

- (6) A wind row buffer planting will be constructed along the easterly portion of the planning area (see Exhibit III-25).
- (7) Walls and fencing shall be provided as follows:
 - (a) Masonry walls along the boundary with the treatment plant (see Exhibit III-30).
 - (b) Chain link fencing along the drainage channel.
 - (c) Slatted chain link fences extending from the building to the side property line, and, where necessary, along the side property lines behind the front building line (except where common drives and loading areas are provided), and along rear property lines shall be provided to screen parking, loading and outside storage areas from view from the street.

b. Specific Development Requirements

- (1) Development of Planning Area III-2 shall conform to the requirements of Ordinance 348.2884b (see Part 3 of this document).

22. PLANNING AREA III-3 (SEE EXHIBIT III-78)

a. General Requirements

- (1) Planning Area III-3 consists of 17.99 gross acres, and is planned for Industrial use.
- (2) Access to the planning area will be from Temescal Canyon Road via local industrial streets.
- (3) Industrial frontage streetscapes will be constructed along interior streets (see Exhibit III-17).
- (4) Walls and fencing shall be provided as follows (see Exhibit III-30).
 - (a) A two-rail woodcrete rail system fence or equivalent shall be installed to replace the existing chain-link fence at the northerly boundary of this planning area.
 - (b) A solid masonry wall shall be installed separating the residential buffer area from the industrial area.
 - (c) Chain link fencing along the drainage channel.
 - (d) Slatted chain link fences extending from the building to the side property line, and, where necessary, along the side property lines behind the front building line (except where common drives and loading areas are provided), and along rear property lines shall be provided to screen parking, loading and outside storage areas from view from the street.

b. Specific Development Requirements

- (1) Development of Planning Area III-3 shall conform to the requirements of Ordinance 348.2884b (see Part 3 of this document).
- (2) Concurrent with the street paving activities of Planning Area III-3, LeRoy Road shall be extended by the developer from the existing pavement terminus to the easterly boundary of the most easterly existing house along LeRoy Road. The extended paving shall match the section and character of the existing pavement.

23. PLANNING AREA III-4 (SEE EXHIBIT III-79)

a. General Requirements

- (1) Planning Area III-4 consists of 23.11 gross acres, and is planned for Industrial use.
- (2) Access to the planning area will be from Temescal Canyon Road via local industrial streets.
- (3) Industrial frontage streetscapes will be constructed along interior streets (see Exhibit III-13).
- (4) Walls and fencing shall be provided as follows (see Exhibit III-30).
 - (a) Masonry walls along the boundary with the treatment plant.
 - (b) Chain link fencing along the drainage channel.
 - (c) Slatted chain link fences extending from the building to the side property line, and, where necessary, along the side property lines behind the front building line (except where common drives and loading areas are provided), and along rear property lines shall be provided to screen parking, loading and outside storage areas from view from the street.

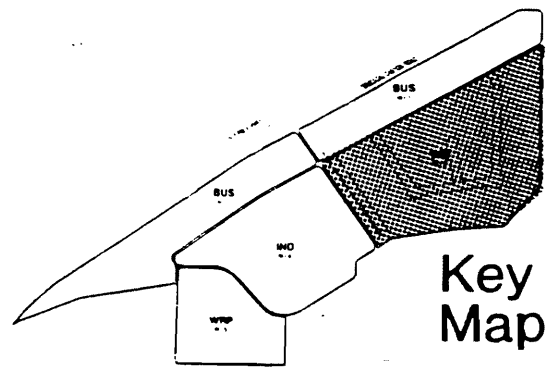
b. Specific Development Requirements

- (1) Development of Planning Area III-4 shall conform to the requirements of Ordinance 348.2884b (see Part 3 of this document).

24. PLANNING AREA III-5 (SEE EXHIBIT III-80)

a. General Requirements

- (1) A wastewater treatment and water reclamation plant will be developed within Planning Area III-5, which encompasses approximately 10.9 acres. The plant will be owned and operated by the Lee Lake Water District.
- (2) A transmission main extending from Western Municipal Water District's Mills Filtration Plant to bring water to the project site.

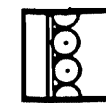


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III-3

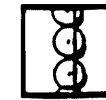
Refer to Interior
Frontage Exhibit

Refer to
Residential
Buffer Exhibit

LEGEND



Interior Frontage



Residential Buffer

PLANNING
AREA III-3

WILD ROSE
BUSINESS PARK
FOOTHILL PROPERTIES



Randolph
Hubik
Associates, Inc.

DATE 4-26-89