

## **2. Residential Design Guidelines**

### **a. Site Planning**

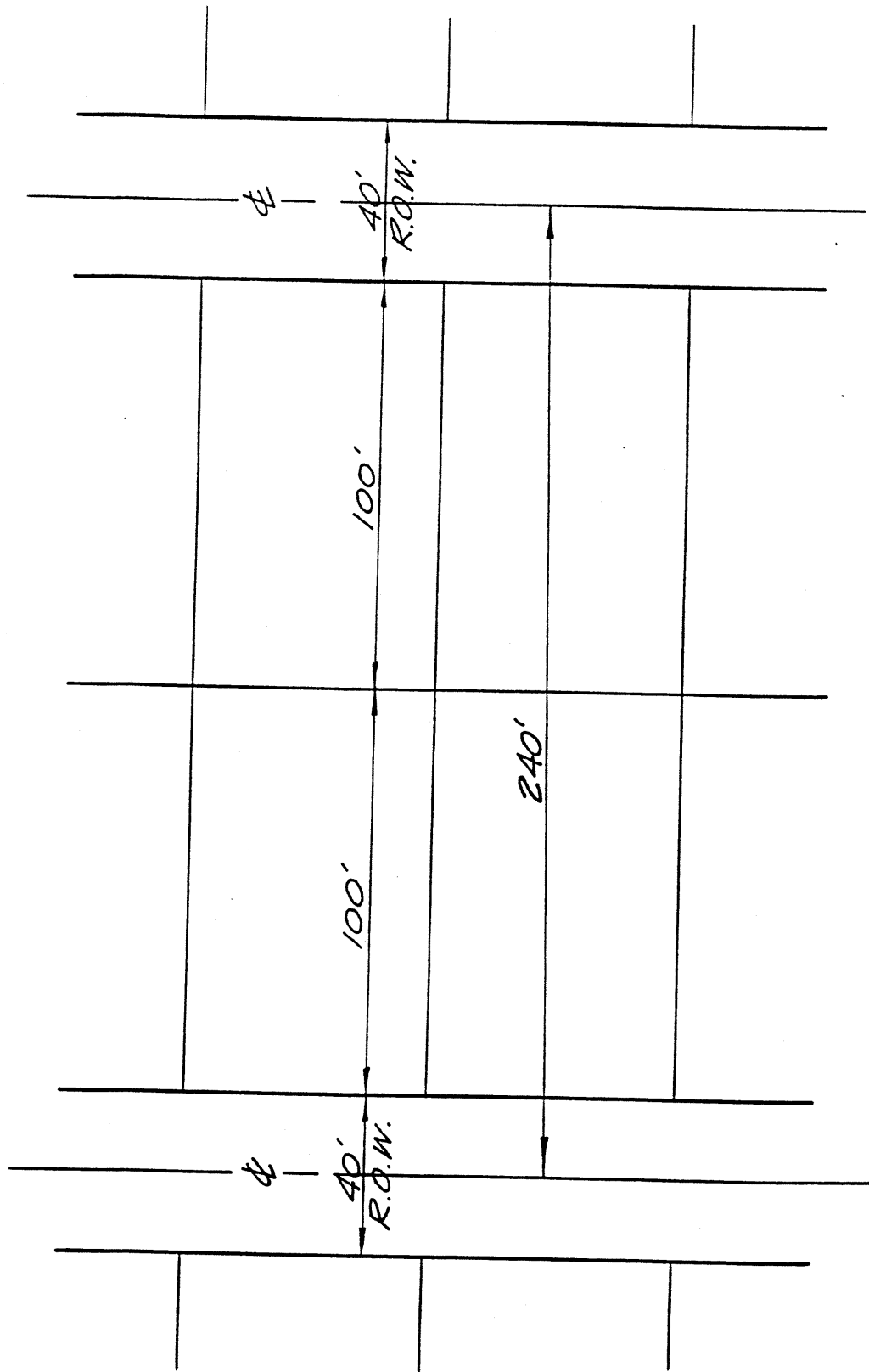
Sun City Palm Springs will be laid out as a series of neighborhoods. Because of possible different homeowners associations, and level of common maintenance, single family neighborhoods and multi-family neighborhoods may be separated. No attempt will be made to keep all the large lots within a single block or neighborhood, so that each of the single family neighborhoods will contain a mix of housing lot sizes and types, intermingled as the market and conditions require. Four sizes of single family lots are initially envisioned: 7000 s.f. ("A" lots), 6000 s.f. ("SF-60" lots), 5000 s.f. ("SF-50" lots), and 4000-4500 s.f. ("SF-45" lots). The smaller lots will allow zero lot line configurations and cluster design concepts. Model home and vacation villa areas (Planning Areas 3, 4, 10A and 10B) will include lots of 3500 s.f. ("SF-35" lots). The smaller lots will allow zero lot line configurations. (Note: These lot designations are Del Webb's and pertain to this project only, and do not correspond to any Riverside County standards.)

A cluster housing design shall refer to a housing design, which may incorporate zero lot line concepts, in which dwelling units, each located on a separate lot, are clustered together in a group. Each dwelling unit within a group may contain private courtyard areas containing not less than eight hundred (800) square feet of usable area. Garden walls established for such dwelling unit at the time of the initial conveyance of dwelling unit and each owner of a dwelling unit within a group may have (1) easement rights to exclusively use and occupy portions of adjacent lots which lie within those walls and (2) share common driveway areas and street access leading to private driveways located on such owner's separate lots.

The street pattern will be laid out with curvilinear streets and 240 foot centers, a module which will allow several sizes of lots. Allowing 40 feet for right-of-way, this allows 100 foot depth for each lot on a double-loaded street (see Exhibit IV-59). The typical street pattern will provide for lots fronting onto the right of way. In some places, the right of way will serve as a greenbelt, pedestrian walkway or sidewalk, and utility easement only.

As the builder of all the residential portions of Sun City Palm Springs, Del Webb will be able to adjust the mix and type of housing units to the needs of a changing market, while assuring continuity of the entire community and quality of the individual neighborhoods.

- Front Yards — The objective of the front yard setback is to create a visually pleasing and varied street scene within the residential neighborhoods while providing driveways on all dwelling units to accommodate two vehicles parked off-street. The residences shall be setback a minimum of 20 feet from the front property line, except for architectural projections which can project up to 2 feet into the front yard setback. The setback to the garage door should be at least 24 feet from the face of the curb. When a cluster design concept is utilized, the minimum front yard setback shall 10 feet (10') provided, the garage door faces shall be set back a minimum of twenty-two feet (22') from the face of curb where a sidewalk abuts the curb, and eighteen feet (18') from the face of curb or common driveway where no sidewalk abuts the curb or common driveway.
- Rear Yards — Rear yards shall have a minimum of 15 feet setback and 800 square feet of usable space. However, bay windows can project up to 2 feet into the rear yard setback. When a cluster design concept is utilized which provides a "courtyard", no minimum rear yard is required.
- Courtyards — A courtyard is an area enclosed by garden walls utilizing easement rights to exclusively use and occupy portions of adjacent lots which lie within such walls. A court yard shall contain no less than eight hundred (800) square feet of usable area.



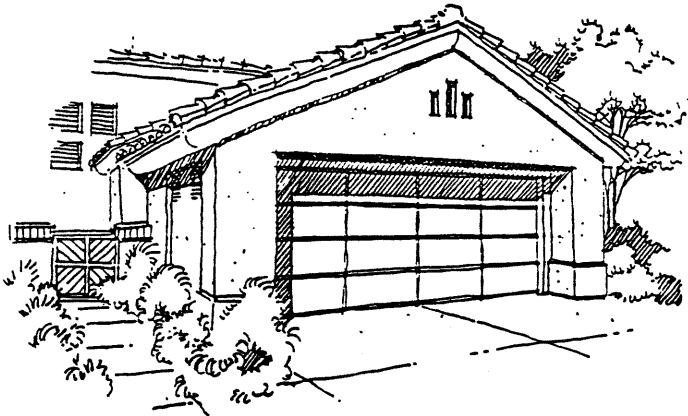
TYPICAL 240' STREET CONCEPT  
NOT TO SCALE

- **Parking** — All dwelling units, other than the vacation villas, shall accommodate a minimum of two automobiles and where appropriate a golf cart parked off-street in the garage, driveway or designated off-street parking areas. Parking should not be permitted in any portion of the yard except the driveway, no vehicles should be permanently parked in a driveway, and on-street parking should be limited to infrequent guests and/or visitors.

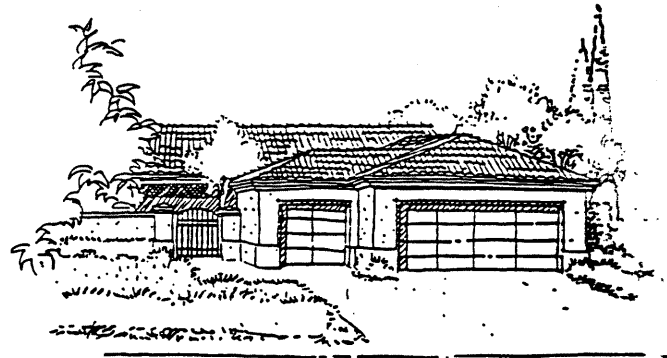
b. **Architectural Forms and Details**

- **Garage Doors** — Garage doors should be simple in design. Because they are major visual elements--especially on attached units--they should be de-emphasized as much as possible. It is more appropriate to emphasize garage doors on the larger, single family detached homes. Roll-up garage doors will be used for the project. Garage doors setback will be 24 feet from the face of the curb.

**Garage Doors**



**ROLL-UP  
GARAGE DOOR**



**ROLL-UP  
GARAGE DOORS**

**Allowed:**

- Simple design;
- Minimum 18" recess from adjacent walls;
- Staggered setbacks to adjacent doors (attached units);
- Combination of double and single garage doors;
- Blending of garage door color with stucco color; and
- Roll-up garage doors with or without windows.

**Not Allowed:**

- Applied decoration; and
  - Tilt-up garage doors.
- Porches and railings — Covered patios and porches will be incorporated as part of the architectural style for both practical and aesthetic value. They integrate indoor and outdoor living spaces, provide shelter, break up large wall masses and add human scale to buildings.

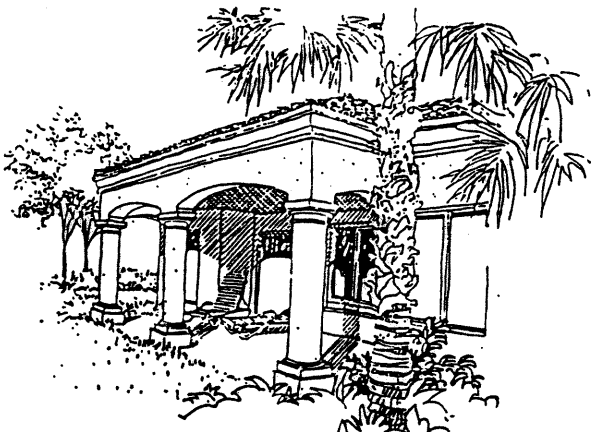
**Allowed:**

- Covered porches;
- Smooth stucco or wood;
- Simple, clean, bold projections;
- Wood trimmed details; and
- Wrought iron railings.

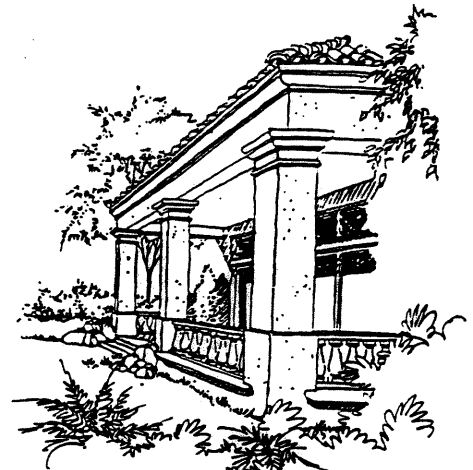
**Not Allowed:**

- Stimulated Wood Paneling or siding.

**Porches and Railings**



**PORCH**



**PORCH AND  
RAILING**

- Columns, posts and beams — Columns and posts incorporated as a structural or aesthetic design element will convey a solid, durable image as expressed through bold forms. Columns and posts may be used as a freestanding elements or as support for porch roofs.

**Allowed:**

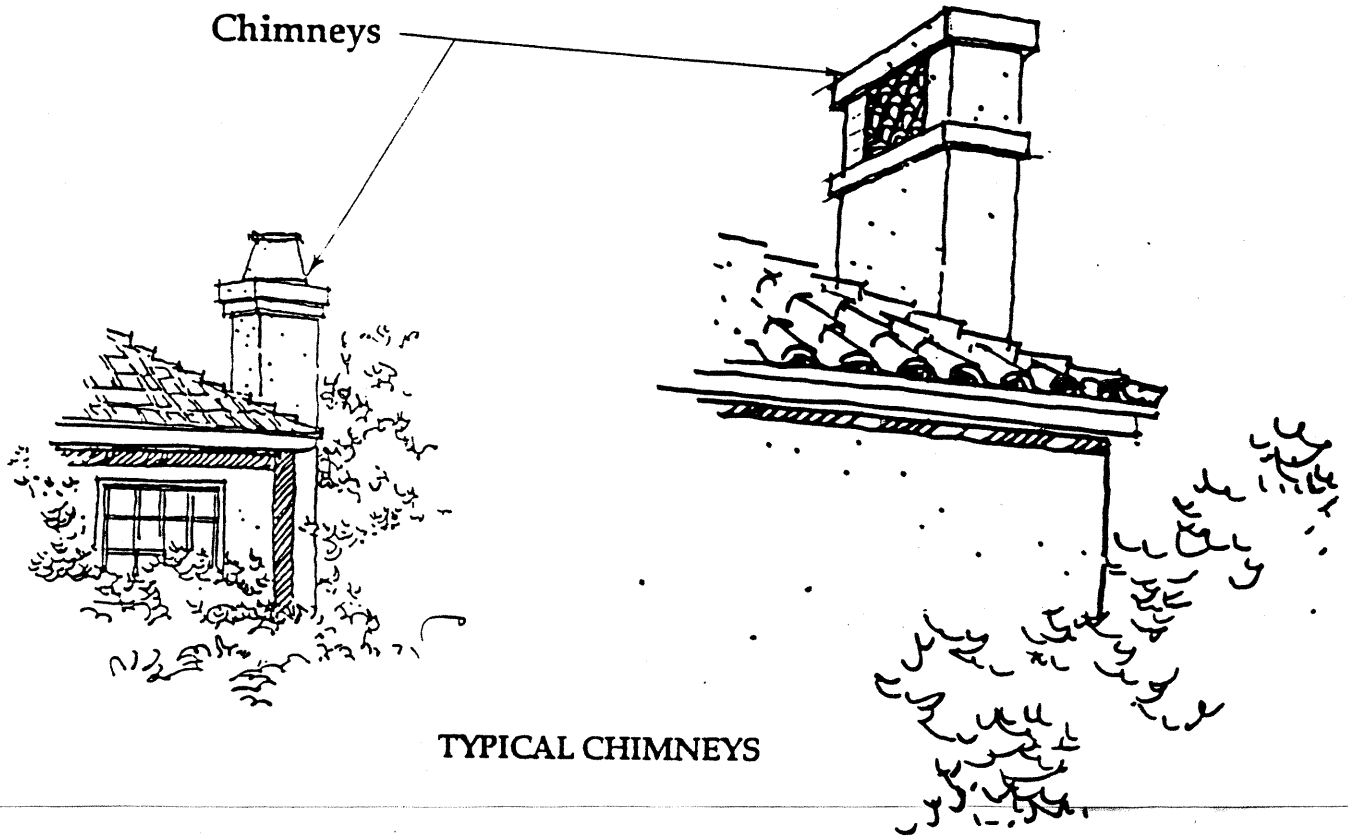
- Square or cylindrical stucco columns;
  - Free-standing plaster archways at entrance gates;
  - Concrete or stone columns;
  - Exposed wood beams with corbels (real or simulated); and
  - Stucco beams and arches.
- **Chimneys** — As an architectural form, chimneys will be simple in design to ensure consistency of character and style.

**Allowed:**

- Forms and materials reflecting the architectural theme;
- Simple stucco, chimneys boldly projected from wall surfaces;
- Brick or tile accents; and

**Not Allowed:**

- Free standing or exposed flues;
- Veneers;
- Extravagant metal fireplace caps; and
- Slump block or masonry.



**d. Accessory Structures**

- **Mailboxes** — Where common mailbox services are provided for any residential area, they shall be located close to the neighborhood entry and/or in clusters throughout the neighborhood. The architectural character shall be similar to the surrounding buildings as identified in the architectural guidelines.

Mailboxes for single family detached residences when ganged in units of two shall be placed on a property line between every two units. Mailbox locations for attached residences should be ganged in groups of no more than twenty five (25) and placed in appropriate locations convenient to all residences in a common area. Mailbox locations and design must be approved by the U.S. Postal Service.

- **Accessory Building/Guest Dwellings** — Where accessory building/guest dwelling are provided for, they shall refer to a subordinate building or a part of the main building on the same lot that is used exclusively by members of the single family occupying the main building for purposes incidental to the main building or for housing themselves and their non-paying guests.

Accessory buildings/guest dwellings may be located anywhere upon a residential lot provided the minimum setbacks are maintained. The accessory building shall be located a minimum of five (5') feet from the primary structure. The accessory building may be utilized for, but not limited to, the following: golf cart storage, guest house, hobby room and/or similar uses. However, use of the accessory building/guest dwelling for commercial business, home occupations and the installation of kitchens, is strictly prohibited. Non-paying guests shall include permitted health care residents as defined in Section 51.3 of the California Civil Code, but shall exclude all employees or service providers of any type or nature whatsoever. As accessory building/guest dwelling does not include a mobile home, whether with or without a foundation, and does not include any building containing kitchen facilities.

- **Swimming Pools and Spas** — Pools and spas shall be located not closer than (3) feet to any property line or dwelling; however, in areas where such pools or spas abut common area, golf course or greenbelt areas, there shall be no minimum setback.

