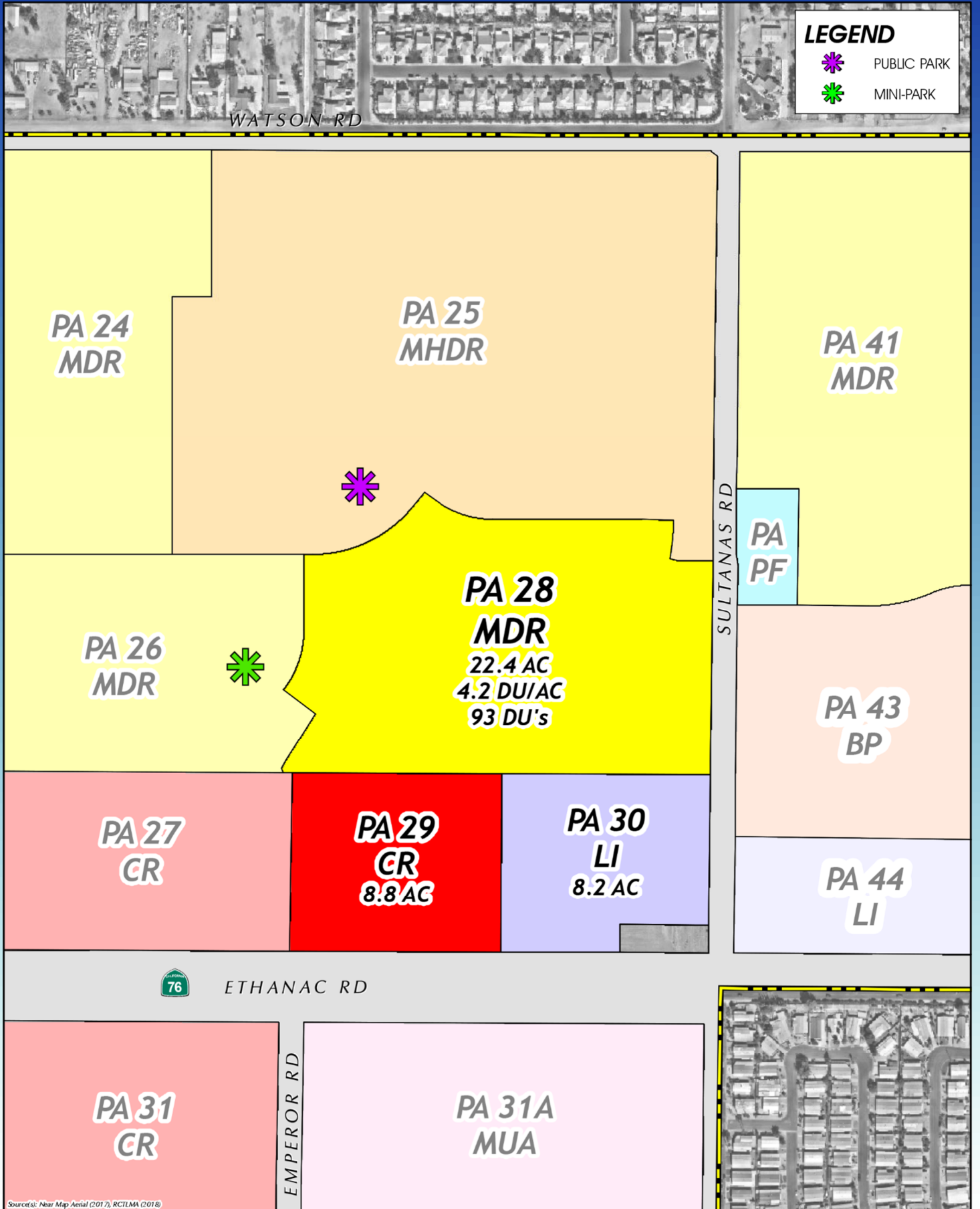
- 1) Primary access to Planning Area 28 shall be provided from Sultanas Road.
- 2) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 3) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:
- 4) A special landscaped treatment, as depicted on Figure IV-12, shall be established between the residential uses in Planning Area 28 and the adjacent non-residential uses in Planning Areas 29 and 30.
- 5) A retaining wall, which results in an increase in the Solid Wall height of up to two (2) feet may be constructed along Planning Area 28's perimeter abutting Sultanas Road.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use
Plan III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

LEGEND

-  PUBLIC PARK
-  MINI-PARK



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FIGURE III-17

29. PLANNING AREA 29: COMMERCIAL RETAIL

a. Descriptive Summary

Planning Area 29, as depicted on Figure III-17, provides for the development of 8.8 acres devoted to Commercial Retail uses.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 29 shall be provided from Highway 74 (as approved by Cal-Trans).
- 2) Roadway landscape treatments, as illustrated in Figures IV-16 shall be established along Highway 74.
- 3) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:
- 6) A special landscaped treatment, as depicted on Figure IV-12, shall be established between the commercial retail uses in Planning Area 29 and the adjacent residential uses in Planning Area 28.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use
Plan III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

30. PLANNING AREA 30: LIGHT INDUSTRIAL

a. Descriptive Summary

Planning Area 30, as depicted in Figure III-17, provides for development of 8.2 acres devoted to Light Industrial uses.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 30 shall be provided from Highway 74 (as approved by CalTrans) and Sultanas Road.
- 2) A project entry/intersection statement, as depicted on Figure IV-3, shall be provided at the intersection of Highway 74 and Sultanas Road.
- 3) Roadway landscape treatments, as illustrated in Figures IV-16 and 18, are planned along Highway 74 and Sultanas Road, respectively.
- 4) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 5) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 6) A special landscaped treatment, as depicted on Figure IV-12, shall be established between the light industrial uses in Planning Area 30 and the adjacent residential uses in Planning Area 28.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use | III.A.6: Grading Plan |
| Plan III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |

31. PLANNING AREA 31: COMMERCIAL RETAIL

a. Descriptive Summary

Planning Area 31, as depicted in Figure III-18, provides for development of 32.6 acres devoted to Commercial Retail uses.

b. Land Use and Development Standards

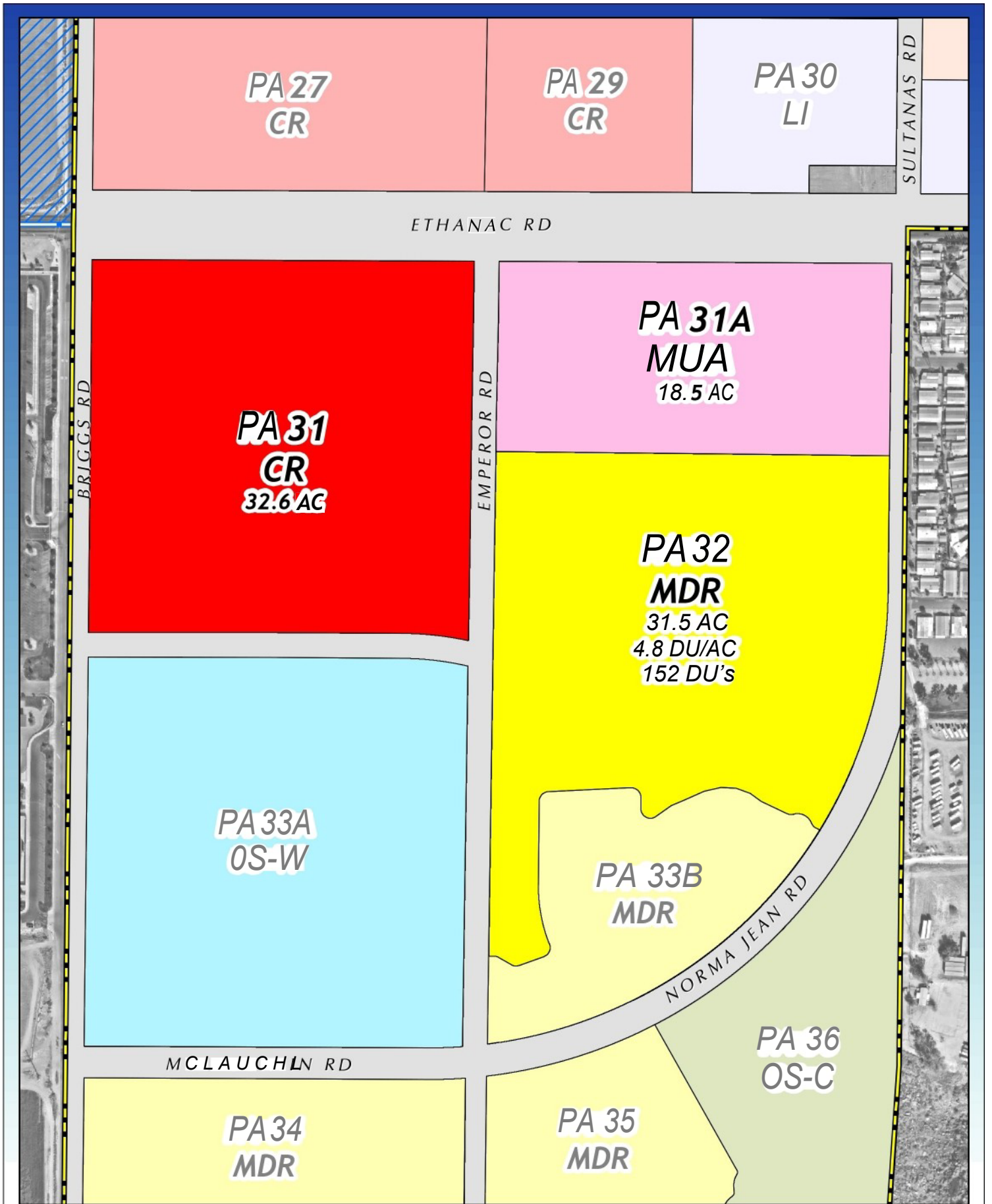
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 31 shall be provided from Highway 74 (right-turn in and out only as approved by CalTrans), Emperor Road, Street "B," and Briggs Road.
- 2) A community entry/intersection statement, as depicted on Figure IV-2, shall be constructed at the intersection of Highway 74 and Briggs Road.
- 3) A regional trail easement, as depicted on Figure IV-14, is proposed at the western boundary of Planning Area 31, along Briggs Road.
- 4) Roadway landscape treatments, as illustrated in Figures IV-16, 17, and 18, are planned along Highway 74, Briggs Road, Street "B," and Emperor Road, respectively.
- 5) A drainage channel edge treatment, as depicted on Figure IV-10, is proposed between the commercial retail uses in Planning Area 31 and the proposed drainage channel along Briggs Road.
- 6) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-18

31A. PLANNING AREA 31A: MIXED USE PLANNING AREA

a. Descriptive Summary

Planning Area 31A, as depicted on Figure III-18, provides for the development of 18.5 acres of Mixed Use. This planning area could develop with a mix of limited commercial and high density residential land uses. The maximum density for residential use is 16.0 du/ac. The maximum DU shall not exceed 300 subject to County approval of plot plan layouts and density.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 31A shall be provided from Emperor Road and Highway 74 (as approved by CalTrans). Access shall be prohibited from Norma Jean Road.
- 2) A project entry/intersection statement, as depicted on Figure IV-3, shall be provided at the intersection of Highway 74 and Sultanas Road.
- 3) Roadway landscape treatments, as illustrated in Figure IV-16 shall be established along Highway 74.
- 4) To limit views of this planning area from existing adjacent residential uses to the east, a special roadway landscape treatment shall be provided on Sultanas Road, as shown in Figure 19.
- 5) A landscape transition area shall be provided between the commercial uses in Planning Area 31A and the adjacent residential uses in Planning Area 32, as shown in Figure IV-12.
- 6) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

32. PLANNING AREA 32: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 32, as depicted on Figure III-18, provides for the development of 31.5 acres of medium density residential uses with minimum lot sizes of 5,000 square feet. A maximum total of 152 dwelling units are planned at a target density of 4.8 du/ac.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 32 shall be provided from Norma Jean/Sultanas Road and Emperor Road.
- 2) A landscape transition area, as shown on Figure IV-12, shall be established between the residential uses in Planning Area 32 and the adjacent mixed use development in Planning Area 31A.
- 3) To limit views of this planning area from existing adjacent residential uses to the east, a special roadway landscape treatment shall be provided on Norma Jean/Sultanas Road, as shown in Figure 18A.
- 4) A mini-park shall be developed within Planning Area 32, comprising approximately 4 acres.
- 5) A 6-foot tall combo wall composed of a low splitface block wall with tubular steel view fence shall be developed along the rear property lines of residential lots that abut the Mini-Park.
- 6) Where the project site boundary abuts Paradise Palm Drive, access to the adjacent golf course will be re-established at no cost to Highland Palm residents as right-of-way improvements in this area proceed.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

33A. PLANNING AREA 33A: OPEN SPACE-WATER

a. Descriptive Summary

Planning Area 33A, as depicted in Figure III-19, provides for development of a 33.8 acre drainage basin, with a designated use of Open Space-Water. This drainage basin is a significant part of the master drainage plan for the Specific Plan.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 33A shall be provided from Street "B", Briggs Road and McLaughlin Road.
- 2) A regional trail easement, as depicted on Figure IV-14, is proposed to border Planning Area 33A on the west, along Briggs Road.
- 3) Roadway landscape treatments, as depicted in Figure IV-17 and Figure IV-18, shall be provided along Briggs Road and Street "B", respectively.
- 4) A drainage basin edge treatment shall be established between Briggs Road and McLaughlin Road and the basin, as shown in Figure IV-9.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

ETHANAC RD

PA 31A
MUA

PA 31
CR

EMPEROR RD

PA 32
MDR

BRIGGS RD

PA 33A
OS-W
33.8 AC

PA 33B
MDR
14.2 AC
3.8 DU/AC
54 DU's

NORMA JEAN RD

MCLAUGHLIN RD

PA 36
OS-C

PA 35
MDR

PA 34
MDR



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FIGURE III-19



33B. PLANNING AREA 33B: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 33B, as depicted in Figure III-19, provides for development of 14.2 acres of medium density residential uses with minimum lot sizes of 5,000 square feet. A maximum total of 54 dwelling units are planned at a target density of 3.8 du/ac.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 33B shall be provided from Norma Jean Road.
- 2) A 6-foot tall combo wall composed of a low splitface block wall with tubular steel view fence shall be developed along the rear property lines of residential lots that abut the Mini-Park located in Planning Area 32.
- 3) Where the project site boundary abuts Paradise Palm Drive, access to the adjacent golf course will be re-established at no cost to Highland Palm residents as right-of-way improvements in this area proceed.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

34. PLANNING AREA 34: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 34, as depicted in Figure III-20, provides for development of 80.3 acres of medium density residential uses with minimum lot sizes of 5,000 square feet. A maximum total of 339 dwelling units are planned at a target density of 4.2 du/ac. The number of dwelling units is restricted to accommodate several neighborhoods of differing lot sizes. Lot sizes shall not exceed 10,000 square feet. The maximum density may be increased to 6.0 du/ac with a 5,000 square foot minimum lot size if this planning area is designed for and restricted to senior citizen housing or if this planning area is designed as a mobile home park or subdivision.

b. Land Use and Development Standards

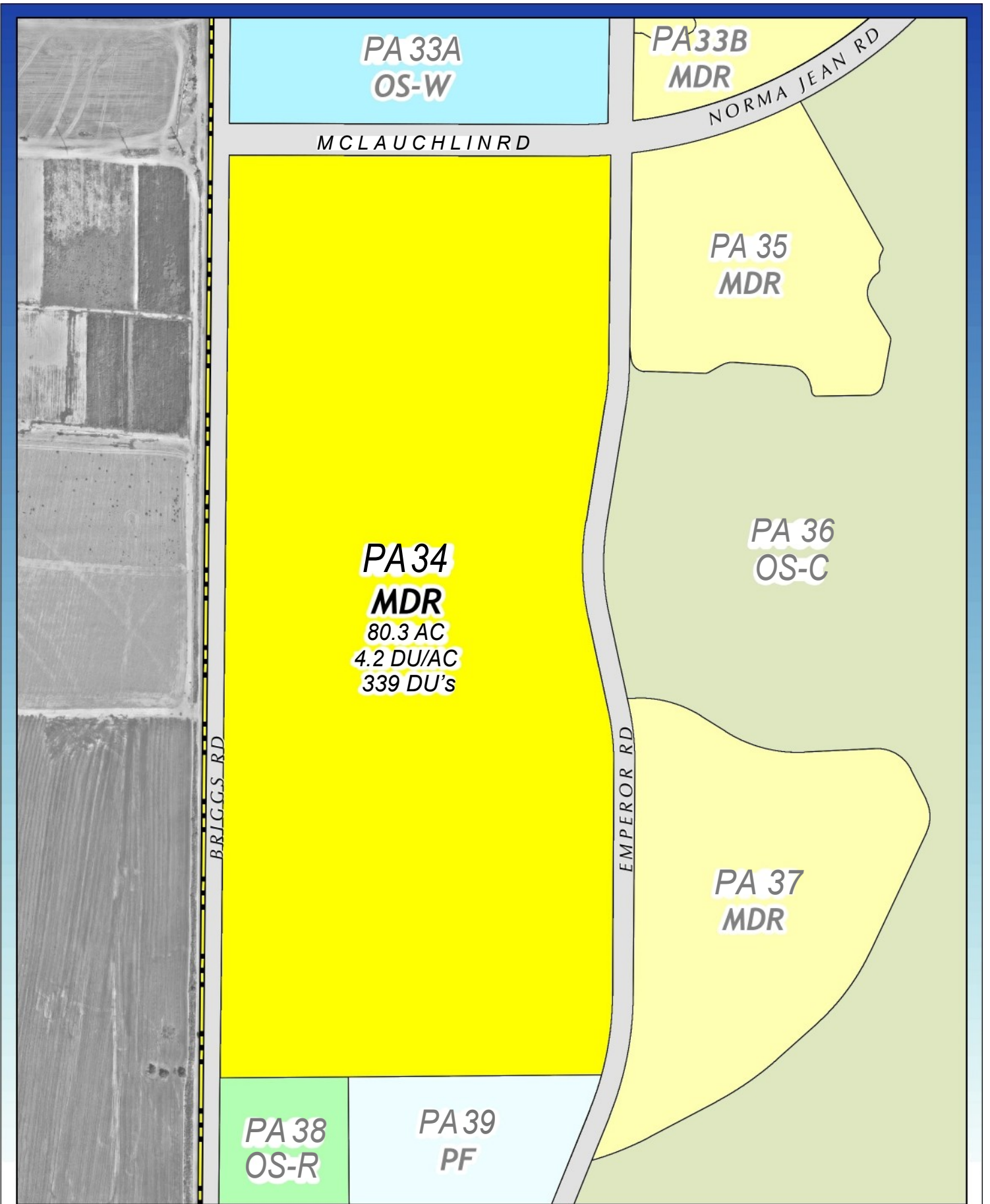
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 34 shall be provided from Briggs Road, Emperor Road and McLaughlin Road.
- 2) A project entry/intersection statement, as shown on Figure IV-3, shall be developed at the intersection of McLaughlin Road and Briggs Road.
- 3) A roadway landscape treatment, as depicted in Figure IV-17, shall be provided along Briggs Road.
- 4) Special landscape transition areas shall be established between the residential uses in Planning Area 34 and the adjacent park in Planning Area 38, as shown in Figure IV-11.
- 5) A regional trail easement, as depicted on Figure IV-14, is proposed to border Planning Area 34 to the north along McLaughlin Road.
- 6) A more detailed geologic investigation shall be performed for development adjacent to the steep hillside (Double Butte margin) area relative to slope stability, rock fall and debris flow.
- 7) A drainage channel edge treatment, as depicted in Figure IV-9, shall be established between the residential uses in Planning Area 34 and the proposed drainage channel along Briggs Road.
- 8) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 9) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-20

35. PLANNING AREA 35: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 35, as depicted on Figure III-21, provides for the development of 13.2 acres of medium density residential uses with minimum lot sizes of 6,000 square feet. A maximum total of 43 dwelling units are planned at a target density of 3.3 du/ac.

b. Land Use and Development Standards

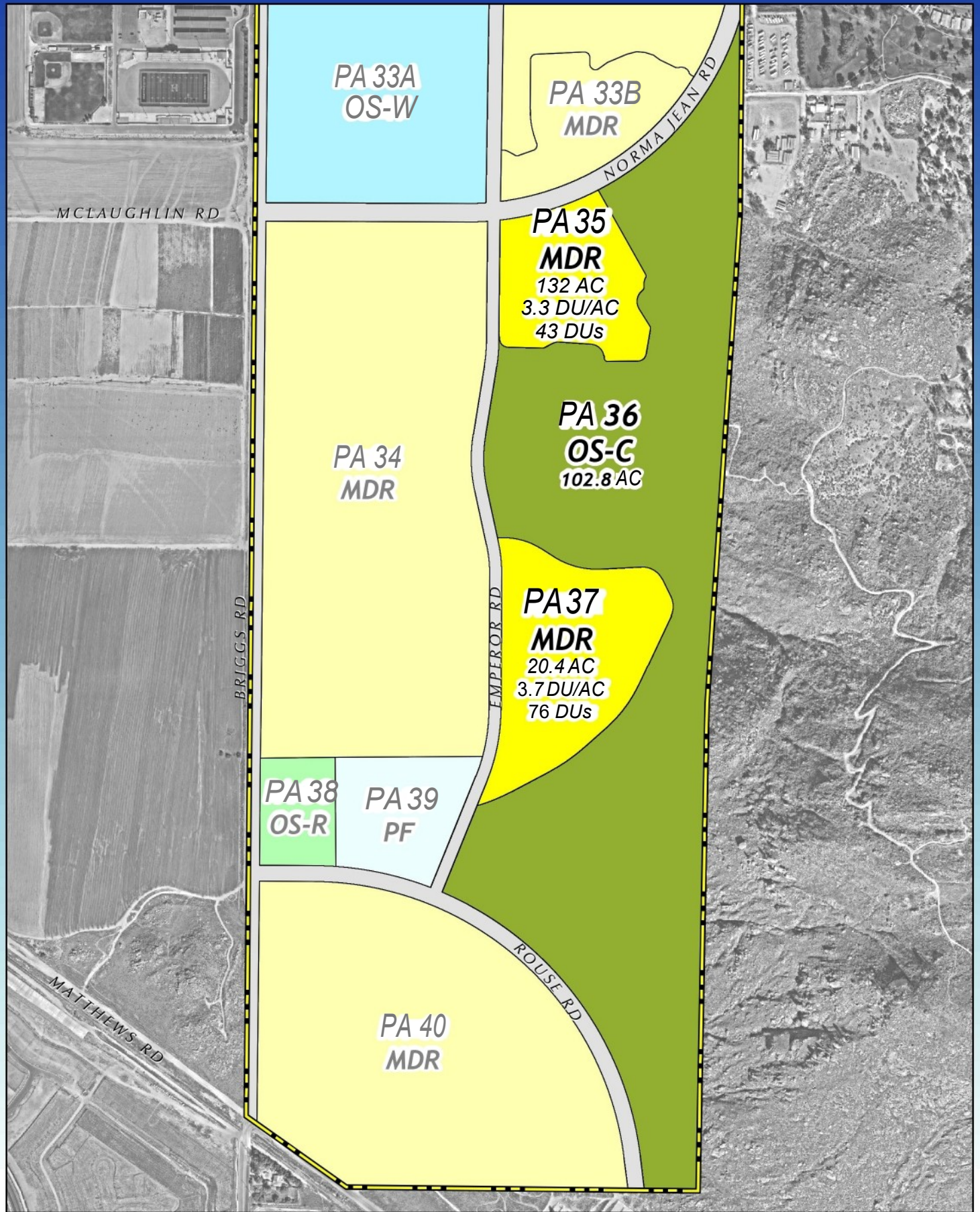
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 35 shall be provided from McLaughlin Road and Emperor Road.
- 2) A regional trail easement, as depicted on Figure IV-14, is proposed along the western edge of Planning Area 35, adjacent to Emperor Road.
- 3) A more detailed geologic investigation shall be performed for development adjacent to the steep hillside (Double Butte margin) area relative to slope stability, rock fall and debris flow.
- 4) A 0.4-acre mini-park shall be developed within Planning Area 35.
- 5) Where the project site boundary abuts Paradise Palm, access to the adjacent golf course will be re-established at no cost to Highland Palm residents as right-of-way improvements in this area proceed.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-21

36. PLANNING AREA 36: OPEN SPACE-CONSERVATION

a. Descriptive Summary

Planning Area 36, as depicted on Figure III-21, provides for preservation of 102.8 acres for natural open space.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 36 shall be provided from Emperor Road and Rouse Road.
- 2) A regional trail easement, as depicted on Figures IV-13 and 14, is proposed to follow the western-most boundary of Planning Area 36, adjacent to Rouse Road, Emperor Road, and Planning Area 37.
- 3) A roadway landscape treatment, as depicted in Figure IV-18, shall be provided along Rouse Road.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |

37. PLANNING AREA 37: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 37, as depicted on Figure III-21, provides for the development of 20.4 acres of medium density residential uses with minimum lot sizes of 6,000 square feet. A maximum total of 76 dwelling units are planned at a target density of 3.7 du/ac.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 37 shall be provided from Emperor Road.
- 2) A regional trail easement, as depicted on Figure IV-13, is proposed along the boundary of Planning Area 37, adjacent to Planning Area 36 (the natural open space area).
- 3) A more detailed geologic investigation shall be performed for development adjacent to steep hillside (Double Butte margin) area relative to slope stability, rock fall and debris flow.
- 4) A 0.2-acre mini-park shall be developed within Planning Area 37.
- 5) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

38. PLANNING AREA 38: OPEN SPACE-RECREATION

a. Descriptive Summary

Planning Area 38, as depicted in Figure III-22, provides for the development of 5.5 acres as a Community Park. Planning Area 38 will be landscaped and, at a minimum, will include such uses as picnic areas, tot lots, restrooms and parking facilities. In addition, the park may include two or more of the following: exercise course, playfield, basketball (half-court), sand volleyball court, soccer field, baseball field, group barbecue or shade arbor. A conceptual site plan is provided in the Design Guidelines, Section IV (Figure IV-15).

b. Land Use and Development Standards

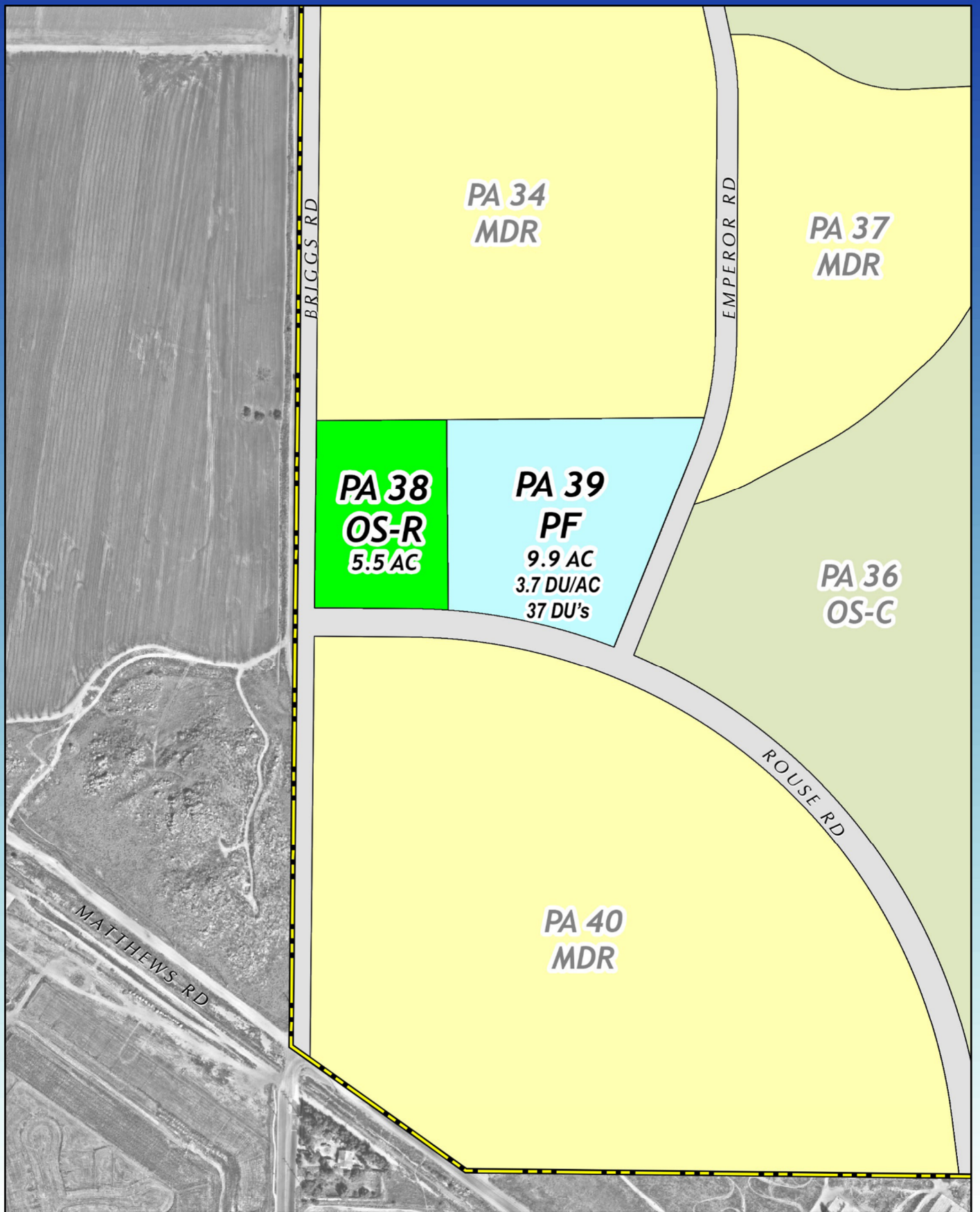
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 38 shall be provided from Briggs Road and Rouse Road.
- 2) A special landscape transition area shall be established between the park uses in Planning Area 38 and the adjacent residential uses in Planning Area 34, as shown on Figure IV-11.
- 3) Roadway landscape treatments, such as those depicted in Figures IV-17 and 18, shall be provided along Briggs Road and Rouse Road, respectively.
- 4) A drainage channel edge treatment, as depicted in Figure IV-9, is proposed between the park uses in Planning Area 38 and the drainage channel proposed along Briggs Road.
- 5) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-22

39. PLANNING AREA 39: PUBLIC FACILITY

a. Descriptive Summary

Planning Area 39, as depicted on Figure III-22, originally provided for development of 9.9 acres as an Elementary School. The school district declined to purchase this site for development of an elementary school; therefore, the site; therefore, thewith Medium Density Residential use with a maximum total of 50 dwelling units for a target density of 5.0 du/ac. The project is transferring 37 units available from Planning Area 41 to Planning Area 39 which do not accomplish the maximum number permitted for those planning areas. The target density will be 3.7 du/ac and lot sizes will be a minimum of 5,000 square feet in this area.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 39 shall be provided from Rouse Road and Emperor Road.
- 2) A roadway landscape treatment, as depicted in Figure IV-18, shall be provided along Rouse Road.
- 3) A special landscape treatment shall be established between the residential uses in Planning Area 39 and the adjacent park uses in Planning Area 38, as shown on Figure IV-11.
- 4) A more detailed geologic investigation shall be performed for development adjacent to the steep hillside (Double Butte margin) area relative to slope stability, rock fall and debris flow.
- 5) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

40. PLANNING AREA 40: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 40, as depicted on Figure III-23, provides for development of 60.2 acres of medium density residential uses with minimum lot sizes of 6,000 square feet. A maximum total of 272 dwelling units are planned at a target density of 4.5 du/ac.

b. Land Use and Development Standards

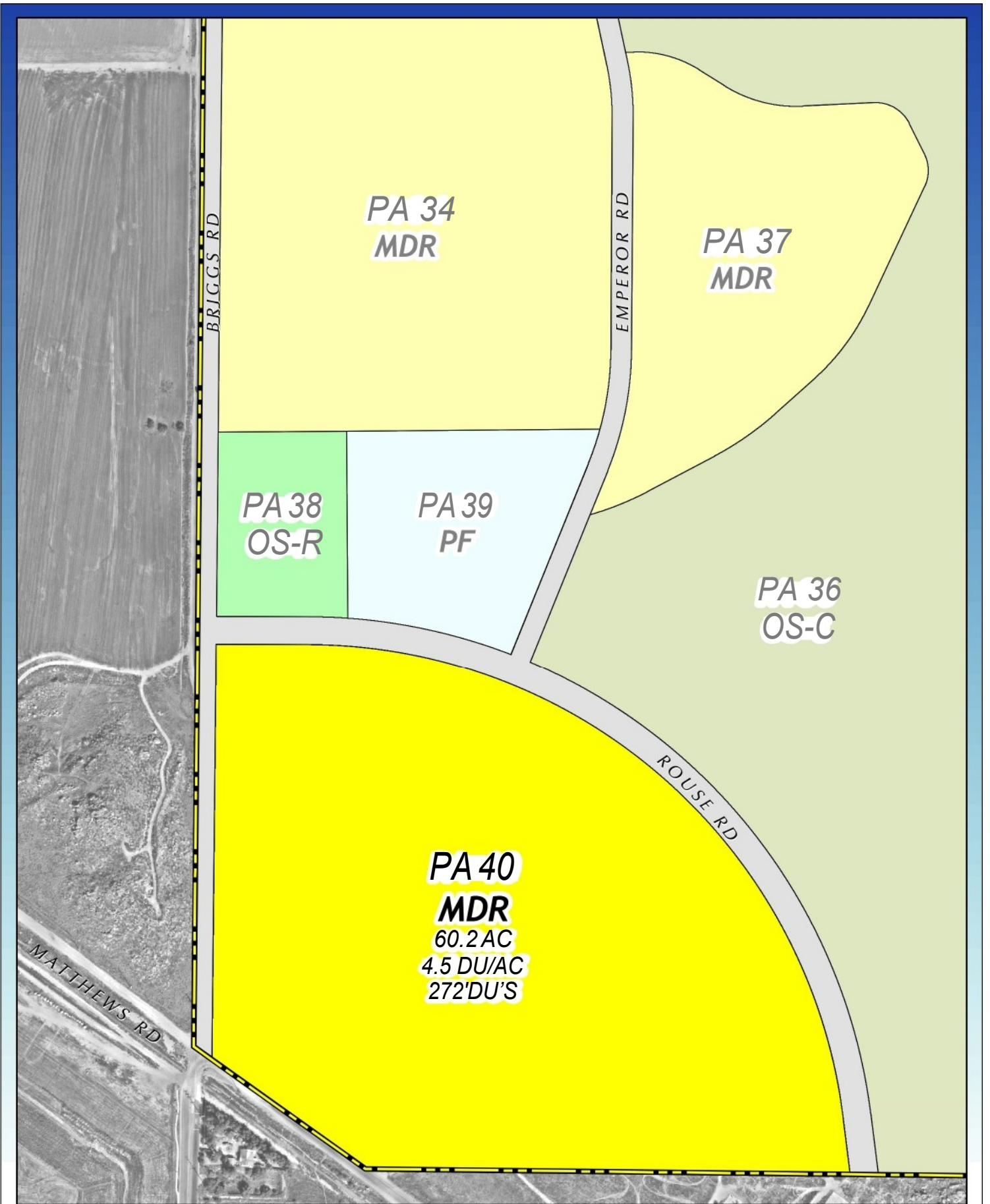
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 40 shall be provided from Rouse Road and Briggs Road.
- 2) Roadway landscape treatments, such as those depicted in Figures IV-17 and 18, shall be provided along Briggs Road and Rouse Road, respectively.
- 3) A special landscape treatment, as shown in Figure IV-7, shall be established between the residential uses in Planning Area 40 and the existing adjacent residential uses and the existing Metrolink line.
- 4) A drainage channel edge treatment, as shown in Figure IV-9, shall be established between the residential uses in Planning Area 40 and the proposed drainage channel along Briggs Road.
- 5) A more detailed geologic investigation shall be performed for development adjacent to the steep hillside (Double Butte margin) area relative to slope stability, rock fall and debris flow.
- 6) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 7) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-23

41. PLANNING AREA 41: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 41, as depicted on Figure III-24, provides for development of 39.8 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 83 dwelling units are planned at a target density of 2.1 du/ac.

b. Land Use and Development Standards

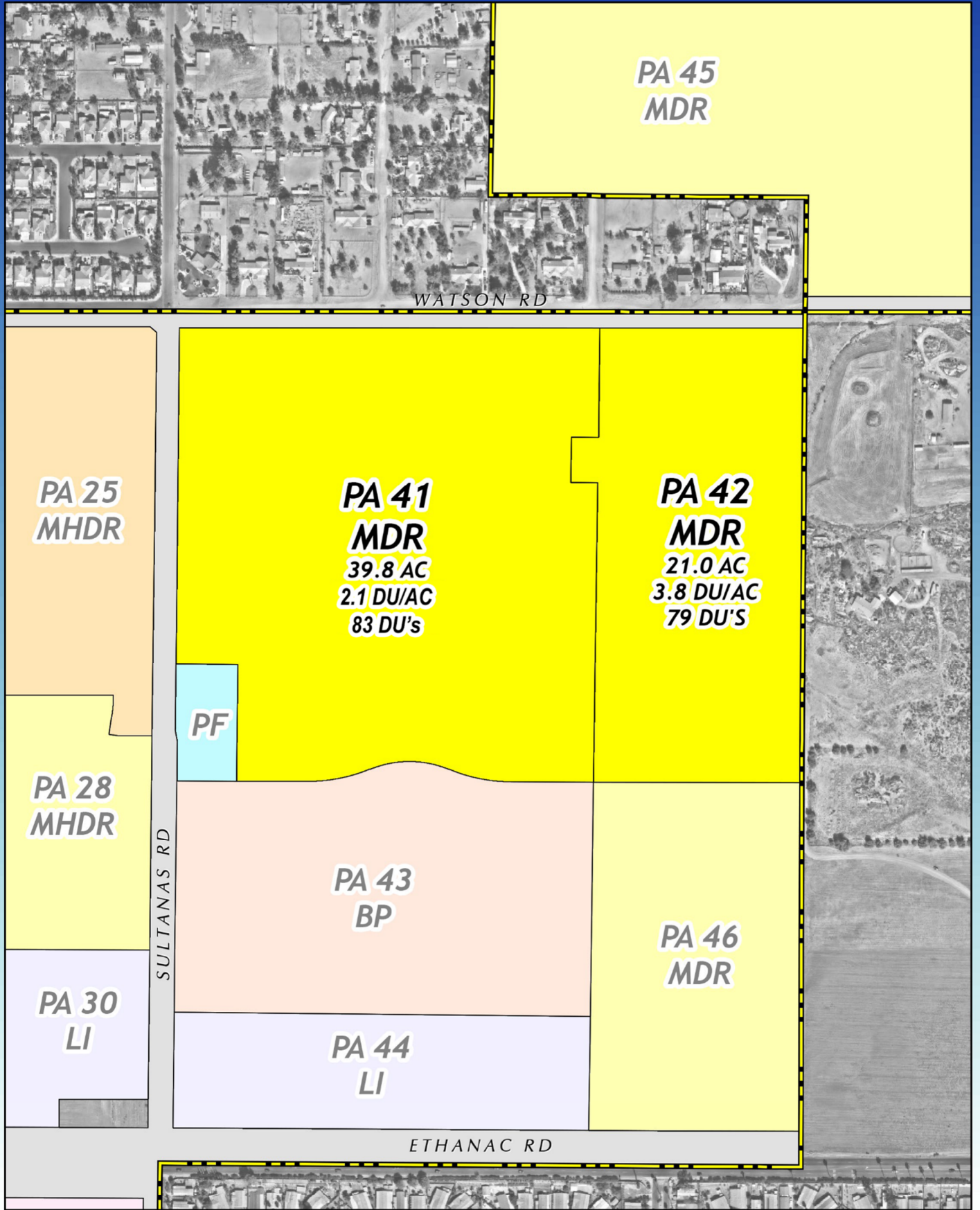
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 41 shall be provided from Sultanas Road and Watson Road.
- 2) A minor intersection statement shall be developed at the intersection of Sultanas Road and the southwest corner of the fire station parcel, as shown on Figure IV-4.
- 3) A drainage channel edge treatment, as depicted on Figure IV-9, shall be established between the residential uses in Planning Area 41 and the drainage channel proposed adjacent to Watson Road.
- 4) Roadway landscape treatments, as depicted in Figure IV-18, shall be provided along Watson Road .
- 5) A special landscape treatment area shall be established between the residential uses in Planning Area 41 and the adjacent business park uses in Planning Area 43, as shown on Figure IV-12.
- 6) A special landscape treatment, as shown on Figure IV-8, shall be provided along Watson Road to limit views of this planning area from existing adjacent residential uses.
- 7) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 8) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-24

42. PLANNING AREA 42: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 42, as depicted on Figure III-24, provides for the development of 21.0 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 79 dwelling units are planned at a target density of 3.8 du/ac.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 42 shall be provided from Watson Road and/or a local road from the south.
- 2) A drainage channel edge treatment, as depicted on Figure IV-9, shall be established between the residential uses in Planning Area 42 and the proposed drainage channel adjacent to Watson Road.
- 3) A special landscape treatment, as shown on Figure IV-8, shall be provided along Watson Road to limit views of this planning area from existing adjacent residential uses.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Roadway landscape treatments, as depicted in Figure IV-18, shall be provided along Watson Road.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- III.A.1: Specific Land Use Plan
- III.A.2: Circulation Plan
- III.A.3: Drainage Plan
- III.A.4: Water and Sewer Plans
- III.A.5: Open Space and Recreation Plan

- III.A.6: Grading Plan
- III.A.7: Landscaping Plan
- III.A.8: Public Facilities Phasing Plan
- III.A.9: Phasing Plan

43. PLANNING AREA 43: BUSINESS PARK

a. Descriptive Summary

Planning Area 43, as depicted in Figure III-25, provides for development of 21.8 acres devoted to Business Park uses.

b. Land Use and Development Standards

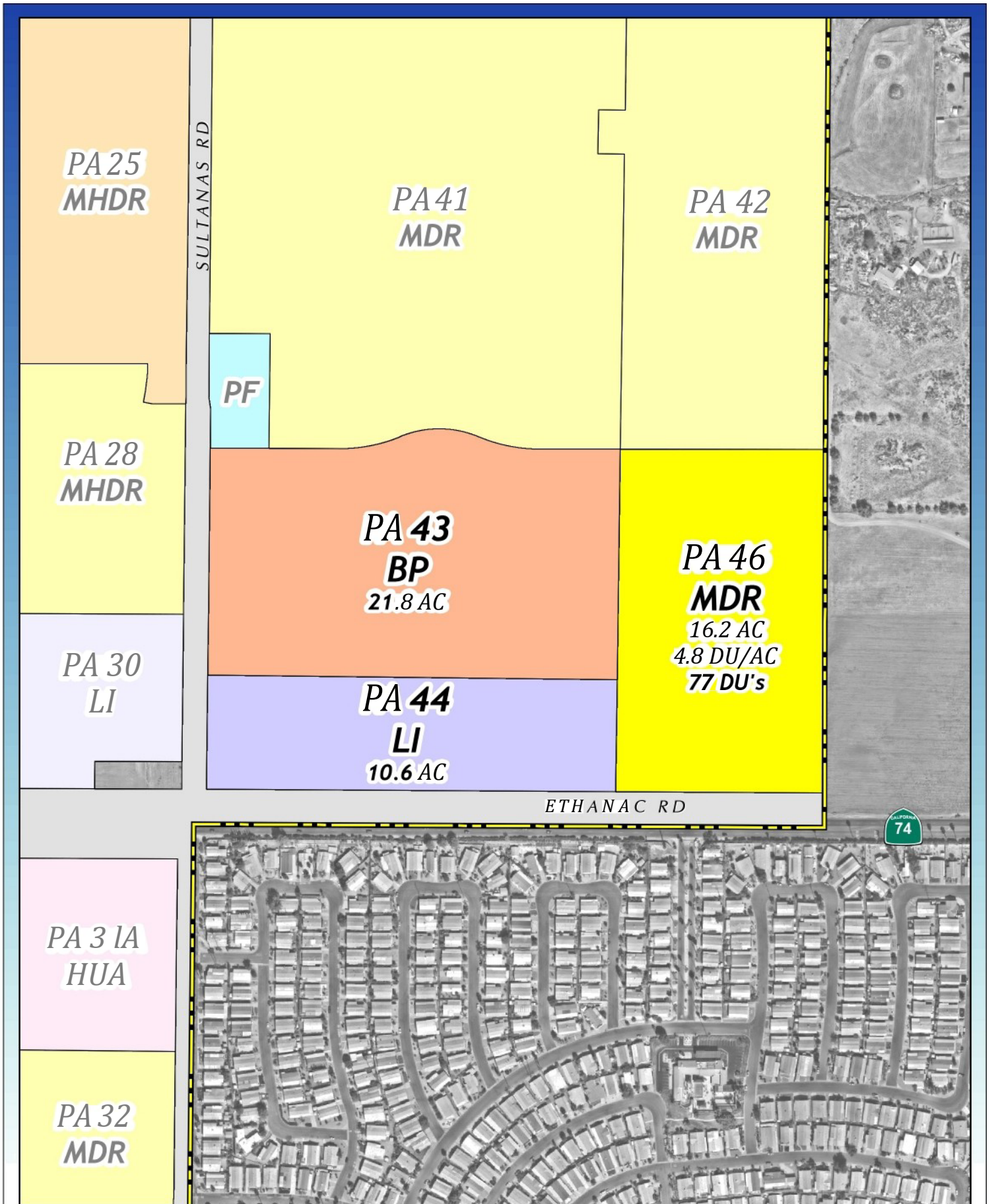
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 43 shall be provided from Sultanas Road.
- 2) A minor intersection statement shall be developed at the intersection of Sultanas Road and the northwestern corner of Planning Area 43, as shown on Figure IV-4.
- 3) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) A special landscape treatment area shall be established between the business park uses in Planning Area 43 and the adjacent residential uses in Planning Area 41, as shown on Figure IV-12.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE III-25

44. PLANNING AREA 44: LIGHT INDUSTRIAL

a. Descriptive Summary

Planning Area 44, as depicted in Figure III-25, provides for development of 10.6 acres devoted to Light Industrial uses.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 44 shall be provided from Highway 74 (as approved by CalTrans), and Sultanas Road.
- 2) A project entry/intersection statement, as depicted on Figure IV-3, shall be developed at the intersection of Highway 74 and Sultanas Road.
- 3) Roadway landscape treatments, as illustrated in Figures IV-16 and 18, are planned along Highway 74 and Sultanas Road, respectively.
- 4) In conjunction with the first implementing plot plan submitted for this planning area, a conceptual site plan for the entire planning area shall be provided to the Riverside County Planning Department for informational purposes. This site plan shall show how the proposed plot plan integrates into the remainder of the planning area, to ensure proper design and layout of the parking and street access.
- 5) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 6) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan

45. PLANNING AREA 45: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 45, as depicted on Figure III-26, provides for development of 73.4 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 262 dwelling units are planned at a target density of 3.6 du/ac.

b. Land Use and Development Standards

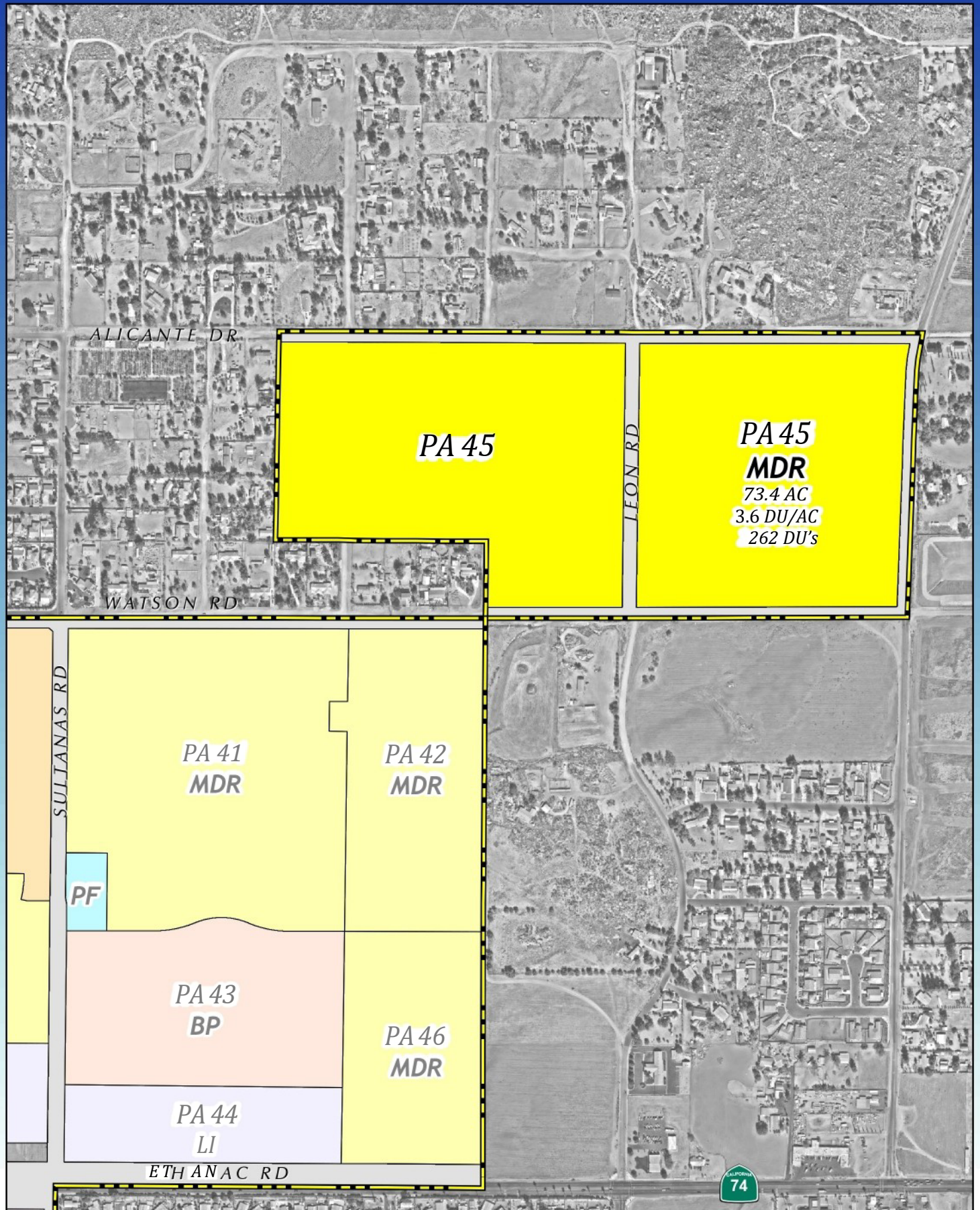
Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 45 shall be provided from Watson Road, Leon Road, and Juniper Flats Road.
- 2) Roadway landscape treatments, as shown on Figure IV-18, shall be established along Juniper Flats Road, and Watson Road.
- 3) A special landscape treatment, as shown on Figure IV-8, shall be provided along Watson Road and Juniper Flats Road to limit views of this planning area from existing adjacent residential uses.
- 4) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 5) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan
III.A.2: Circulation Plan
III.A.3: Drainage Plan
III.A.4: Water and Sewer Plans
III.A.5: Open Space and Recreation Plan

III.A.6: Grading Plan
III.A.7: Landscaping Plan
III.A.8: Public Facilities Phasing Plan
III.A.9: Phasing Plan



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FIGURE ///-26

46. PLANNING AREA 46: MEDIUM DENSITY RESIDENTIAL

a. Descriptive Summary

Planning Area 46, as depicted on Figure III-25, provides for development of 16.2 acres of medium density residential uses with minimum lot sizes of 7,200 square feet. A maximum total of 77 dwelling units are planned at a target density of 4.8 du/ac.

b. Land Use and Development Standards

Please refer to Ordinance No. 348. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Access to Planning Area 46 shall be provided from Highway 74.
- 2) Please refer to Section IV, Design Guidelines, for design-related criteria.
- 3) Roadway landscape treatment, as illustrated in Figure IV-15, is planned along Highway 74.
- 4) Please refer to Section III.A. for the following Development Plans and Standards that apply site-wide:

- | | |
|---|---|
| III.A.1: Specific Land Use Plan | III.A.6: Grading Plan |
| III.A.2: Circulation Plan | III.A.7: Landscaping Plan |
| III.A.3: Drainage Plan | III.A.8: Public Facilities Phasing Plan |
| III.A.4: Water and Sewer Plans | III.A.9: Phasing Plan |
| III.A.5: Open Space and Recreation Plan | |

IV. DESIGN GUIDELINES

A. PURPOSE AND INTENT

Generally speaking, these guidelines have been devised as a method for achieving a high quality, cohesive design fabric for the community that will develop within the *MENIFEE NORTH* Specific Plan area.

More specifically, the purpose of these Design Guidelines is:

- To provide the County of Riverside with the necessary assurance that the Specific Plan area will develop in accordance with the quality and character proposed herein;
- To provide guidance to developers, builders, engineers, architects, landscape architects and other professionals in order to maintain the desired design quality;
- To provide guidance to County staff, the Planning Commission and the Board of Supervisors in the review of future development projects in the Specific Plan area;
- To provide guidance in the formulation of CC&Rs for the use of land in the Specific Plan area;
- To provide guidance in the formulation of concise development guidelines for the various planning areas within the Specific Plan boundaries.
- To provide development guidelines which permit the *MENIFEE NORTH* Specific Plan area to develop its own theme and character while allowing it to interface and respond to the character and design fabric of adjacent specific plan areas which may be currently under review or are proposed in the future.

The Design Guidelines provided herein are intended to function as a living document. They are subject to modification over time to allow for response to anticipated conditions, such as changes in taste, community desires and the marketplace, or significant changes within adjacent specific planning areas.

B. GENERAL GUIDELINES

As demonstrated by the conceptual Landscape Plan, Figure IV-1, careful thought has been given to integrate the structural and aesthetic elements of a balanced, active community. To ensure that this carefully considered plan is implemented in a manner that will bring *MENIFEE NORTH* a sense of its own character, a central theme has been established, as described below.

1. PROJECT THEME

The underlying design concept and theme for *MENIFEE NORTH* incorporates a suburban corridor along the highly visible Highway 74, transitioning outward with adjacent compatible land uses, to a more rural project edge. The project provides for unifying elements in each planning area. Streetscape corridors, entry monumentation, and project-wide design guidelines will provide unifying characteristics to strengthen the overall theme. Additionally, the project will create a community identity through control of elements such as architecture, landscaping, color palette of building materials, paving, community theme walls, fencing, lighting, street furniture, signage and graphics.

Landscaping plays a significant role in establishing *MENIFEE NORTH*'s distinctive character. The project's mixed use concept seeks to develop an association of different land uses by utilizing landscaping, which has been designed to strengthen the overall theme of the development, through the use of specific plant and hardscape materials, while still allowing for specific land use individuality.

2. PROJECT SETTING

a. Preservation of Natural Open Space and Hillside

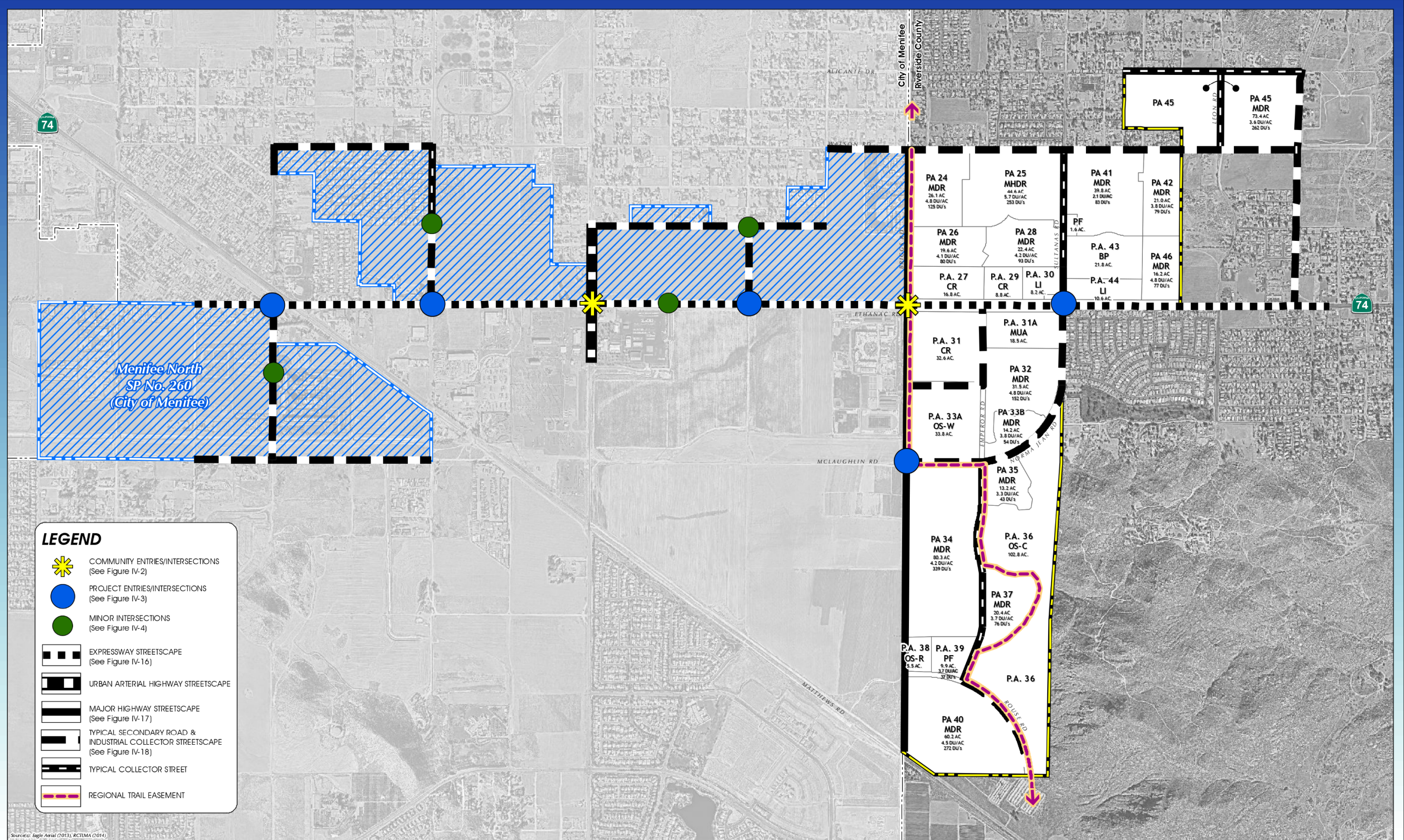
A significant amount of natural open space exists east of Briggs Road and south of Highway 74. This area is located in hillside portions of the project and can be seen from several areas of the surrounding valley. A key aspect of the *MENIFEE NORTH* Specific Plan is the preservation of this hillside area, which accounts for approximately 103 acres.

b. Development of Improved Recreational Open Space

The *MENIFEE NORTH* Specific Plan proposes the integration of recreational trails, community parks, a public park, and mini-parks to create a master recreational program which provides adequate areas to accommodate active recreational needs of the future residents of the site.

c. Creation of an Integrated Land Use Concept

In designing the land use plan for *MENIFEE NORTH*, it was intended that several opportunities be created as a means to provide a sense of arrival and to establish the overall theme. A hierarchy was developed which would establish this arrival theme, and which would provide a feeling of transition from varying intensity of land use. This hierarchy consists of Community Entries and Intersections, Project Entries and Intersections, Minor Intersections and Neighborhood Entries.



LEGEND

- COMMUNITY ENTRIES/INTERSECTIONS (See Figure IV-2)
- PROJECT ENTRIES/INTERSECTIONS (See Figure IV-3)
- MINOR INTERSECTIONS (See Figure IV-4)
- EXPRESSWAY STREETScape (See Figure IV-16)
- URBAN ARTERIAL HIGHWAY STREETScape
- MAJOR HIGHWAY STREETScape (See Figure IV-17)
- TYPICAL SECONDARY ROAD & INDUSTRIAL COLLECTOR STREETScape (See Figure IV-18)
- TYPICAL COLLECTOR STREET
- REGIONAL TRAIL EASEMENT

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FIGURE IV-1

C. COMMUNITY ELEMENTS

The *Conceptual Landscape Plan*, Figure IV-1, consists of community elements that reflect continuity throughout the project. Community elements such as entries, intersections, streetscapes, walls, fences and land use transitions will serve as a unifying element. Individually, these elements identify with specific land use, however through the consistent use of similar forms and materials, are designed to be a reinforcement of the overall project theme.

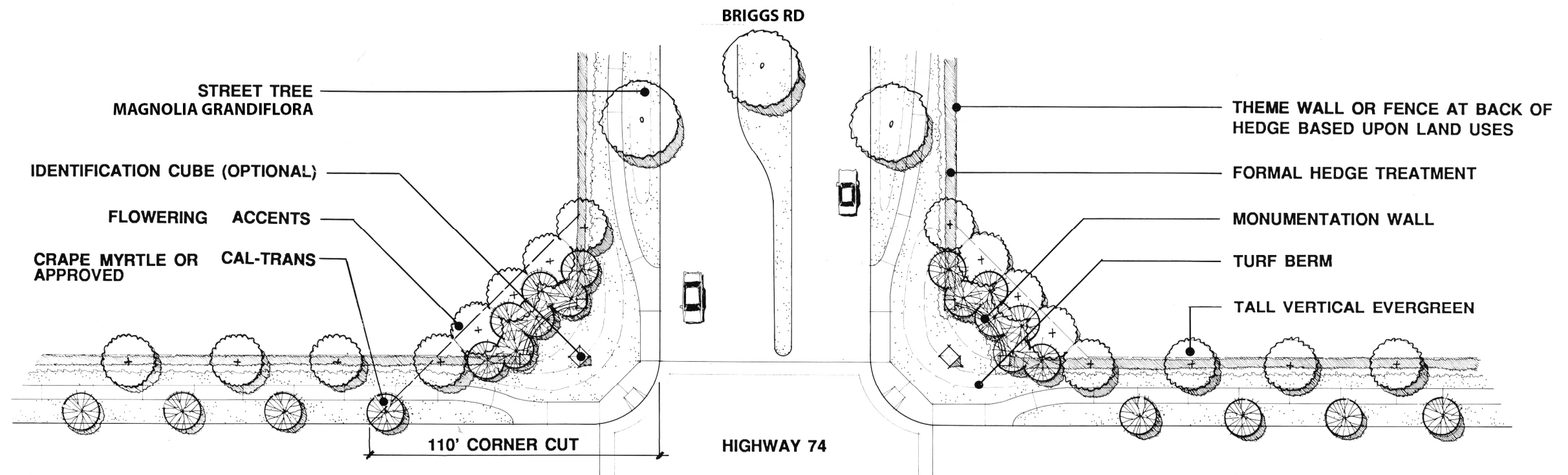
1. PROJECT MONUMENTATION TREATMENTS

Project monumentation is proposed at key entries and intersections which will become major focal points of the project's identification. Monumentation treatments in some situations share the same level of hierarchy, however must identify and be compatible with varied land uses. For this reason the forms, size and materials of these treatments have been carefully designed to be compatible with residential as well as non-residential uses. A hierarchy of monumentation statements, as discussed generally above and detailed below, has been established for *MENIFEE NORTH*.

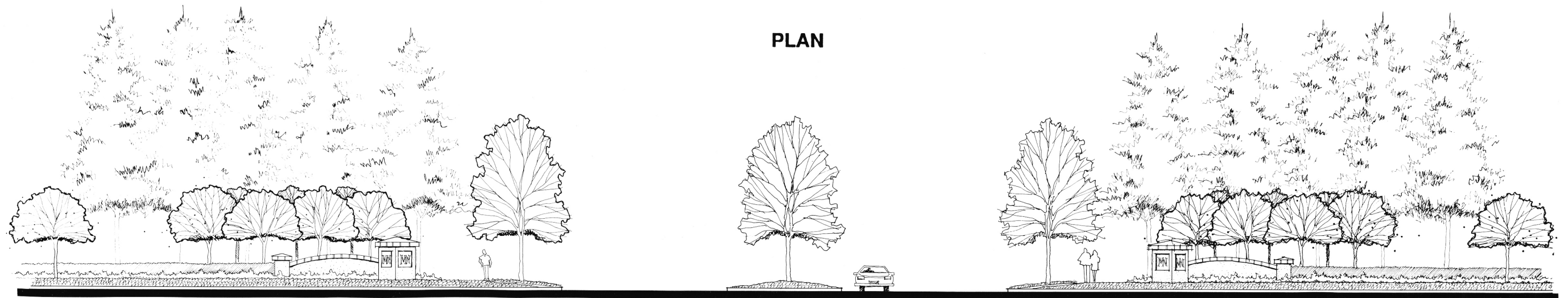
a. **Community Entries and Intersections** (Figure IV-2)

Community entries, as illustrated in Figure IV-2, occur at Arterial Highway and Major Highway intersections, and are *MENIFEE NORTH*'s "Gateway" to business and residential communities. These entries will serve to visually and physically announce major arrival points within *MENIFEE NORTH*. The overall sense of entry is created by a harmonious blend of thematic features that include:

- A 110-foot corner cutoff monumentation treatment.
- A 22-foot turf grass threshold introducing the monumentation treatment.
- Freestanding community identification cube compatible with community theme walls.
- A 25-foot radius monumentation wall, compatible with community theme walls, back up identification cube.
- Small flowering accent trees, which match the trees at Highway 74, in a formal grouping to provide color and to reinforce the overall streetscape theme.
- Tall evergreen trees behind flowering accent trees to provide a solid visual backdrop and to reinforce the overall streetscape theme.
- Formal hedge row treatment with a foreground of flowering ground cover to define physical limits of the entry statement and to provide screening of parked cars in commercial areas.
- Community entries may incorporate community theme walls or fencing at the back of landscape development zone limits, depending on adjacent land use requirements. See Figure IV-2.



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Community intersections are intended to occur in conjunction with community entries, where identification is not necessary or compatible with adjacent land uses. Intersections may incorporate community theme walls or fencing depending on adjacent land use requirements. See Figures IV-2.

b. Project Entries and Intersections (Figure IV-3)

Project entries, as illustrated in Figure IV-3, are the second level of hierarchy for monumentation, and occur at intersections of Arterial Highways and Major Highways. Project entry statements occur in a formal symmetrical configuration on both sides of the street and announce arrival to individual business or residential communities. Thematic features include:

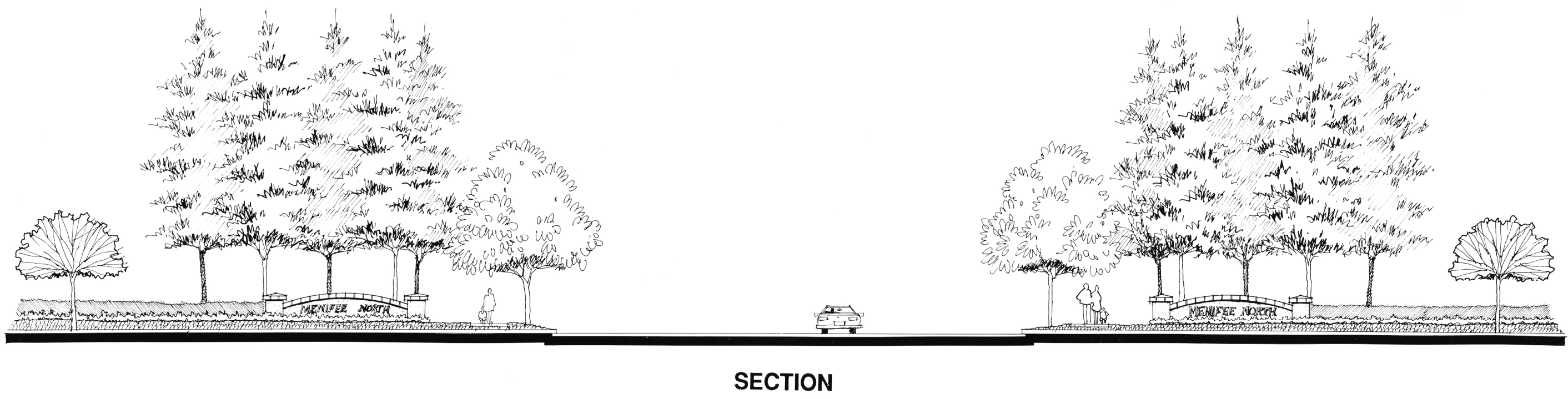
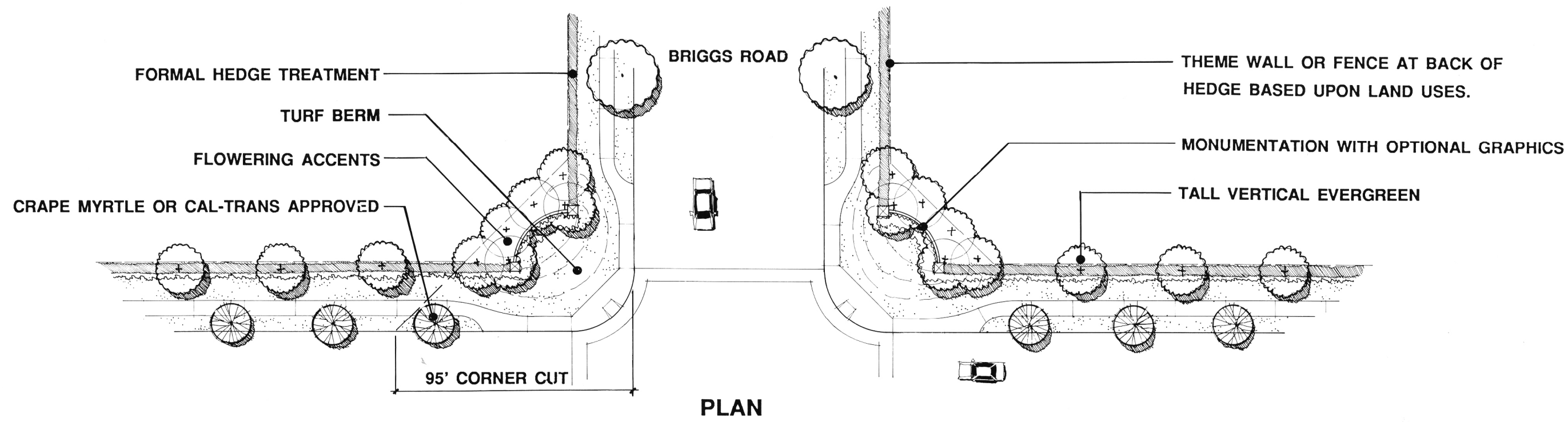
- A 95-foot corner cutoff monumentation treatment.
- A 22-foot turf grass threshold introducing the monumentation treatment.
- A 25-foot radius monumentation wall, identifying the project area by name. Graphics and materials are to be compatible with the overall community theme.
- Formal grouping of tall evergreen trees to provide continuity with community entries.
- Formal hedge row treatment, duplicating the appearance of community entries.
- Project entries may incorporate community theme walls or fencing at the back of landscape development zone limit depending on adjacent land use requirements. See Figure IV-3.

Project intersections are to be used in conjunction with project entries where continuity is desired, however project identification is not. These monumentations share the same thematic features with the exception of signage graphics. Intersections may incorporate a community theme wall or fencing, depending on adjacent land use requirements.

c. Minor Intersections (Figure IV-4)

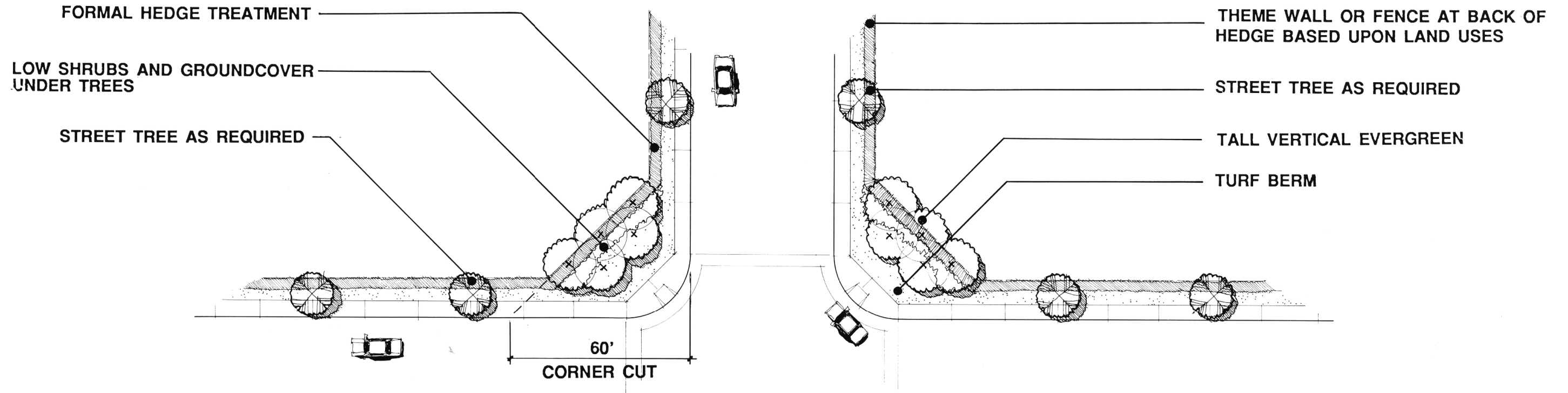
Minor intersections, as illustrated in Figure IV-4, are the third level of hierarchy for *MENIFEE NORTH*. Treatments reflect similar thematic features of previously described monumentations as follows:

- A 60-foot corner cutoff monumentation treatment.
- A 20-foot turf grass threshold.
- Formal grouping of tall evergreen trees to provide continuity with community and project monumentation treatments.
- Formal hedge row treatment compatible with other monumentation.

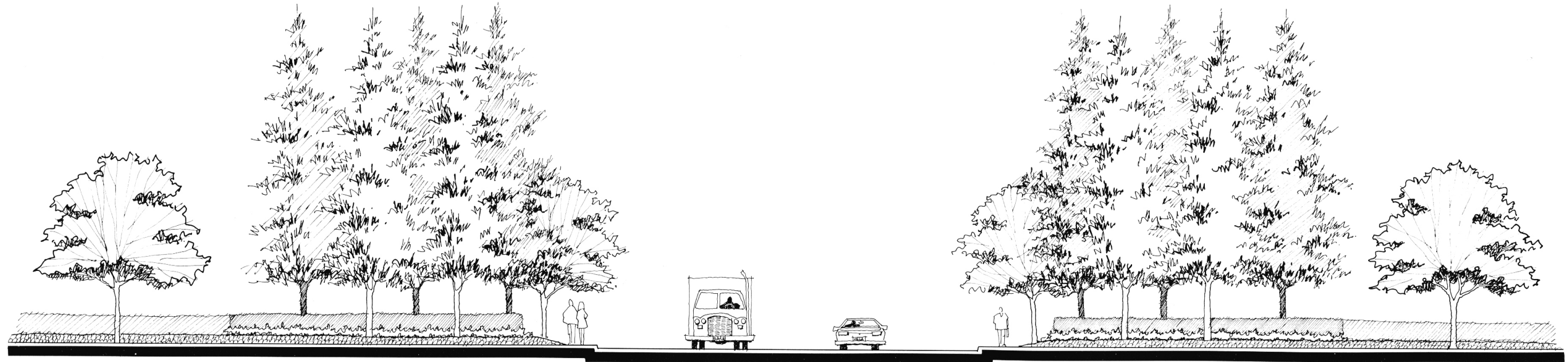


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FIGURE IV-3



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- Intersections may incorporate community theme walls or fencing, depending on adjacent land use requirements. See Figure IV-4.

d. Neighborhood Entries / Business Monument Signage (Figures IV-5 and IV-6)

Neighborhood Entries (see Figure IV-5) and Business Monument Signage (see Figure IV-6) share the fourth level of hierarchy and complete the monumentations for *MENIFEE NORTH*. These treatments are intended for future local streets that have not been identified on the *Conceptual Landscape Plan*, but will occur as part of the actual project design. Individual users are encouraged to reflect forms, materials, and graphics of other project monumentations to provide overall continuity and strengthen the theme of *MENIFEE NORTH*'s community elements.

2. LAND USE TRANSITIONS

In an attempt to create a high-quality, environmentally sensitive and aesthetically pleasing community, the *MENIFEE NORTH* Specific Plan proposes different types of transition treatments. These treatments will provide environmental design and land use edge treatments which facilitate a mixed use concept. They will also allow for land uses of similar intensity or compatibility to interlink, while allowing land uses of dissimilar intensity or limited compatibility to be physically separated or buffered from each other. The land use transitions, interfaces and edge treatments proposed for *MENIFEE NORTH* are intended to:

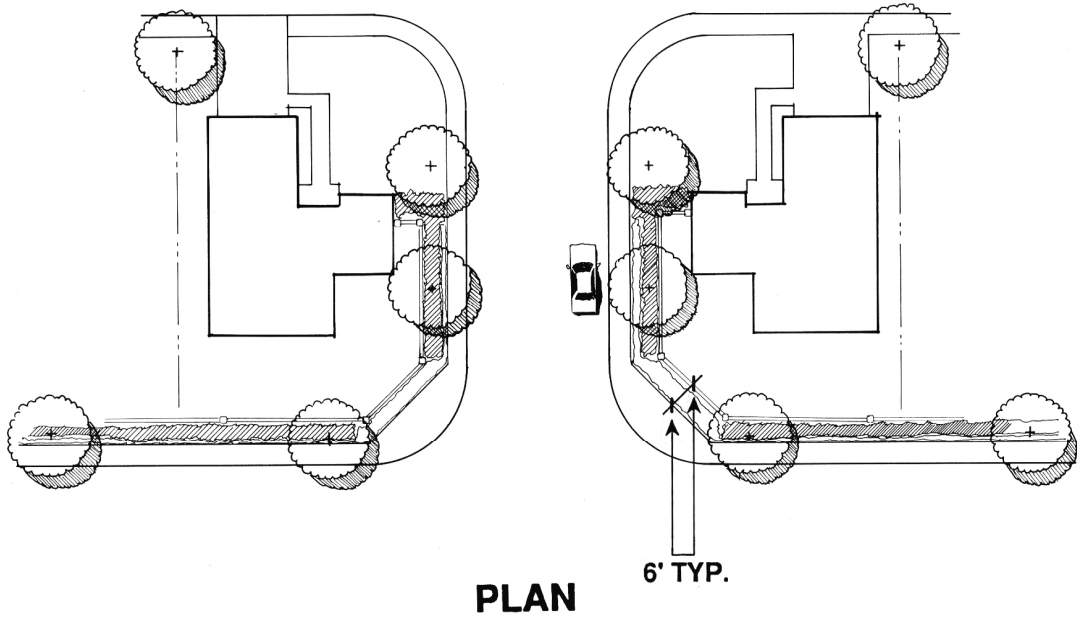
- Provide for the separation and buffering of dissimilar land uses or residential densities by employing community design elements.
- Ensure proper treatment of sensitive areas, such as open space and hillsides.
- Establish design criteria for creating effective linkages between natural and improved open space and residential, industrial, commercial, business park and educational uses.

The recommended locations for each of these land use transitions are detailed in the *Planning Area Development Standards* (Section III.B). A description of each transition is provided below.

a. On-Site Residential / Adjacent Existing Residential Interface (Figure IV-7)

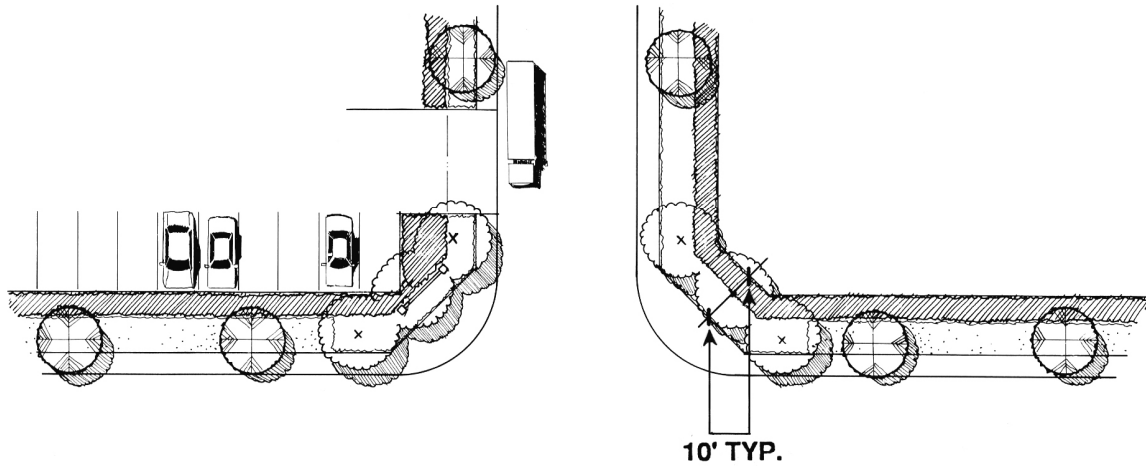
This interface occurs along the northern and eastern portions of the project. This interface is created where proposed low, medium and medium-high density residential land uses within *MENIFEE NORTH* are adjacent to existing off-site rural properties. Figure IV-7 illustrates the on-site residential/existing adjacent residential land use transition which incorporates the following guidelines:

- To retain the rural nature of these interfaces, a 40-foot backyard setback is provided for on-site residential lots to create a landscaped buffer.
- Encourage on-site residential lots to establish generous backyard landscaping with informal groupings of both vertical and canopy trees to limit views from adjacent existing residential properties to proposed residential roof lines.



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FIGURE IV-5



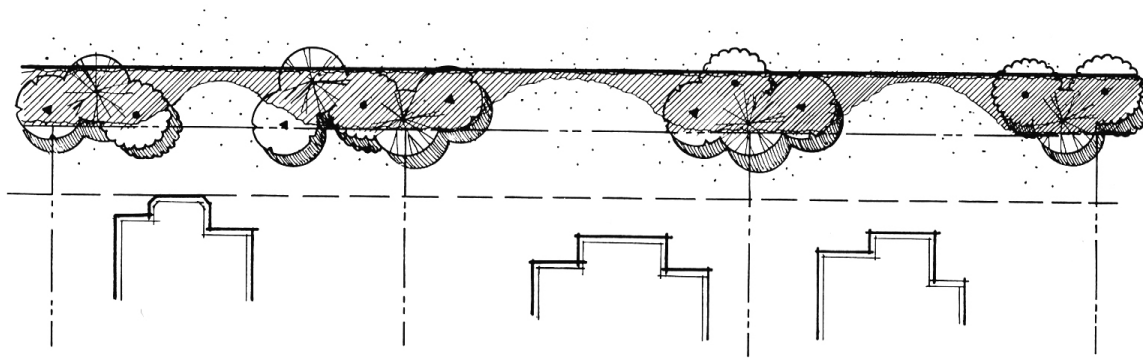
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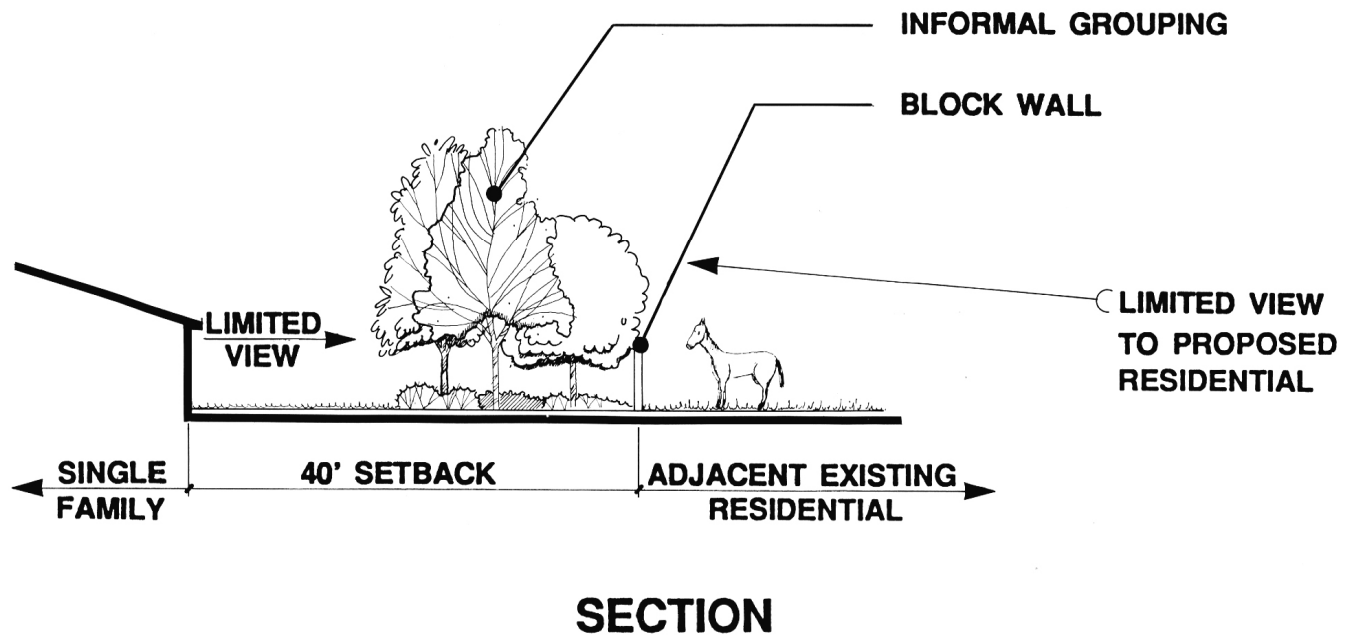
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FIGURE IV-6



**PROPOSED SINGLE FAMILY
PLAN**



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FIGURE IV-7

- A 6-foot high community theme wall shall be provided at the property line.
- Where grading changes occur, incorporate contour grading techniques, avoiding sharp cut manufactured slopes to create a more natural appearance.

b. Secondary Road Streetscape / Adjacent Existing Residential Interface (Figure IV-8)

This land use transition is created where streetscape improvements for Watson Road or Juniper Flats Road are adjacent to adjacent existing rural properties. The 88-foot street right-of-way would separate on-site residential and school land uses from off-site uses. This land use transition, as illustrated in Figure IV-8, incorporates the following guidelines:

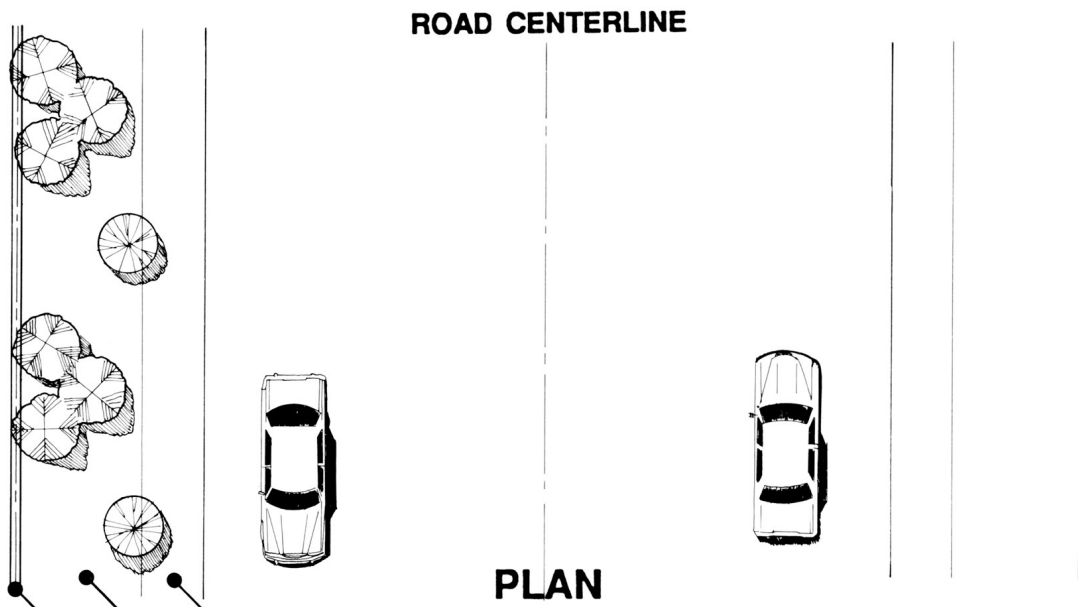
- Watson Road and Juniper Flats Road shall incorporate an 11-foot landscape development zone with informal groupings of trees and small flowering accents to retain a rural feeling while limiting views.
- On-site residential lots are encouraged to provide generous backyard landscaping with informal groupings of trees to limit views from adjacent existing residential properties to proposed residential roof lines.
- A 6-foot high community theme wall shall be provided at the property line of residential lots and school property abutting the Watson Road or Juniper Flats Road right-of-way.

Along portions of Watson Road, a channel right-of-way further separates on-site residential and school uses from off-site development, limiting view potential.

c. Drainage Channel / Residential and Park Interface (Figure IV-9)

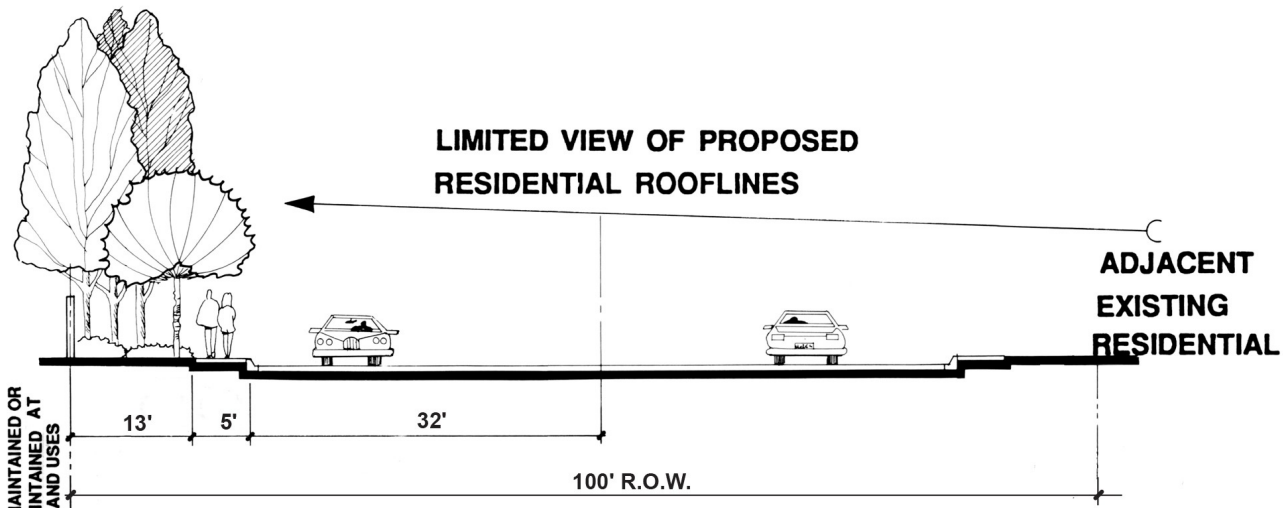
There are several areas within the *MENIFEE NORTH* project where drainage channels interface with residential uses and park property. Generally, these channels are located adjacent to Watson, Briggs and McLaughlin Roads, between the street right-of-way and residential lots, or park area. This interface is illustrated on Figure IV-9 and incorporates the following guidelines:

- Streetscape landscaping between the street curb and the back of the landscape development zone shall be as required by the *Conceptual Landscape Plan*, Figure IV-1.
- A 6-foot high community theme wall shall be provided at the streetscape side of the channel and a 6-foot high community theme fence shall be provided at the residential, or park side of the channel. Figure IV-21 illustrates the *Community Walls and Fencing Plan* for *MENIFEE NORTH*.
- Generous residential backyard setbacks are encouraged to allow for appropriate landscape buffers on individual lots.



PLAN

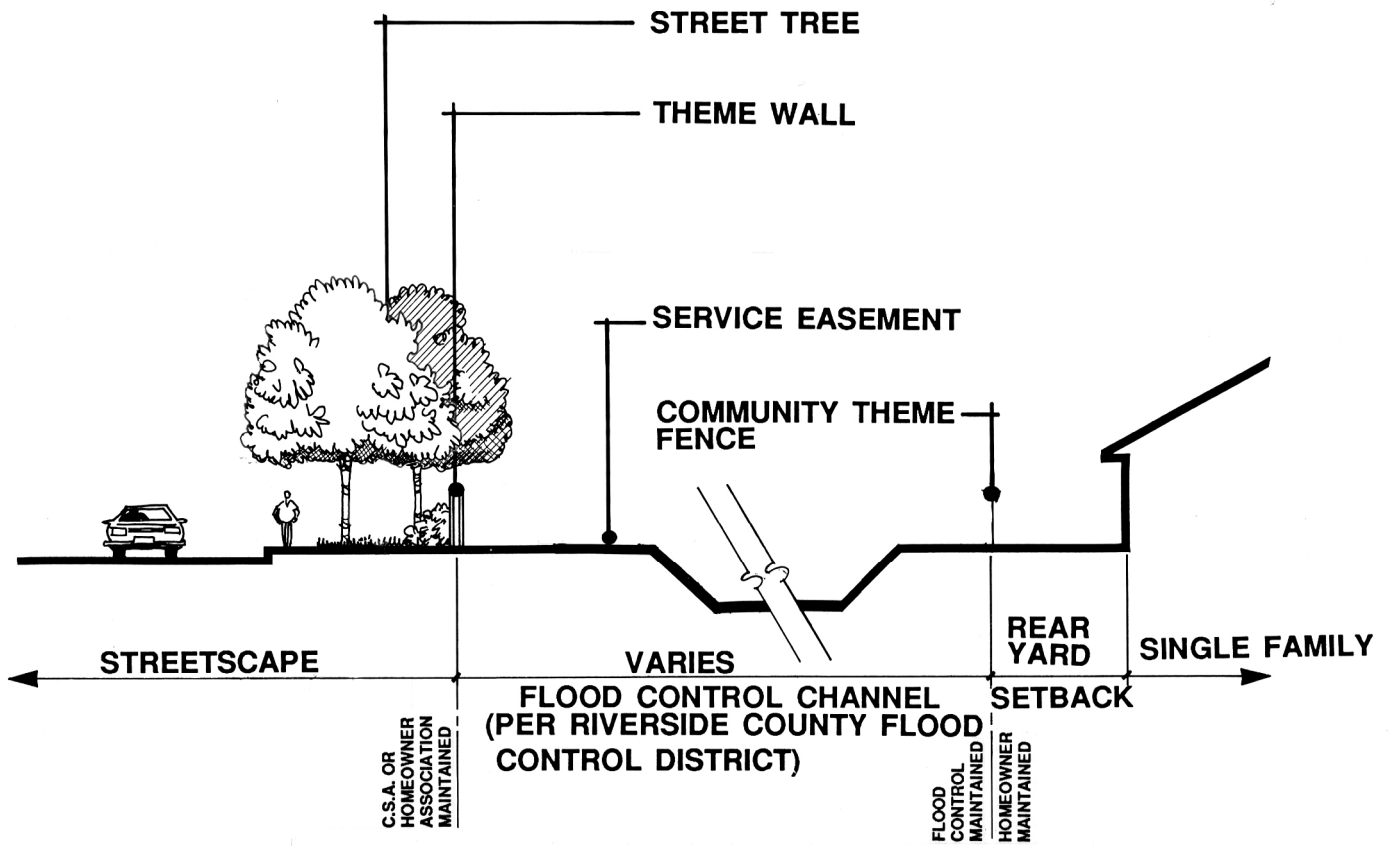
- SIDE WALK
- LANDSCAPE BUFFER
- BLOCK WALL



SECTION

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FIGURE IV-8



WATSON/BRIGGS/MCLAUGHLIN INTERFACE

d. Drainage Channel / Commercial Retail Interface
(Figure IV-10)

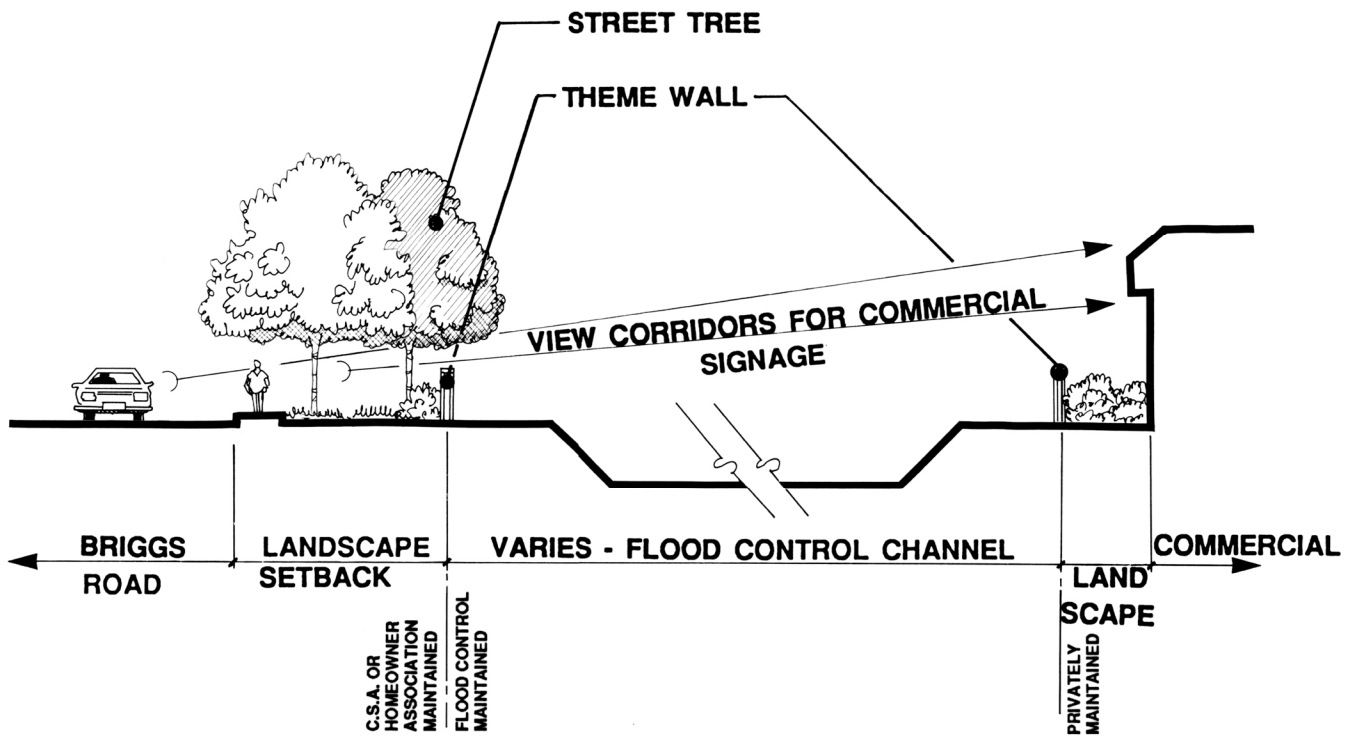
Edge conditions created where Commercial Retail land uses interface with the flood control channel adjacent to Briggs Road is illustrated in Figure IV-10 and incorporates the following guidelines:

- Streetscape landscaping between the street curb and the back of the landscape development zone shall be as required by the *Conceptual Landscape Plan*, Figure IV-1.
- A 6-foot high community theme wall shall be provided at both sides of channel. Figure IV-21 illustrates the *Community Walls and Fencing Plan* for *MENIFEE NORTH*.
- Site plans for Commercial Retail uses should strive to create reverse frontage products at this edge condition, however allowing for signage on the rear of buildings for good visibility from Briggs Road. Signage and graphics should be compatible with the overall community theme.

e. Residential / Park Interface (Figure IV-11)

At edge conditions where proposed park improvements are adjacent to proposed and existing single family residential land uses, the following guidelines apply:

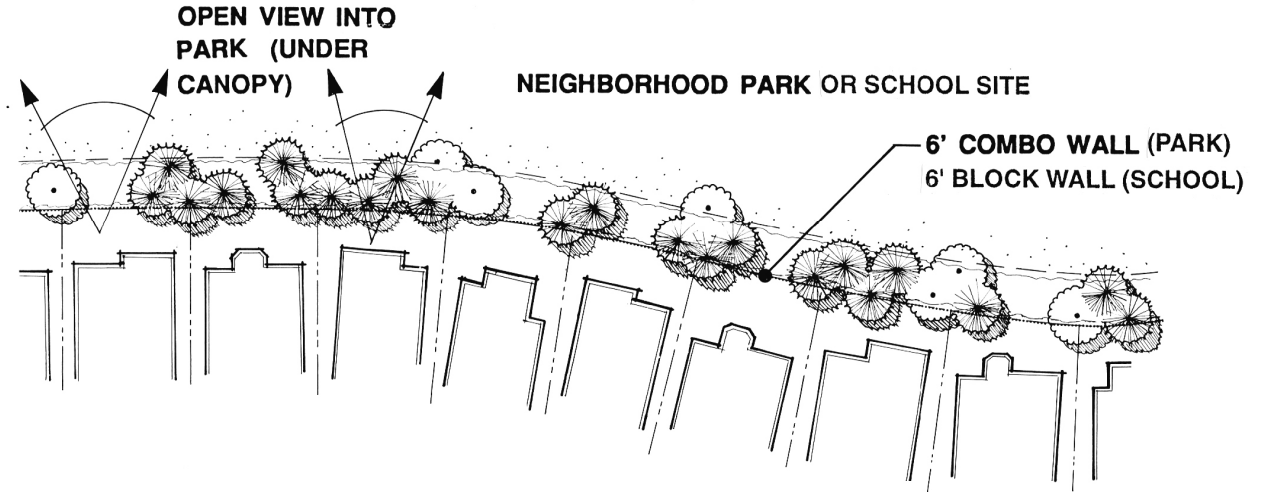
- A 6-foot high combination low stucco wall with tubular steel fence shall be provided at the property line to allow open spacious view into park from adjacent residential uses, while limiting public intrusion into private lots.
- A 20-foot wide landscaped buffer shall be established at the park edge.
- Landscape tree plantings for the park site should stress the use of tall skyline tree plantings to retain views into the park site. Trees such as Eucalyptus species, plane trees and California Sycamores should be planted in random informal groves or groupings. Tree plantings should generally be concentrated along the outer edges of the park to allow for the maximization of unrestricted usable open space.
- Site plans for adjacent residential land uses should strive to provide direct, convenient circulation connections to park site.
- Encouraged graceful mounding should be designed throughout park to create a natural appearance.



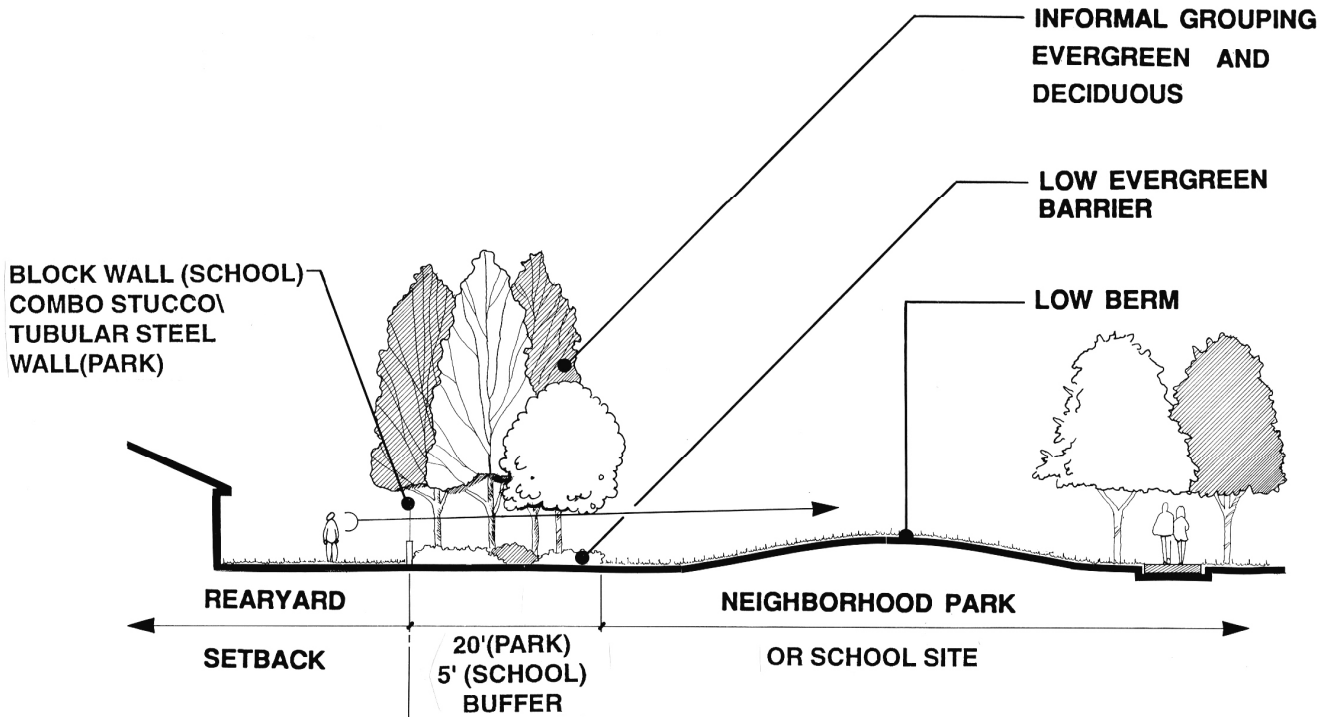
MENIFEE NORTH SP 260 - A2, SC4

FIGURE IV-10

DRAINAGE CHANNEL / COMMERCIAL RETAIL INTERFACE



PLAN



SECTION

HOMEOWNER MAINTAINED
 HOMEOWNER ASSOCIATION, C.S.A. OR VALLEY WIDE PARK & RECREATION DISTRICT MAINTAINED OR SCHOOL DISTRICT MAINTAINED

MENIFEE NORTH SP 260 - A2, SC4

FIGURE IV-11

RESIDENTIAL/PARK OR SCHOOL INTERFACE

At conditions created where proposed school improvements are adjacent to residential properties, the following guidelines apply:

- A 6-foot high solid block wall which is compatible in appearance with community theme wall shall be provided at the property line.
 - A minimum 5-foot wide planting area should be provided on the school yard side of the property line.
 - Landscape tree plantings for the outdoor recreation areas of the school should stress the use of tall skyline tree plantings.
- g. Residential / Business Park, Mixed-Use Planning Area, Light Industrial, or Commercial Retail Interface (Figure IV-12)**

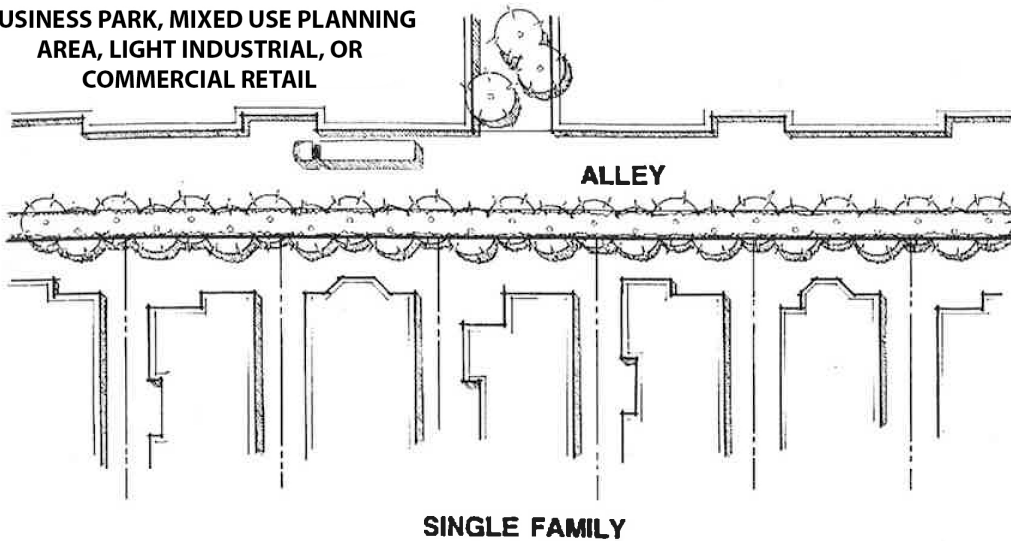
This interface, shown in Figure IV-12 occurs where residential land uses, either existing or proposed, are adjacent to Business Park, Mixed Use Planning Area, Light Industrial, or Commercial Retail land uses. The following guidelines apply:

- Site plans should strive to orient parking, vehicular circulation and loading and storage areas away from the residential interface. Where parking, vehicular circulation, loading or storage areas occur adjacent to residential areas, they should be separated from the residential areas by a minimum 10-foot wide landscaping screening buffer.
- A 10-foot wide planting area shall be incorporated along the business park, light industrial, commercial retail, or mixed use planning area side of the screen wall.
- Screening shall be provided at the commercial retail/business park/light industrial/mixed-use planning area edge by a 6 foot high decorative wall which is compatible in appearance with the community walls.
- Commercial retail, business park, light industrial and mixed-use planning areas visible from adjacent residential lots shall be liberally and informally planted with a combination of vertical trees, canopy trees, shrubs, and groundcovers.
- Site plans for single family lots should strive to construct units a minimum of 15 feet from the property line adjacent to the transition area.

h. Residential / Regional Trail / Open Space Interface (Figure IV-13)

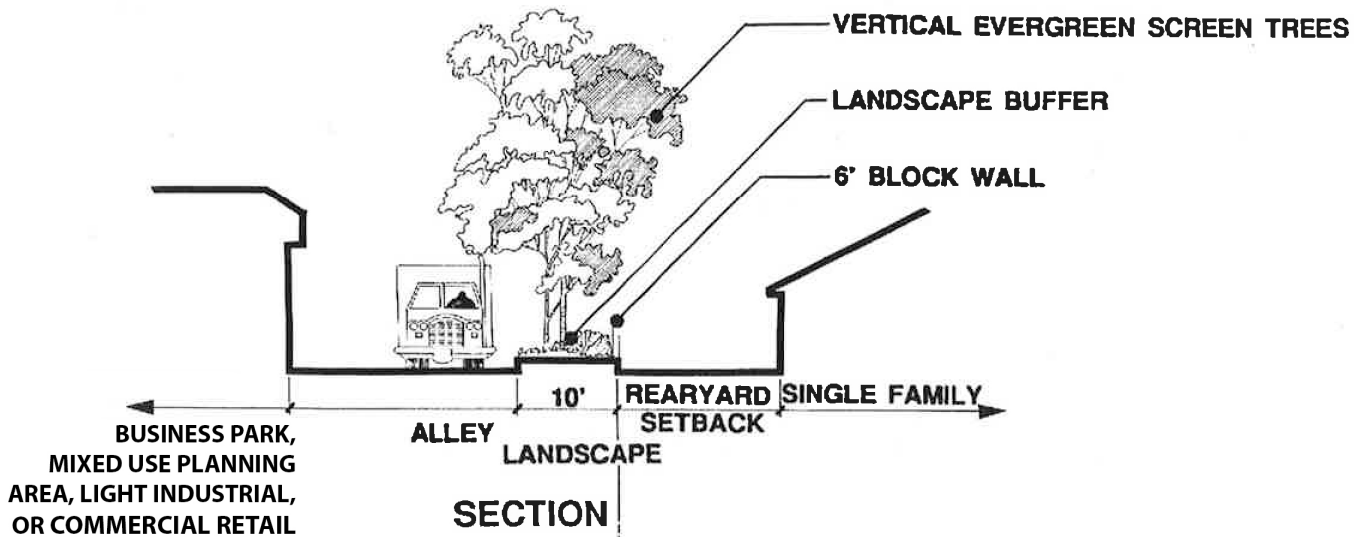
This interface occurs where residential planning areas are adjacent to the regional trail and open space areas. In areas where grading will be required at up-hill natural slopes, a fuel modification interface shown on Figure IV-13, is proposed. This treatment will ensure proper revegetated edge conditions, provide for an aesthetic transition

**BUSINESS PARK, MIXED USE PLANNING
AREA, LIGHT INDUSTRIAL, OR
COMMERCIAL RETAIL**



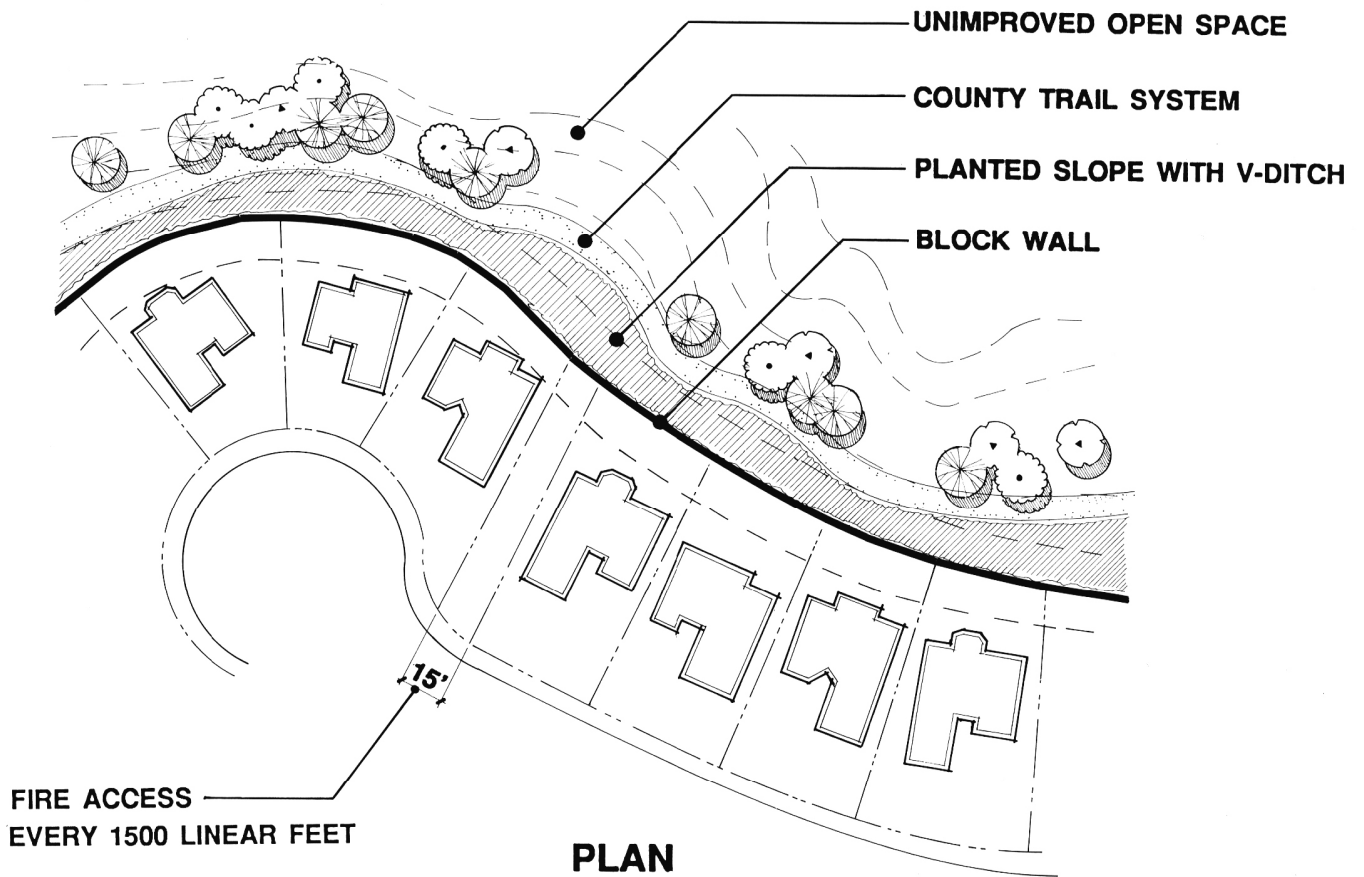
SINGLE FAMILY

PLAN

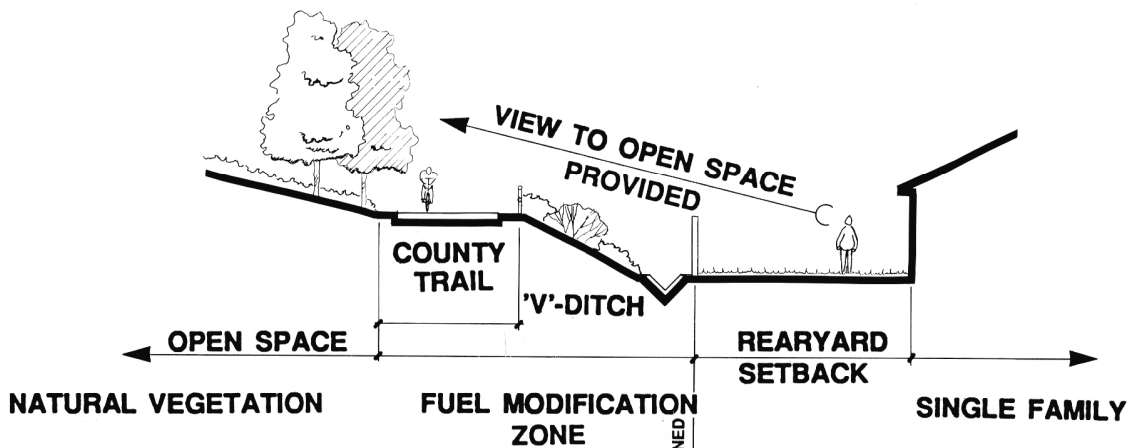


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FIGURE IV-12



PLAN



SECTION

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FIGURE IV-13

RESIDENTIAL / REGIONAL TRAIL / OPEN SPACE INTERFACE

between natural and created conditions and if, and when necessary, reduce fire hazards. Per the Riverside County Fire Department the following guidelines apply:

- A 6-foot high solid masonry wall shall be provided at the rear of residential lots.
- Masonry walls shall provide for access openings for fire equipment every 1,500 linear feet.
- All areas disturbed by grading shall be revegetated with fire retardant plants subject to Riverside County Fire Departments approval.
- Any trees planted shall be located a minimum of 30 feet from the rear of residential property lines.

i. Regional Trail / Roadway Interface (Figure IV-14)

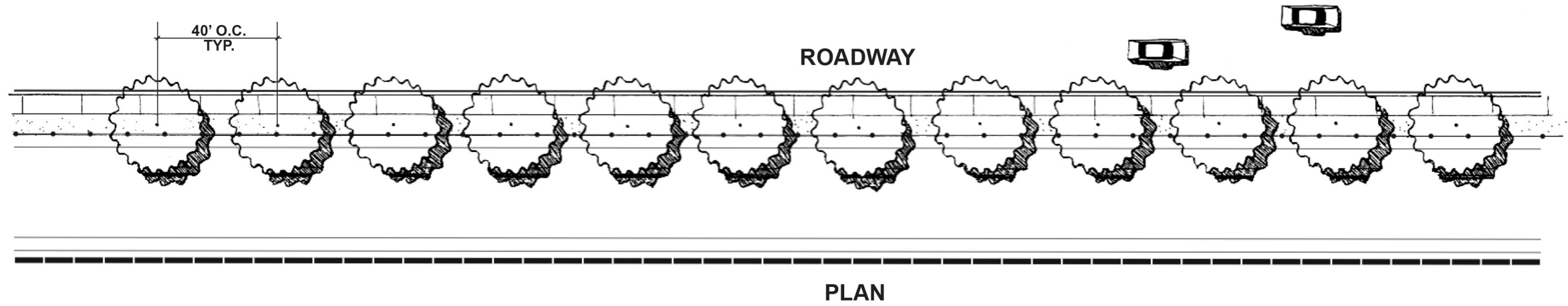
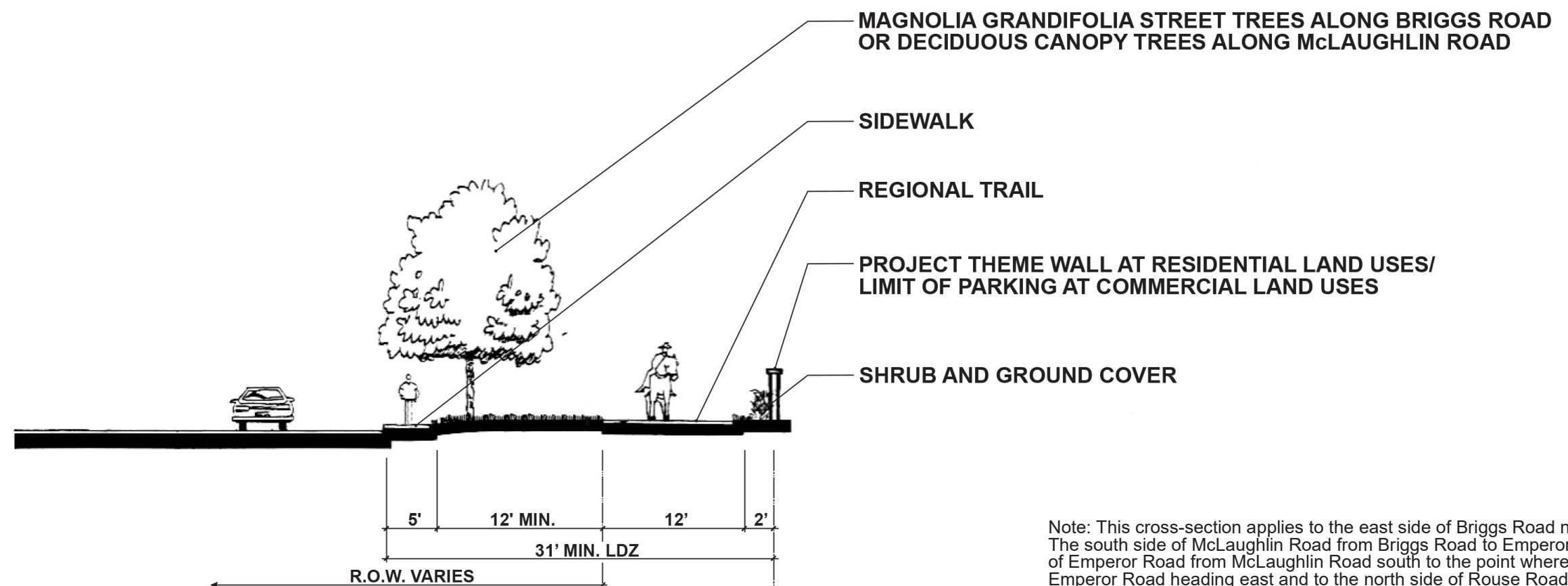
A portion of the regional trail will be located along project roadways (Briggs Road, McLaughlin Road, Rouse Road, and Emperor Road). In these areas, adequate buffering is required to separate the trail from the adjacent right-of-way. This interface is depicted in Figure IV-14 and incorporates the following guidelines:

- An 8-foot wide planting area shall be provided between the pedestrian sidewalk and the regional trail. Canopy street trees shall be planted in this area in accordance with the *Conceptual Landscape Plan*.
- A 2-foot wide planting area to accommodate shrubs and groundcover shall be provided between the regional trail and the adjacent land uses.
- Where residential lots abut the regional trail, a project theme wall shall be constructed at the property line.

j. Community Park/School Shared Use Interface (Figures IV-15)

This interface, as shown in Figure IV-15, occurs where elementary school land uses abut improved open space parks. The main objective of this interface will be to emphasize and facilitate a "Shared Use" concept. A shared use concept implies that there would be times at which it would be advantageous for the school to utilize the park for school activities such as athletics, while it might be advantageous for the community to use certain outdoor facilities within the school site such as ball courts or playground equipment during and/or after school hours. To implement this idea of shared use, the following guidelines should apply to the park/school interface.

- Direct physical barriers such as walls or fences should not be placed between the park and school. Separation should be implied by using rolling mounds and landscaping to suggest separation while allowing for barrier free access between the school and park.
- Outdoor recreation facilities such as ball fields, ball courts or play ground areas should orient toward boundary line between park and school for easy access from both land uses.
- Methods of securing the school building should not restrict the after hours use of the schools playgrounds, ball fields or play courts.



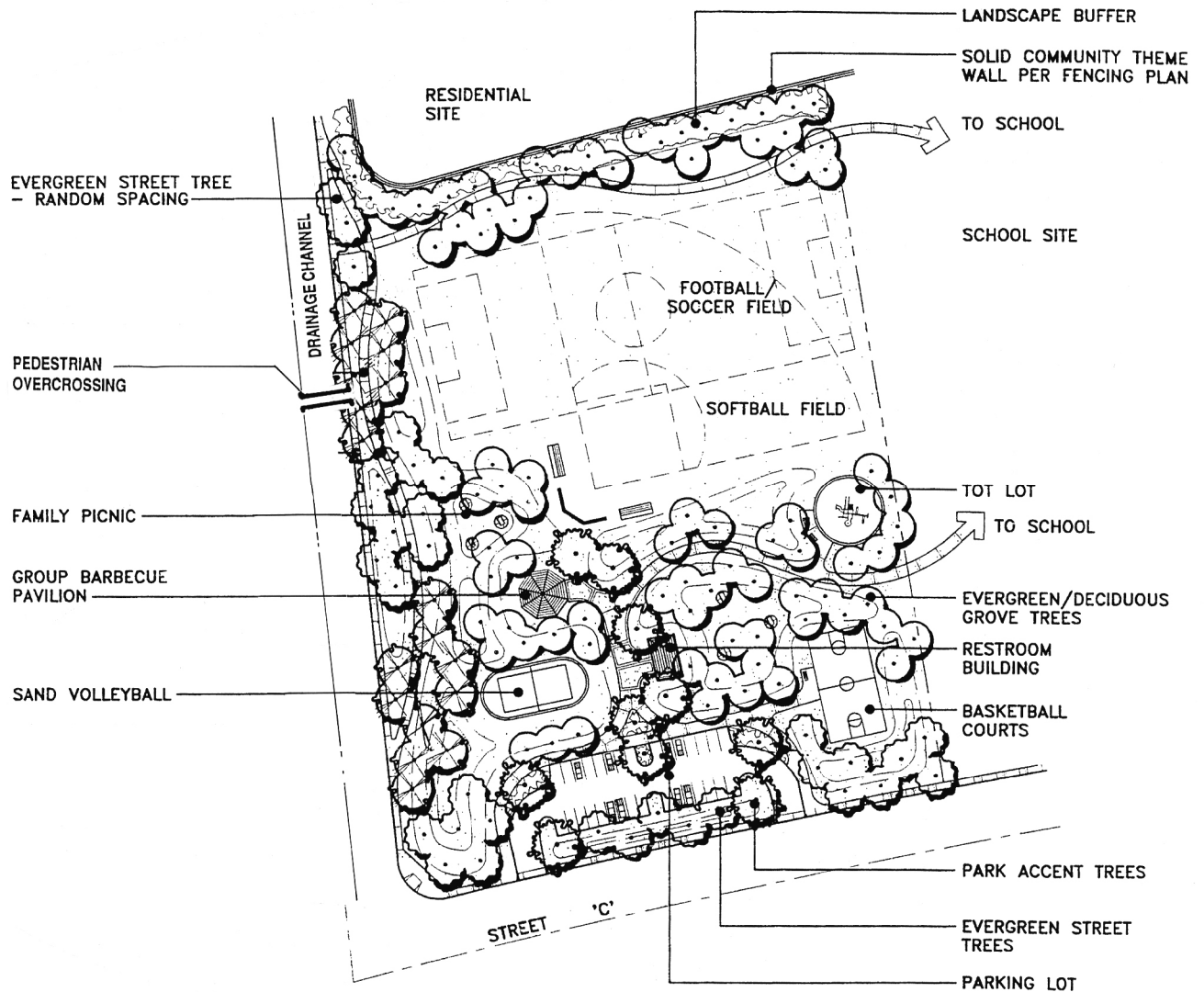
Source(s): ACD Engineering

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REGIONAL TRAIL / ROADWAY INTERFACE

FIGURE IV-14



Note: This site plan is conceptual and not necessarily accurate with regard to programming and/or layout.

MENIFEE NORTH SP 260 - A2, SC4

FIGURE IV-15

- Should direct physical separation of the school and park site be desired, open construction fences should be employed to allow for unobstructed views into both the school and park. Vinyl coated chain link fences may be allowed as view fences between schools and parks, but openings or gates should be provided within open construction fences to allow for the potential for shared use.

3. **STREETSCAPES**

The *Conceptual Landscape Plan*, Figure IV-1, establishes the streetscape hierarchy and continuity of the *MENIFEE NORTH* project. The plant palette and landscape treatments for each of the streets serve to emphasize certain key aspects of each corridor. Plant materials will be selected for their ability to express a dynamic design nature which will be dependent upon their particular sizes, shapes, forms, textures and flowering habits. The particular physical characteristics and growth habits of streetscape plant materials will allow them to influence the identities and functions of the street system on which they are placed.

a. **Highway 74 / Ethanac Road Streetscape** (Figure IV-16)

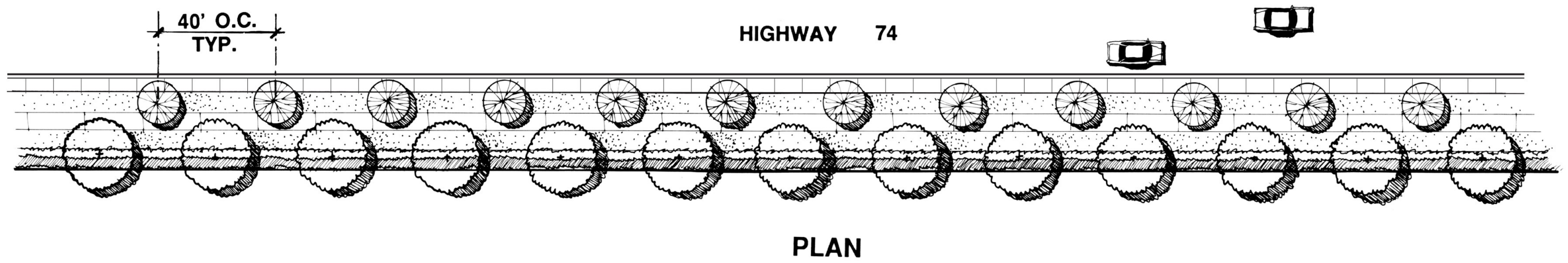
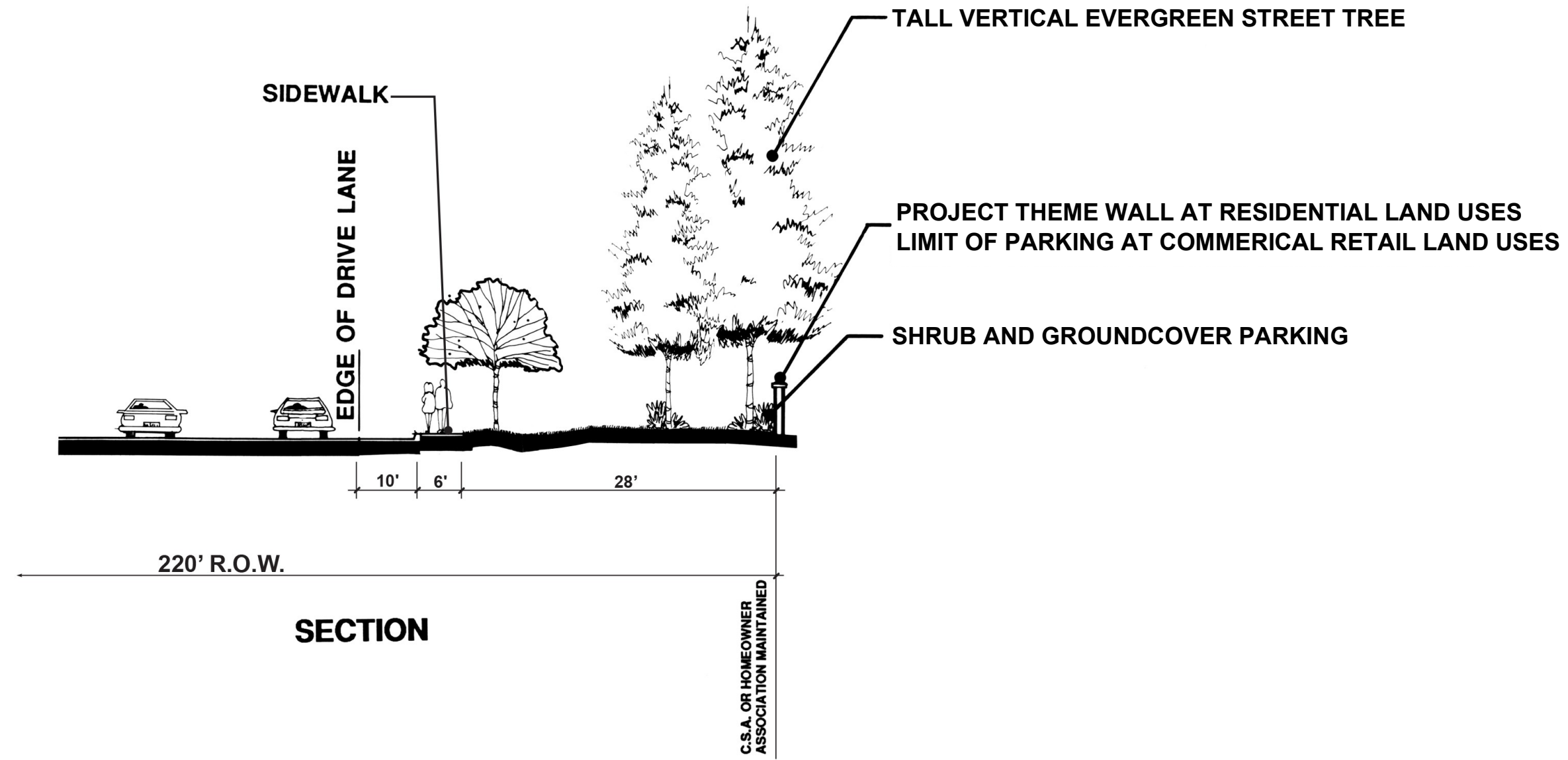
State Highway 74 and Ethanac Road (combined) is the most significant corridor of the *MENIFEE NORTH* project, forming the major entries from the east and the west. The *Specific Land Use Plan* (Figure III-1) appropriately provides for commercial uses along this established corridor, transitioning outward to more rural land uses which are compatible with the surrounding area. A formal statement of distinctive tall evergreen trees, as depicted in Figure IV-17, not only strengthens the suburban nature of this streetscape but creates a feeling of grand entry to the community of *MENIFEE NORTH*. Because of the high visibility requirement necessary for successful commercial uses, the plantings along this streetscape are to be simple and uncluttered, allowing views to penetrate commercial uses. Backdrop trees will be evergreen for year-round marking appeal, with flowering accent trees in the foreground and center median. Detailed plantings are reserved for individual uses and monumentations. Landscape berms with a formal hedge will screen parking lots and support and strengthen this streetscape.

b. **Briggs Road Streetscape** (Figure IV-17)

Because Briggs Road continues through adjacent proposed and existing communities, special consideration has been given to create continuity throughout these projects. For this reason, the *Magnolia grandiflora* has been selected as the street along Briggs Road. Architectural themes, wall entries, and setbacks have also been coordinated for a compatible streetscene.

c. **Typical Secondary and Industrial Collector Road Streetscape** (Figure IV-18)

To achieve a balance between the projects suburban and rural characteristics, community streetscapes will employ a combination of plant material types and planting arrangements. Generally, the remainder of the streets within the community with a higher traffic volume should express a more suburban nature as depicted in Figure IV-18.



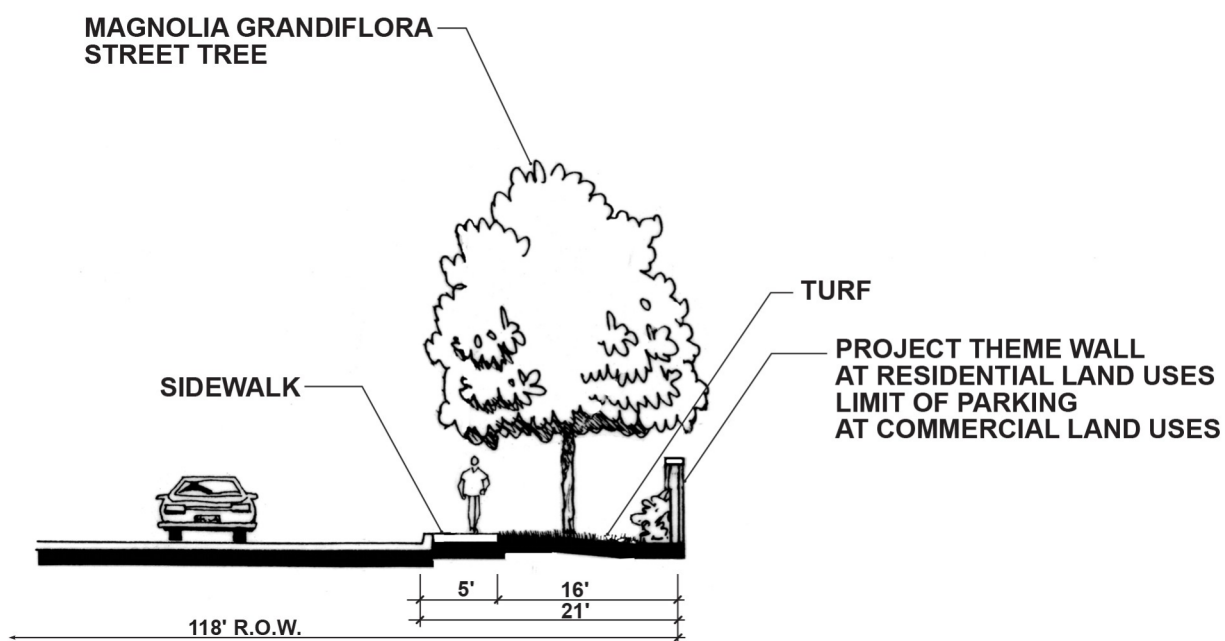
Source(s): ACD Engineering

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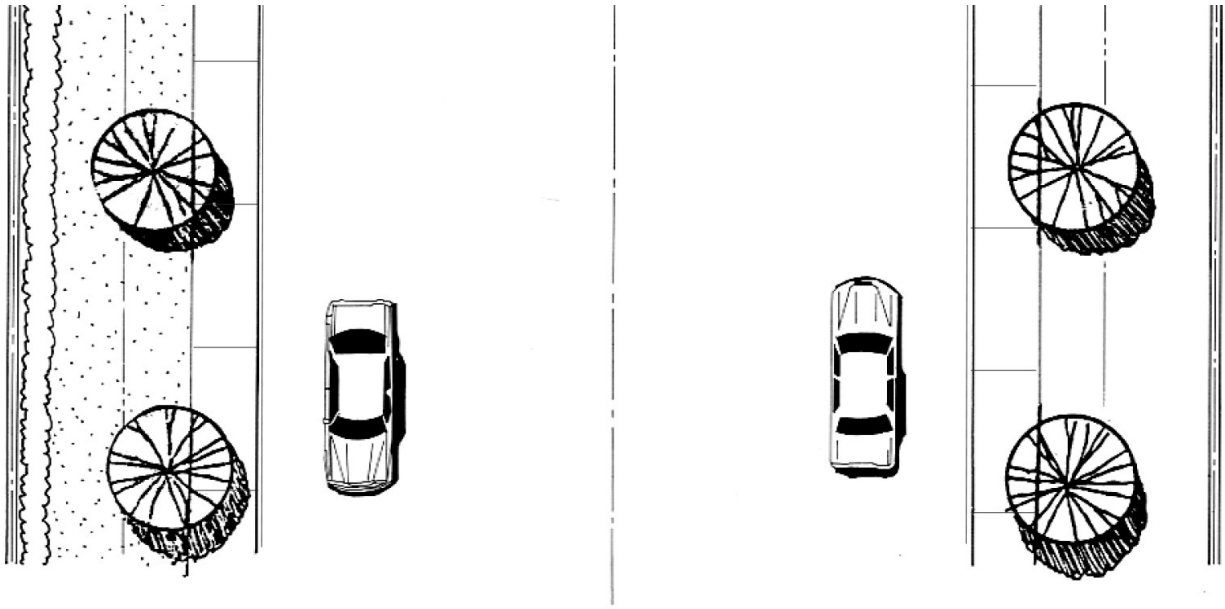
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HIGHWAY 74 / ETHANAC ROAD STREETScape

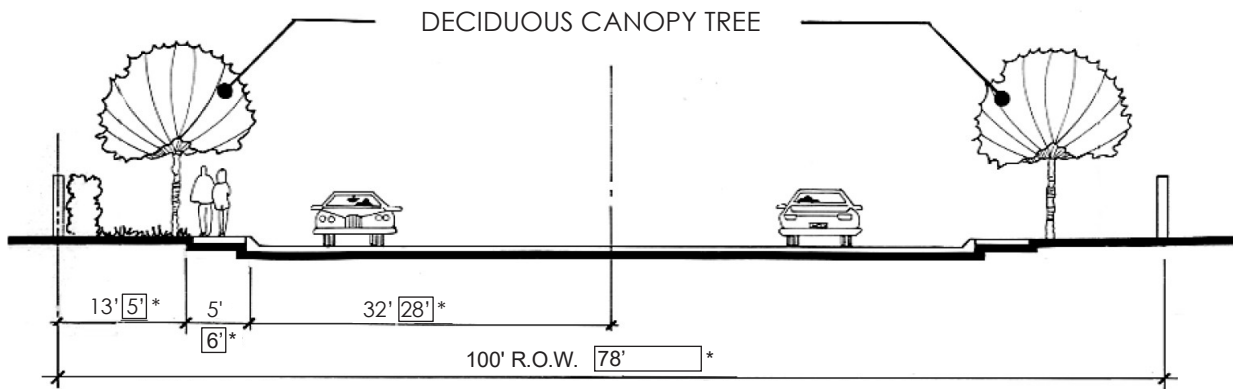
FIGURE IV-16



Note: This cross-section applies to the east side of Briggs Road (south of McLaughlin)



PLAN



*78' R.O.W. APPLIES TO INDUSTRIAL COLLECTOR ROADS

SECTION

NOTE:

SECONDARY CROSS-SECTION APPLIES TO:

- Watson Road
- McLaughlin Road (Briggs Road to Emperor Road)
- Juniper Flats Road
- Rouse Road

*INDUSTRIAL COLLECTOR CROSS-SECTION APPLIES TO:

- *Sultanas Road (Highway 74 to North Boundary of Planning Area 44)
- *Street "B" (Briggs Road to Emperor Road)

d. Norma Jean/Sultanas Road Streetscape Adjacent to Planning Areas 31A and 32 (Figure IV-19)

To limit views of Planning Areas 31A and 32 from adjacent existing residential uses to the east, a special landscape treatment will be provided along this portion of Norma Jean/Sultanas Road. Similar to secondary and industrial roadways, this streetscape will employ a combination of plant material types and planting arrangements to convey a rural atmosphere.

e. Neighborhood Streets

Internal perimeter and neighborhood streets should express a more rural nature. Basically, the selection and spacing of trees having unrefined, rough textures and loose growth habits reflect more of a rural character. Likewise a formal spacing of trees with refined symmetrical growth habits will further strengthen a suburban character. Tree varieties shall be chosen from the *MENIFEE NORTH* Palette contained herein.

4. COMMUNITY OPEN SPACE

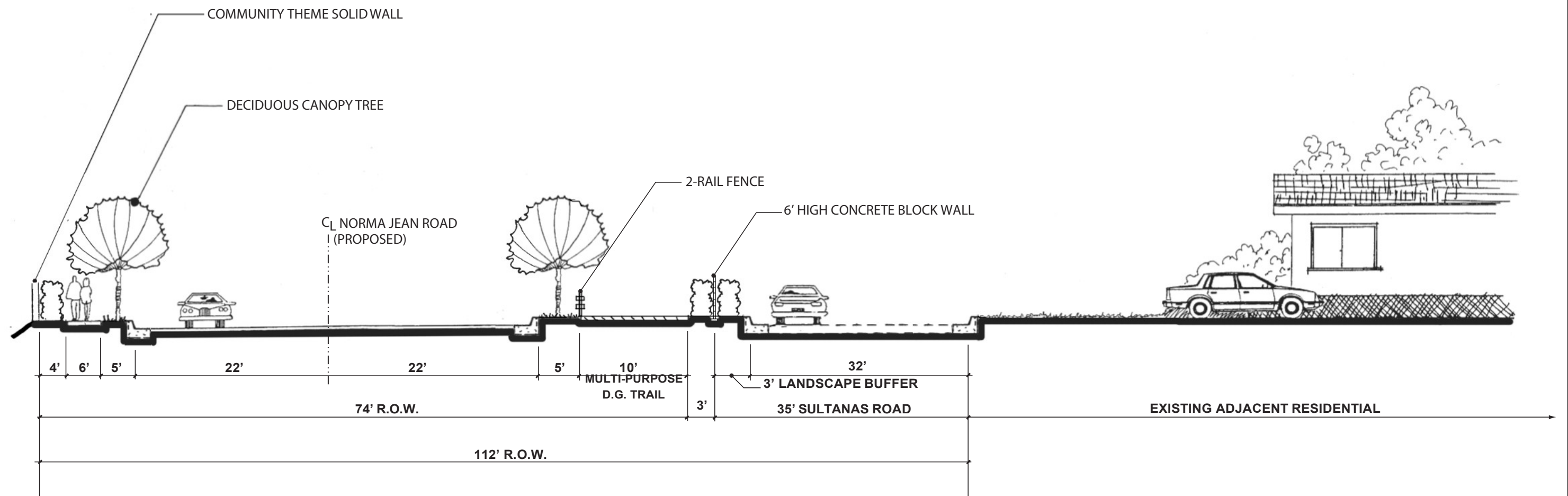
The *MENIFEE NORTH* Specific Plan offers a variety of open space and recreational opportunities as discussed below.

a. Natural Open Space Areas

Substantial amounts of natural open space will be preserved in the southeastern portion of the project area. The open space areas will be developed with a regional trail system traversing the slope at the southeastern portion of the project. Benefits in terms of significant view opportunities and physical buffering serve an important land use function. Residential land uses which are adjacent to the areas will be allowed to take advantage of the visual qualities of the open space areas due to its up-hill relationship to residential properties. Prominent visual continuity with the open space will visually extend the limits of those yards into the open space. No physical improvements or structures, with the exception of the regional trail, would be allowed to encroach into the open space areas. Hillside vegetation, however, may be selectively thinned as required to limit fire hazards. A fuel modification zone as previously described in the Residential/Regional Trail/Open Space Interface Section and has been included in this Specific Plan to address potential fire hazards within open space areas.

b. Community Center/Park/School Shared Use (Figure IV-15)

Where a "Shared Use" concept between school sites and the adjacent community parks can be developed, additional improved open space areas (play fields, game courts, etc.) within the school site can also become an integral component of the projects Community Open Space. The park and school will be developed to the specifications of the County of Riverside and the governing school district. Pursuant to existing requirements, the park will include multipurpose playing fields, multi-purpose courts, restrooms, picnic and parking facilities. The landscaping theme will be consistent with the streetscape and edge interface conditions as previously discussed. A Conceptual site plan for the 5.5-acre community park is shown in Figure IV-15.



NOTE:

ALL IMPROVEMENT TO NORMA JEAN ROAD/SULTANAS ROAD SHALL BE RESPONSIBILITY OF THE DEVELOPERS OF PLANNING AREAS 31A AND 32 AT NO EXPENSE TO EXISTING RESIDENTS.

IMPROVEMENTS SHALL OCCUR WITHOUT ANY FURTHER ENCROACHMENT THAN CURRENTLY EXISTS INTO FRONT YARDS OF EXISTING RESIDENCES.

Source(s): ACD Engineering

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NORMA JEAN ROAD/SULTANAS ROAD STREETScape ADJACENT TO PLANNING AREAS 31A AND 32

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FIGURE IV-19

c. Mini-Parks (Figure IV-20)

The land use plan proposes the development of four mini-parks located in Planning Areas 26, 32, 35, and 37. These parks vary in size from 0.2 to approximately 4 acres and are intended serve as gathering places for the residential enclaves in which they are located. Generally these parks might be improved to include a picnic area with tables, benches and barbecues, and a turfed area or sand surfaced tot lot or playground. The park would be planted with a combination of Eucalyptus, Pine or Sycamore tree species to provide shade and to define the individual active or passive use areas. A meandering paved, pedestrian pathway or walkway system could be provided for the park and, where appropriate, would be linked to pedestrian walkway systems to adjacent residential neighborhoods.

d. Public Park

A 4.9-acre Public Park is located within Planning Area 25. Park amenities may include, but are not limited to, a sports field, basketball court, a picnic area with tables, benches and barbecues, and a turfed area or sand surfaced tot lot or playground. A meandering paved, pedestrian pathway or walkway system could be provided for the park and, where appropriate, would be linked to pedestrian walkway systems to adjacent residential neighborhoods. The landscaping theme will be consistent with the streetscape and edge interface conditions as previously discussed.

5. COMMUNITY WALLS AND FENCING

Community walls and fences that can be viewed from the public streets form an integral park of the community design. They can unify the various land uses and reinforce the design themes established at the project entries. A set of standards has been developed for community walls and fences as illustrated in Figure IV-22, *Community Walls and Fence Details*. The location of each wall or fence is conceptually illustrated in Figure IV-21, however, the location will vary depending upon final detail design and grading considerations. In general, solid walls will be located adjacent to residential uses along major highways and secondary roads, where the lot is at approximately the same grade as the street, and as screen elements between incompatible land uses. Concrete, decorative block, or stucco with brick or molded caps are all the accepted materials for these walls. In cases where side and rear yards have desirable views, in which security is a prime consideration but a solid wall is not necessary to inhibit fire or wildlife, high quality wrought iron or tubular steel-type fencing should be employed. Solid walls may be increased by up to two (2) feet with a retaining wall, where required.

Finally, a solid wood or vinyl fence, as depicted in Figure IV-22, is acceptable for use between residential lots.

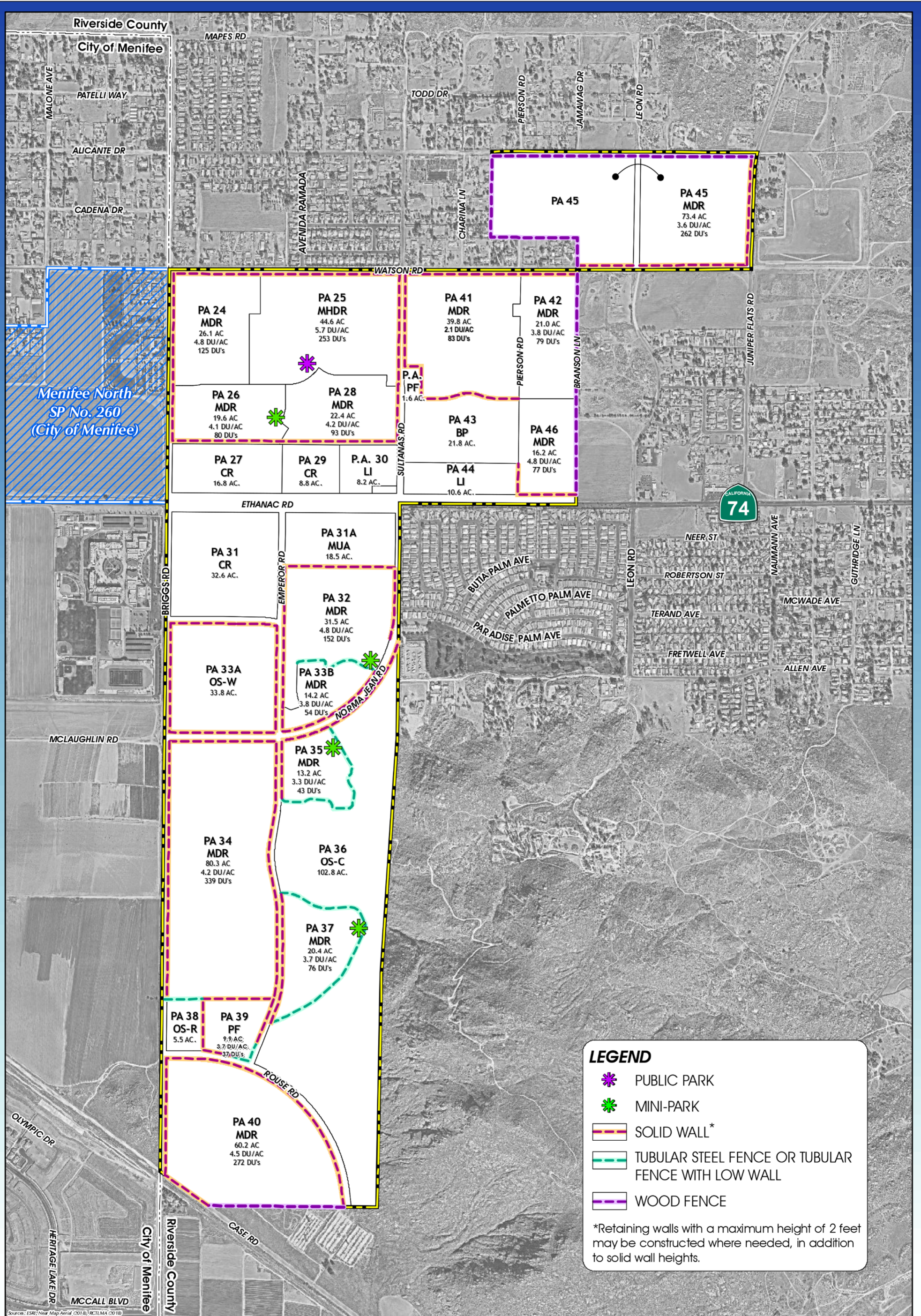
6. SIGNAGE

The *MENIFEE NORTH* Specific Plan area is intended as a high-quality, mixed-use community. Therefore, only a limited amount of signage shall be permitted in the community.

a. General Intent

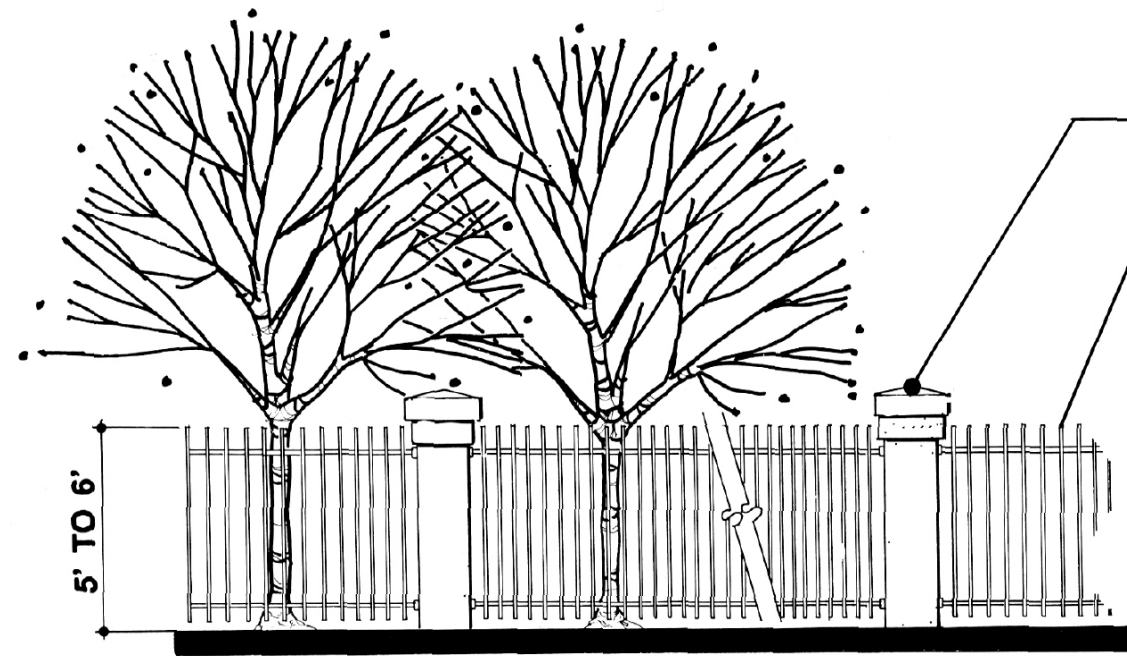
- Signage shall be attractive and subdued in keeping with the character of a contemporary urban environment.

- Signs shall be limited to community identification, direction and building or company identification only. Signs should not be used for product advertising.
- All business signs shall be compatible with the architecture of the building they identify.
- Retail commercial signage shall be limited to below the roofline and be consistent in color and theme. Monument signs are encouraged and should be of a size only necessary for identification.



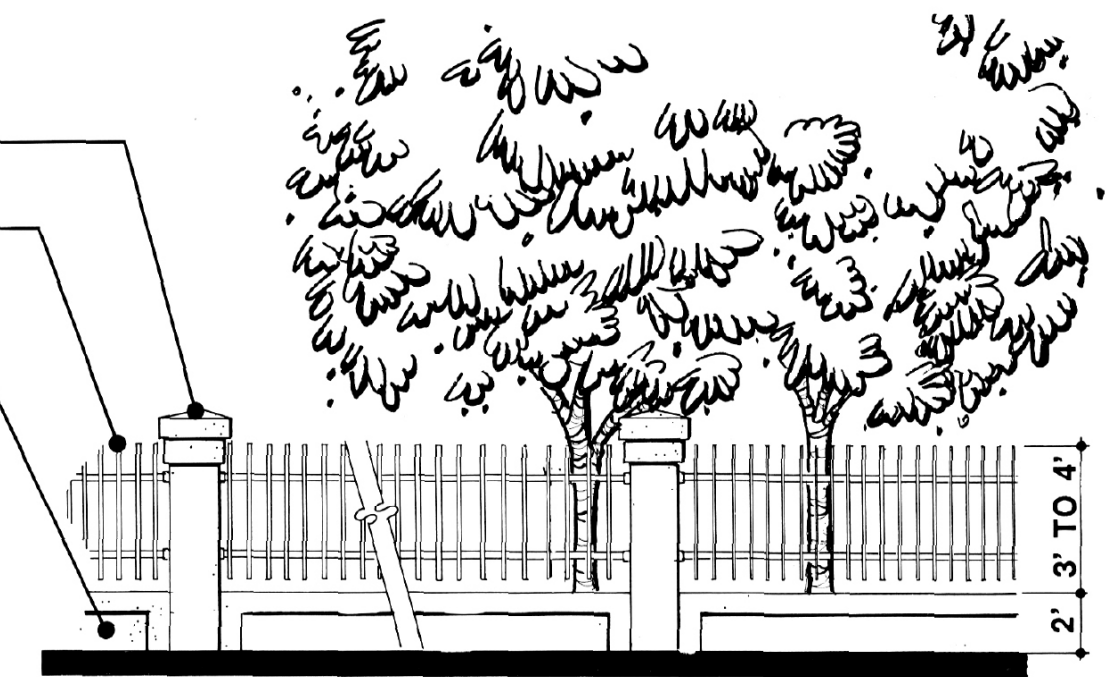
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FIGURE IV-21

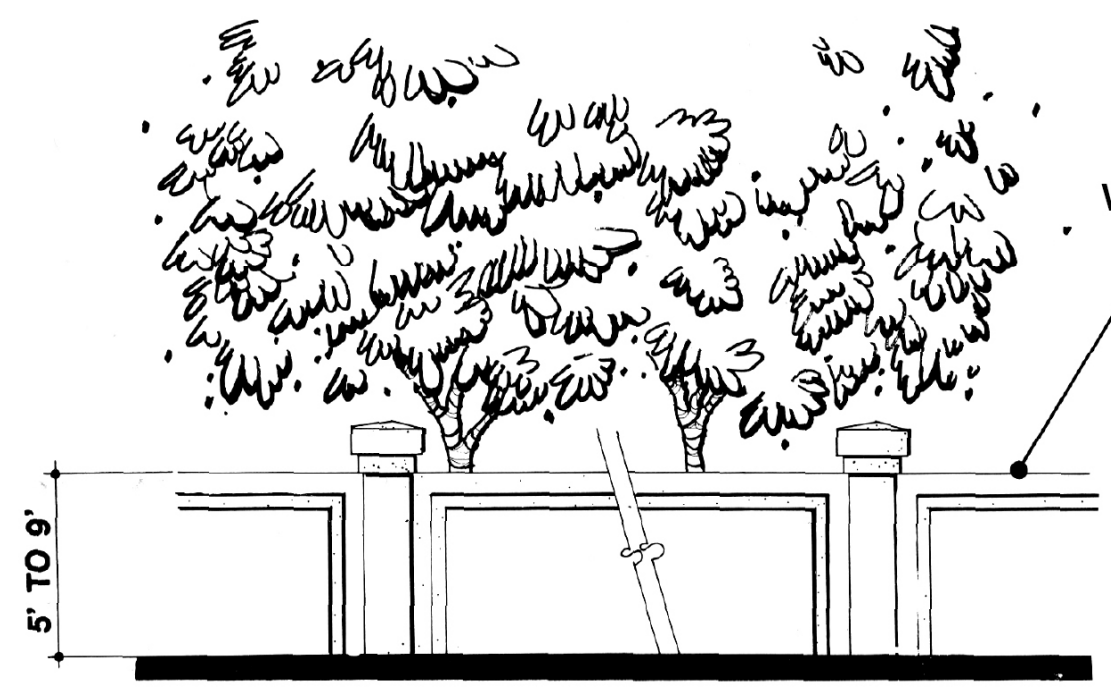


TUBULAR STEEL FENCE

STUCCO PILASTER
 TUBULAR STEEL FENCE
 LOW STUCCO WALL

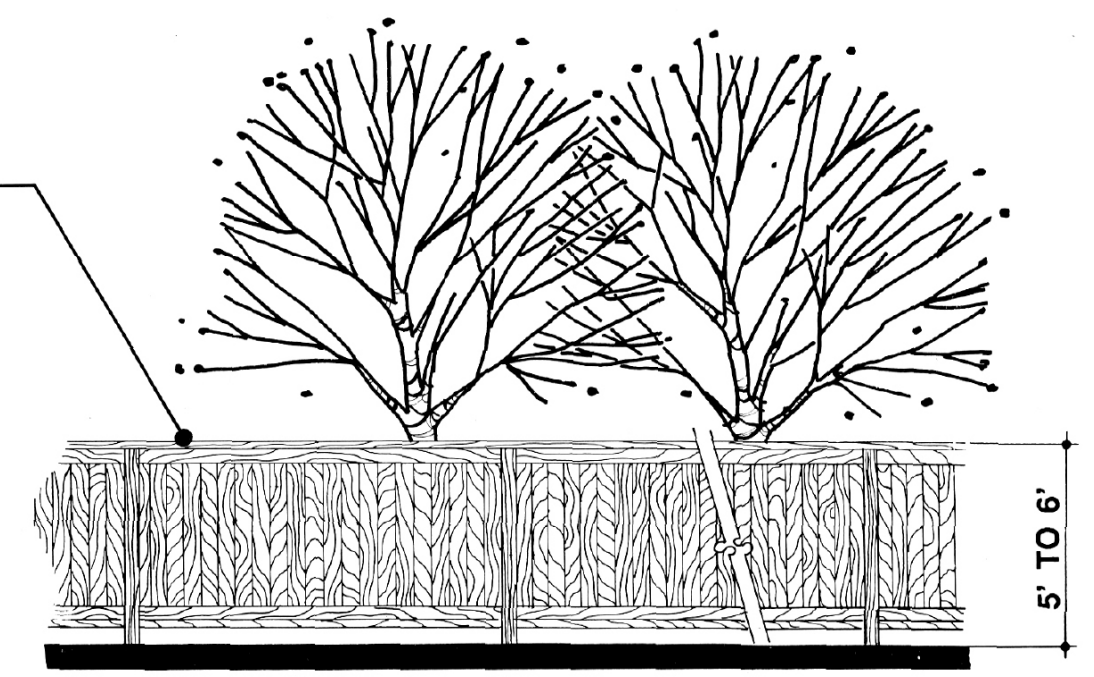


TUBULAR FENCE WITH LOW WALL



SOLID WALL*

WOOD OR VINYL FENCE
 STUCCO WALL



WOOD OR VINYL FENCE

*NOTE: HEIGHT MAY ONLY EXCEED 6' IN PA'S 32 & 33B

- Residential signs should be coordinated and integrated with the neighborhoods in which they are erected.
- All signs should be well integrated into site landscaping.
- All signs shall be compatible with the overall theme of the Menifee North Specific Plan area and shall be in conformance with the Riverside County Zoning Ordinance Standards.
- All signs shall be of professional quality.
- No signs shall be painted directly on any building elevation.
- Signage design and schematics, showing location, size, dimensions, type style and colors, shall be submitted with the required plot plan for the retail commercial site. Residential signage shall be controlled through CC&Rs or other appropriate mechanism.

b. Prohibited Signs

- Pylon signs shall be prohibited.
- Revolving, rotating or moving signs shall be prohibited.
- Signs with flashing or blinking lights shall be prohibited.
- Roof signs shall be prohibited.
- Projecting signs shall be prohibited.
- Totem signs displaying the names of each tenant shall be prohibited.
- Billboards shall be prohibited.
- Portable signs, including vehicles used as billboards, shall be prohibited.
- Signs advertising or displaying any unlawful act, business or purpose shall be prohibited.
- Any strings, pennants, banners, streamers, balloons, inflatable objects, flags, twirlers, propellers, noise-emitting and similar attention getting devices shall be prohibited, except:
 - 1) National, state, local governmental, institutional or corporate flags should be allowed. Flag pole locations should be shown on the site plan for approval. Only one set of flags should be allowed on each site.
 - 2) Holiday decorations in season, used for an aggregate of 45 days in any one calendar year, should be allowed.

- 3) Pennants, banners or flags used in conjunction with subdivision sales offices and tract entry points should be allowed during the initial sales period.

c. Retail Commercial Monument Signs

- Monument signs are the preferred signage type for the Specific Plan area.
- Monument signs should be set back a minimum of twenty feet from the face of curb (where no sidewalk is provided) and a minimum fifteen feet from the inboard edge of walk where a sidewalk or path is provided. Signs should be set back a minimum of fifteen feet from the property line and five feet from any driveway.
- Only one monument sign shall be allowed on each site.
- Monument signs should have a concrete or masonry base, and should be compatible with the building architecture.
- Double sided monument signs are allowed.
- Monument sign lighting is allowed but not internal lighting. External lighting is encouraged so long as the lighting source is well concealed and consistent with the plan area design objectives.

d. Building Mounted Signs: Retail Commercial Buildings

- Multi-tenant retail commercial buildings within areas zoned for commercial land use should have only one sign for each tenant.
- Tenant signage should be well integrated into the building design.
- Multi-tenant retail commercial facilities shall have a cohesive, well integrated signage program. The combined impact and interrelationship of all tenant signage shall be considered in signage program design, review and approval.
- All multi-tenant signs should be constructed of the same materials, have similar dimensions and coordinated colors.
- Can signs shall be prohibited.
- Internally illuminated channel letter signs are acceptable, but external, concealed and integrated lighting is preferred.
- As noted above, externally illuminated signage may be allowed when the lighting source is well concealed and signage design is consistent with plan area design criteria.
- The mounting of signs on projecting architectural elements shall be allowed when they are compatible with the building architecture and compatible with the plan area design objectives.

e. Multi-Tenant Building Signs

- Multi-tenant signage shall be coordinated with the building architecture occurring in a pattern on the building elevation.
- Multi-tenant signage should be subdued and more restrained than commercial retail signage. All multi-tenant signs should be constructed of the same materials, have similar dimensions and coordinated colors.
- Signs should be similar in design having the same size, shape and color.

f. Community Entry Monumentation

- Signage for community entry monumentation is highly encouraged.
- Design of such monumentation shall be coordinated with the street landscape and street furniture. Monumentation should inform the viewer, through written and symbolic graphics, that the planned community or development is being entered.
- Monuments should be compatible with the design theme of the *MENIFEE NORTH* Specific Plan and the developments or communities they identify.
- Entry monuments should establish the community or development design theme. Logo, logotype and color schemes shall be consistent throughout the area being identified.
- Entry monuments may be illuminated externally if they are consistent with the *MENIFEE NORTH* Specific Plan design theme; glare is controlled, and lighting sources concealed.
- Permanent, low maintenance materials, such as stone, brick, other masonry or stucco should be used.

g. Directional Signage

- Directional signage, to identify and direct vehicular and pedestrian traffic to various on-site destinations, shall be allowed.
- Directional signage should be of consistent design throughout the project. Signage should be fabricated from the same materials, with a consistent color palette and a common graphic theme.
- Directional signs shall be small scale and of consistent dimensions and mounting height.
- Directional signage should be compatible with the architectural design of the project and with the design theme of the plan area.

h. Temporary Signage

- Signage identifying uses or activities temporary in nature, such as real estate sales and leasing, subdivision signage, contractors, design firms and developer signage associated with development or construction of buildings are allowed if consistent with the plan area design character.
- Temporary signage shall be located on or in close proximity to uses identified.
- Concise standards for temporary signage, including dimensional requirements, materials of construction, mounting heights, colors and graphic format should be prepared as part of the implementation of the Specific Plan, such as through CC&Rs.
- The multitude of signs associated with development, design, construction and leasing should be combined into one design for each project.

7. LIGHTING

The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the County of Riverside. Energy conservation, safety and security should be emphasized when designing lighting systems.

- It is recommended that all primary streets be adequately illuminated to provide for the safety and comfort of vehicular and pedestrian movement. Appropriate lighting will encourage night time use of community facilities.
- Landscape lighting may be used for accentuating the following conditions: shrub masses, focal elements, and trees (up-lights) if properly camouflaged from view and placed at ground level without attaching to plant materials.
- All lighting shall be designed and located in a manner which is compatible with scenic values and other public interests throughout the community.
- General lighting shall not cast any glare onto adjacent lots and streets in such a manner as to decrease the ambience of adjacent areas or the safety of pedestrian and vehicular movement.
- Indirect wall lighting and "wall washing" overhead down lighted or interior illumination which spills outside is encouraged.
- Pedestrian lighting shall provide area illumination for entry ways, courtyards and other such areas.
- Lighting fixtures shall be complimentary to the architectural concepts.

D. LANDSCAPE ARCHITECTURAL GUIDELINES AND STANDARDS

1. INTRODUCTION

The guidelines presented herein are not intended to discourage creative design or individuality. Rather, they are intended to assist in providing the continuity and desired image which will make *MENIFEE NORTH* a unique and special community.

2. MENIFEE NORTH PLANT MATERIAL PALETTE

It is the intent of the Design Guidelines to allow flexibility and diversity in planting design while defining an acceptable palette which reinforces the thematic identity of *MENIFEE NORTH*.

A limited selection of plant materials used in simple significant compositions is encouraged. Planting designs should be compatible with and complement adjacent plantings and should reinforce and enhance the individual architecture and design of each site. The materials on the plant lists have been selected for their contribution to the project theme, their adaptability to climate and soil conditions and with a concern for long-term cost effective maintenance.

MENIFEE NORTH Plant List

The plant palette for *MENIFEE NORTH* is proposed to be comprised of the following:

TREES - EVERGREEN

<u>Botanical Name</u>	<u>Common Name</u>
Acacia baileyana	Bailey Acacia
Arbutus menziesii	Madrone
Brachychiton populneus	Bottle Tree
Casuarina stricta	Mountain She-Oak
Cedrus deodara	Deodar Cedar
Cinnamomum camphora	Camphor Tree
Eriobotrya deflexa	Bronze Loquat
Eucalyptus camaldulensis	Red Gum
Eucalyptus leucoxylon 'Rosea'	White Ironbark
Eucalyptus rudis	Desert Gum
Eucalyptus sideroxylon	Red Ironbark
Ficus rubiginosa	Rustyleaf Fig
Melaleuca linarifolia	Flax Leaf Paperbark
Nerium oleander	Oleander Standard
Olea europaea 'Fruitless'	Fruitless Olive
Pinus edulis	Pinon Pine
Pinus halepensis	Aleppo Pine
Pinus pinea	Italian Stone Pine
Podocarpus gracilior	Fern Pine

TREES - EVERGREEN (continued)

IV. DESIGN GUIDELINES

MENIFEE NORTH SPECIFIC PLAN NO. 260 AMENDMENT NO. 2

SUBSTANTIAL CONFORMANCE NO.4

Botanical Name
 Quercus agrifolia
 Quercus engelmannii
 Quercus ilex
 Rhus lancea

Common Name
 Coast Live Oak
 Mesa Oak
 Holly Oak
 African Sumac

TREES - DECIDUOUS

Botanical Name
 Albizia julibrissin
 Alnus rhombifolia
 Bauhinia variegata
 Brachychiton acerifolius
 Fraxinus uhdeli
 Fraxinus velutina 'Modesto'
 Ginko Biloba
 Gledisia triacanthos
 Koelreuteria bipinnata
 Langerstoemia indica
 Liquidambar styraciflua
 Liriodendron tulipifera
 Pistacia chinensis
 Plantanus occidentalis
 Platanus racemos
 Populus fremontii
 Populus nigra 'Italica'
 Prunus cerasifera 'Thundercloud'
 Pyrus calleryana 'Aristocrat'
 Pyrus calleryana 'Bradford'
 Pyrus kawakamii
 Quercus coccinea
 Robina ambigua idahoensis
 Sophora japonica

Common Name
 Silk Tree
 White Alder
 Purple Orchid Tree
 Australian Flame Tree
 Evergreen Ash
 Modesto Ash
 Maidenhair Tree
 Honey locust
 Chinese Flame Tree
 Crape Myrtle
 American Sweet Gum
 Tulip Tree
 Chinese Pistache
 London Plane Tree
 California Sycamore
 Fremont Cottonwood
 Lombardy Poplar
 Purple Leaf Plum
 Ornamental Pear
 Ornamental Pear
 Evergreen Pear
 Scarlet Oak
 Idaho Locust
 Japanese Pagoda Tree

SHRUBS (LARGE TO MEDIUM)

Botanical Name
 Abelia 'Edward Goucher'
 Acacia species
 Ceanothus species
 Cercis occidentalis
 Chaenomeles species
 Cistus species

Common Name
 Edward Goucher Abelia
 No Common Name
 California Lilac
 Western Redbud
 Flowering Quince
 Rockrose

SHRUBS (LARGE TO MEDIUM) (continued)

Botanical Name

Cotoneaster species
 Elaeagnus pungens
 Eriogonum giganteum
 Escallonia fradesil
 Euonymus japonica
 Fatsia japonica
 Feijoa sellowiana
 Forsythia intermedia
 Ilex species
 Juniperus species
 Leptospermum scoparium
 Ligustrum japonicum
 Magnolia soulangiana
 Mahonia aquifolium
 Nandina domestica
 Nerium oleander
 Osmanthus fragrans
 Phormium tenax
 Pittosporum tobira
 Plumbago auriculata
 Podocarpus macrophyllus
 Prunus caroliniana
 Pyracantha species
 Raphiolepis species
 Rhus ovata
 Ribes sanguineum
 Tecomaria capensis
 Viburnum tinus 'Spring Bouquet'
 Xylosma congestum

Common Name

Cotoneaster
 SilverBerry
 St. Catherine's Lace
 No Common Name
 Evergreen Euonymus
 Japanese Aralia
 Pineapple Guava
 Forsythia
 Holly
 Juniper
 New Zealand Tea Tree
 Japanese Privet
 Saucer Magnolia
 Oregon Grape
 Heavenly Bamboo
 Oleander
 Sweet Olive
 Flez
 Tobira
 Cape Plumbago
 Yew Pine
 Carolina Laurel Cherry
 Firethorn
 Indian Hawthorn
 Sugar Bush
 Pink Winter Currant
 Cape Honeysuckle
 Laurustinus
 Xylosma

SHRUBS (SMALL)

Botanical Name

Agapanthus africanus
 Ceanothus species
 Clivia miniata
 Hemerocallis species
 Juniperus species
 Lavandula angustifolia
 Liriope gigantea
 Lonicera japonica 'Halliana'
 Dietes Vegeta

Common Name

Lily of the Nile
 California Lilac
 Clivia
 DayLily
 Juniper
 English Lavender
 Lily Turf
 Hall's Honeysuckle
 Fortnight Lily

SHRUBS (SMALL) (continued)

Botanical Name

Mahonia aquifolium 'Compacta'
Nandina domestica 'Compacta'
Nandina domestica 'Nana Compacta'
Nerium oleander 'Petite Pink'
Pittosporum tobira 'Wheeler's Dwarf'
Ribes viburnifolium
Tulbaghia violacea
Xylosma congestum 'Compacta'

Common Name

Compact Oregon Grape
Compact Heavenly Bamboo
Dwarf Heavenly Bamboo
Dwarf Oleander
Wheeler's Dwarf
Catalina Perfume
Society Garlic
Compact Xylosma

VINES

Botanical Name

Cissus Anartica
Clytostoma callistegioides
Macfadyena unguis-cati
Gelsemium sempervirens
Jasminum mesnyi
Lonicera japonica
Parthenocissus tricuspidata
Wisteria floribunda

Common Name

Kangaroo Treebine
Violet Trumpet Vine
Cat's Claw Vine
Carolina Jessamine
Primrose Jasmine
Japanese Honeysuckle
Boston Ivy
Japanese Wisteria

GROUNDCOVERS

Botanical Name

Ajuga reptans
Baccharis pilularis 'Twin Peaks'
Campanula poscharskyana
Duchesnea indica
Gazania splendens 'Mitsuwa Yellow'
Hedera helix
Hypericum calycinum
Juniperus species
Lonicera japonica 'Halliana'
Myoporum parvifolium
Pelargonium peltatum
Potentilla species
Vinca minor

Common Name

Carpet Bugle
Coyote Bush
Serbian Bellflower
Indian Mock Strawberry
Gazania
English Ivy
Aaron's Beard
Juniper
Hall's Honeysuckle
Myoporum
Ivy Geranium
Cinquefoil
Dwarf Periwinkle

3. PLANTING TIME

The *MENIFEE NORTH* area experiences temperature extremes which can make it difficult for the installation of plant materials during the hot summer months (July - September) and the cold winter months (December - March). Container plants which have not been acclimated to the region may experience heat or frost damage resulting in partial or total loss of foliage, even if these materials will be perfectly suited to the temperature

extremes once they are established. If construction schedules permit, the ideal planting time is in the spring or fall months.

4. LANDSCAPE INSTALLATION REQUIREMENTS

All areas required to be landscaped shall be planted with trees, shrubs, groundcover, vines or turf selected from the plant palette contained in these Design Guidelines.

Parcel developers should assess any existing landscaping adjacent to their property and whenever possible, reinforce and complement that established character. Detailed landscape plans are to be prepared by a licensed landscape architect for each individual project. Parcel Developers must submit landscape plans to proper agencies for approval prior to installation.

5. CLIMATIC CONSTRAINTS

- a. The plant materials for *MENIFEE NORTH* have been chosen for their ability to thrive within the site's exacting climate. The plants should grow to their full potential with a minimum amount of maintenance and replacement costs.

Precipitation, temperature, and wind are the limiting climatic factors affecting plant choice.

- b. Average annual rainfall in the area varies from nine to thirteen inches.
- c. The *MENIFEE NORTH* area's extreme temperatures range from 18 degrees in the winter to 115 degrees in the summer. The average daily temperature range is 40 to 65 degrees in the winter and 58 to 90 degrees in the summer.

6. HORTICULTURAL SOILS TEXT REQUIREMENTS

Due to the many varieties of soils within *MENIFEE NORTH*, all Parcel Developers shall be required to prepare a horticultural soils report to determine appropriate planting and maintenance requirements for specified plant materials. This soils report shall be prepared by a qualified agricultural laboratory supervised by a member of the American Soils Testing Laboratory and shall include a soils fertility and agricultural suitability analysis with pre-planting and post-planting recommendations to be included in the landscape working drawings.

7. IRRIGATION

- a. All areas requiring landscaping shall include the installation of a permanent automatic irrigation system to ensure proper plant growth. The irrigation system shall be designed to separate turf areas from shrub areas so as not to irrigate shrubs, groundcover, and lawn simultaneously.
- b. Pop-up sprinklers adjacent to all walkways and areas of pedestrian or vehicular traffic shall be spring retractable types.
- c. Pop-up sprinklers shall have matched precipitation rates.

- d. All valves shall be wired independently.
- e. Irrigation backflow prevention devices and controllers shall be located and/or screened with appropriate plant material to minimize visibility.
- f. Detailed irrigation plans are to be prepared by a licensed landscape architect.
- g. Parcel Developers must submit irrigation plans to appropriate reviewing agencies for approval prior to installation.

8. LANDSCAPE MAINTENANCE

- a. The overall aesthetic effect of the landscape shall be an evergreen thriving plant community. Each owner shall provide continuous maintenance for all planted and hardscape areas within his/her site, keeping it free and clear of weeds, debris, rubbish, and in a neat and clean condition.
- b. All owners will be required to maintain plant materials in a thriving condition of growth by practicing proper agriculture techniques of pruning, pest control and fertilization. All palms shall be skinned periodically as necessary. Special attention must be given to preventing the installation of rootbound Eucalyptus species.
- c. From the completion of installation, landscaping shall be maintained in a sightly and well kept condition.
- d. Until maintenance responsibility is transferred to a Maintenance Organization, the Master Developer shall repair and maintain all landscaped parkways and medians. This maintenance shall include the replacement of landscaping, pavement, and lighting (if necessary), keeping the area free and clear of weeds, debris and rubbish, and in a well kept condition.
- e. No owner shall interface with the drainage of water from any site except in accordance with plans approved by all public agencies having jurisdiction.
- f. Landscaping and irrigation installed by the Master Developer or the Parcel Developer shall be maintained by them, in a healthy and operational condition until its transfer to public responsibility. All plant material failure shall be replaced with same materials that will match the size and height of adjacent material. Damaged or malfunctioning irrigation must be repaired or replaced to match the original condition of the system, and irrigation overspray and excessive runoff shall be kept to a minimum.

E. ARCHITECTURAL GUIDELINES

The architectural theme of *MENIFEE NORTH* is one of "oasis" and "comfortable shelter". The desire to reinforce the impression of coolness and a relaxed, country club atmosphere has led to a series of architectural ideas which have been deemed appropriate for dealing with the environment. The weather at *MENIFEE NORTH* is a result of a basically arid climate located in Riverside County. The summers are dry and hot, with temperatures frequently reaching 95± degrees. The high land elevation and dry climate cause a strong temperature swing downward once the sun sets, cooling the land masses and buildings. The winters can offer brisk winds and temperatures, making the warmth of a cozy hearth all that much more desirable. The buildings at *MENIFEE NORTH*, both residential and non-residential, will have to be flexible enough to cope with both the need to be cool, breezy, and open in the summer, and solid, warm, and stout in the winter.

Instead of transplanting a specific style to *MENIFEE NORTH* and attempting to define the community theme as a series of clichés, we have chosen instead to define the architecture as "appropriate". The word "appropriate" is further codified by a series of desirable details. The incorporation of these details into the fabric of each individual community will allow these communities to form their own identities and yet let them be recognized as part of the larger community.

The design elements for *MENIFEE NORTH* that will help form its distinctive character are:

- Simple, natural appearing materials.
- Soft, warm colors.
- Horizontal massing emphasis.
- Integration of indoors and outdoors.
- Cool, protected entries.
- Private patios, protected courtyards.
- Roofs with low pitches, wide overhangs.
- Windows which are grouped and shaded.
- Entry doors with a solid appearance.
- Garage doors with setbacks and appropriate solidity.
- Summer porches and verandas.
- Covered, shaded balconies and decks.
- Loggias for shade and rain protection.
- Chimneys of stone, brick, or stucco to express their mass.
- Gutters and downspouts incorporated into the design, not added on.

Design elements to avoid at *MENIFEE NORTH* are:

- Dark, moody colors or bright, flashy colors.
- Box-like architecture without detail or articulation.
- High pitched (steep) roofs.
- Silver window and door frames.
- Monotonous garage door elevations.
- Vertical massing.
- Flat, unarticulated entries.
- Exposed metal chimneys.

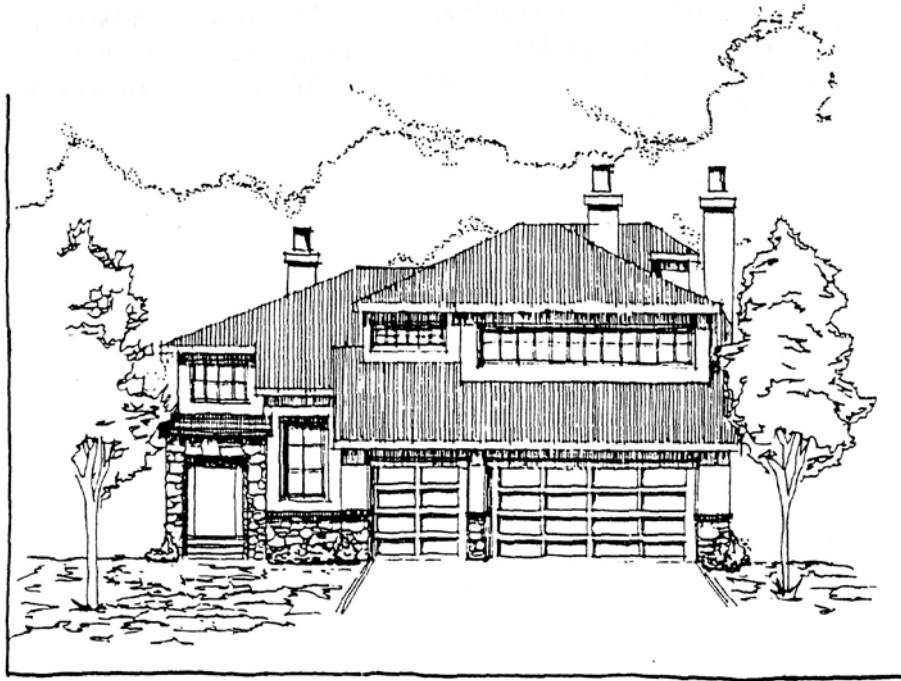
- Exposed mechanical equipment.

It is the intent of these guidelines to establish a consistent architectural expression in the character of *MENIFEE NORTH*. The illustrations shown below are conceptual in nature and are only intended to depict concepts, not actual design. Finalized floor plans and elevations will be determined at a later stage of development.

TYPICAL FRONT ELEVATION



TYPICAL FRONT ELEVATION



1. MATERIALS

The choice of materials is not highly limited at *MENIFEE NORTH*. Their use in appropriate locations and in realistic ways, however, is paramount. The need for all buildings to appear as though they spring from the earth is a demanding task for freshly built, modern structures. Judicious use and mixtures of materials will help the designer succeed in this effort. Because of the rural/desert nature of the project, shiny or flashing materials may be inappropriate. Also, the use of numerous different materials on one structure will tend to clutter the design. It is intended that the buildings at *MENIFEE NORTH* reflect a design idea that uses the materials as a way to express craftsmanship rather than a celebration of the material itself. Simplicity (not to be confused with plainness) will present very well, if the materials are used appropriately and consistently.

2. COLOR PALETTE

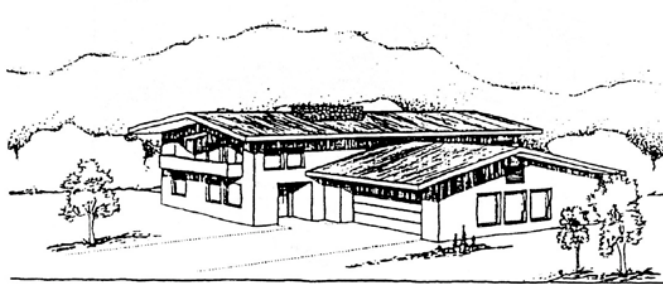
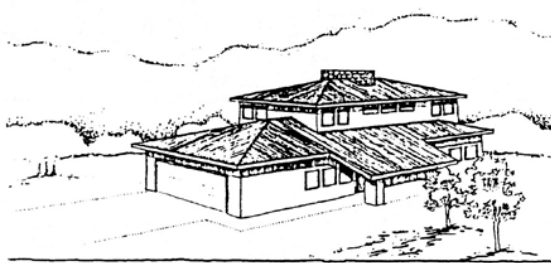
Colors at *MENIFEE NORTH* should be "calm" to reinforce the architectural theme of "oasis". Hot, vibrant colors with large amounts of chroma should be avoided, especially when considering large surfaces. The main body of the building should be colored soft enough to appear cool, but not dark and dreary or muddy. Pastels can be used, if they are subtle. Trim color should contrast with the body color enough to provide an accent.

3. BUILDING MASSING

The emphasis at *MENIFEE NORTH*, in the context of building massing, is on the horizontal line. Building elements which accentuate the horizontal are encouraged, including eave lines, balconies and rails, fenestration patterns, walls and trim lines.

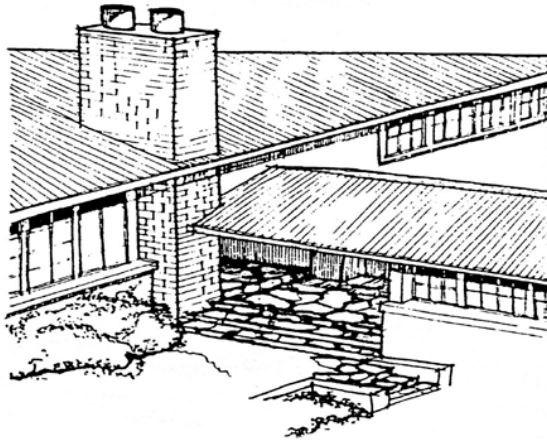
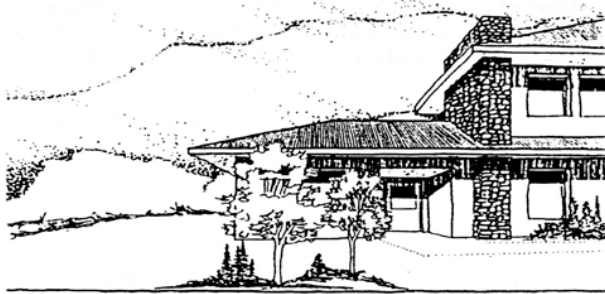
When planning two-story structures, setbacks of enough dimension between one story and that immediately below it are encouraged to disassociate the two vertical planes. Use of roof elements, dressage, and other overhead structures to provide a horizontal break in vertical planes are also encouraged. On small lots, where the narrow frontage may prevent steps on the sides of the units, a front to back break in elevation, as well as varied setbacks along the street, are encouraged.

On commercial projects, loggias, stairways, balconies and walkways are encouraged to provide visual interest as well as to provide pedestrian spaces. Creating elevations that do not vary in plan should be avoided. The transitions from parking areas to the commercial buildings should be logical and shaded if at all possible.



4. ENTRIES

The perception a person receives visually and emotionally from a house or building can set the whole tone for a visit to the space beyond. The creation of a feeling of protection, invitation, and openness all at the same time will allow the appropriate balance to exist between privacy and accessibility. Entries should be protected from the direct impact of the elements, but should not be so squeezed or constricted as to feel uninviting or claustrophobic.

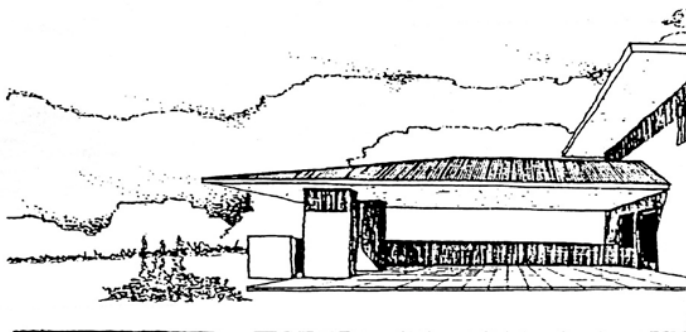
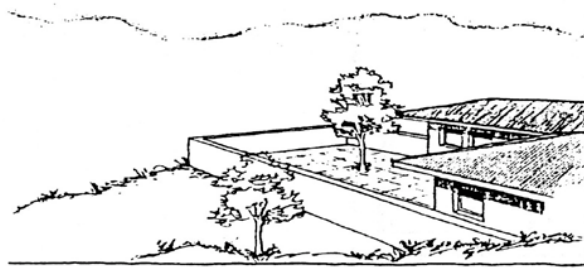


5. SCREENING

The definition between private and public spaces at *MENIFEE NORTH* will occur in a variety of ways. The use of setbacks, garden walls, fences, landscaping and even material changes to define the difference is highly encouraged.

Private courtyards will enhance the feeling of being able to move out of the house or building without moving completely into the public domain. They also can be used to provide a sheltered outdoor space to enjoy some quiet time.

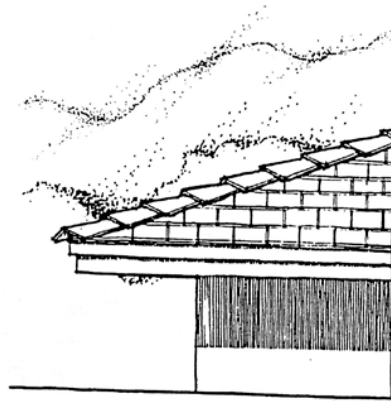
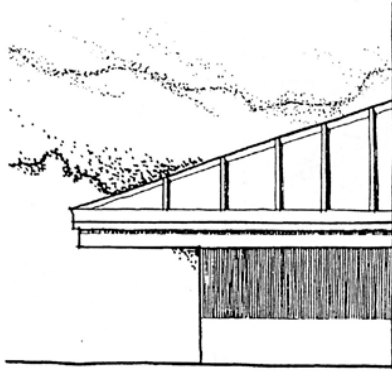
Walls and fences of private yards which are visible to the street or public spaces shall be consistent with the overall theme of the project in which they appear. They also must be architecturally integrated with the community of *MENIFEE NORTH* as a whole. Plastered masonry walls, with or without other elements such as steel tubing, shall align with the design of the project walls discussed in the Landscape Guidelines section of this Specific Plan.



6. ROOFS

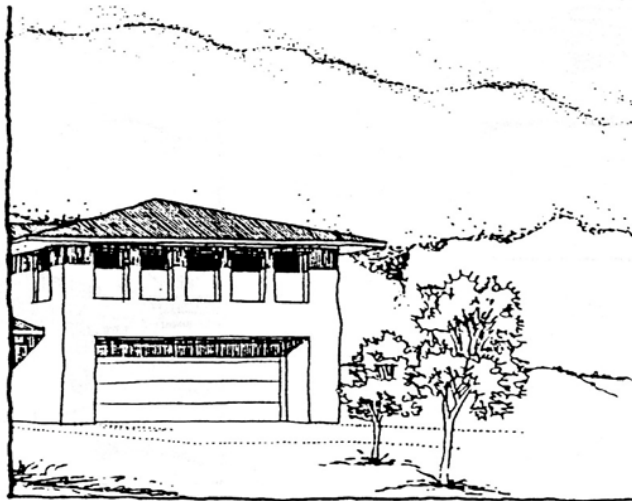
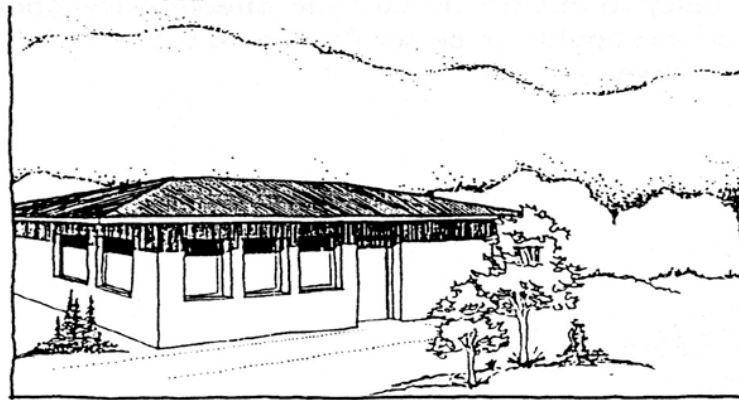
The roof form at *MENIFEE NORTH* is seen as one of the primary form-giving elements. It can be used to help emphasize the horizontal lines of a building, as well as provide shelter from the elements. Because the average annual rainfall is not the major concern of all the elements, the roofs should be low and wide, with slopes predominantly 5:12 or less. Some accent roof areas may be allowed to exceed this slope if they do not represent a large percentage of the total roof area. The overhangs should be a minimum of two feet, so that the shadows they create can be used to shade the walls and windows below them.

The visible roofs of all buildings should appear substantial, as though there is a definite layer between the elements and the protected spaces below. Roofing materials can be either flat clay/concrete tiles or barrel tiles. The tiles will provide a mass which will help slow down heat absorption by the building.



7. WINDOWS

Windows are another basic form-giver to the buildings of *MENIFEE NORTH*. While the primary purpose of windows is to provide light and ventilation, all windows should be protected from the negative impact of the elements, especially the sun. Windows should appear in groups or bands whenever possible, and the detailing of the windows should be consistent around the entire building. Metal windows should have some color to them other than mill finish or natural silver/gray. Views, whether short range, private or public should be exploited.

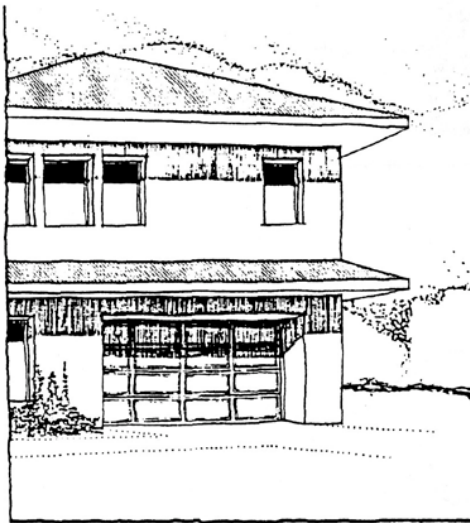


8. DOORS

Doors in the exterior walls of a building at *MENIFEE NORTH* should appear to fit with the style of the other detailing. Regardless of their composition, the coloring and detailing should be consistent. Metal skinned doors should be finished so they do not appear "shiny", unless all doors appear that way. All doors should be considered like windows, and the door's detailing should be reflective of the window detailing. Like windows, doors should be protected from the elements by overhangs, eaves or recesses.

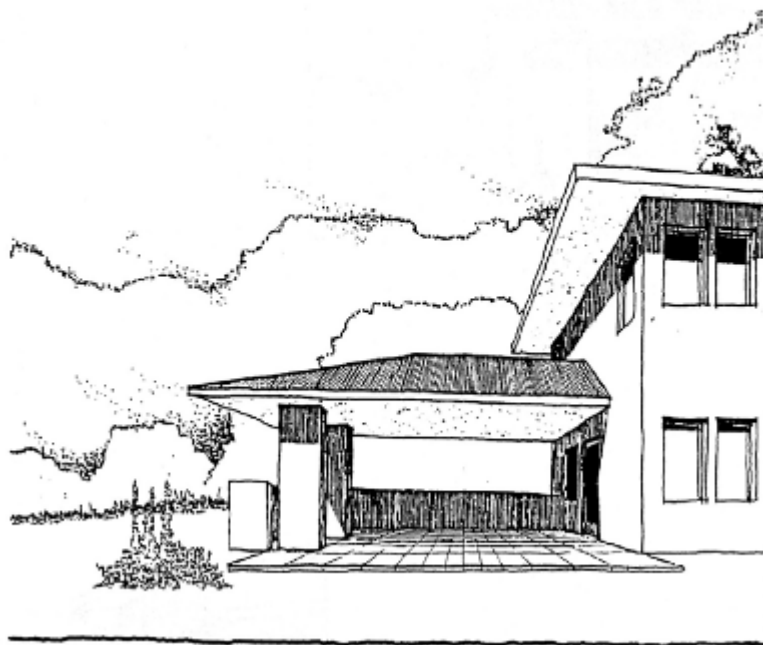
9. GARAGE DOORS

Because the garage on most houses presents a major face to the public, its appearance is very important. The door should be wood, and the detailing should be complimentary to the other doors and detailing. Any opportunity to change or vary the direction the door faces in relation to a street should be exploited. The doors should not be set flush with the wall they appear in, but rather should be recessed or shaded by an eave.



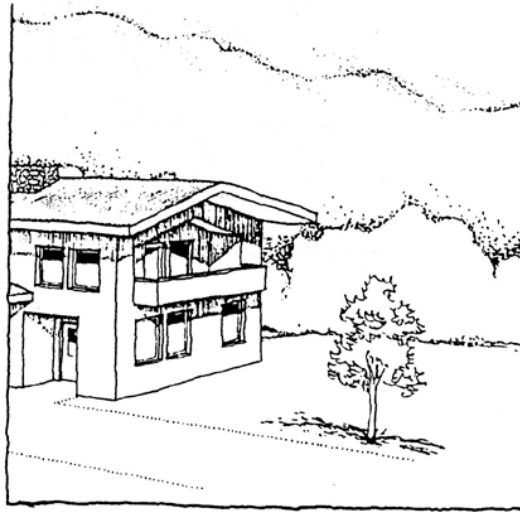
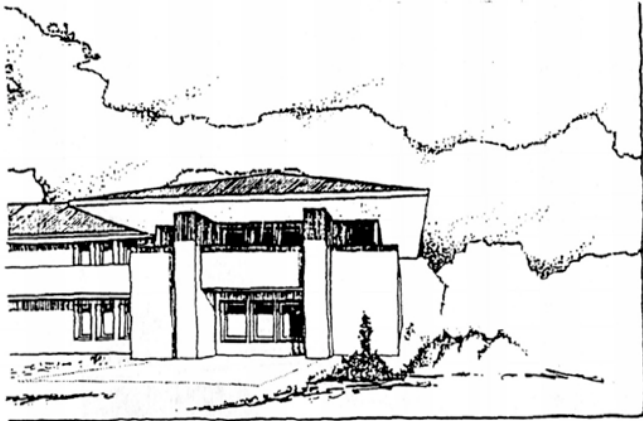
10. PORCHES

A porch, even a small one, can tremendously enhance the feeling of protection from the elements if it is covered or shaded. At *MENIFEE NORTH*, it is desired to have available to all persons some ability to move out of the building but not be out from under a protective covering. Whether it is a place to sit and read, or to set a potted plant, a porch will enhance the feeling of an "oasis".



11. BALCONIES

In second floor conditions, it may be desirable to allow someone to walk outside on a balcony, either to gain a view or to just relax in a secluded area. It is encouraged that the balcony be shaded, protected and in harmony with the entire building design. Details, such as handrails, windows, doors, planters and roofing should enhance and coordinate with the overall design.



12. LOGGIAS

The act of walking between two structures during harsh weather conditions can be enhanced dramatically by the use of a loggia. The covered walkway will reinforce the idea of "shelter" or "oasis", especially if used where a large number of people will congregate. A loggia can be used as a transition between privately owned structures (garage to house for example) or in buildings for public use such as commercial buildings, office buildings and industrial buildings.

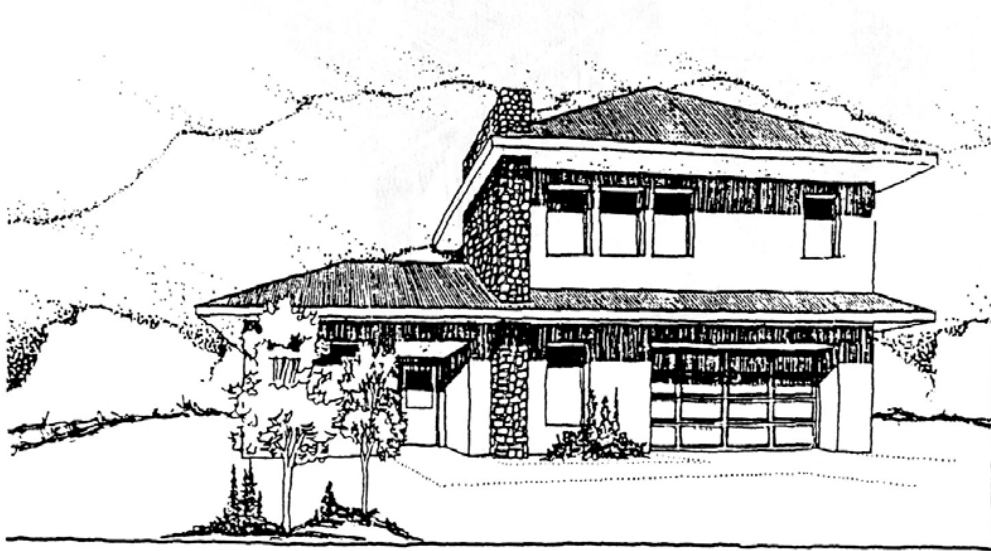


13. TOWERS

MENIFEE NORTH is attempting, even in the higher density parcels, to remain horizontal in overall impression. Towers, vertical billboards, tall signs and/or clock towers are not in keeping with that spirit, except when used in conjunction with landmarks in the community, such as the recreation centers, commercial centers, business parks and industrial parks.

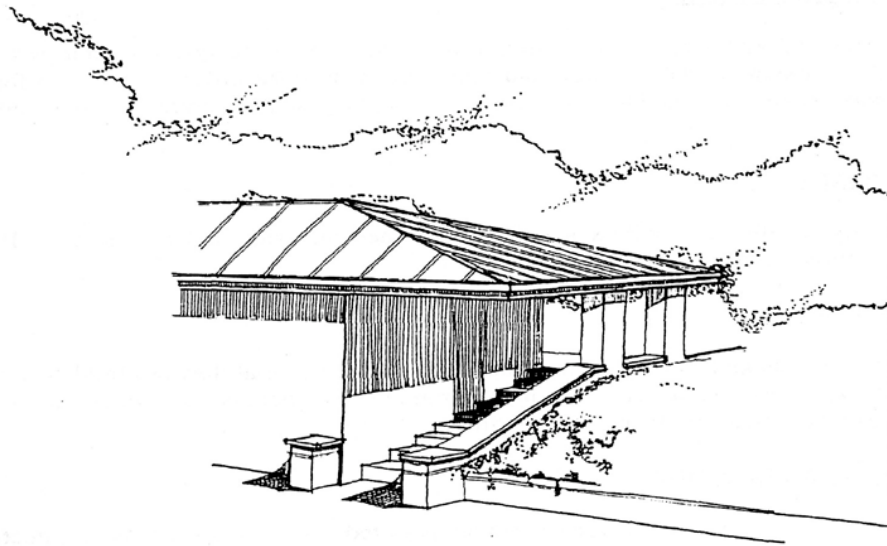
14. CHIMNEYS

The chimney, as the outward symbol of the hearth, should be the anchor for the house visually. To do so, it should appear massive. Indigenous materials are encouraged for use as veneers. Rock, adobe, brick or stone will emphasize the connection to the land, as well as supplying the necessary heft. Plastered boxes containing metal flues are a minimum requirement and they must have detailing applied to enhance them. (While not specifically encouraged, wood clad chimneys may be acceptable if they are coordinated with other architectural elements of the dwelling. They would be reviewed on a case by case basis.) Exposed metal flues or wood trimmed flues are not appropriate.



15. EXTERIOR STAIRS AND STEPS

Changes in elevation at *MENIFEE NORTH* should be handled as subtly as possible. Stairs and ramps should have changes in direction and frequent breaks in rise to soften the impression of overall rise. Steps cast on grade are encouraged to have kneewalls to allow the earth to berm against them. Where appropriate, and if possible, it is recommended that stairs have coverings/roofs to make them appear as part of the building as opposed to an attachment.



16. GUTTERS AND DOWNSPOUTS

It is encouraged that roofs, sloped or "flat", be guttered to collect rainwater at *MENIFEE NORTH*. Where gutters are not used, roof overhangs should be of adequate dimension to minimize dripping of rainwater on the exterior of the dwelling. Rainwater should not fall onto paved areas where people will be walking.

17. SKYLIGHTS AND CLERESTORIES

Skylights and clerestories are encouraged to be used at *MENIFEE NORTH*. They can provide additional light and ventilation for the occupants, as well as add visual interest to the exteriors. Clerestories are preferred over skylights because they can be designed to control heat gain more readily. Skylights, if used, should be as flat as possible in profile, with clear or gray glazing. If they occur on flat roof sections, it is encouraged they be screened from view from public streets.

18. FLASHING AND VENTS

The roof surfaces at *MENIFEE NORTH* are important to the overall design character and should be left as uncluttered as possible. All flashing and vent stacks must be colored to match the surrounding surfaces. Vents should be placed in the roofs where they will provide the least intrusion of the roofscape.

19. MAILBOXES

For single family dwellings, mailboxes will be designed and supplied by the U.S. Postal Service. Further architectural detailing will not be required.

20. UTILITY METERS

At *MENIFEE NORTH*, gas and electric meters should be located so that they are hidden from direct view from the street. They may be placed in "rooms" behind exterior access doors or screening, or they may be hidden by location away from main sight lines.

21. MECHANICAL EQUIPMENT

All mechanical equipment, roof mounted or ground mounted, will be screened by architectural elements as part of the design at *MENIFEE NORTH*. Sound attenuation of mechanical noise also will be necessary, both from neighbors and from within the structure being served by the mechanical equipment. Solar panels of any type must be incorporated into the design of the building on which they are placed. Coloring, materials, and bulk must be coordinated with the overall theme of the *MENIFEE NORTH* community.

22. DESIGN CRITERIA FOR NON-RESIDENTIAL BUILDINGS (COMMERCIAL RETAIL, BUSINESS PARK, LIGHT INDUSTRIAL, AND MIXED USE PLANNING AREAS)

The non-residential buildings of *MENIFEE NORTH* are expected to blend with the overall community in regard to the design guidelines discussed thus far. However, because of their size and varied uses, they should appear distinct from the houses.

When considering massing, the buildings should be stepped, both horizontally and vertically, when possible. Trim lines, detailing and color accents should complement the horizontal nature of the project in general.

The use of loggias, balconies, stairways and other details outlined elsewhere in this document, are encouraged to provide variety in the building massing. Towers or other vertical elements can be used as a focal point.

Mechanical equipment must be screened, and the screening or building parapets used to do this must be an integral design with the main building mass. This screening will be required wherever the mechanical equipment could be seen from adjacent roads, highways, residential areas, and/or adjacent pedestrian areas. Flat roofs are acceptable, but pitched roofs for all or a portion of the buildings are also acceptable.

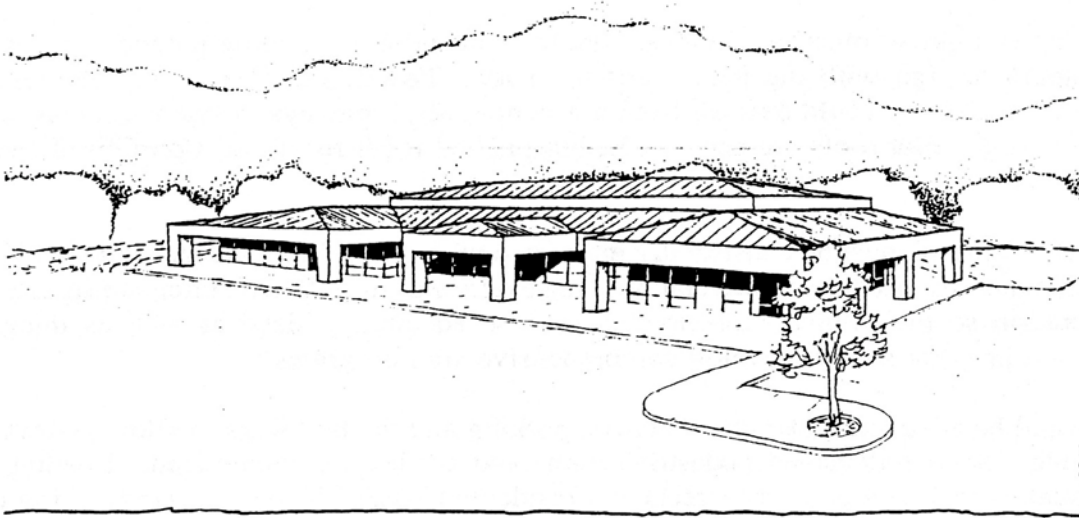
Signage and lighting must be consistently integrated with the building facade, and should be of uniform shape and materials. Retail commercial building exterior design should anticipate signage location, size and coloration so the eventual tenants can provide adequately sized as well as integrated signage. Multi-tenant projects should develop comprehensive sign programs.

There should be adequate separation between parking and the buildings to allow pedestrian flow to be comfortable. Sheltered/shaded pedestrian paths and entries are encouraged. Loading zones should avoid visual exposure to adjacent streets and residential zones. Walls and landscaping can be used to facilitate this screening.

Parking areas should be landscaped, with shading a major consideration. See the landscape guidelines section of this Specific Plan for further requirements. Where it is possible, it is encouraged that service and delivery circulation be separated from the public parking areas.

Reflective glass skins on non-residential buildings should not be used where it will adversely impact the adjacent buildings, especially if the adjacent buildings are residential. In general, large amounts of reflective glass are not in keeping with the overall tone the community is attempting to maintain.

TYPICAL COMMERCIAL RETAIL/BUSINESS PARK ELEVATIONS



TYPICAL COMMERCIAL RETAIL/BUSINESS PARK ELEVATION

