

- (12) This area requires that a combination of fuel breaks, age class management, green belts, and a noncombustible wall be provided to mitigate impacts on the National Forest; fire lanes be established to provide unobstructed access to firefighting forces; and a Wildland Fire Protection Plan be prepared by the applicant and approved by the U.S. Forest Service and the Riverside County Fire Department.
- (13) General mitigation measures are presented in Section II. No special measures apply specifically to this planning area.

**b. Specific Development Requirements**

- (1) Development of Planning Area II-4 shall conform to the requirements of Ordinance 348.2884b (see Part 3 of this document).

**15. PLANNING AREA II-5 (SEE EXHIBITS III-66, III-67, AND III-68)**

**a. General Requirements**

- (1) The 15.5-acre II-5 planning area permits 78 single family dwellings at a density of 5 DU/acre.
- (2) Access to Specific Plan area II-5 will be from Clay Canyon Drive (see Exhibit III-67).
- (3) Clay Canyon Drive will be constructed to a 2-lane collector road within 66-foot rights-of-way (see Exhibit III-67).
- (4) Collector streetscape will buffer the south face of the site from Clay Canyon Road (see Exhibit III-16).
- (5) A drainage channel runs along the east face of Planning Area II-5, and will be buffered with special treatment (see Exhibits III-9 and III-23).
- (6) Secondary intersection treatments will be constructed at the entries to Planning Area II-5 from Clay Canyon Drive (see Exhibits III-9 and III-12).
- (7) Front yard landscaping will be provided (see Exhibit III-26 and Section II.D.10.(2)).
- (8) Walls and fencing shall be provided as follows (see Exhibits III-27, III-28, and III-29).
  - (a) Masonry wall along Clay Canyon Drive.
  - (b) Wood fence along drainage channel and northerly planning area boundary.
  - (c) Rear and side yard wood fencing shall be provided to all dwelling units (see Exhibit III-28).

- (9) This area is subject to residential landscaping, circulation and infrastructure design standards.
- (10) General mitigation measures are presented in Section II. No special measures apply specifically to this planning area.

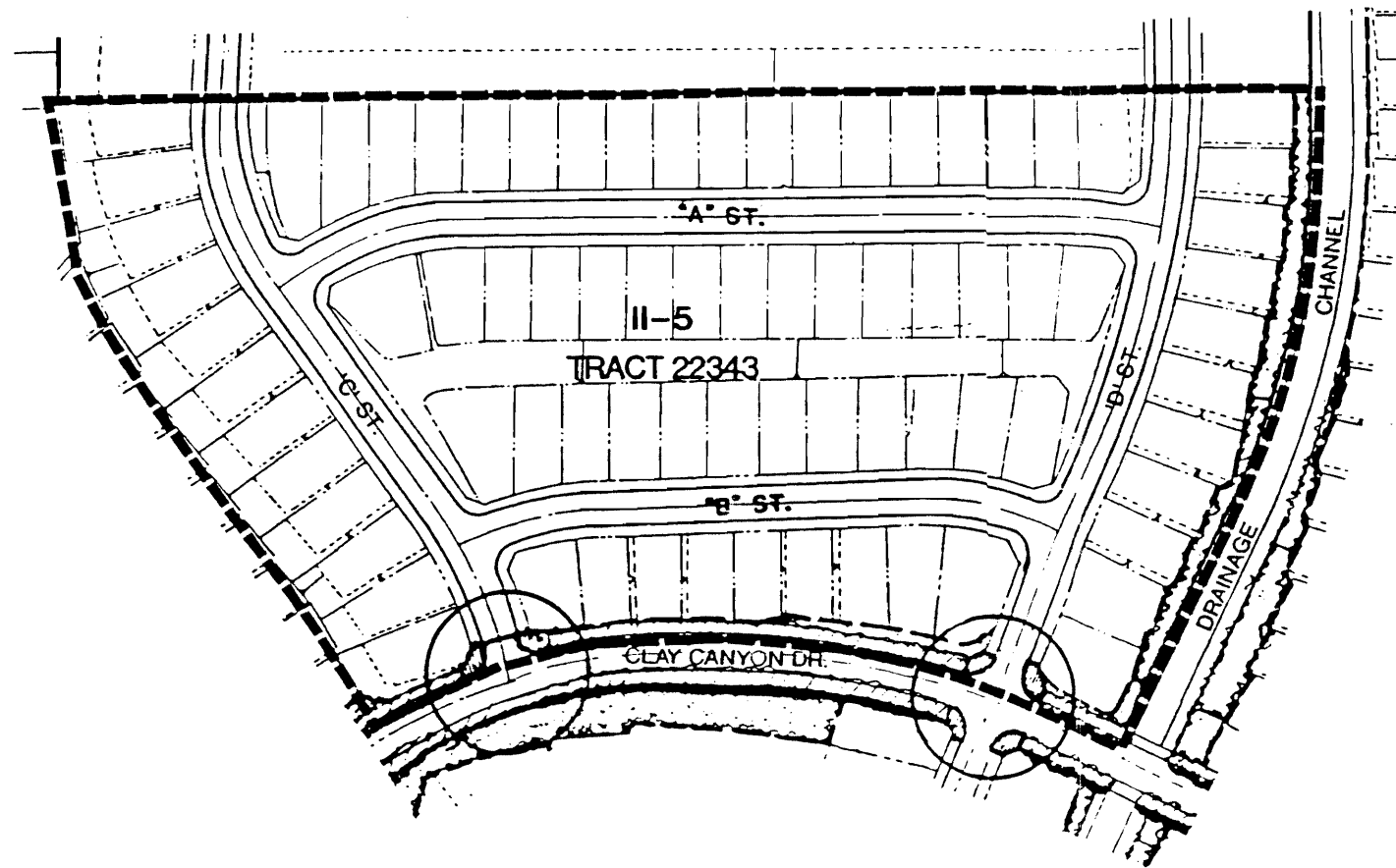
b. Specific Development Requirements

- (1) Development of Planning Area II-5 shall conform to the requirements of Ordinance 348.2884b (see Part 3 of this document).

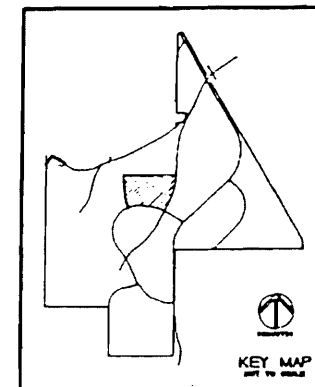
16. PLANNING AREA II-6 (SEE EXHIBITS III-69 AND III-70)

a. General Requirements

- (1) The 19.6 II-6 planning area permits 77 single family dwellings at a density of 3.9 DU/acre.
- (2) Access to Specific Plan area II-6 will be from Clay Canyon Drive via local streets within Planning Area II-5 (see Exhibits III-67 and III-69).
- (3) A special buffer planting will be provided along the Planning Area's northern boundary (see Exhibit III-16).
- (4) A drainage channel runs along the east face of Planning Area II-5, and will be buffered with special treatment (see Exhibits III-9 and III-23).
- (5) Front yard landscaping theme will be provided (see Exhibit III-26 and Section II.D.10.(2)).
- (6) Walls and fencing shall be provided as follows (see Exhibits III-27, III-28, and III-29).
  - (a) Wood fence along drainage channel and northerly planning area boundary.
  - (b) Rear and side yard wood fencing shall be provided to all dwelling units (see Exhibit III-28).
- (7) This area is subject to residential landscaping, circulation and infrastructure design standards.
- (8) General mitigation measures are presented in Section II. No special measures apply specifically to this planning area.



--- LOT BOUNDARY



## LEGEND

- PRIMARY ENTRY, PRIMARY INTERSECTION, SECONDARY INTERSECTION
- PALM TREES  
WASHINGTONIA ROBUSTA
- FLOWERING ACCENT TREES  
JACARANDA ACUTIFOLIA  
KOELREUTERIA  
TIJUANA TIPU  
LAGERSTROEMIA INDICA
- EVERGREEN TREES  
CUPANIOPSIS ANACARDIODES  
PINUS HALEPENSIS  
ERIOBOTRYA DEFLEXA  
JUNIPERUS CHINENSIS 'TORULOSA'  
EUCALYPTUS CITRIODORA
- DECIDUOUS TREES  
POPULUS NIGRA 'ITALICA'  
PRUNUS CERASIFERA
- EVERGREEN SHRUBS  
AGAPANTHUS AFRICANUS  
NERUM OLEANDER  
PITTOSPORUM TOBIJA  
XYLOSMA CONGUSTUM 'COMPACTA'  
TECOMARIA CAPENSIS
- GROUND COVER  
TRAILING YELLOW GAZANIA  
HEDERA HELIX 'HANS'
- ROSES
- TURF
- STREETScape-COLLECTOR STREET
- STREET TREES  
JACARANDA ACUTIFOLIA  
KOELREUTERIA  
TIJUANA TIPU
- EVERGREEN SHRUBS  
GREVILLEA 'NOELLI'  
HEMEROCALLIS  
LANTANA MONTEVIDENSIS  
PHOTNIA FRASERI  
TECOMARIA CAPENSIS  
VIBURNUM JAPONICUM
- GROUND COVER  
HEDERA HELIX 'HANS'  
TRAILING YELLOW GAZANIA
- VNES  
PARTHENOCESSUS TRICUSPIDATA
- TURF
- SLOPE PLANTING
- TREES  
EUCALYPTUS CITRIODORA  
PINUS HALEPENSIS
- EVERGREEN SHRUBS  
SAME AS SHRUBS OF ADJACENT ROAD
- GROUND COVER  
SAME AS GROUND COVERS OF ADJACENT ROAD

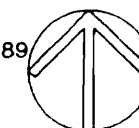
# WILD ROSE

## UDC HOMES

REVISED ON JUNE 27, 89

DATE JUNE 18, '89

NOT TO SCALE



NORTH

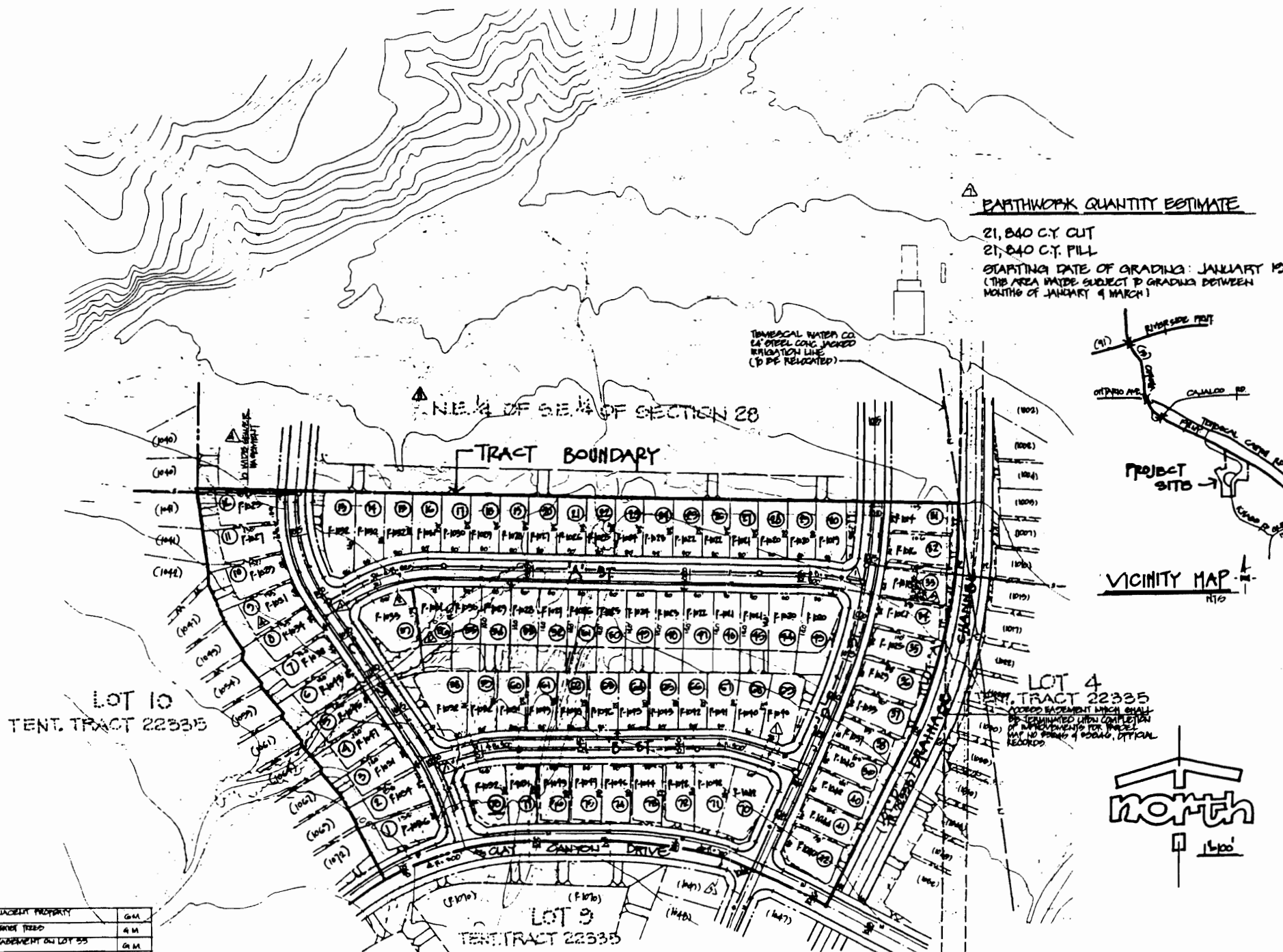


PLANNING  
LANDSCAPE ARCHITECTURE  
INTERIORS  
1987-88

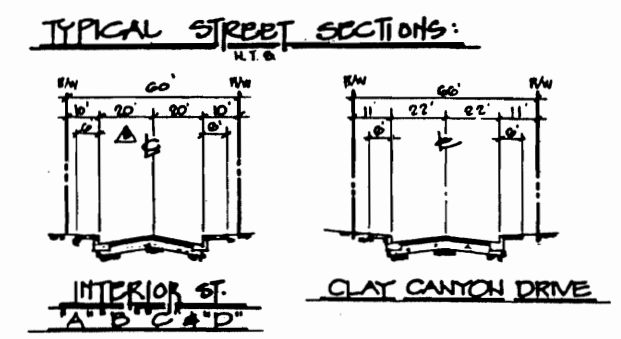
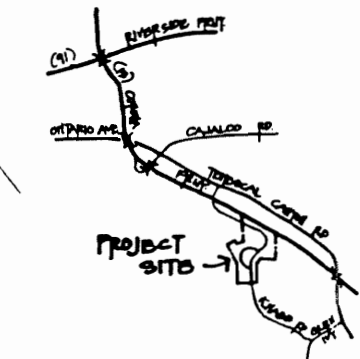
# COUNTY OF RIVERSIDE

# NOTES:

1. PURPOSE: SINGLE FAMILY HOMES
2. PRESENT USE: VACANT LAND
3. PROPOSED ZONING: R-2
4. SPECIFIC PLAN LAND USE DESIGNATION:
5. UTILITY INFORMATION: ALL UTILITIES TO BE UNDERGROUND.
  - A. WATER SERVICE: LEE LAKE WATER DISTRICT.
  - B. SEWER SERVICE: LEE LAKE WATER DISTRICT
  - C. GAS SOURCE: SO. CAL. GAS COMPANY
  - D. ELECTRIC SOURCE: SO. CAL. EDISON
  - E. TELEPHONE SERVICE: PACIFIC BELL
  - F. CABLE TV:
6. SPECIFIC PLAN NO. APPROVED AUGUST 1986 GOVERNS DEVELOPMENT OF THIS PROJECT.
7. MINIMUM LOT SIZE: 5000 S.F.



**EARTHWORK QUANTITY ESTIMATE**  
 21,840 C.Y. CUT  
 21,840 C.Y. FILL  
 STARTING DATE OF GRADING: JANUARY 1987  
 (THIS AREA WOULD BE SUBJECT TO GRADING BETWEEN MONTHS OF JANUARY & MARCH)



**PREPARED BY:**  
 CHURCH ENGINEERING  
 2501 ALDIN AVE.  
 IRVINE, CA 92714  
 (714) 660-8200

**PREPARED FOR:**  
 FOOTHILL PROPERTIES  
 510 WEST CHASE DR.  
 CORONA, CA 92720  
 (714) 791-0821

*Douglas J. Bender* P.E. 1-11-87  
 DOUGLAS J. BENDER P.E. 20746  
 VICE-PRESIDENT PROJECT MANAGER

*John J. Conroy* 1/28/87  
 PROJECT MANAGER / DATE

\* THE OWNER OF RECORD CONSENTS TO THE FILING OF THIS MAP.

78 NUMBERED LOTS  
 1 LETTERED LOT  
 15.5 ACRES GROSS

SCALE: 1"=100'  
 CONTOUR: 2 FOOT  
 DATE: JANUARY 1987

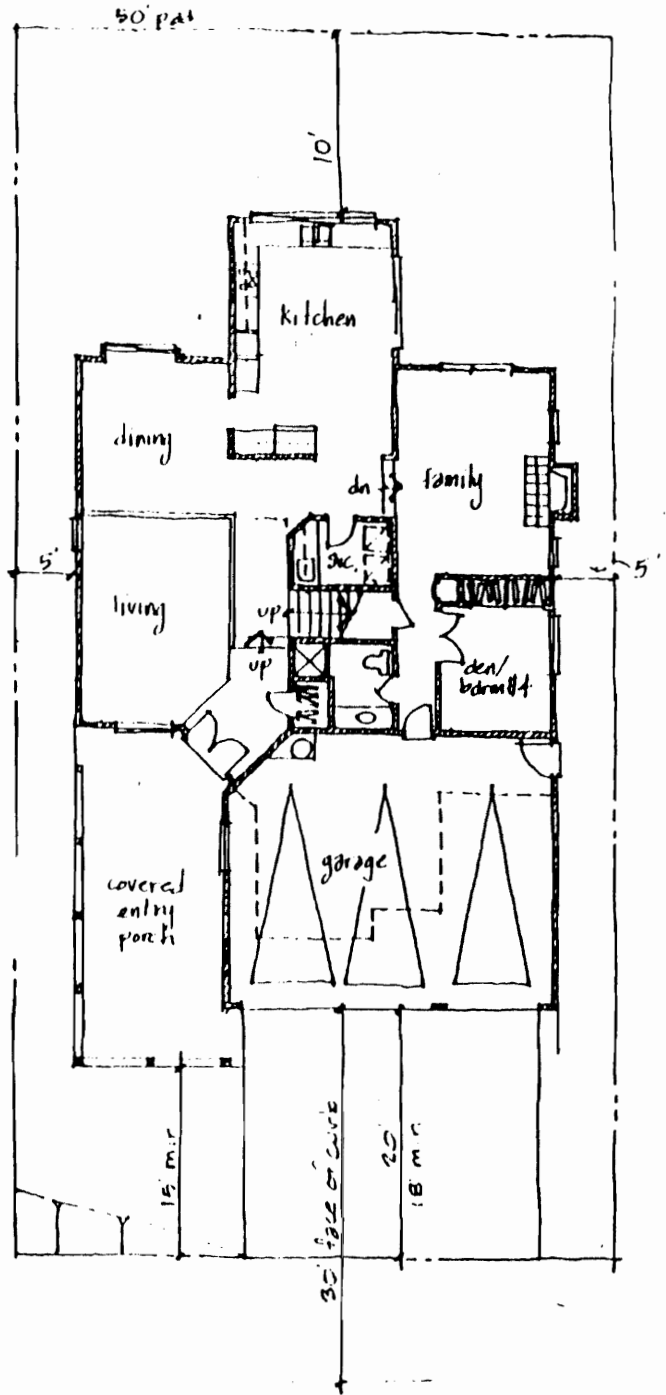
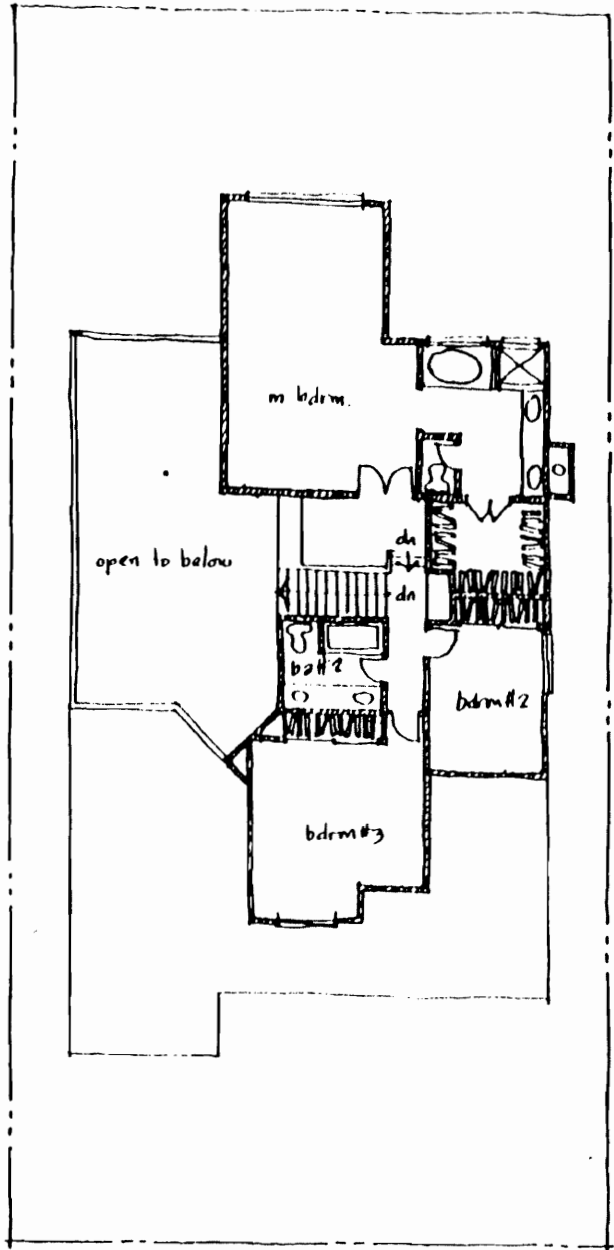
**LEGAL DESCRIPTION:**  
 PARCEL 10 OF PARCEL MAP NO. 19201 FILED IN BOOK 129, PAGES 36/42, RECORDS OF RIVERSIDE COUNTY. (LOT 8 OF TENTATIVE TRACT 22335)

NO.	DATE	REVISIONS	BY:
1	4/10/87	ADDED DESCRIPTION ADJACENT PROPERTY	G.M.
2	4/10/87	ADDED AFTER LOCATION OF WIDE TRIPS	G.M.
3	4/10/87	ADDED TO WIDE TRIPER ALIGNMENT ON LOT 55	G.M.
4	4/10/87	REVISED LOT 100 DUE TO CHANGE IN LOT DUE TO REALIGNMENT OF CLAY CANYON DRIVE	G.M.
5	4/10/87	ADDED EARTHWORK QUANTITY ESTIMATE	G.M.
6	4/10/87	REVISED LEGAL DESCRIPTION	G.M.
7	4/10/87	REVISED CLAY CANYON DRIVE ALIGNMENT TRACT BOUNDARY	G.M.
8	4/10/87	REVISED LOT 100 (LINES 1 THRU 15) & ADDED TO WIDE TRIPER ALIGNMENT ON LOT 10	G.M.
9	4/10/87	REVISED INTERIOR STREET WIDTH TO 20' (DUE TO CHANGE)	G.M.
10	4/10/87	REVISED & RE-DRAWN	G.M.
11	4/10/87	REVISED & INTERSECTION, ADDED TO ALIGNMENT (CLAY CANYON)	G.M.

# TENTATIVE TRACT 22343

EXHIBIT 68

**WILD ROSE** Temescal valley, Calif



50000 sq ft pat