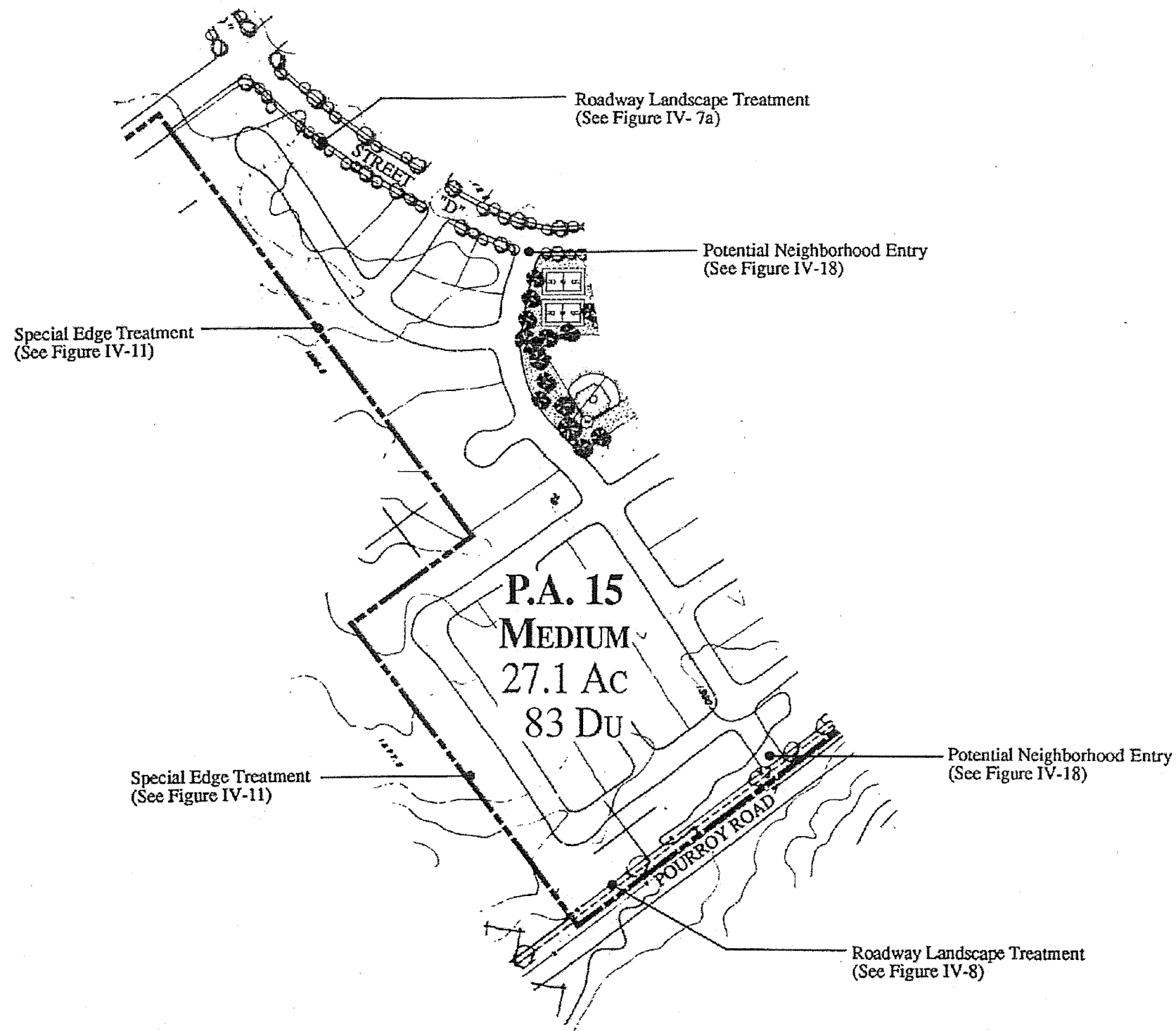
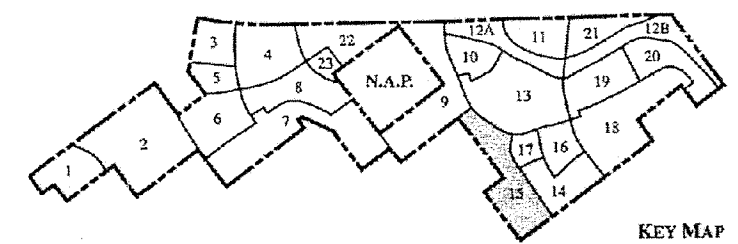


PLANNING AREA 15



MEDIUM
 27.1 Ac
 2-5 DENSITY RANGE
 3.1 TARGET DENSITY
 83 DU
 MINIMUM 7,200 S.F. LOTS



Note :
 Local street layouts are conceptual. Actual street layouts and lotting will be determined in conjunction with tract map review.

QUINTA DO LAGO

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III. Specific Plan

15. Planning Area 15: Medium Density Residential (7,200 s.f.)

a. Descriptive Summary

Planning Area 15, as depicted in Figure III-25, provides for development of 27.1 acres devoted to medium density residential uses. Density range within Planning Area 15 is 2-5 dwelling units per acre. A maximum of 83 dwelling units are planned at a target density of 3.1 du/ac. Lot sizes will be a minimum of 7,200 square feet.

b. Land Use and Development Standards

Please refer to Ordinance No. 348._____. (See Specific Plan Zone Ordinance Tab.)

c. Planning Standards

- 1) Primary access to Planning Area 15 will be provided from Pourroy Road and Street "D".
- 2) Neighborhood entries, as shown in Figure IV-18, are planned along Pourroy Road and Street "D" at the entrances into Planning Area 15.
- 3) A special edge treatment, as shown in Figure IV-11, is planned along the southern property boundary to buffer residential uses in Planning Area 15 from adjacent, off-site uses.
- 4) Roadway landscape treatments, as shown in Figures IV-7a and IV-8, are planned along Street "D" and Pourroy Road.
- 5) Please refer to Section IV., for specific Design Guidelines and other related design criteria.
- 6) Please refer to Section III.A, for the following Development Plans and Standards that apply site-wide:

III.A.1: Specific Land Use Plan

III.A.2: Circulation Plan

III.A.3: Drainage Plan

III.A.4: Water and Sewer Plans

III.A.5: Public Sites and Project Phasing Plan

III.A.6: Grading Plan

III.A.7: Open Space and Recreation Plan

III.A.8: Landscaping Plan