

15. Planning Area 14A

a. Descriptive Summary

Planning Area 14A is planned for 11-acres of medium-high density residential land use. A total target of 60 dwellings are planned at a target density of 5.5 du/ac (5-8 du/ac Density Range). See Figure 15N, *Planning Area 14A*.

b. Land Use and Development

Standards Please refer to Specific Plan Zoning

Ordinance.

c. Planning Standards

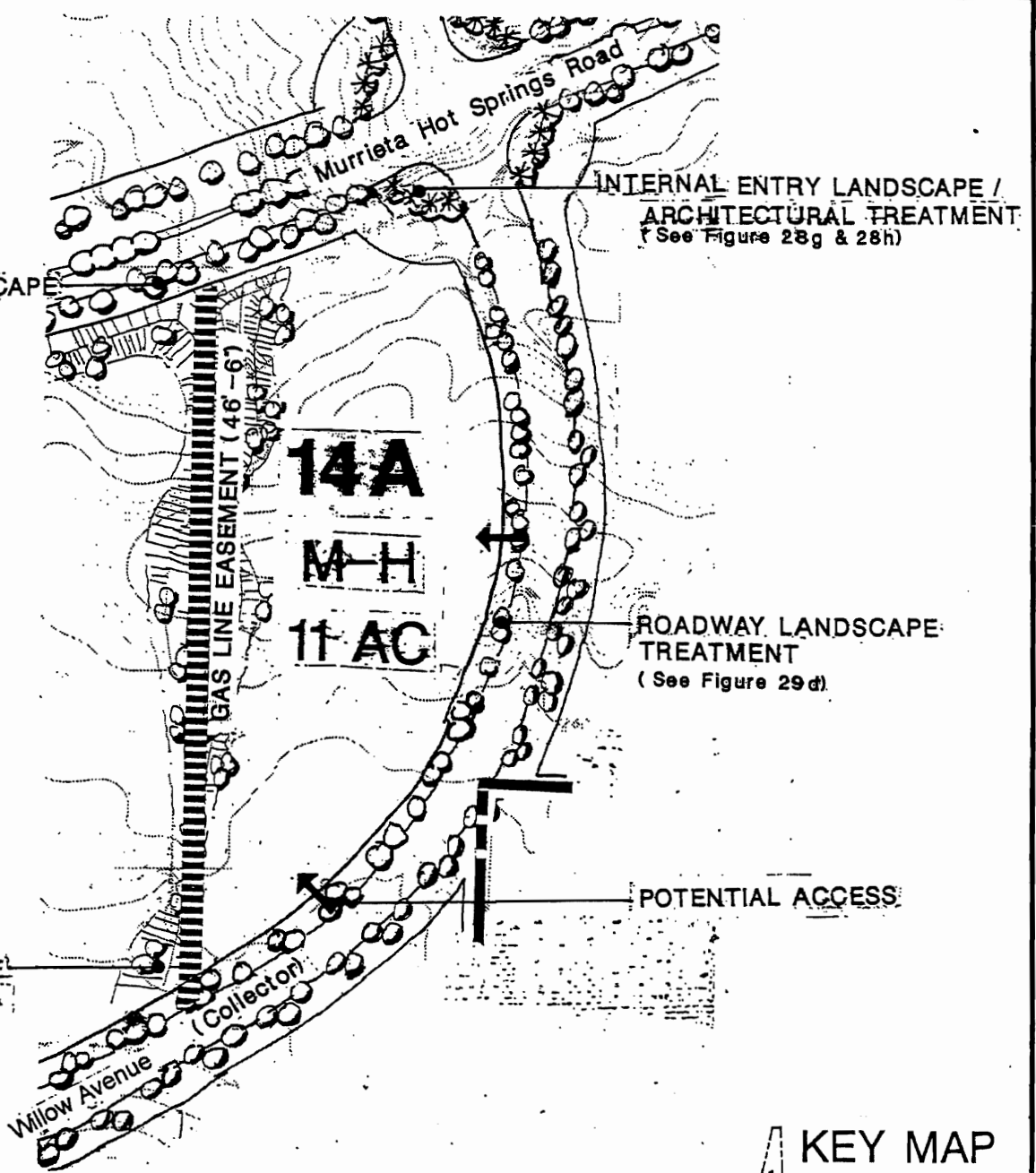
- * This Planning Area will receive access from the collector roadway (Willow Avenue) along the eastern boundary.
- * Roadway landscape treatments such as those depicted on Figures 29b and 29d shall be provided along Murrieta Hot Springs Road and Willow Avenue.
- * An internal entry statement will be provided at the intersection of Murrieta Hot Springs Road and Willow Avenue at the east boundary of the property. (See Figures 28g and 28h).
- * Future site planning for Planning Area 14A should recognize the gas line easement. If possible, the easement should be incorporated into common open space, a parking lot, etc., depending on site design. Landscaping along the easement shall occur in accordance with Southern California Gas Company standards.

A land use/slope transition area will be provided between Planning Area 13 and 14A to define and separate different product types and neighborhoods.

- * A noise analysis shall be prepared concurrently with development applications for the Planning Area.
- * Private recreation facilities may be planned and may possibly include a pool, spa, or barbeque areas. Exact design and layout will be accomplished at future stages of project design.
- * No final subdivision map shall be recorded pursuant to this section until such time as a final site plan has been submitted to and approved by the Planning Director. The final site plan shall show all lots, building footprints, setbacks, yard spaces, floor plans and elevations, to determine that the final site plan conforms to this Section and the final site plan approved in conjunction with the tentative subdivision map for the property. The Planning Director may, at his option, allow typical plottings to be used instead of plotting each dwelling unit on each individual lot. When typical plottings are used, setback specifications for each product type must be provided in addition to the proposed mix of product types.

Detailed park plans shall be submitted to and approved by the Planning Department and CSA #143 or other specified entity prior to the issuance of the 1,500' building permit within Planning Areas 13, 14A, 14B, 14C, 21, or 22. Further, prior to the 1,750' building permit within Planning Areas 13, 14A, 14B, 14C, 21, or 22, the park site shall be constructed and fully operational.

- * Please refer to Section III., A., 1., b. Specific Land Use Plan Development Standards for further land use standards that apply site-wide.
- * Please see Section III., A. 4. Landscaping Plan Development Standards for further landscaping standards that apply site-wide.
- * Please refer to Section IV, Design Guidelines, for further design and landscaping standards that apply site-wide.



ROADWAY LANDSCAPE TREATMENT
(See Figure 29b)

INTERNAL ENTRY LANDSCAPE / ARCHITECTURAL TREATMENT
(See Figure 28g & 28h)

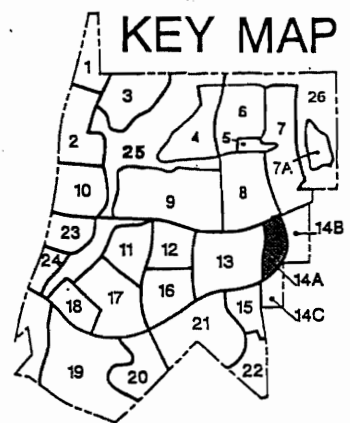
14A
M-H
11 AC

ROADWAY LANDSCAPE TREATMENT
(See Figure 29d)

LAND USE / SLOPE TRANSITION AREA
(See Figure 10E)

POTENTIAL ACCESS

MEDIUM-HIGH RESIDENTIAL
11 AC
60 DU
5.5 DU/AC TARGET DENSITY
5-8 DU/AC DENSITY RANGE



Planning Area 14A
WINCHESTER PROPERTY

T&B Planning Consultants
3342 HALLIDAY, SUITE 100
SANTA ANA, CALIF. 92705 (714) 662-2774
5879 OBERLIN DRIVE, SUITE 218
SAN DIEGO, CALIF. 92121 (619) 546-0366

Figure 15N