

9. PLANNING AREA 9 — Medium-High Density / Single Family Residential

a. Descriptive Summary

Planning Area 9 consists of a neighborhood of single family detached and duplexes west of Del Webb Boulevard and east of Planning Area 8.

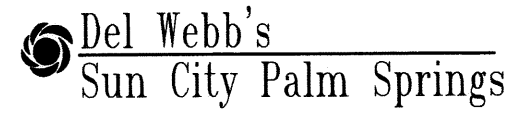
No attempt will be made to keep all the large lots within a single block or neighborhood, so that each of the single family neighborhoods will contain a mix of housing lot sizes and types, intermingled as the market and conditions require. Four sizes of single family lots are initially envisioned: 7000 s.f. ("A" lots), 6000 s.f. ("SF-60" lots), 5000 s.f. ("SF-50" lots), and 4000-4500 s.f. ("SF-45" lots). The smaller lots will allow zero lot line configurations and cluster design concepts . (Note: these lot designations are Del Webb's and pertain to this project only, and do not correspond to any Riverside County standards.)

b. Land Use and Development Standards

Land Use:	Single Family Residential (See Zoning, Section III)
Acreage:	50.5 ±
Ave. Density:	5.49 D.U./AC.
Lot Size:	4000 - 7000 sq./ft.
Number of Units:	277

c. Design Guidelines

1. Access to Planning Area 9 will be from Del Webb Boulevard.
2. A second access point to Planning Area 9 will be provided along a local street passing through Planning Area 3 and 4. Local streets may provide additional connections between Planning Areas 10A and 10B.
3. There will be no direct vehicular access from Del Webb Boulevard to any lots in Planning Area 9.
4. There will be landscaping and a wall along Del Webb Boulevard adjacent to Planning Area 9. See Figure IV-19 (Landscape Concept).



PLANNING AREA

9

PHASE I SINGLE FAMILY RESIDENTIAL

50.5 AC.

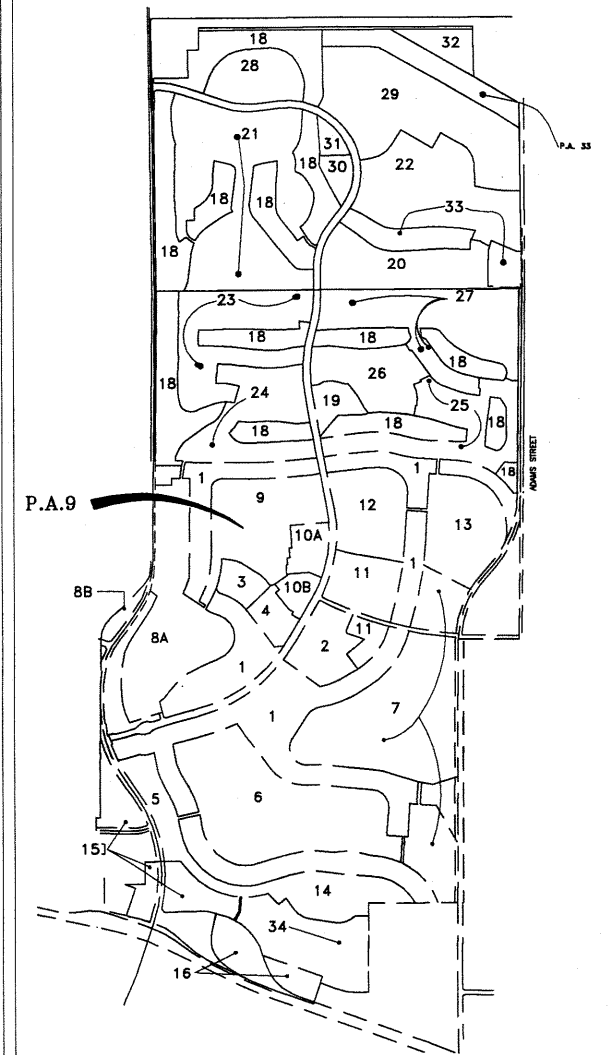


FIGURE IV-37

PLANNING AREA

P.A. 9
50.5 AC
SFR

LANDSCAPE SETBACK
& BLOCK WALL

P.A. 12
32.5 AC
SFR

P.A. 10A
9.2 AC
MFR
ACCESS POINT

P.A. 11
25.1 AC
MFR

P.A. 3
MODELS
4.5 AC

P.A. 10B
6.4 AC
MFR

P.A. 2
13.7 AC
RECREATION
CENTER

P.A. 4
MODELS
4.8 AC

DEL WEBB BLVD.

ACCESS POINT

ACCESS POINT

