

**DRAFT  
THOUSAND PALMS 278  
SPECIFIC PLAN NO. 386**



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January 2018

Draft Thousand Palms 278  
Specific Plan No. 386

Thousand Palms, California

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## THOUSAND PALMS 278

### SPECIFIC PLAN No. 386

#### Vision and Executive Summary

The Thousand Palms 278 Specific Plan (SPECIFIC PLAN NO. 386) presents a new model for master-planned communities. In addition to providing a variety of housing types aimed at reaching a broad spectrum of home buyers, the project emphasizes the sustainability features that are at the forefront of new developments in the Coachella Valley and throughout the nation. This project is on the cutting edge of sustainability in that it is planned to include a dedicated Shared Solar Generating Facility, which is unique in the region. In addition to generating enough electricity to offset an estimated 70% of the community's demand, this Shared Solar Generating Facility is expected to serve as a demonstration project showing how green power can be efficiently and effectively integrated into land plans in a manner that is beneficial to both utility companies and the homeowners.

In contrast to photovoltaic panels mounted on individual homes, the shared solar concept calls for all of the panels, which will serve the development, to be placed in a common location. The electricity generated is transmitted into the electrical grid at a single point of connection. Each home within the project is credited with its share of production through a mechanism known as virtual metering. The benefit to the utility is that metering occurs at one point of connection instead of at each home. Additionally, because there is no need for rooftop mounted solar systems, the homeowners benefit by being able to maintain the architectural integrity of their homes, and are not required to maintain a conventional rooftop solar system.

Specific Plan No. 386 has been designed with an active lifestyle in mind. The centrally located Community Center will include a clubhouse, pool and spa, various types of ball-courts, as well as picnic facilities and gardens. Running nearly the full length of the 118-acre planned community is a broad, tree-lined, main Collector Street with segregated bike/NEV Lanes, pedestrian walkways, pocket parks, and rest areas. Also included are a Neighborhood Park and one-acre Dog Park. These two recreational features are located next to the Shared Solar Array, which serves double-duty as a retention basin. Around this solar array/retention facility is a landscaped buffer and jogging trail within which are located fitness stations and an interpretive exhibit. These features and amenities will serve to enhance the desirability of the community as well as to encourage healthful lifestyles for residents of all ages.

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# I. Introduction

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## A. Project Summary

The Thousand Palms 278 Specific Plan No. 386 provides for a residential master-planned community with a variety of housing types, supported with green energy through an innovative Shared Solar Generating Facility. This exciting and innovative component of the community integrates a 2+/- Megawatt shared solar generating facility within its land plan. Provision is made for homeowners to benefit from the “green power” concept without dealing with the issues of maintenance and negative visual impact of individual roof mounted solar panels (See discussion in Chapter II for more elaboration).

The community is located in the urbanizing area of Thousand Palms, an unincorporated area in the central portion of the Coachella Valley in Riverside County. As illustrated in Figure I-1, *Regional Location Map* and Figure I-2, *Project Vicinity*, the project is located: approximately a mile to the north of the I-10 Freeway; approximately a mile and three-fourths to the east of the Ramon Road/I-10 Freeway Interchange (east bound off ramp only); approximately two and a third miles to the east of the Bob Hope Drive/I-10 Interchange; and approximately a mile to the northwest of the Monterey Avenue/I-10 Freeway Interchange.

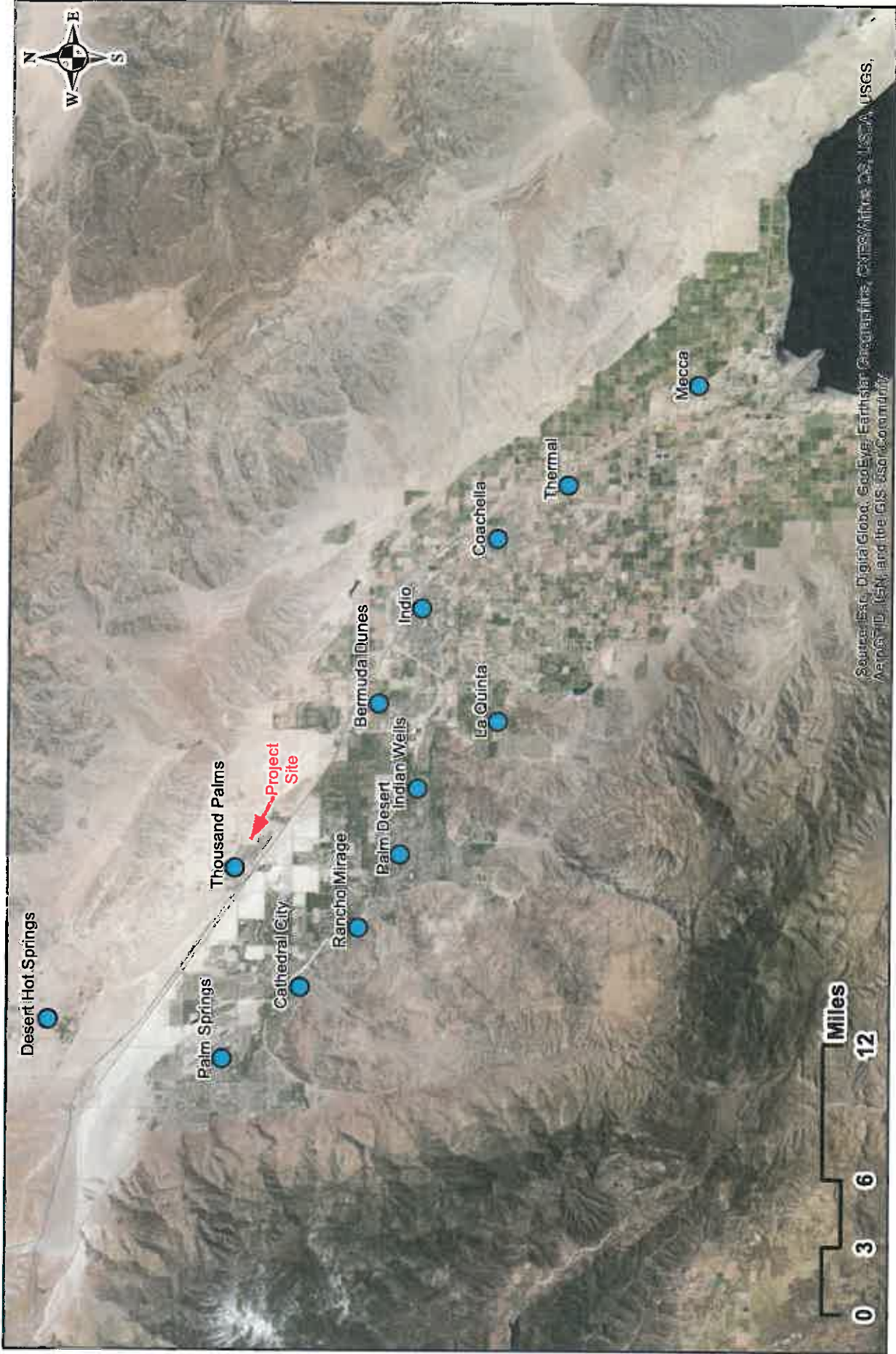
This 117.99 acre community will consist of a maximum of 590 residences, which is consistent with its current Medium Density Residential (MDR) designation in the County of Riverside Comprehensive General Plan (a target density averaging five (5) dwelling units per gross acre). The Specific Plan also provides for various lot configuration options for one- and two-story single-family residences with four architectural styles. Such variety is intended to provide a wide range of housing opportunities that will allow appropriate responses to market demand and the needs of the community’s future residents. Specific Plan No. 386 also provides for the potential of gated and/or age restricted development components within the community.

Specific Plan No. 386 is a “pedestrian friendly” residential community. This characterization is reinforced by meandering sidewalks within landscaped parkways on both sides of the main on-site Collector Road from the main project entry on Ramon Road to its southerly terminus. The community’s design also facilitates neighborhood pedestrian trail intersections with the sidewalks along the main Collector Road. The aforementioned pedestrian circulation system also provides access to a landscape/recreation buffer around the Shared Solar Array located at the southern end of the project site. This buffer incorporates a multi-purpose pedestrian jogging/walking trail and a series of exercise stations.

The foregoing pedestrian linkages provide access to a system of park and recreational amenities dispersed throughout Specific Plan No. 386. Central to this system is a 2.5-acre Community Center located in the central portion of the site along the western frontage of the main Collector Road. The Community Center will include a 3,500-4,000s.f. clubhouse and serve as the social hub of the planned community. Its park-like design encompasses a swimming pool, spa, covered picnic facilities and open space areas, and a variety of athletic courts. The system also includes smaller pocket parks, approximately one-quarter acre each in size, strategically located on either side of the main Collector Road. These activity nodes provide

exercise stations and shaded seating with play areas for children. A one-acre dog park and westerly adjacent one-acre neighborhood park are located at the southern terminus of the main Collector Road. These two park facilities also abut and have direct access to the aforementioned landscape/recreation buffer and attendant pedestrian jogging/walking trail along the perimeter of the 8.01-acre Shared Solar Array.

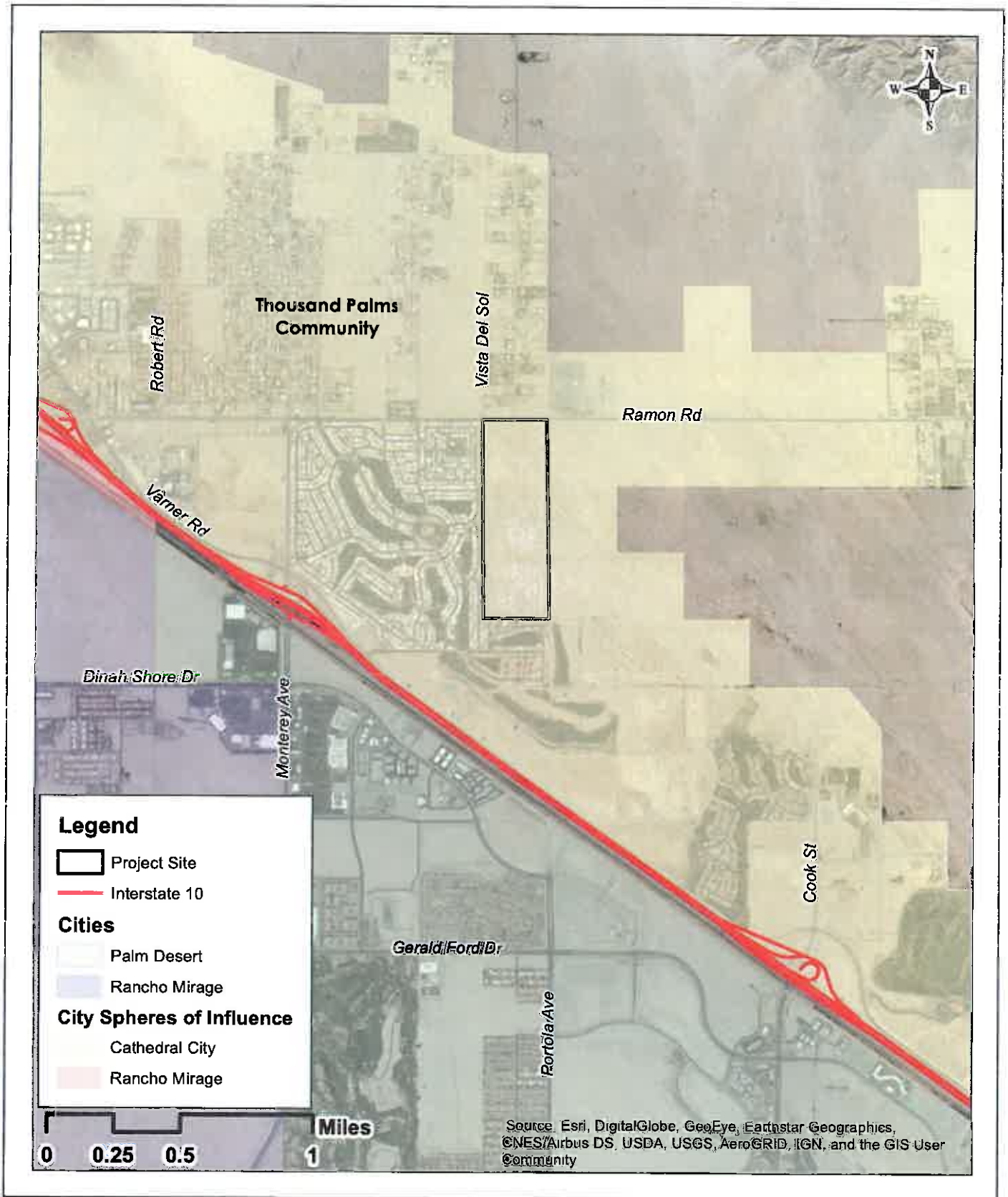
The community is also “bicycle friendly”, providing bicycle lanes along the main Collector Road that connects Ramon Road to the heart of the community. Bicycle parking is provided at key project locations such as the Community Center, certain pocket parks along the main Collector Road, and, in the vicinity of the neighborhood park, dog park and Shared Solar Array complex at the southern end of the project site.



Regional Location Map  
Thousand Palms 278 Specific Plan No. 386

Figure  
I-1





Project Vicinity  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 I-2

## **B. Document Purpose**

Specific Plan No. 386 has been prepared with the purpose of stimulating responsible and affordable home development through the implementation of customized Development Guidelines and Design Guidelines as well as unique energy management practices. It is intended to implement the policies of the County of Riverside General Plan and other applicable planning documents with emphasis placed in the particular planning requirements of the Specific Plan area.

The County of Riverside General Plan provides goals, objectives, and policies that are broad in scope and are applicable to the County as a whole. The County of Riverside Zoning Ordinance provides regulatory zoning categories and classification of areas that are also broad in scope. This Specific Plan provides compatible goals, objectives and policies to the General Plan and Zoning Ordinances but with a scope that is restricted and designed for the requirements of the defined Specific Plan area. By being precise and focused on the site, the Specific Plan makes the development process more predictable and at the same time assures a development that meets Riverside County's General Plan standards.

## **C. Format**

Specific Plan No. 386 is divided into the following chapters:

- I. Introduction/ Project Summary
- II. Specific Plan
- III. Planning Area Development Guidelines
- IV. Design Guidelines
- V. Zoning Ordinance
- VI. General Plan Consistency

Specific Plan No. 386 has been prepared in accordance with the provisions of California Government Code Section 65451, which grants local government agencies the authority to prepare specific plans of development for any of the areas covered by a General Plan. According to Section 65451, a Specific Plan shall include text and diagrams which specify all of the following topics:

- The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan.
- The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
- A program of implementation measures designed to carry out the items listed above.

Specific Plan No. 386 functions as a regulatory document, which is designed to implement the policies of the County of Riverside General Plan. All future development plans pertaining to the subject property

shall be consistent with the regulations set forth in the County's General Plan. Specific Plan No. 386 addresses the following items related to the site:

- General Appearance and Building Setbacks;
- Circulation and Utilities provisions;
- Assures that new development meets or exceeds County of Riverside standards of Environmental Safety; and
- Provides provisions for the maintenance of the aesthetic quality and community identity of the site.

#### **D. Project Setting**

Specific Plan No. 386 is located in the unincorporated area of Riverside County known as Thousand Palms. This long established community is in the center of the Coachella Valley, immediately north of the Cities of Rancho Mirage and Palm Desert. A *Regional Location* map (Figure I-1) is provided that shows the site's location in the context of the Coachella Valley. A *Project Vicinity* map (Figure I-2) is provided that shows the property location in relationship to nearby cities, geographic features, freeways and major roads. The boundaries of the 117.99-acre project are Ramon Road to the north, The Shenandoah Springs residential community to the west and south, a 140-foot Southern California Edison owned utility corridor to the east, and conservancy owned vacant land farther to the east.

The site is regionally accessible from three Interstate 10 (I-10) interchanges: Monterey Avenue approximately one (1) mile to the southwest and Ramon Road and Bob Hope Drive approximately two (2) miles to the west. Local access to the community from the south is provided via Monterey Avenue to and from Ramon Road to the east and west. Direct access to the site is from Ramon Road. A secondary emergency access road lies at the south end of the property connecting to Les Road, part of the public road system within the Shenandoah Springs development that connects to Monterey Avenue and Varner Road.

Specific Plan No. 386 is located within the Palm Springs Unified School District (PSUSD). The community is within the attendance boundary of the following schools:

- Della S. Lindley Elementary School in Thousand Palms, CA. (1.5 mi. via Ramon Road)
- James Workman Middle School in Cathedral City, CA. (5.5 mi. via Ramon Road)
- Rancho Mirage High School in Rancho Mirage, CA. (3.6 mi. via Ramon Road)

#### **E. Existing Site Characteristics**

The Specific Plan No. 386 site is currently vacant. However, according to a Phase I Environmental Site Assessment prepared for the project site, the northernmost forty acres of the site was used for agricultural purposes at one time, but ceased approximately 40 years ago. Existing on-site features are graphically displayed in Figure I-3, *Site Aerial Photo*.





Site Aerial Photo  
Thousand Palms 278 Specific Plan No. 386

Figure  
I-3



Two irrigation pipes, a sealed well site, and a concrete pad associated with the previous agricultural activities are located in the northern portion of the site. Dirt trails are located along the western, eastern and southern borders of the property. A trail diagonally traversing the northern third of the project is covered with remnant crushed asphalt material. Southern California Edison (SCE) and Imperial Irrigation District (IID) power lines are located along the northern boundary of the site, and along the eastern side of the northern third of the project site.

The Specific Plan No. 386 area is virtually flat with a north to south grade difference of 34 feet (approximate elevation of 218 feet at the northwest corner of the site and an approximate elevation of 184 feet at the southeast corner of the site), or less than a one percent grade. An abandoned irrigation basin is still visible at the northwest corner of the project site. Topographic features eight to ten feet high exist within the project boundary.

### **1. Land Use Designations and Classifications**

As illustrated in Figure I-4, *Existing General Plan Designations*, the project site is currently designated by the Western Coachella Valley Area Plan as “Medium Density Residential”. Figure I-5, *Existing Zoning Classifications*, shows the site zoned for “R-1” and “R-3-6,000”. With approval of this Specific Plan, land use designations will be consistent with the Thousand Palms 278 Specific Plan No. 386 Land Plan, and the site’s zoning will be Specific Plan No. 386. The distribution of proposed land uses onsite are displayed on Figure I-6, *Specific Plan No. 386 - Proposed Land Use*. As depicted on the land use summary table provided on Figure I-6, a maximum of 590 residential units are anticipated to be developed under the provisions of Specific Plan No. 386. The resultant gross density of five (5) dwelling units per acre is consistent with the densities currently allowed under the site’s existing General Plan Designations and Zoning Classifications.

### **2. Surrounding Land Uses and Development**

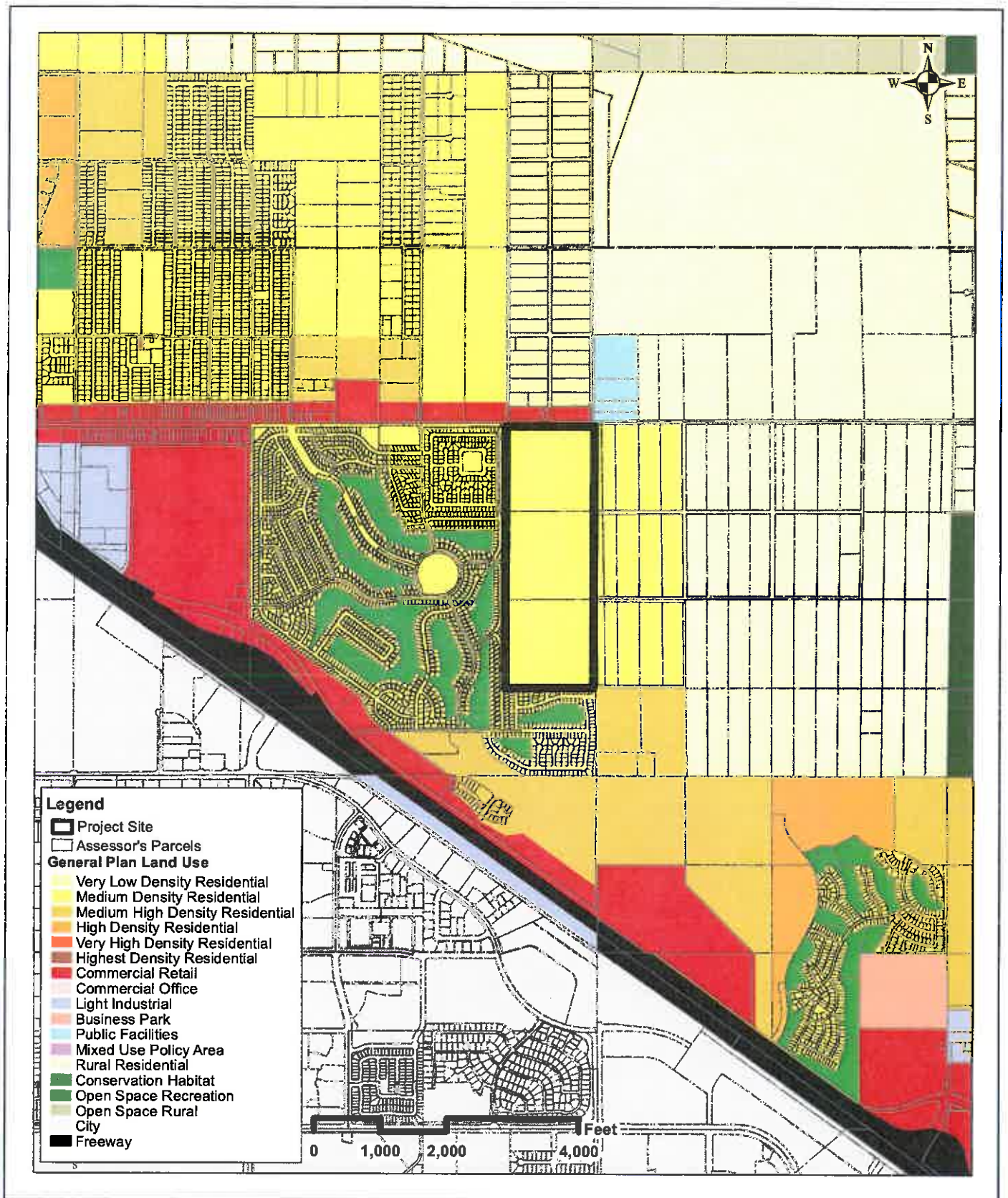
As shown in Figure I-7, *Nearby Services and Amenities*, the project is located in the eastern portion of the Thousand Palms Community, with the Shenandoah Springs/Tri Palm Estates Community immediately adjacent to the site on the west and south. To the north across Ramon Road is a large lot residential area with SCE and IID substations to the northeast of the project site. The project’s entire eastern boundary is contiguous to a 140’ wide strip of land owned by SCE in fee. The Coachella Valley Conservancy borders the northern third of the SCE land on the east, with the balance of the site being bordered by vacant residential property.

## **F. Planning Approach**

Specific Plan No. 386 provides a comprehensive program that provides for a variety of housing types within a pedestrian friendly and active planned community. Extensive recreational facilities and an innovative shared solar installation are added benefits. These facilities will be operated and maintained by the Home Owners Association. To this end, the design team has adhered to the following planning objectives:

1. Provide focused opportunities for reasonably priced housing options with energy independence features for this growing area of the Coachella Valley.

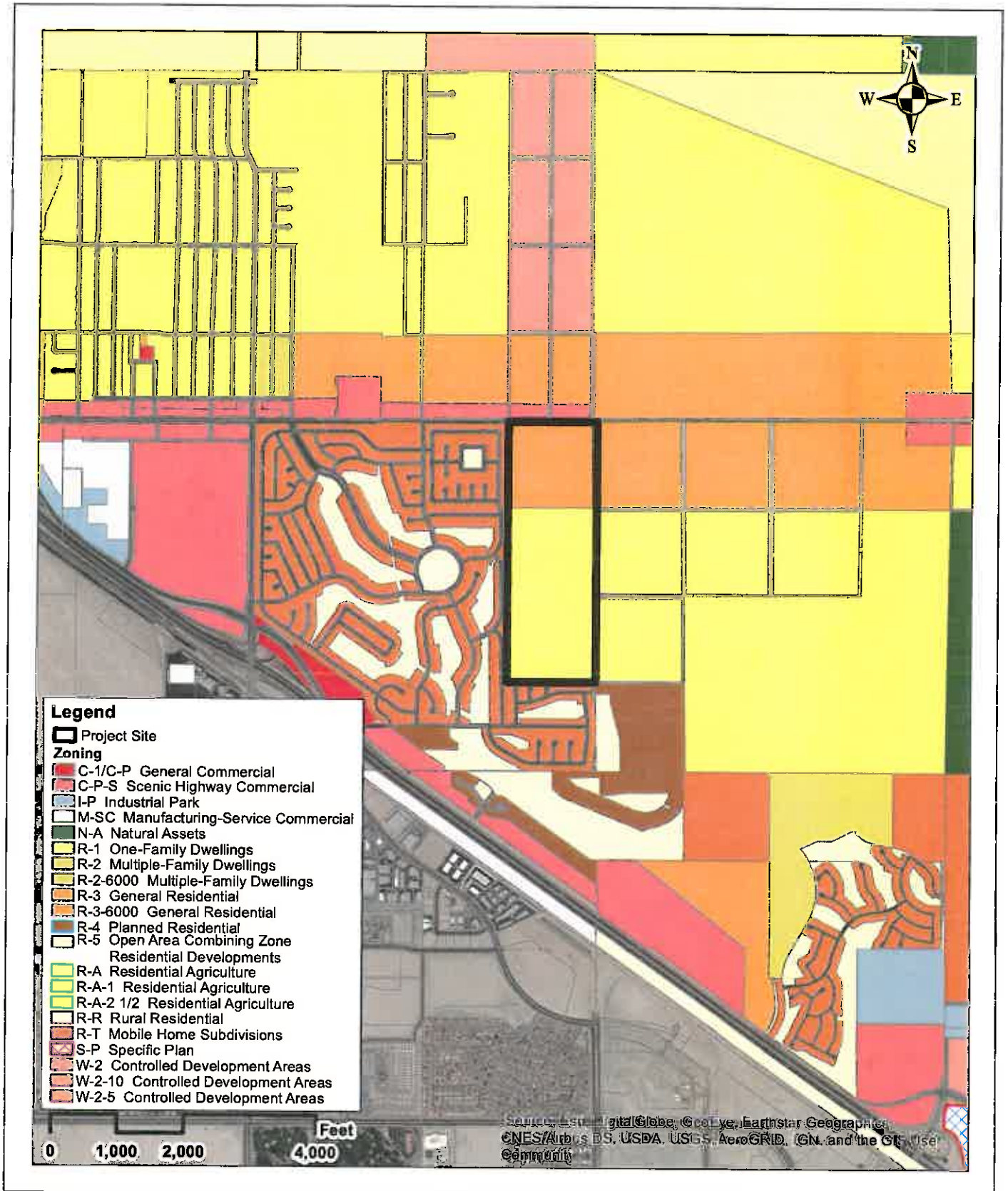
2. Establish land uses, circulation design standards, site development guidelines, and design guidelines that enhance the Thousand Palms Community.
3. Encourage flexible land use patterns in order to create an economically feasible yet affordable residential development capable of responding to changing economic conditions and the needs of a variety of types of residents.
4. Establish a sense of place, as well as continuity and consistency of development standards to create and maintain a high quality residential community.
5. Create a community comprised of land uses compatible with adjacent residential development.



**Existing General Plan Designations  
Thousand Palms 278 Specific Plan No. 386**

**Figure  
I-4**

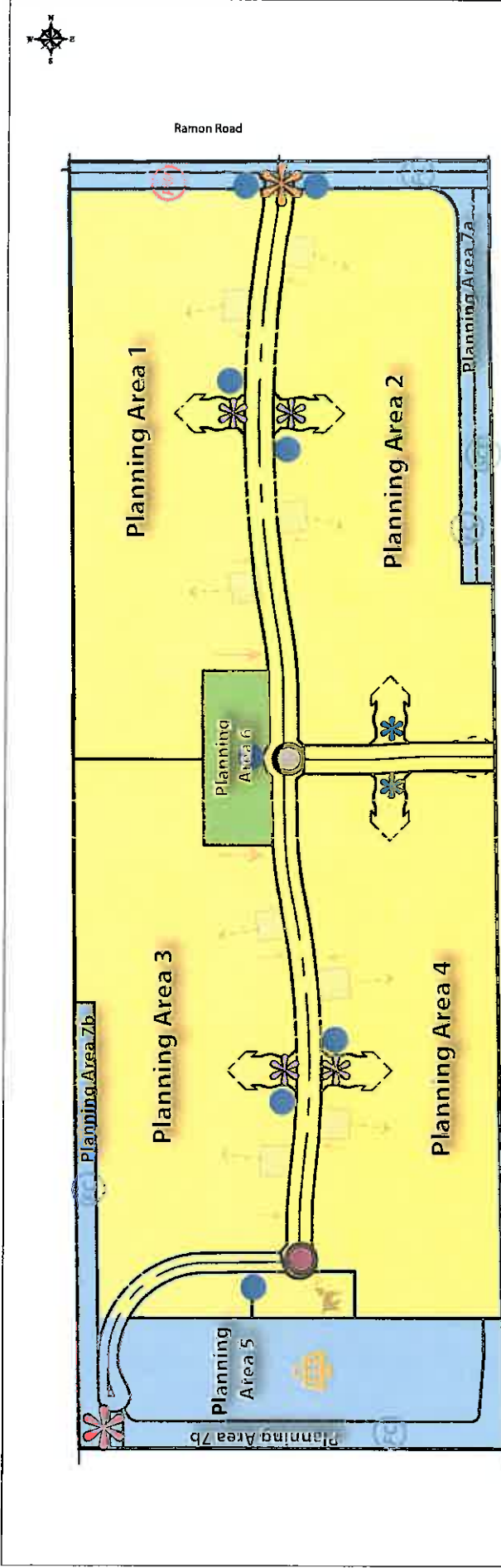




**Existing Zoning Classifications**  
**Thousand Palms 278 Specific Plan No. 386**

**Figure**  
**I-5**





**Land Use Designations**

- PF Public Facilities
- MHDR Medium High Density Residential
- OS-R Open Space - Recreation

**Legend**

- Flood Control Channel
- Main Project Access
- Community Emergency Ingress and Egress
- Neighborhood Entry (Potential for Gates)
- Secondary Neighborhood Entry (Potential for Gates)
- Emergency Access (Potential Secondary Exit)
- Parkway
- Southern California Edison Easement
- Pocket Park
- Possible Trail Linkage
- Dog Park
- Solar Arrays/Retention Area
- Monumentation
- 116' Traffic Circle
- 102' Traffic Circle

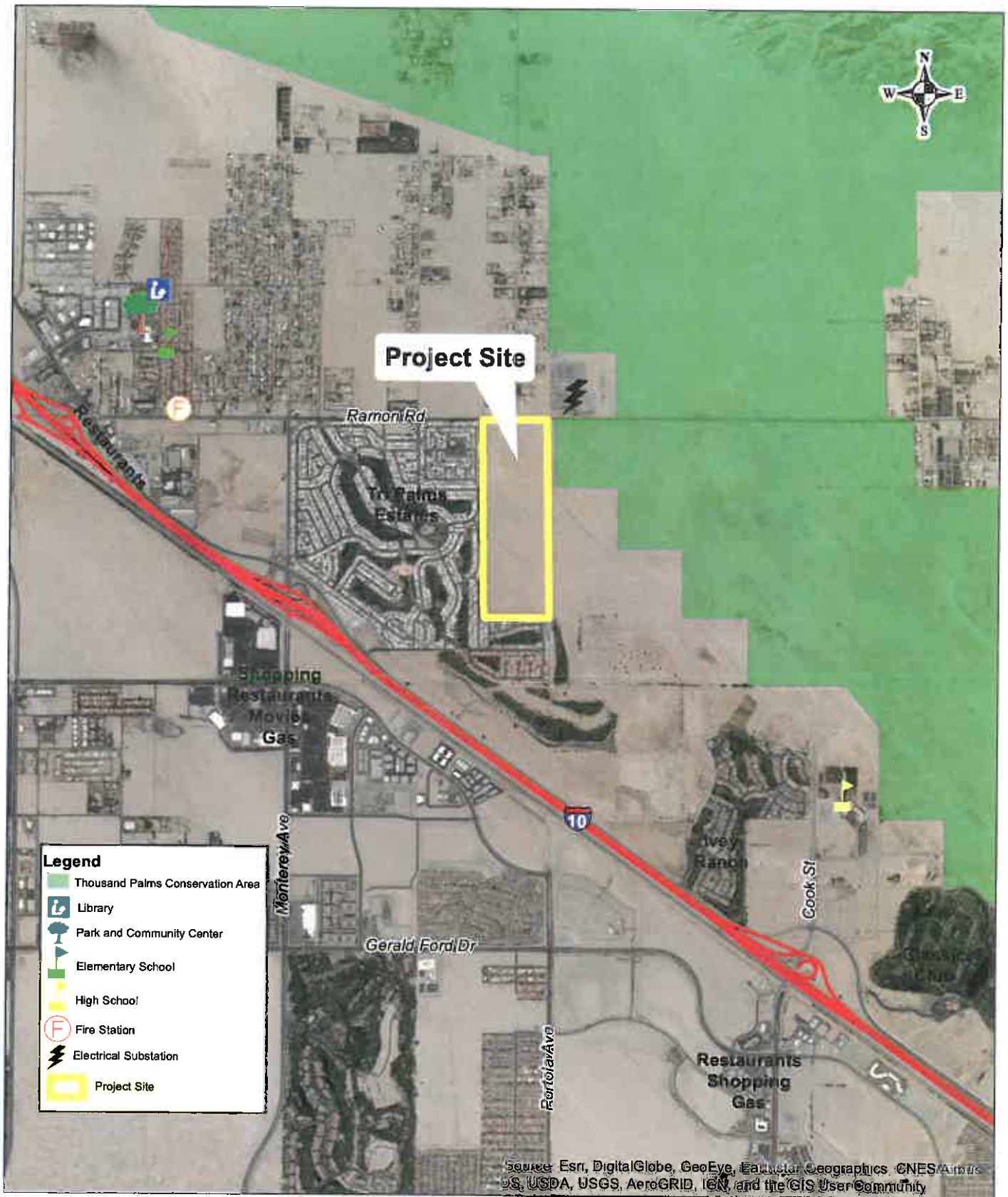
**Land Use Summary**

Planning Area	Land Use	Area (ac)	Target Density (d./ac)	Density Range (d./ac)	Targets Dwelling Units (No.)
1	MHDR	21.57	5.51	5-8	119
2	MHDR	23.81	7.16	5-8	171
3	MHDR	21.82	5.96	5-8	130
4	MHDR	22.75	7.30	5-8	170
5	PF Solar / Retention / Recreation	8.01	—	—	—
6	OS-R Community Center	2.50	—	—	—
7a	PF/PW Storm-water Channel / Parkway	2.67	—	—	—
7b	PF Storm-water Channel / Collector Road/Access Road/Stub Road	4.82	—	—	—
—	Ramon Road Dedication	1.01	—	—	—
<b>Total</b>		<b>117.99</b>	<b>5.00 (Average)</b>	<b>5-8</b>	<b>590</b>
<b>Total Residential</b>		<b>89.95</b>	<b>6.56 (Average)</b>	<b>5-8</b>	<b>590</b>

Figure I-6

Specific Plan No. 386 - Proposed Land Use  
Thousand Palms 278 Specific Plan No. 386





1 inch = 0.5 miles



Nearby Services and Amenities  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 I-7

## **G. Project Goals**

The location of the project site is key to planning Specific Plan No. 386. The medium density residential designation overlaying the project site establishes the intended general land use character. However, the Thousand Palms community is unique in that it has served and will continue to serve as workforce housing and moderately priced second and retiree homes. The project site's central location within the Coachella Valley together with close proximity to the I-10 Freeway makes it a desirable location for residents to travel efficiently east or west for work, shopping, and recreation. Specific Plan No. 386 attempts to provide housing opportunities for such residents that are affordable, yet meet County Planning goals, while addressing engineering, environmental, and aesthetic needs that have been identified during the planning process. Most importantly, efforts have been made to provide for a variety of housing styles and densities which will allow flexibility in the implementation of the Specific Plan with regard to the final design and the subdivision of land for each incremental neighborhood as it comes online. The development goals for Specific Plan No. 386 are:

- 1) To provide for a viable residential development that responds to market conditions.
- 2) To establish a sense of place, as well as continuity and consistency of development standards within the proposed development.
- 3) To establish land uses, circulation design treatments, site development standards and design guidelines which contribute to the preservation and enhancement of the proposed residential community.
- 4) To develop a residential community that provides a wide range of housing types and affordable home ownership opportunities to different economic sectors of the Coachella Valley's population.
- 5) To provide recreational facilities to serve the needs of the project residents.
- 6) To create a walkable community by offering a network of trails and sidewalks.
- 7) To ensure that the development and implementation of Specific Plan No. 386 is coordinated with the planned and scheduled infrastructure needed to support the area's growth.
- 8) To create a project that adheres to strong principles of sustainability such as the planned implementation of a Shared Solar Generating Facility.

## **H. Discretionary Actions**

The Lead Agency for Specific Plan No. 386 is the County of Riverside. Approval of Specific Plan No. 386 rests with the Riverside County Board of Supervisors. Specific Plan No. 386 is one of several approvals which collectively comprise the proposed project. In order for the proposed project to be realized, the Riverside County Board of Supervisors will undertake the following initial actions:

- 1) Adopt a resolution approving General Plan Amendment No. 1135,
- 2) Adopt a resolution approving Specific Plan No. 386 and either adopting the associated MND or certifying the associated EIR,
- 3) Approve Change of Zone No. 7850 and adopt the associated zoning ordinance for Specific Plan No. 386, and
- 4) Approve Tentative Parcel Map No. 37191.

Subsequent approvals which may be required in order for the proposed project to be implemented may include, but are not necessarily limited to: final parcel map, vesting tentative maps, tentative tract maps, final tract maps, plot plans, conditional use permits, water and sewer systems and encroachment permits.



## II. Specific Plan

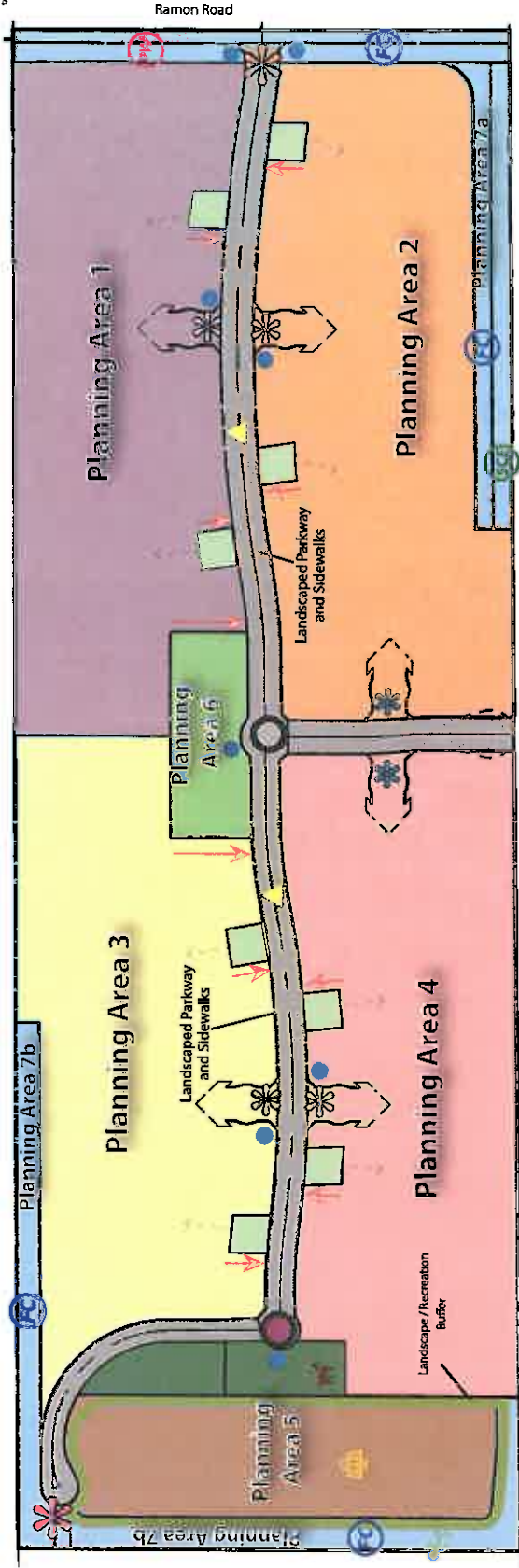
### A. Land Use Plan

#### 1. Development Concept

Specific Plan No. 386 creates a unique master-planned residential community that will enhance the community of Thousand Palms. It provides for flexibility as to lot configuration, lot sizes, and residential unit styles during implementation of the tentative maps for the development. Through an affordable community, it offers extensive recreational amenities as well as renewable energy benefits through creative development of a Shared Solar Generating Facility. The concept of “shared solar” is new to California and this development is expected to serve as a model for similar facilities that will be planned within new developments. As illustrated in Figure II-1, *Conceptual Land Use Plan*, the community consists of seven Planning Areas: Planning Areas 1, 2, 3, and 4 that will be further subdivided into residential lots and parks; Planning Area 5 serves as a retention basin and contains the Shared Solar Generating Facility; Planning Area 6 contains a clubhouse and recreation complex; and, Planning Area 7 contains two similar, yet separate project elements. Planning Area 7a includes a landscaped parkway and flood control channel which fronts Ramon Road. Planning Area 7b includes similar facilities along the southwestern, southern and southeastern boundaries of the project site. Table II-1, *Detailed Land Use Summary*, characterizes the land uses provided within Specific Plan No. 386.

**Table II-1 Detailed Land Use Summary**

Planning Area	Land Use	Area (ac)	Target Density (du/ac)	Density Range (du/ac)	Target Dwelling Units (No.)
1	MHDR	21.57	5.51	5-8	119
2	MHDR	23.81	7.16	5-8	171
3	MHDR	21.82	5.96	5-8	130
4	MHDR	22.75	7.50	5-8	170
5	PF Solar/Retention/ Recreation	8.01	--	--	--
6	OS-R Community Center	2.50	--	--	--
7a	PF/PW Storm-water Channel/ Parkway	2.67	--	--	--
7b	PF Storm-water Channel	4.82	--	--	--
--	Collector Road/Access Road/East Stub Road	9.03	--	--	--
--	Ramon Road Dedication	1.01	--	--	--
<b>Total</b>		<b>117.99</b>	<b>5.00 (Average)</b>	<b>5-8</b>	<b>590</b>
<b>Total Residential</b>		<b>89.95</b>	<b>6.56 (Average)</b>	<b>5-8</b>	<b>590</b>



**Land Use Summary**

Planning Area	Land Use	Average	Target Density	Density Range	Target Dwelling Units
1	Residential	21.07		5-8 du/ac	159 du
	Pocket Park/Rest Area	0.50			
2	Residential	24.34	5.87 du/ac	5-8 du/ac	271 du
	Pocket Park/Rest Area	0.50			
3	Residential	23.81	2.08 du/ac	5-8 du/ac	136 du
	Pocket Park/Rest Area	0.50			
4	Residential	24.83	5.96 du/ac	5-8 du/ac	170 du
	Pocket Park/Rest Area	0.50			
5	Residential	21.25		5-8 du/ac	170 du
	Neighborhood Park	1.00			
6	Residential	22.05	7.48 du/ac		
	Neighborhood Park	0.67			
7a	Residential	2.50			
	Neighborhood Park	2.57			
7b	Residential	4.82			
	Neighborhood Park	0.28			
Planning Area Total	Residential Total	412.9		5-8 du/ac (Avg)	590 du
	Open Space Total	7.17		6.30 du/ac (Avg)	59 du

- Legend:**
- Flood Control Channel
  - Main Project Access
  - Community Emergency Ingress and Egress
  - Neighborhood Entry (Potential for Gates)
  - Secondary Neighborhood Entry (Potential for Gates)
  - Emergency Access (Potential Secondary Exit)
  - Parkway
  - Pocket Park
  - Neighborhood Park
  - Community Park
  - Possible Trail Linkage
  - Dog Park
  - Solar Arrays/Retention Area
  - Monumentation
  - Main Collector Road
  - 116' Traffic Circle
  - 102' Traffic Circle
  - Multi-Purpose Pedestrian Trail
  - Southern California Edison Easement



**Conceptual Land Use Plan  
Thousand Palms 278 SP Specific Plan No. 386**

**Figure II-1**

**a) Residential**

Specific Plan No. 386 provides an opportunity for a variety of housing styles, sizes, and values. Residential Planning Areas contain approximately 89.95 acres with a maximum of 590 homes or an average density of 6.56 dwelling units per net acre. The residential Planning Areas are described in detail in Section III, Planning Area Development Guidelines. The residential land uses, densities, and lot sizes are summarized below.

**Medium High Density Residential (5-8 du/ac):** A total of 590 Medium High Density Residential homes are provided on 89.95 acres of land located in Planning Areas 1, 2, 3, and 4 at an average density of 6.56 dwelling units per net acre.

This density range includes traditional single-family detached residences on 4,500s.f. to 7,200s.f. lots, one family dwellings with garages in the rear of the building on 4,500s.f. to 7,200s.f. lots, Zero Lot line one family dwellings with garage configurations in both the front and rear of the building on lots ranging from 3,800s.f. to 4,800s.f., Z-style one family dwellings with garage configurations in both the front and rear of the building on lots ranging from 2,700s.f. to 4,800s.f., and clustered one family dwellings. Potential lot configurations are shown on Figures IV-1, IV-2, and IV -3 provided later in this document.

**b) Shared Solar Generating Facility**

Planning Area 5 is dedicated to a Shared Solar Generating Facility which we believe to be unique in the region and will serve as a demonstration project as to how “green power” can be efficiently and effectively integrated into land plans in a manner that is beneficial to both the utility company and homeowners. This facility is designed to provide approximately 2 megawatts of electricity from solar power to service a large portion of the electrical energy needs of the residences in the community. A landscaped buffer loops around the entire Planning Area and serves as an additional recreational amenity for the community. It encompasses a pedestrian and jogging trail with exercise work stations and ramadas with benches at various locations. The area used for the solar array will also serve as a retention basin. A dog park is located along the northeastern border of Planning Area 5 and a neighborhood park with community garden facilities abuts the northwestern border. The Shared Solar Generating Facility is described in detail in Chapter III, Planning Area Development Guidelines.

**c) Parks and Recreation**

Parks and recreational amenities are an important component of the community. Specific Plan No. 386 features a 2.5-acre Community Center located in the center of the community allowing easy access by all Residential Planning Areas. Designated as Planning Area 6, the Community Center will include a 3,500-4,000s.f. club house, swimming pool, spa pool, and covered picnic facilities. In addition, each neighborhood will include small pocket parks along the Collector Road which will provide exercise stations and shaded seating with play areas for children. As described under the Planning Area 5 discussion above, a dog park in Planning Area 4 and a Neighborhood Park in Planning Area 3 are provided immediately north of and adjacent to the Shared Solar Generating Facility/retention basin. A buffer park zone will encompass the perimeter of the retention area. In addition, a network of pedestrian walkways and bicycle lanes will link the main entrance of the community at Ramon Road, the Community Center, the park area adjacent to the Shared Solar Generating Facility and the small open space areas within each residential cluster.

**d) Roads**

Specific Plan No. 386 includes a collector road linking the main entrance off Ramon Road with all internal residential local streets, the Community Center and the Shared Solar Generating Facility area. Bicycle/NEV lanes are provided along the collector road. An emergency access road connects the southern end of the community with Les Road. A collector road extending east from the main collector at the mid project turnabout is provided for connection to potential future roadways coming from east of the community.

**2. Dwelling Unit Density Transfer Procedure**

Specific Plan No. 386 provides the following Dwelling Unit Density Transfer Procedure where transfer of dwelling units from one residential Planning Area to another is allowed without preparation of a Specific Plan Amendment or Substantial Conformance, so long as the total dwellings stay within the density range provided in Table II-1 *Detailed Land Use Summary*. The Dwelling Unit Density Transfer Procedure allows selection of unit types in response to changes in the housing market.

Specific Plan No. 386 shall be developed with a maximum of 590 dwelling units on 89.5 (117.99 gross) acres (See previous Table II-1). This acreage is comprised of four residential Planning Areas (PAs 1, 2, 3, and 4) spatially arranged as graphically presented on previous Figure II-1. Previous Figure II-1 also includes a land use summary table in which each residential Planning Area is assigned a “Density Range” and a “Target Density.” The “Density Range” is a range of the minimum and maximum number of dwelling units per acre permitted for the Planning Area’s land use designation, as defined by the Riverside County General Plan. The “Target Density” is the number of units per acre for the Planning Area as proposed by this Specific Plan.

The transfer of dwelling units within Specific Plan No. 386 from one residential Planning Area to another is allowed without preparation of a Specific Plan Amendment or Substantial Conformance so long as the following are met:

1. The total number of dwellings stay within the density range for the Planning Area provided in Table II-1 *Detailed Land Use Summary*.
2. The total number of dwellings for the entire Specific Plan No. 386 does not exceed 590.
3. The proposed implementing project is consistent with the Specific Plan text and the associated zoning ordinance. Any implementing project will be required to do the appropriate environmental analysis in accordance with the California Environmental Quality Act. This density transfer allows selection of unit types in response to changes in the housing market.
4. If a transfer of dwelling units is proposed, the Master Developer or his assignee shall be responsible for providing the County of Riverside with a Development Transfer Status Report at the time that implementing documents are submitted. The Development Transfer Status Report must demonstrate that the implementing subdivision application meets the three conditions specified above. The Planning Director of the Riverside County Planning Department must approve and authorize any dwelling unit transfer within Specific Plan No. 386.



### **3. Land Use Development Guidelines**

To ensure the orderly and sensitive development of land uses in Specific Plan No. 386, the following general development standards are required:

1. The Specific Plan No. 386 area shall be developed to a maximum of 590 residential units on 89.95 net (117.99 gross) acres, as illustrated on Figure II-1, Conceptual Land Use Plan.
2. Uses and development standards will be in accordance with Riverside County Ordinance No. 348 and the Specific Plan No. 386 Zoning Ordinance. Also, they must meet the Specific Plan Objectives and Guidelines, and facilitate future detailed design proposals including Subdivisions, Plot Plans and/ or Conditional Use Permits.
3. Adequate areas for collection and loading of recyclables shall be provided in the community to comply with the California Solid Waste Reuse and Recycling act of 1991.
4. In this Specific Plan the standards regarding Signage, Landscaping, and other related Design Elements such as monumentation, shall conform to Ordinance No. 348 of Riverside County and any other applicable Riverside County ordinances. In order to meet the goals of the this Specific Plan , the Development Guidelines contained herein be consistent with the Zoning Ordinance requirements of both Ordinances 348 and 386. In addition the Zoning Ordinance for Specific Plan No. 386 will be recorded with the Specific Plan.
5. Development of the property shall be in accordance with the requirements of all Riverside County ordinances, specifically including, but not necessarily limited to, Ordinances Nos. 348 and 460. This Specific Plan conforms to State laws.
6. The common area of Specific Plan No. 386 shall be owned and maintained as follows:
  - a. A permanent master maintenance organization shall be created to own and maintain the common areas of the Specific Plan that are not under the maintenance responsibility of Riverside County, or any other public or quasi-public agency.
  - b. All common areas shall be conveyed to the master maintenance organization as an implementing development is approved or a subdivision is recorded.
  - c. Establishment of the maintenance organization shall occur prior to or concurrently with the approval of any Tentative Tract Map that subdivides residential lots associated with the project. All common areas under the ownership and maintenance responsibility of that organization shall be identified when Tentative Tract Maps are filed.
7. Prior to the issuance of any building permit for any portion of the community the applicant shall verify with the County of Riverside Planning Department that all pertinent conditions of Specific Plan approval have been satisfied.
8. Review for compliance with the California Environmental Quality Act (CEQA) shall be conducted for any development application required to implement the Specific Plan.
9. All lots created on Tentative Tract Maps for the community shall conform to the development standards of this Specific Plan.
10. Development applications that incorporate common areas shall submit detailed design plans of those areas including location of structures, circulation, irrigation and landscaping plans.

11. The construction, maintenance and management of roads, facilities, and infrastructure in the Specific Plan area may be paid by the creation of an assessment or community service district.
12. Designation, or payment of parkland/open space fees to satisfy both County and State requirements. Once the final number of dwellings per tract and types of homes planned, e.g. age restricted or family has been determined, the amount of open space or payment of fees for parkland/open space will be calculated and payable upon the issuance of each building permit.
13. Prior to the issuance of building permits, irrigation plans for common areas stamped by a licensed Landscape Architect shall be submitted for approval.
14. The developer or applicant shall incorporate the following security design concepts into the community to the maximum extent feasible:
  - a. Access for fire and police vehicles.
  - b. Lighting of roads and walkways.
  - c. Visibility of doors and windows from streets.
  - d. Controlling access at primary neighborhood entries.
  - e. Fencing off the community and establishing an emergency ingress and egress roadway which connects to Les Road located at the southwest corner of the project.
  - f. Address plates that light automatically at night for all structures.
  - g. Front doors facing the street for easy surveillance by security and police cars when practicable.
15. The community shall incorporate all accessibility standards required by Title 24, Chapter 2-71, of the California Administrative Code.
16. A Home Owners' Association (HOA) will be established to take care of the maintenance of parking, open space, signage, irrigation and common areas. The HOA will have the unqualified right to assess the individual owners of homes in the community with a reasonable monthly fee to pay for the management of the association and the maintenance of the common areas.
17. The implementation of an Assessment District (AD) and/or a Community Facilities District (CFD) may be formed to finance certain public facilities and infrastructure projects, as well as payment of County fees.
18. Fire hydrants and fire flows shall be provided per pertinent sections of Riverside County Ordinances No. 460 and/or No. 787 as approved by the Riverside County Fire Department.
19. All landscaping to be drought tolerant and in accordance with Riverside County Ordinance No. 859.

## **B. Circulation Plan**

### **1. Vehicular Circulation Plan**

The primary objective of the Circulation Plan for Specific Plan No. 386 is to meet the vehicular traffic needs of the community providing direct and convenient access to all residences in the community. As shown on Figure II-2, *Conceptual Circulation Plan*, the community is bordered to the north by Ramon Road. The Circulation Element of the Riverside County General Plan designates Ramon Road as an Arterial Highway with an ultimate right-of-way (R.O.W.) width of 128'. Main access to the community is located opposite

Via Las Palmas Road at its intersection with Ramon Road. From Ramon Road, the main project entry will essentially be a southerly extension of the Via Las Palmas Road alignment. Once vehicular traffic has entered the project site it will be travelling along a Collector Street (88' R.O.W.). This facility serves as the primary onsite roadway, extends nearly the full length of the project site in a north-south alignment, and has strategically placed traffic circles for traffic calming and community design enhancement purposes. South of the traffic circle at the approximate center of the project site, while the pavement width of the Collector Street will be identical to that provided north of the traffic circle, the ultimate R.O.W. width will be 76'. The southern terminus of the main Collector Street is located immediately north of the Neighborhood Park/Dog Park associated with Planning Areas 3 and 4. Entrances to each of the four residential Planning Areas, the Community Center, and various pocket parks are located along the main Collector Street. From the southern terminus of the main Collector Street, a 60' (ROW) emergency access road extends to the southwestern corner of the project site, where it is aligned to connect to the current off-site terminus of Les Road. An emergency ingress and egress gate will be provided at this location. It will be accessible by residences during emergency at all times (subject to restrictions of the HOA).

Figure II-2 also identifies several Local/Collector Street stub-outs along the main Collector Street. The stub-outs depict conceptual primary points of access for each residential Planning Area. The easterly stub-out shown across from Planning Area 6 is for a potential Collector Street. This potential Collector will be extended to the eastern boundary of the project. Once beyond the entry to each residential Planning Area, there will occur a network of local streets that provide direct access to each residential dwelling.

Any collector and/or local streets within a residential Planning Area which is not gated will be public roads. Conversely, any collector and/or local streets within a residential Planning Area which is gated will be private roads.

**a) Development Guidelines**

1. Roadway improvements will be constructed in accordance with the Conceptual Phasing Plan provided in Section II.H of this Specific Plan (see Figure II-9).
2. The hierarchy of roads available for development of Specific Plan No. 386 is summarized below and illustrated on Figure II-3, *Proposed Street Cross-Sections*:
  - a. Major Highway, 128-foot right-of-way.
  - b. Collector Street, 88-foot right-of-way (North and east of mid project traffic circle)
  - c. Collector Street, 76-foot right-of-way (South of mid-project traffic circle)
  - d. Local Street, 60-foot right-of-way.
  - e. Private Local Street, 41-foot right-of-way.
  - f. One-Way Exit/Emergency Access Road, 38-foot right-of-way.
  - g. One-Way Exit/Emergency Access Road (Bridging/Culvert Drainage Channel), 40-foot right-of-way with 20-foot pavement width on bridge over channel.
3. All roads within the Specific Plan area shall be constructed to full or half-width standards in accordance with Ordinance Nos. 460 and 461, subject to the approval of the Riverside County Director of Transportation.

4. All typical street sections shall conform to Ordinance No. 461, or as approved by the Transportation department.
5. The project shall comply with the conditions set forth by the County Department of Transportation.
6. All intersections, spacing and/or access openings shall comply with Standard 114 of Ordinance No. 461 or as approved by the County Transportation Department.
7. No signage or entry monumentation shall be permitted inside the public right-of-way.
8. As measured from the center of the bulb, the length of cul-de-sac streets shall not exceed 1,320 feet.
9. All landscaping within the public right-of-way shall have the approval of the County Transportation Department and County Planning Department.



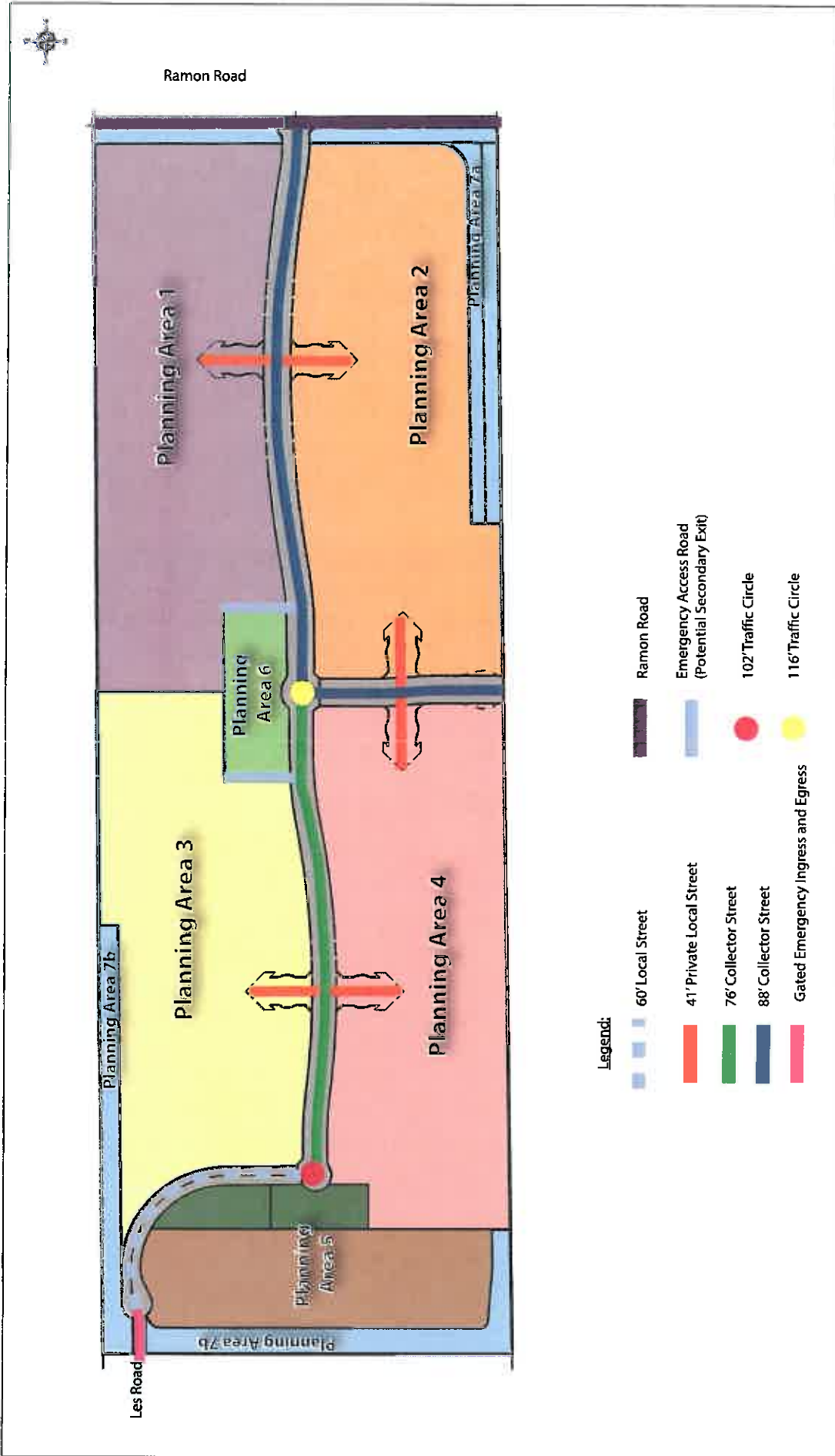


Figure II-2

Conceptual Circulation Plan  
Thousand Palms 278 Specific Plan No. 386



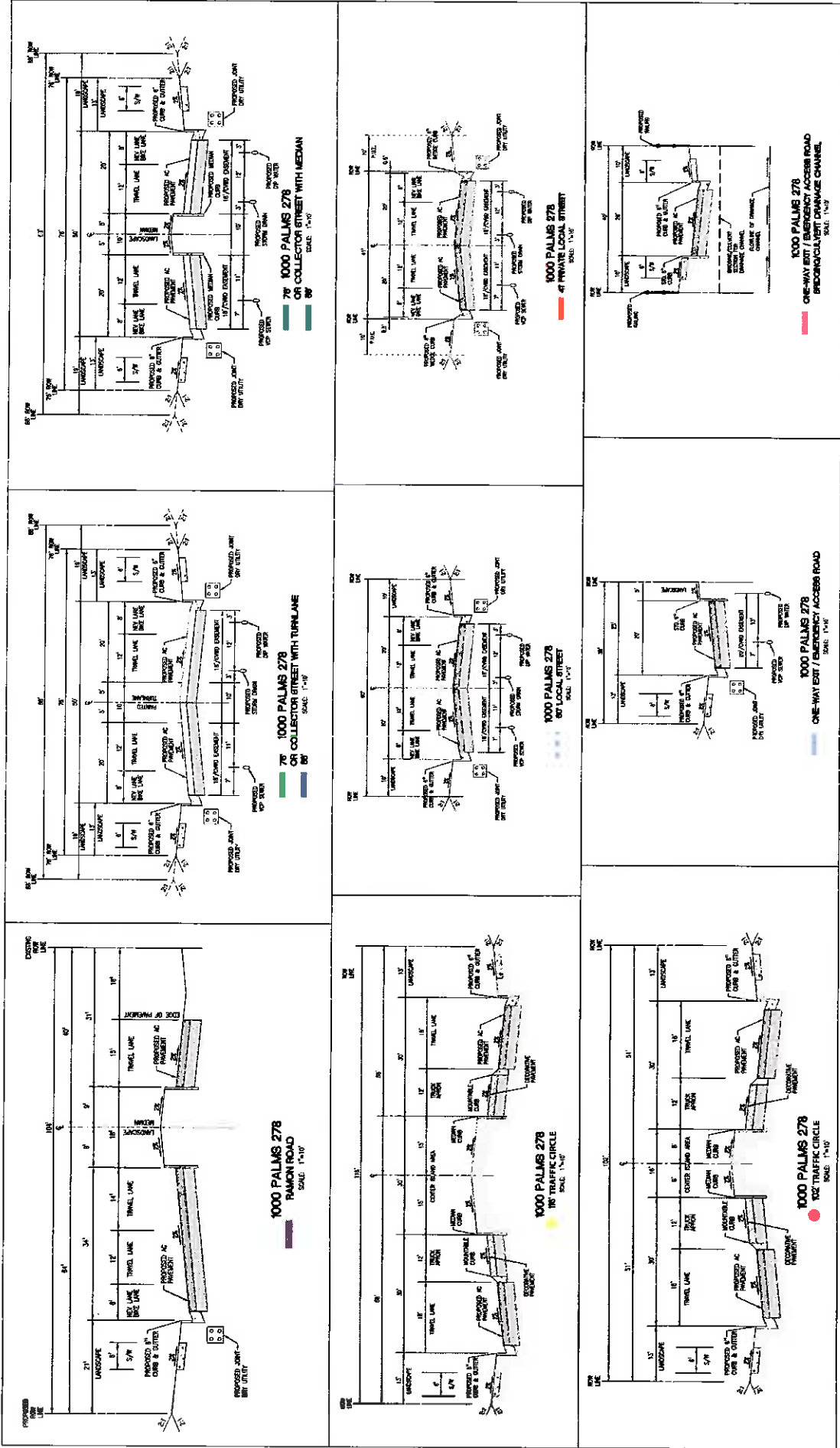


Figure II-3

Proposed Street Cross-sections  
Thousand Palms 278 Specific Plan No. 386



## 2. Non-Vehicular Circulation

Specific Plan No. 386 is a residential community where an array of sidewalks and pedestrian trails connect people to all areas of the project. There is a 2.5-acre Community Center located in the central portion of the site (Planning Area 6) which is connected by pedestrian sidewalks to the entrance of the project on Ramon Road as well as to all residential areas. Along the Ramon Road frontage, a decomposed granite trail, rather than a concrete sidewalk, will serve as a connector to the Coachella Valley Preserve and retain a more natural appearance that integrates into the landscape. From the Community Center, sidewalks and pedestrian trails also connect the main clubhouse to the planned 8.01-acre Shared Solar Generating Facility located at the south end of the project. That solar array features a landscape/recreation buffer around its perimeter which includes a multi-purpose pedestrian/jogging trail and a series of exercise stations. The community also includes bicycle lanes along the Collector Street connecting to Ramon Road. Bike parking is provided at key points along the Collector Street such as the Community Center, Neighborhood Park and the numerous pocket parks provided as part of the project.

### a) Development Guidelines

1. All pedestrian and bicycle trails provided in the project shall be developed in accordance with the Design Guidelines in Chapter IV of this Specific Plan.
2. Sidewalks and bike lanes shall include safe and aesthetically pleasing means of pedestrian and bicycle movement within the community.
3. Pedestrian crosswalks shall occur at street intersections and be designed in accord with County of Riverside Transportation Department Plan Check Guidelines and Standards Sections IX, VII and VIII. Pedestrian crossings at mid-block are not allowed.

## C. Master Drainage Plan

Specific Plan No. 386 is located within the unincorporated community of Thousand Palms, with tributary storm flow from the Thousand Palms Watershed. Regional flood protection is provided by the Coachella Valley Water District (CVWD), with approximately 1,500 square miles within its Storm-water Unit Boundary. CVWD's guiding regulations to ensure flood protection for the Coachella Valley consist of: 1) California Drainage Law; 2) Riverside County Ordinance 458; and 3) CVWD Ordinance 1234.1. CVWD recently commissioned a Master Drainage Study for their primary watersheds, which included the Thousand Palms Watershed. Future plans for the Thousand Palms area include the proposed Palm Springs and Thousand Palms Flood Control Project (Whitewater River Basin Levees), which will allow for a levee system to divert storm flow and provide flood protection for the Thousand Palms area. Currently, offsite storm flows tributary to Specific Plan No. 386 emanate from the canyons and sheet flows from north to south across the project site. Specific Plan No. 386 is located within an existing floodplain, with depths of flooding less than one foot across most of the site, except for the southeast corner which has flood depths ranging from 1'-2' and 2'-3'.

### 1. Description

Figure II-4, *Conceptual Drainage Plan*, identifies key elements of the flood control and drainage facilities associated with Specific Plan No. 386. As shown, Specific Plan No. 386 will include two storm water channels which accept, divert and then discharge runoff generated from off-site areas. The first, identified

as Planning Area 7a, is a proposed storm water conveyance facility which will intercept offsite storm flows from along Ramon Road, convey the flow easterly and then southerly where from along the approximately 1,200 feet of channel improvements storm flows will be allowed to sheet flow onto adjoining vacant property to the east. There, the runoff will spread out and resume its pre-developed velocity and depth. The second, identified as Planning Area 7b, is a proposed storm water conveyance facility which will accept offsite riverine storm flows from the Shenandoah Springs/Tri Palm Estates community to the immediate west and south, convey it southerly to the project site boundary, then easterly along the project site's southern boundary, where behind a weir, it will be allowed to accumulate until at grade at which time it will be outlet as sheet flow to the east.

On-site runoff will be retained on-site. Conceptually, each of the residential Planning Areas may incorporate runoff collection, conveyance and retention facilities constructed in accord with applicable requirements and standards. Alternatively, all on-site runoff may ultimately be collected, conveyed and retained in a large retention basin in Planning Area 5. Runoff emanating from the Collector Road will be conveyed southerly and discharged into the aforementioned retention basin planned for Planning Area 5. In accordance with applicable requirements, all retention basins will be designed to evacuate stored runoff within 48 hours. Retention basins will be landscaped on side slopes and may include ground cover such as rock or decomposed granite. Basin side slopes will be at a 3:1 ratio. The local storm drain system conveying runoff to each basin will include drywells or similar infiltration facilities as warranted.

A water quality management plan (WQMP) will be prepared for Specific Plan No. 386 and will include best management practices (BMPs) for the project. A home owners' association (HOA) will be responsible for retention basin and BMP maintenance.

During processing of Tract Maps for Specific Plan No. 386, Riverside County and CVWD will review the project site plan, conceptual grading plan, and drainage reports to determine final drainage facility/pipeline alignments, pipe and basin sizing and if other facilities are required, based on their design requirements and ordinances.



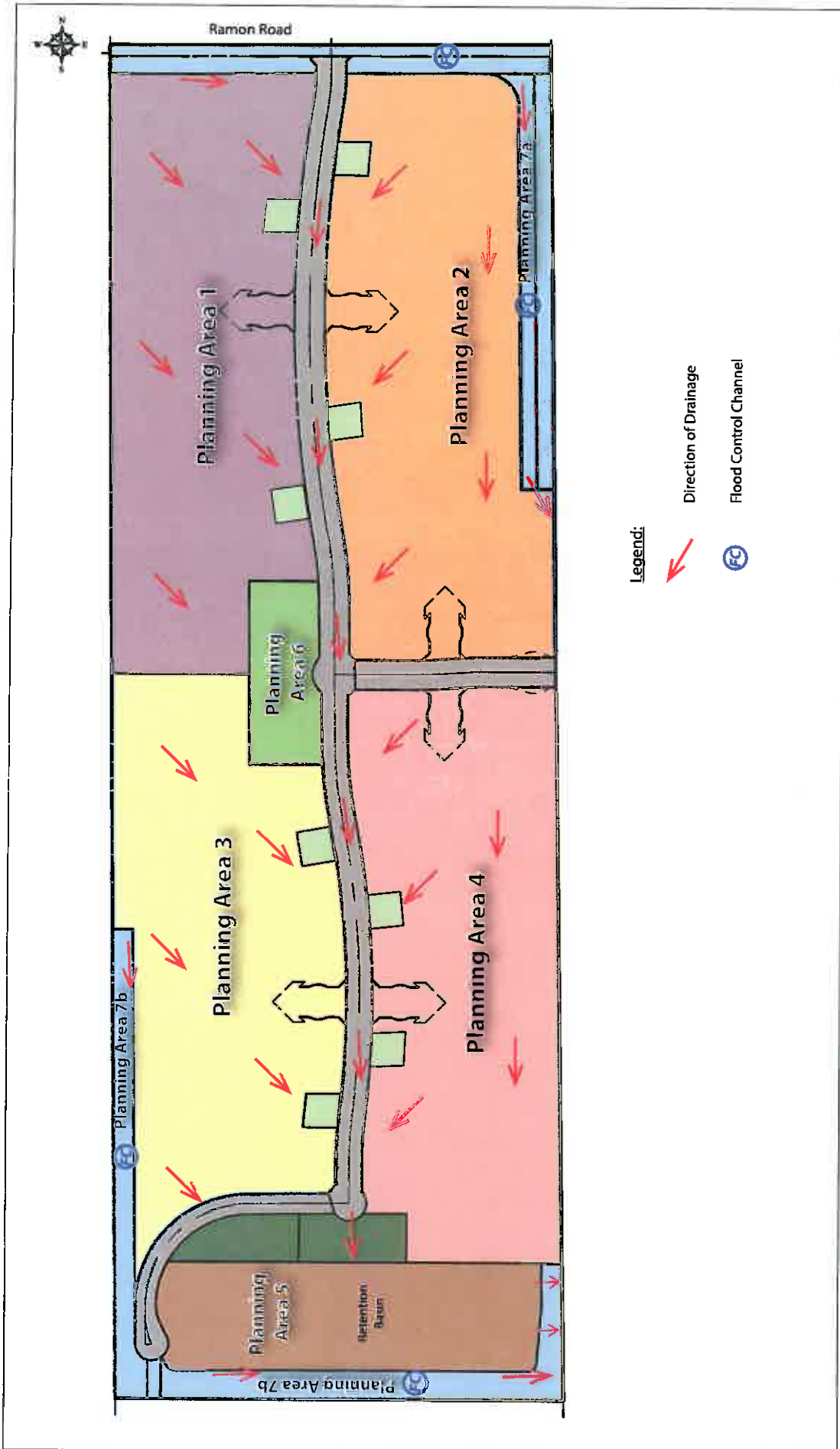


Figure II-4

Conceptual Drainage Plan  
 Thousand Palms 278 Specific Plan No. 386



## 2. Development Guidelines

1. All storm drain lines shall be placed underground in accordance with Riverside County requirements.
2. All regional drainage facilities shall be designed per CVWD requirements. All onsite storm drain facilities shall be designed per Riverside County requirements. Facility sizing and location are conceptual and may be modified in accordance with governing agency requirements.
3. A Notice of Intent (NOI), Storm Water Pollution Prevention Plan (SWPPP) and Water Quality Management Plan (WQMP) shall be prepared prior to commencement of construction and post-development activities. Construction permits will require the applicant to implement source control and structural BMPs during and after construction activities.
4. Proposed grading and drainage improvements shall conform to the latest building codes as adopted by the governing agencies. Grading of the site shall be designed so as to protect all building pads from the 100-year storm event and to convey offsite flow in accordance with CVWD approval.
5. The project shall be in compliance with the Whitewater River Watershed Municipal Storm-Water Program.
6. Construction of drainage facilities shall be timed to adequately service the Planning Areas in each stage of development.

## D. Master Water Plan

Domestic water service for Specific Plan No. 386 is provided by the Coachella Valley Water District (CVWD). The CVWD service area encompasses nearly 1,000 square miles and serves more than 300,000 residents. The CVWD service area boundary includes the central and eastern portions of the Coachella Valley within Riverside County, as well as small portions of Imperial and San Diego Counties.

CVWD's domestic water is supplied by wells which draw water from the Whitewater River and Mission Creek Sub-Basins. The water quality is generally good, with chlorination as one of the primary treatments. The system is comprised of 30 pressure zones, most with reservoir storage, interconnected by pressure booster pump stations and pressure regulating valve (PRV) stations. Specific Plan No. 386 is within the Lower Thousand Palms pressure zone.

Existing facilities within the area consist of a 12" to 18" water main located within Ramon Road, north of the Specific Plan No. 386 site. An existing 4" water main is located along the westerly property line, within the Shenandoah Springs/Tri Palm Estates community. Finally, a 12" water main is located within Les Road at the southwest corner of the project and a 12" stub is located near the southeast corner of the project.

### 1. Domestic Water Plan Description

Based on the Water Supply Assessment and Verification Study approved by the CVWD Board of Directors on November 25, 2014, the total domestic water demand for Specific Plan No. 386 will be approximately 409 acre-feet per year. Figure II-5, *Conceptual Domestic Water Plan*, identifies a proposed 12" backbone water main within the main Collector Street. The domestic water system within each Planning Area will include 8" water mains in a looped configuration with a connection to the 12" backbone water main. The Conceptual Domestic Water Plan identifies a northerly connection of the proposed 12" backbone water

main to the existing 12" to 18" water main in Ramon Road and a southerly connection to the existing 12" water main within Les Road. Future water services and meter boxes will be provided to each lot for domestic water and fire sprinkler service. Separate water services and meter boxes will be provided for common area landscaping. Fire hydrants will be provided throughout the residential Planning Areas, at the Community Center, and along all collector roads as required by the Fire Department.

Based on CVWD's design criteria of one well site per 90 acres or major portion thereof (i.e., 45 acres), one well site will be required for the Specific Plan No. 386 project. Final location of the well site is subject to CVWD approval. During processing of the future tract maps for Specific Plan No. 386, CVWD will review the project site plan and determine final water main alignments, pipe sizing and if other facilities are required, based on their Domestic Water System Hydraulic Model and Development Design Manual.

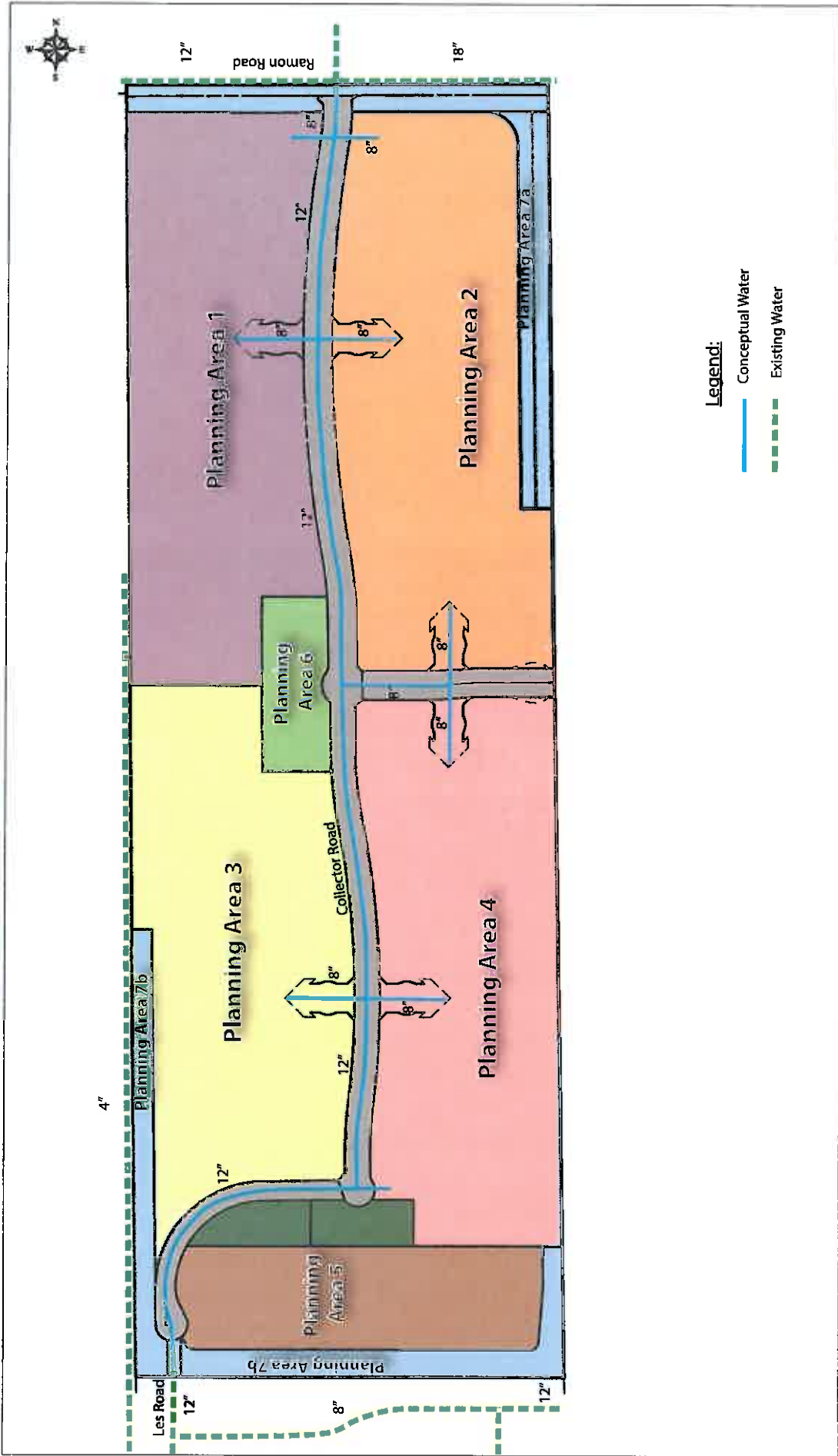


Figure II-5

Conceptual Domestic Water Plan  
 Thousand Palms 278 Specific Plan No. 386



## 2. Development Guidelines

1. All water mains shall be placed underground in accordance with CVWD requirements.
2. All domestic water and irrigation facilities shall be designed per CVWD requirements. Facility sizing and location are conceptual and may be modified in accordance with CVWD requirements.
3. Water facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
4. Construction of domestic water and irrigation facilities shall be timed to adequately service the Planning Areas in each stage of development or as needed to ensure public health.

## E. Master Sewer Plan

Sewer service for Specific Plan No. 386 is provided by the Coachella Valley Water District (CVWD). The CVWD operates six Water Reclamation Plants (WRPs) and over 1,000 miles of buried pipeline throughout its service area. Collectively, the WRPs have a current treatment capacity in excess of 33 million gallons per day (mgd). Some plants provide secondary treatment and others provide tertiary treatment. Collectively, the total tertiary treatment capacity is over 17 mgd. WRP 7, located at Avenue 38 and Madison Street, has a capacity of 5 mgd and serves the project area. In general, WRP effluent can be utilized for non-potable purposes.

### 1. Description

Based on a CVWD sewage generation rate of 200 gallons per day per Equivalent Dwelling Unit (gpd/EDU), the total average daily wastewater flow estimated to be generated by Specific Plan No. 386 at build out will be approximately 118,035 gallons. The community will utilize a proposed gravity flow system that generally conveys wastewater flow from the northwest of the site to the southeast.

Figure II-6, *Conceptual Sewer Plan*, identifies a proposed 8" to 12" backbone sewer main within the main Collector Street. The sewer system within each Planning Area will include 8" sewer mains. Sewer laterals and a cleanout will be provided from the sewer main to the Community Center and each lot for future service.

Existing facilities in the project area consist of an 8" sewer main located along the west property line and a 12" sewer main located along the south property line. The Conceptual Sewer Plan identifies a connection of the proposed 12" backbone sewer main to the existing 12" sewer main at the southeast corner of the site. During processing of the future tract maps for Specific Plan No. 386, CVWD will review the project site plan and determine final sewer main alignments, pipe sizing and if other facilities are required, based on their Sanitation Collection System Hydraulic Model and Development Design Manual.

### 2. Development Guidelines

1. All sewer mains shall be placed underground in accordance with CVWD requirements.
2. All sewer facilities shall be designed per CVWD requirements. Facility sizing and location are conceptual and may be modified in accordance with CVWD requirements.
3. Sewage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.



4. Construction of sewer facilities shall be timed to adequately service the Planning Areas in each stage of development or as needed to ensure public health.

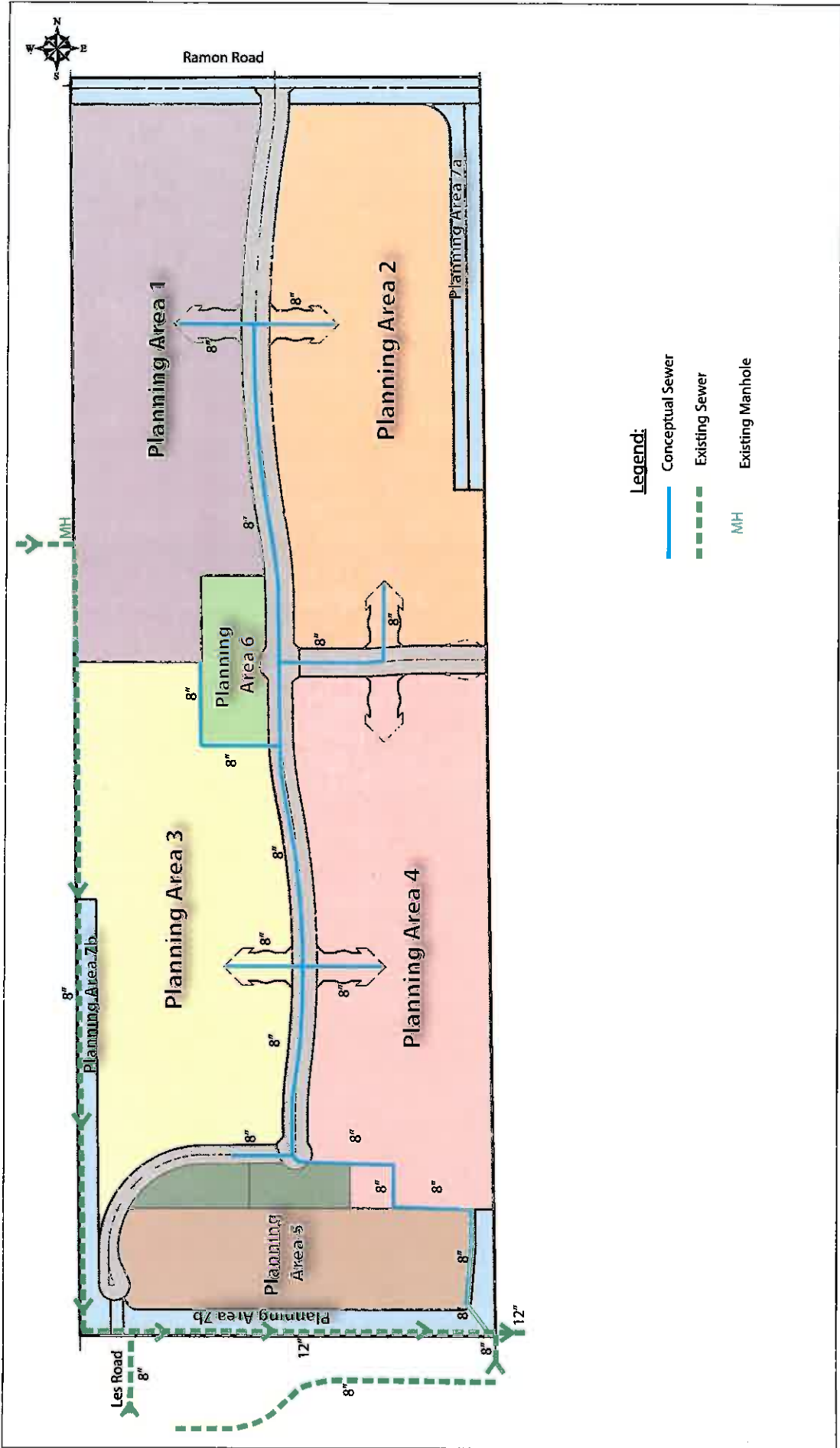


Figure II-6

Conceptual Sewer Plan  
Thousand Palms 278 Specific Plan No. 386



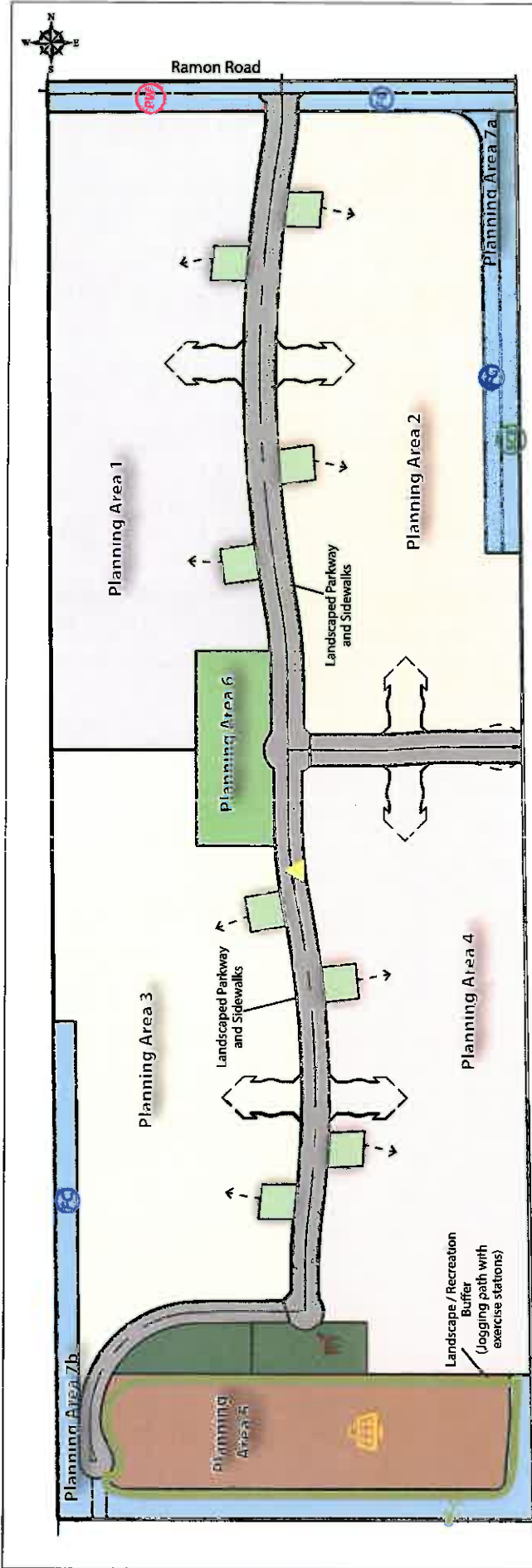
## F. Open Space and Recreation Plan

### 1. Description

As depicted in Figure II-7, *Conceptual Open Space and Recreation Plan*, there are a number of open space and recreation features integrated into the community. Key among these are: 1) a 2.5-acre Community Center (Planning Area 6); 2) a substantial landscape/recreation buffer area along the perimeter of the 8.01-acre Community Shared Solar Generating Facility and Retention Area within which there is incorporated a pedestrian jogging/walking trail with attendant fitness stations (Planning Area 5); 3) 2.0-acres of Neighborhood Park within the southernmost portions of Planning Areas 3 and 4 which includes a Dog Park; and, 4) approximately 2.0-acres of pocket parks (8 at approximately .25-acres each) evenly distributed along both sides of the main Collector Road. The low profile of the proposed solar array and attendant perimeter landscaping and walking/jogging path with exercise stations compliment the openness and recreational attributes included in the aforementioned Neighborhood Park.

In addition to the foregoing, the main Collector Street which runs the length of the proposed project includes a bicycle/NEV lane and pedestrian landscaped parkway that serves as the principal motorized and non-motorized corridor that interconnects all Planning Areas of the community. The Community Center containing a focal point of open space and recreational uses in the center of the project abuts the main Collector Street. It will be further enhanced with open spaces including a series of strategically placed small parks and rest areas, each approximately one-quarter acre in size. Specific locations and design of all recreational amenities will be determined during detailed site planning associated with the design of each subdivision within Specific Plan No. 386. The recreational facilities are planned to be interconnected by pedestrian systems along local streets and paseos where integrated into subdivision designs.

Table II-2, *Open Space and Recreation Land Use Summary* describes the open space areas planned within the community. These statistics do not include open spaces such as paseos and expanded parkways that might be created during detailed planning within each Planning Area.



Open Space and Recreation Land Use Summary

Planning Area	Land Use	Area (ac)
1	Pocket Parks/Rest Areas	0.5
2	Pocket Parks/Rest Areas	0.5
2	Utility Corridor	1.4
2	Pocket Parks/Rest Areas	0.5
3	Neighborhood Park	1
4	Pocket Parks/Rest Areas	0.5
4	Neighborhood Park (Dog Park)	1
5	Jogging/Exercise Trail	0.7
6	Community Center and Park	2.5
7a	Parkway & Storm-water Channel (Ramon Road Frontage/Collector Street)	2.7
7a	Storm-water Channel	4.8
	Collector Road/East Stub Road/Emergency Access Road Parkways and Roundabouts	9
<b>Total</b>		<b>25.1</b>

- Legend:**
- Pocket Park (0.25 acre)
  - Neighborhood Park (1 acre)
  - Community Park (2.5 acres)
  - Possible Trail Linkages
  - Multi-Purpose Pedestrian Trail
  - Southern California Edison Easement
  - Dog Park
  - Solar Arrays/Retention Area
  - Flood Control Channel
  - Main Collector Road
  - Parkway

Figure II-7

Conceptual Open Space and Recreation Plan  
Thousand Palms 278 Specific Plan No. 386



**Table II-2 Open Space and Recreation Land Use Summary**

<b>Planning Area</b>	<b>Land Use</b>	<b>Area (ac)</b>
1	Pocket Parks/Rest Areas	0.5
2	Pocket Parks/Rest Areas	0.5
2	Utility Corridor	1.4
3	Pocket Parks/Rest Areas	0.5
3	Neighborhood Park	1.0
4	Pocket Parks/Rest Areas	0.5
4	Neighborhood Park (Includes Dog Park)	1.0
5	Jogging/Exercise Trail	0.7
6	Community Center and Park	2.5
7a	Parkway & Storm-water Channel (Ramon Road Frontage/Collector Street)	2.7
7b	Storm-water Channel	4.8
	Collector Road/East Stub Road/Emergency Access Road Parkways and Traffic circles	9.0
<b>Total</b>		<b>25.1</b>

1. Does not include open space and recreation associated with paseos and amenities that might be included during final design.
2. Does not include parkways along local streets, which will be determined during final design.

Riverside County and the Desert Recreation District (DRD), formerly Coachella Valley Recreation and Parks District, require 5.0 acres of developed active parkland per every 1,000 residents to satisfy Quimby Act requirements (Riverside County Ordinance No. 460). Specific Plan No. 386 will include up to 590 dwelling units. Based upon information from the DRD, the current average household size in the Thousand Palms area is an estimated 2.67 persons. As a result, at build out, the 590 dwelling units within Specific Plan No. 386 would be expected to generate an on-site population of about 1,575. Therefore, the project is required to provide 7.88 acres of developed active parkland. Specific Plan No. 386 is providing 25.1 acres of open space, parkland, recreational facilities and landscape parkways. This figure does not include paseos and rest areas that might be integrated into final site design of residential Planning Areas. As stated in Ordinance 460 Section 10.35 (l) (7) (d) (2) the project can receive 50% credit for private recreational spaces.

**1. Community Center**

The private 2.5-acre Community Center and Park (Planning Area 6) will serve as a key activity hub for the residents of the Specific Plan No. 386 community. The Community Center includes a Clubhouse, swimming pool, spa, tennis court, pickle ball courts, bocce ball courts, horseshoe pits, drinking fountains, trash receptacles, a tot lot, and specialized gardens. The Clubhouse area will serve as a community gathering place allowing residents to come together for social events and to enjoy the



recreational activities provided. A description of these amenities is included within Section IV, Design Guidelines.

## **2. Retention/Solar/Recreation**

Planning Area 5 contains 0.7 acre of recreation amenities. A landscape/recreation buffer that encircles the retention/solar area incorporates a jogging/walking trail with exercise stations. A description of these amenities is included within Section IV, Design Guidelines.

## **3. Dog Park**

A one-acre dog park is located within the Neighborhood Park in the southern end of Planning Area 4. The dog park will be divided with separated areas for large and small dogs with seating and shading provided. On street parking is provided adjacent to the park. A description of this amenity is included in Section IV, Design Guidelines.

## **4. Parkway/Stormwater Channel (Ramon Road Frontage/Collector Street)**

Landscape and pedestrian improvements are planned in Planning Area 7a along Ramon Road and the attendant storm water channel. The landscaped parkway extends from the Ramon Road frontage into the heart of the community along the divided collector street that extends to the southern portion of the site. This parkway includes landscaping and pedestrian paths. A description of these amenities is included within Section IV, Design Guidelines.

## **5. Neighborhood Park**

Planning Area 3 includes a one acre Neighborhood Park. Oriented toward passive recreational pursuits, this Neighborhood Park will include a Community Garden Area featuring raised planter beds, an aroma therapy garden, shaded rest areas with benches, and a solar array interpretive exhibit. A description of these amenities is included within Section IV, Design Guidelines.

## **6. Pocket Park/Rest Area**

Planning Areas 1, 2, 3, and 4 will each have two ¼ acre pocket parks and/or small rest areas. The location of the pocket parks and the number and location of the rest areas will be determined during detailed site planning. The pocket parks and rest areas will be designed and located in a manner that compliments the pedestrian path and sidewalk system. A description of these amenities is included within Section IV, Design Guidelines.

## **7. Utility Corridor**

Planning Area 2 includes a 50-foot wide SCE easement which extends from its northeastern corner southerly along its eastern boundary for a distance just under 1,300 feet. This easement will remain as open space upon development of Specific Plan No. 386.

## **2. Development Guidelines**

1. All private recreational facilities and open spaces, including improvements within public right-of-way or within a public park, shall be privately owned and maintained by a Master Homeowners' Association or similar mechanism.
2. All landscaped parkways and medians within the public right-of-way will be maintained by the County of Riverside or a Community Service Area.
3. All recreational areas and open spaces shall be landscaped consistent with the guidelines contained in Section IV, Design Guidelines.
4. Specific Plan No. 386 shall conform to the standards set forth within Riverside County Ordinance No. 859 (water efficiency standards).
5. Landscaping within common open space areas shall conform to the Shade Standards described in Section IV, Design Guidelines.
6. Conceptual landscaping plans shall be submitted with tentative map applications facilitating Specific Plan No. 386.

## **G. Conceptual Grading Plan**

### **1. Description**

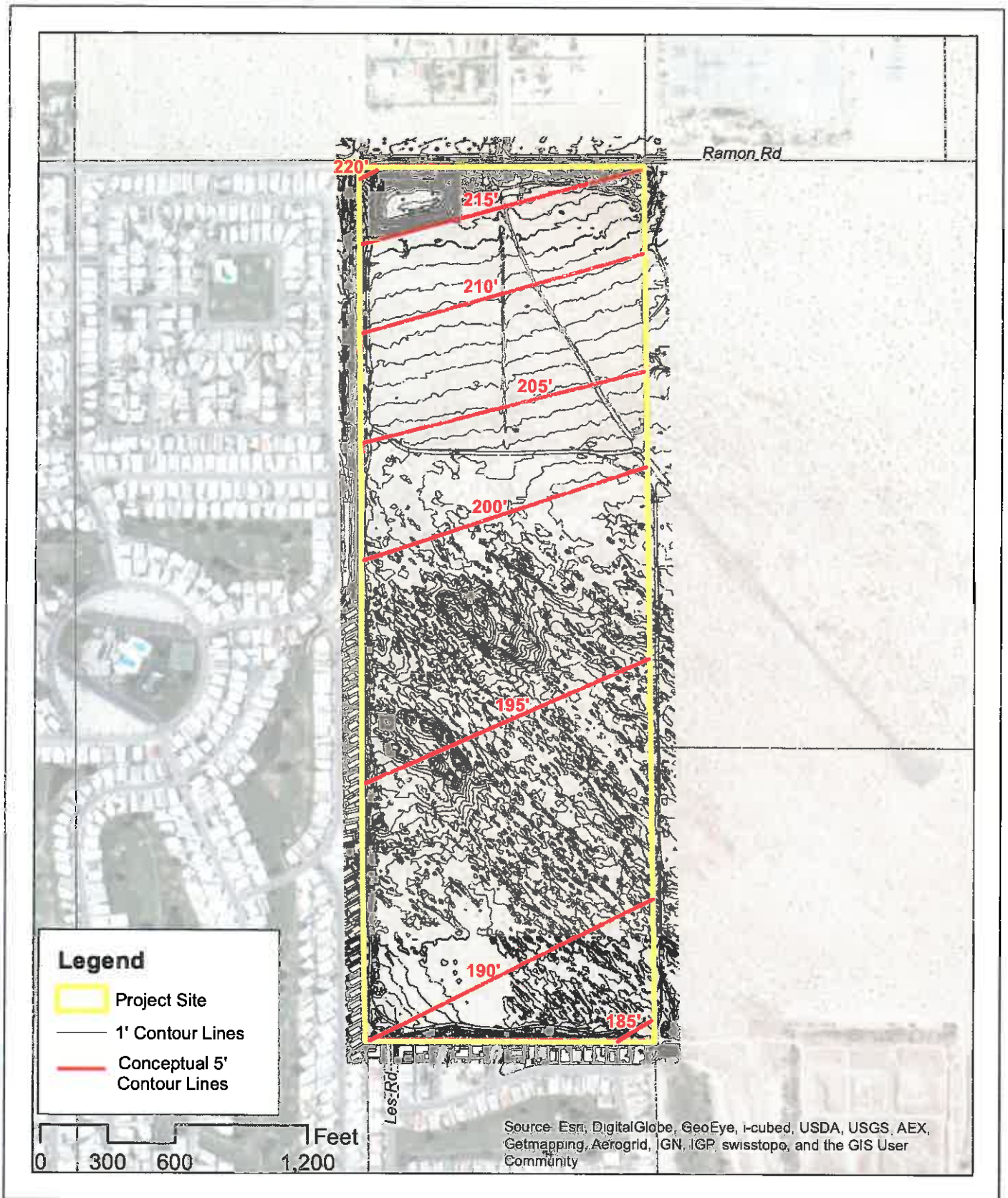
The conceptual grading for Specific Plan No. 386 will be tailored to the existing topography of the project site, which in general consists of relatively flat, undeveloped land sloping from the northwest to the southeast, with approximately 35' feet of fall across the site (average slope of approx. 1%). The Specific Plan No. 386 *Conceptual Grading Plan*, identified in Figure II-8, conforms to the existing topography to the greatest extent possible. Two flood control channels, one at each end of the project site, are proposed to protect the site from offsite storm flows emanating from the north and west by intercepting, diverting, and then discharging such flows to lands east of the project site. It is anticipated that each Planning Area will receive, convey and retain its own runoff employing accepted requirements and standards. Alternatively, all on-site runoff may ultimately be collected, conveyed and retained in a large retention basin in Planning Area 5. Runoff occurring on the Collector Road will be conveyed southerly to the large retention basin planned for Planning Area 5. This retention basin will double as the site for the Shared Solar Array.

Rough grading will follow recommendations provided in a geotechnical report reviewed and approved by the County, particularly regarding the removal and re-compaction of undocumented fill and near-surface alluvial soils. Onsite irrigation wells may be utilized during construction for dust control and grading. Thereafter, it is assumed that these wells will be capped and abandoned per Riverside County requirements. Undocumented fill and near-surface alluvial soils will require remedial grading to prepare the site for building foundations and engineered fill. The upper 4' feet to 6' feet of alluvial soil will need to be replaced with properly compacted fill. Finally, the proposed flood control channels must be graded as well as the onsite retention basins. A detailed site plan has not yet been prepared for Specific Plan No. 386. However, based on proposed Tentative Parcel Map No. 37191, rough grading of the entire site to accommodate future development is estimated to involve the movement of approximately 523,000 cubic yards of earth materials.

Final site grading shall incorporate the following elements:

- Gently to moderately sloping streets for safe vehicular circulation.
- Safe drainage to flood control facilities for onsite and offsite storm flow.
- Minimal use of retaining walls.
- Common landscape areas.
- Erosion and pollution controls during construction and post-construction through development of a site specific Storm Water Pollution Prevention Plan (SWPPP) and Water Quality Management Plan (WQMP).

More detailed conceptual grading plans will be prepared in conjunction with the development of future tract maps for Specific Plan No. 386. Refined grading plan(s) will include the basic development standards and criteria described herein.



Conceptual Grading Plan  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 II-8

## 2. Development Guidelines

1. All grading activities shall conform to Riverside County standards, shall be in substantial conformance with the Conceptual Grading Plan and shall implement any grading related mitigation measures.
2. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared during the tentative map phase and shall include at a minimum: detailed geologic mapping within areas of proposed development; drilling of geotechnical borings or excavating test pits in areas of compressible soils to determine the depth of competent materials; and a preliminary review of compacted grading with respect to remedial grading and slope stability.
3. Prior to any development within any Planning Area of this Specific Plan, an overall Conceptual Grading Plan for the site and the proposed development area (tentative tract) shall be submitted for Planning Department approval. The grading plan for each tentative map shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that Planning Area, and shall include: techniques employed to prevent erosion and sedimentation as well as eliminate source pollutants during and after the grading process; approximate time frames for grading activity; identification of areas which may be graded during high probability rain months (January through March); and preliminary pad and roadway elevations. Grading work shall be balanced onsite whenever possible.
4. Where cut and fill slopes are created higher than three feet, detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to Tentative Map approval. Plans shall be reviewed for type and density of ground cover, shrubs and trees.
5. The Master Developer shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibility of other parties, including the Home Owners Association (HOA), County of Riverside, etc.
6. Potential brow ditches, terrace drains, or other minor swales, determined necessary by Riverside County, shall be lined with natural erosion control materials or concrete.
7. Graded land that is undeveloped shall be maintained and/or planted with interim landscaping within ninety (90) days of completion of grading, unless building permits are obtained.
8. A grading permit shall be obtained from Riverside County, as required by the County Grading Ordinance, prior to grading.
9. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist shall be consulted to ascertain their significance, as specified in the project environmental document. If human remains are discovered, work shall halt in that area and procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be followed, including notification of the County Coroner. If Native American remains are present, the County Coroner shall contact the Native American Heritage Commission to determine and designate a Most Likely Descendant.
10. Pursuant to requirements of the State Water Resources Control Board, a state-wide general National Pollutant Discharge Elimination System (NPDES) construction permit will apply to construction activities associated with the proposed project. Construction activities include clearing, grading or excavation that results in the disturbance of at least one acre of total land



area or activity which is part of a larger common plan of development of one acre or greater. Therefore, the developer and/or builder shall be required to file a Notice of Intent (NOI) and have a SWPPP prepared for the project in accordance with the NPDES requirements prior to commencing grading activities.

## H. Phasing Plan

### 1. Project Phasing Description

The development of Specific Plan No. 386 will occur incrementally in response to market conditions. At present, it is estimated that build-out is likely to occur by the year 2024. The Specific Plan No. 386 Phasing Plan was developed with the following objectives:

- Ensure that the project site is protected from flooding by storm-water runoff generated off-site;
- Immediately improve core public streetscapes and utilities in a manner that functionally serves the community while enhancing its marketability to future residents;
- Immediately improve major amenities within the Community Center in order to establish the “heart” of the community;
- Implement the Shared Solar Facility as soon as practicable and provide for “green energy” financial benefits for future residents of the community;
- Facilitate the development of each Planning Area and its associated product mix in response to current market conditions; and
- Ensure that as each residential subdivision is implemented, recreation amenities as discussed in the Specific Plan for each residential Planning Area are available to the future residents.

Consideration of the foregoing objectives coupled with factors related to site design and infrastructure requirements resulted in a Phasing Plan with four major project development phases. Figure II-9, *Conceptual Phasing Plan*, graphically depicts the spatial distribution and location of site improvements associated with each of the four major project development phases. The Specific Plan No. 386 Phasing Plan follows a simple, straightforward, and inter-related series of programmatic infrastructure, recreation/park amenities, and residential improvements. Table II-3, *Project Phasing Plan – Development Summary by Planning Area*, identifies the key development components of the project, the major development phase during which each has been programmed to be constructed, and does so on a Planning Area basis.

Table II-3 Project Phasing Plan – Development Summary by Planning Area

PLANNING AREA	LAND USE	AREA (AC)	DENSITY	DWELLING UNITS
<b>Phase I</b>				
1	Density Range 5-8 du/ac -MHDR	21.57	5	119
6	Community Center – OS-R	2.5	-	-
7a	Stormwater Channel/Parkway – PF/PW	2.67	-	-
7b	Stormwater Channel - PF	4.82	-	-
5	Solar/Retention/Recreation - PF	8.01	-	-
(Initial Portion)	Central Circulation/Traffic circles	4.25	-	-
-	Ramon Road Dedication	1.01	-	-
<b>Phase I Subtotal</b>		<b>44.83</b>	<b>5</b>	<b>119</b>
<b>Phase II</b>				
2	Density Range 5-8 du/ac -MHDR	23.81	5	171
	East Stub Road	1.2		
<b>Phase II Subtotal</b>		<b>25.01</b>	<b>5</b>	<b>171</b>
<b>Phase III</b>				
3	Density Range 5-8 du/ac -MHDR	21.82	8	130
(Remaining Portion)	Central Circulation/Traffic circles/Access Road	3.58	-	-
<b>Phase III Subtotal</b>		<b>25.40</b>	<b>8</b>	<b>130</b>
<b>Phase IV</b>				
4	Density Range 5-8 du/ac -MHDR	22.75	8	170
<b>Phase IV Subtotal</b>		<b>22.75</b>	<b>8</b>	<b>170</b>
<b>TOTAL</b>		<b>117.99</b>	<b>-</b>	<b>590</b>

Note: All Residential Planning Area acreages include internal streets.

Table II-4, *Non-Residential Project Site Improvements – Construction Timing and Responsible Party*, identifies the key circulation system, drainage and flood control, sewer system, water system, and recreation/park-related improvements to be constructed as part of Specific Plan No. 386, the construction timing of each improvement, and the party responsible for construction.

**Table II-4 Non-Residential Project Site Improvements - Construction Timing and Responsible Party**

FACILITY/AMENITY DESCRIPTION	SUMMARY OF IMPROVEMENTS	CONSTRUCTION TIMING	PARTY RESPONSIBLE FOR CONSTRUCTION
<b><i>Circulation Improvements</i></b>			
Ramon Road Frontage	Half-width improvements, including lanes, pedestrian paths and landscaped parkways	Prior to the issuance of the 1 <sup>st</sup> building permit in Specific Plan No. 386.	Master Developer
Ramon Road Entry, main project collector road, attendant traffic circles, and emergency access road to Les Road.	Full improvement of the main project collector road from the Ramon Road Entry to the southern boundary of Planning Area 6 including travel lanes, medians, traffic circles and parkways. All weather surface improvement of the main project collector road from Planning Area 6 to its southern terminus. All weather surface improvement of the emergency access road to Les Road.	Prior to the issuance of the 1 <sup>st</sup> building permit in Specific Plan No. 386.	Master Developer
Main project collector road, attendant traffic circles, and emergency access road to Les Road.	Full improvement of the main project collector road from the southern boundary of Planning Area 6 including travel lanes, medians, traffic circles and parkways to its southern terminus. Full improvement of the emergency access road to Les Road.	Prior to the issuance of residential building permits within Planning Area 3 or 4, whichever occurs sooner	Master Developer
Local Street systems, within Planning Areas 1, 2, 3 and 4.	Local street and applicable parkway improvements as designed in subsequent Tract Maps.	In accordance with phasing determined during the Tract Map review and approval process.	Merchant Builder/Developer
<b><i>Drainage Improvements</i></b>			
Planning Area 7a – Northern off-site runoff storm water channel.	Full installation of storm water channel as located and described in Specific Plan No. 386 Chapter II.	These improvements shall be constructed prior to the issuance of the 1 <sup>st</sup> building permit in Specific Plan No. 386.	Master Developer

**Table II-4 Non-Residential Project Site Improvements –  
Construction Timing and Responsible Party (Continued)**

Planning Area 7b – Southern off-site runoff storm water channel.	Full installation of storm water channel as located and described in Specific Plan No. 386 Chapter II.	These improvements shall be constructed prior to the issuance of the 1 <sup>st</sup> building permit in Specific Plan No. 386.	Master Developer
Planning Area 5 retention basin and backbone on-site drainage systems within the Collector Street ROW.	Provide for retention and backbone drainage as described in Chapter II	These improvements shall be constructed prior to the issuance of the 1 <sup>st</sup> building permit in Specific Plan No. 386.	Master Developer
Local retention and drainage conveyances	Local retention and drainage conveyances as designed in subsequent Tract Maps associated with residential Planning Areas 1, 2, 3, and 4, and as designed in plot plans associated with Planning Areas 5 and 6.	These improvements shall be constructed in sequence with phasing determined during the entitlement review and approval processes.	Master Developer/Merchant Builder/Developer
<b>Sewer Improvements</b>			
Main Sewer line (As conceptually defined on Figure II-6)	Connect to 12" sewer line in the Shenandoah Springs/Tri Palm Estates community just outside the southeast corner of Specific Plan No. 386. Construct an 8" sewer main from its off-site point of connection to the southern terminus of the main collector street, and then north along the main collector street to connection points in Planning Areas 1 and 2.	These improvements shall be constructed prior to the issuance of the 1 <sup>st</sup> building permit in Specific Plan No. 386.	Master Developer
Local sewer systems, within Planning Areas 1, 2, 3, 4 and 6.	Local sewer systems as designed in subsequent Tract Maps and Plot Plans.	These improvements shall be constructed in sequence with phasing determined during Tract Map and Plot Plan	Merchant Builder/Developer
<b>Water Improvements</b>			

**Table II-4 Non-Residential Project Site Improvements –  
Construction Timing and Responsible Party (Continued)**

<p>Backbone Water line. (As illustrated in Figure II-5).</p>	<p>Connect to 12" water line in Les Road within the Shenandoah Springs/Tri Palm Estates community just outside the southwest corner of Specific Plan No. 386. Construct a 12" water main from its southern off-site point of connection to the southern terminus of the main collector street, and then north to its northern point of connection, a 12"-18" water main in Ramon Road. At the entry to each residential Planning Area construct 8" water line stubs to just beyond the traffic circles</p>	<p>These improvements shall be constructed prior to the issuance of the 1<sup>st</sup> building permit in Specific Plan No. 386.</p>	<p>Master Developer</p>
<p>Local water systems, within Planning Areas 1, 2, 3, 4, 6, and 7a.</p>	<p>Local water systems as designed in subsequent Tract Maps and Plot Plans.</p>	<p>These improvements shall be constructed in sequence with phasing determined during Tract Map and Plot Plan review and approval processes.</p>	<p>Master Developer (Planning Areas 6 and 7a only)/Merchant Builder/Developer</p>
<b>Recreation Amenities</b>			
<p>Community Center (Planning Area 6)</p>	<p>All Planning Area 6 improvements as conceptually depicted in Figure IV-28. Primary Planning Area 6 improvements include: Clubhouse; Swimming Pool and Spa; Tennis, Bocce Ball and Pickle-ball Courts; Tot Lot, Picnic Shelters; attendant circulation and parking improvements.</p>	<p>The improvements shall be constructed prior to issuance of the 100<sup>th</sup> residential building permit.</p>	<p>Master Developer</p>



**Table II-4 Non-Residential Project Site Improvements –  
Construction Timing and Responsible Party (Continued)**

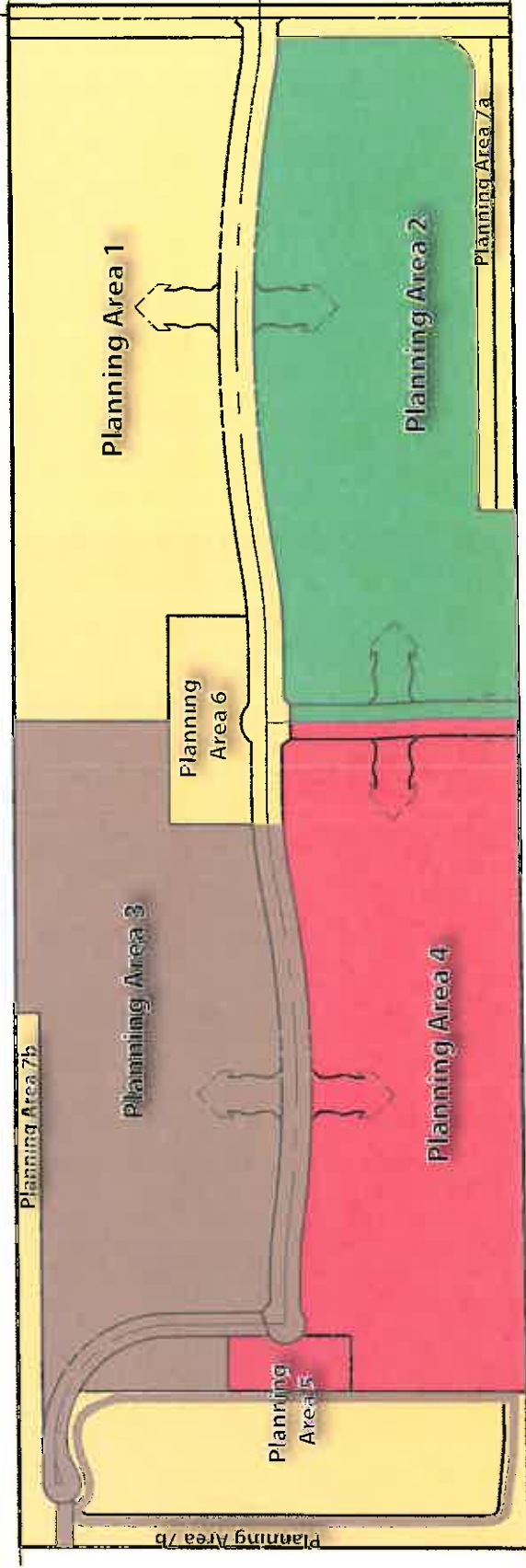
Neighborhood Parks and Pocket Parks within Planning Areas 1, 2, 3 and 4.	Neighborhood Parks and Pocket Parks will be constructed as designed in subsequent Tract Maps and will generally include those improvements included in Figures IV-27 thru IV-29.	The Neighborhood Park and Pocket Park improvements shall be constructed in sequence with phasing determined during the Tract Map review and approval process.	Merchant Builder/Developer
Landscape/Recreation Buffer with Trail/Workout Stations in Planning Area 5	Landscaped Buffer with Trail/Workout Stations along the perimeter of the Shared Solar Array and Retention Basin as generally depicted in Figure IV-30.	The Landscaped Buffer with Trail/Workout Stations shall be constructed prior to the issuance of the 1 <sup>st</sup> Residential Building Permit for Planning Area 3	Master Developer

**2. Development Guidelines**

1. Construction of the development described in Specific Plan No. 386 (including recordation of final maps), may be done progressively in stages within Phases 1 thru 4. So long as consistent with the objectives of the Phasing Plan, phases may overlap should market conditions support expediting residential development. Such progressive stages and overlaps must demonstrate that there is adequate vehicular access, facilities, and infrastructure in place to support the dwelling units and ensure adequate public health and safety for each stage of development.
2. The phasing sequence illustrated in Figure II-9, is conceptual based on current market demand. Certain Planning Areas may be developed out of sequence, provided that it is demonstrated that adequate infrastructure and services are available to support development.



Ramon Road



Legend:



Figure II-9

Conceptual Phasing Plan  
 Thousand Palms 278 Specific Plan No. 386



## **I. Maintenance Plan**

The principal sponsor of maintenance of private improvements including streets, common open space and recreation areas, and stormwater conveyance features within Specific Plan No. 386 will be the community's Master Homeowners Association. Maintenance of public improvements such as Ramon Road and other project features that may be constructed as public amenities will be maintained by the County of Riverside or a County Service Area or equivalent entity. Final arrangements for maintenance will be determined during final design and processing of maps for the community.

## **J. Public Safety Services**

Specific Plan No. 386 has fire and law enforcement facilities in close proximity to the project.

### **1. Fire Protection**

Fire protection services are provided to the Thousand Palms Community by the Riverside County Fire Department through the Roy Wilson Fire Station #35, located on the north side of Ramon Road approximately 1.3 miles to the west of the Specific Plan No. 386 Community.

### **2. Law Enforcement**

The Riverside County Sheriff's department provides law enforcement to the Thousand Palms Community. Sheriff's officers that patrol the area are based at the Palm Desert Area Station located on the south side of Gerald Ford Drive between Monterey Avenue and Portola Avenue approximately 3.8 miles to the south of the Specific Plan No. 386 Community.

### **3. Development Impact Fees**

Riverside County has a County Development Impact Fee (DIF) which is authorized by Riverside County Ordinance No. 659. This fee is applied to all development projects in unincorporated Riverside County. Payment of DIF is required of developers to fund public facilities such as fire protection facilities, sheriff facilities, library books, and public health facilities. As Specific Plan No. 386 is developed, DIF fees will be required to ensure that resources will be available for capital improvements to implement the County's capital and operational planning.

### III. Planning Area Development Guidelines

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As illustrated in previous Figure II-1, *Conceptual Land Use Plan*, the Thousand Palms 278 Specific Plan (Specific Plan No. 386) consists of 7 Planning Areas. Primary access is taken from Ramon Road via an internal divided collector street and four residential Planning Areas are set along this primary circulation corridor. This primary access will not be gated. Secondary ingress/egress, designated for emergency use only, connects the primary circulation corridor to an existing residential circulation system located to the south. A fifth Planning Area encompasses a retention facility as well as a Solar Generating Facility. This “shared solar” installation will provide solar generated energy for the benefit of the residences of Planning Areas 1 through 4. This Planning Area also contains recreation amenities as shown in Figure III-5. A sixth Planning Area contains a clubhouse and recreation amenities as shown in Figure III-6. The seventh Planning Area has two components. Planning Area 7a contains the parkway, entry and flood control channel fronting Ramon Road. The second, identified as Planning Area 7b, is a storm water conveyance facility which will accept offsite riverine storm flows from the Shenandoah Springs/Tri Palm Estates community to the immediate west and south, convey it southerly to the southeasterly boundary of Specific Plan No. 386, where behind a weir, it will be allowed to accumulate until at grade at which time it will be slowly outlet as sheet flow to the east.

The Planning Area graphics (Figure III-1 through Figure III-7) for this section were derived from Figure II-1, *Conceptual Land Use Plan*. This section addresses the development standards for each Planning Area. For a description of interfaces with surrounding properties and the edge conditions of the project, see Chapter IV. F.6. The Specific Plan Zoning Ordinance in Chapter V establishes use restrictions for each Planning Area, and shall be used in conjunction with the development standards established in this section.

#### A. Planning Area 1: Medium High Density Residential (MHDR)

##### 1. Descriptive Summary

Planning Area 1, as shown on Figure III-1, provides for the development of 21.57 acres of Medium High Density Residential to allow a maximum of 119 units at an average density of 5.5 du/ac. Residences in Planning Area 1 are one and two story single-family detached homes, each of which includes a two-car or larger garage. These homes are intended to be affordable, and appeal to a wide range of buyers. Given the variety of potential densities and lotting patterns described within the Specific Plan, final development could cater to one or more of the following: age restricted, young families, services and public employees, young professionals and empty nesters.

This Planning Area may be gated. Access to this Planning Area is via a local street or streets that connect to the community’s main collector street. These local streets may be gated. From this point a system of local streets provides vehicular access to all residences. One Family Dwellings with Garages in the Rear of the Building may be implemented in which case alleys will provide access from the local streets. Bicycle access is provided by two lanes, one on each side of the collector street. Pedestrian access is provided via 5 foot wide meandering sidewalks running parallel on each side of the collector street. Small recreational

areas will be incorporated into the residential neighborhood, See Chapter IV, Design Guidelines for further elaboration.

All land uses in this Planning Area shall conform to the Shade Standards contained in Chapter V. of this Specific Plan. Those standards provide minimum shade coverage areas and shade elements for this Planning Area.



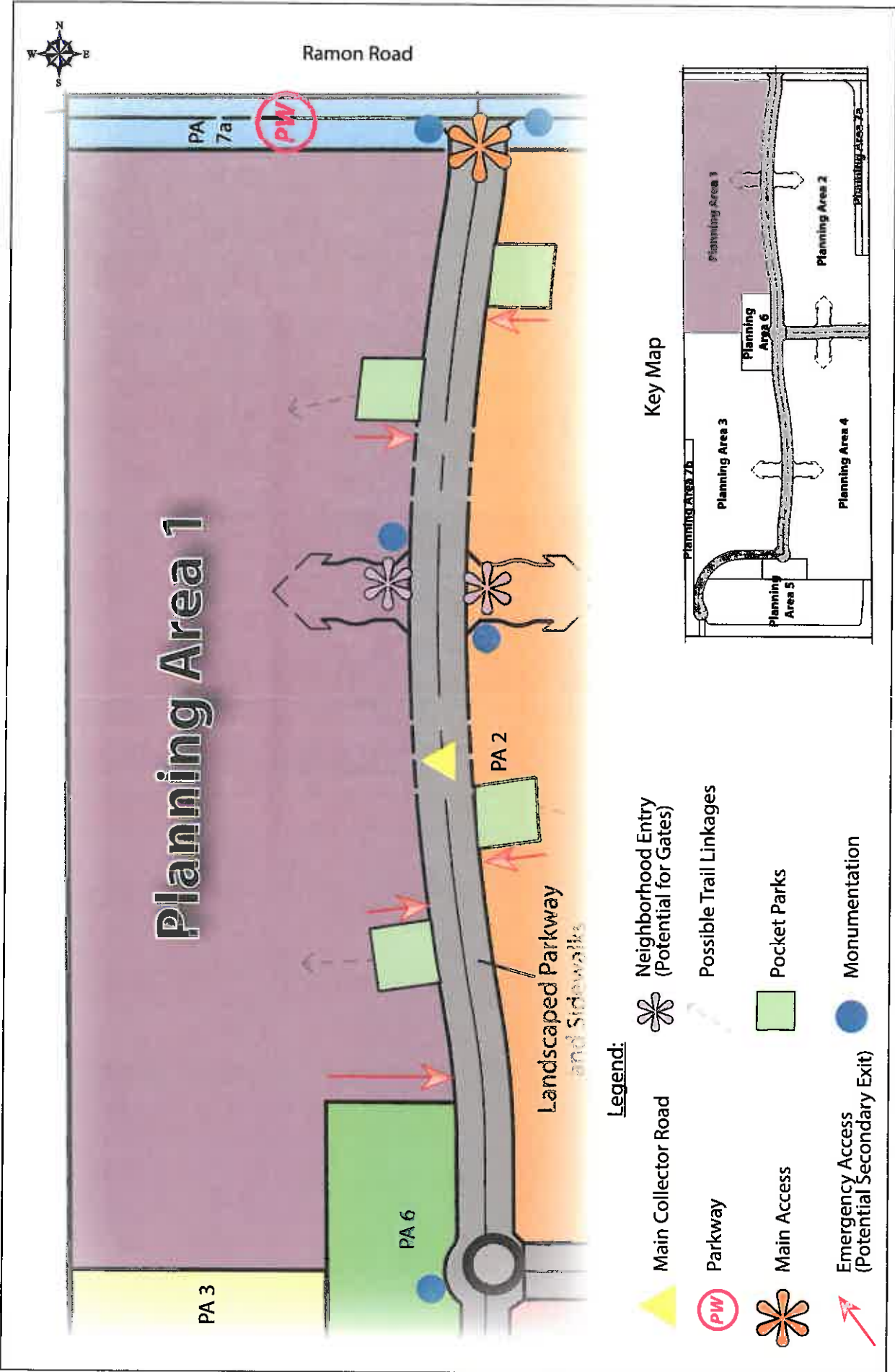


Figure III-1

Planning Area 1  
Thousand Palms 278 Specific Plan No. 386



## 2. Land Use and Development Guidelines

Please see Zoning Ordinance in Chapter V.

## 3. Planning Standards for Planning Area 1

1. Site plan concepts for the homes within Planning Area 1 shall be similar to those depicted in **Chapter IV, Section D, *Site Planning Characteristics***. See lotting concepts illustrated in **Figures IV-1 thru IV-3**.
2. Landscaping shall occur as described in **Chapter IV, Section F, *Landscape Design Guidelines***.
3. Roadway landscape treatment for the main collector road shall be as depicted in **Figure IV-18**. For local streets, landscape treatment shall be as depicted in **Figure IV-19**.
4. Entry monuments shall be provided at neighborhood access points as generally depicted on **Figure IV-20**.
5. Sidewalks, trails and paseos shall reflect designs and be constructed in general accordance with **Figures IV-16 thru IV-19, Figures IV-22 thru IV-24, and Figures IV-27 thru IV-30**.
6. Walls and fences to be generally located as shown on **Figure IV-25, *Conceptual Wall and Fencing Plan***, employing designs and materials depicted in **Figure IV-26, *Conceptual Wall and Fence Details***.
7. Recreation amenities within Planning Area 1 shall reflect designs generally in keeping with **Figure IV-27, *Conceptual Quarter Acre Park Spaces***, and incorporate applicable provisions of **Chapter IV, Section F., *Landscape Design Guidelines***, including, but not limited to, Shade (**Section IV.F.5**), Walls and Fences/Edge Conditions (**Section IV.F.6**), Lighting (**Section IV.F.7**) and Plant Palette (**Section IV.F.11**).
8. Please refer to **Chapter II, *Specific Plan***, for the following standards that apply site-wide:

II.A <i>Land Use Plan</i>	II.F <i>Open Space &amp; Recreation Plan</i>
II.B <i>Circulation Plan</i>	II.G <i>Conceptual Grading Plan</i>
II.C <i>Master Drainage Plan</i>	II.H <i>Project Phasing</i>
II.D <i>Master Water Plan</i>	II.I <i>Maintenance Plan</i>
II.E <i>Master Sewer Plan</i>	II.J <i>Public Safety Services</i>

## B. Planning Area 2: Medium High Density Residential (MHDR)

### 1. Descriptive Summary

Planning Area 2, as shown on Figure III-2, provides for the development of 23.81 acres of Medium High Density Residential to a maximum of 171 units at an average density of 7.16 du/ac. Residences in Planning Area 2 are one- and two- story single-family detached homes and include two-car or larger garages. The residences in this Planning Area are intended to be affordable and appeal to a wide variety of buyers. Given the variety of potential densities and lotting patterns described within the Specific Plan final development could cater to one or more of the following: age restricted, young families, services and public employees, young professionals and empty nesters.

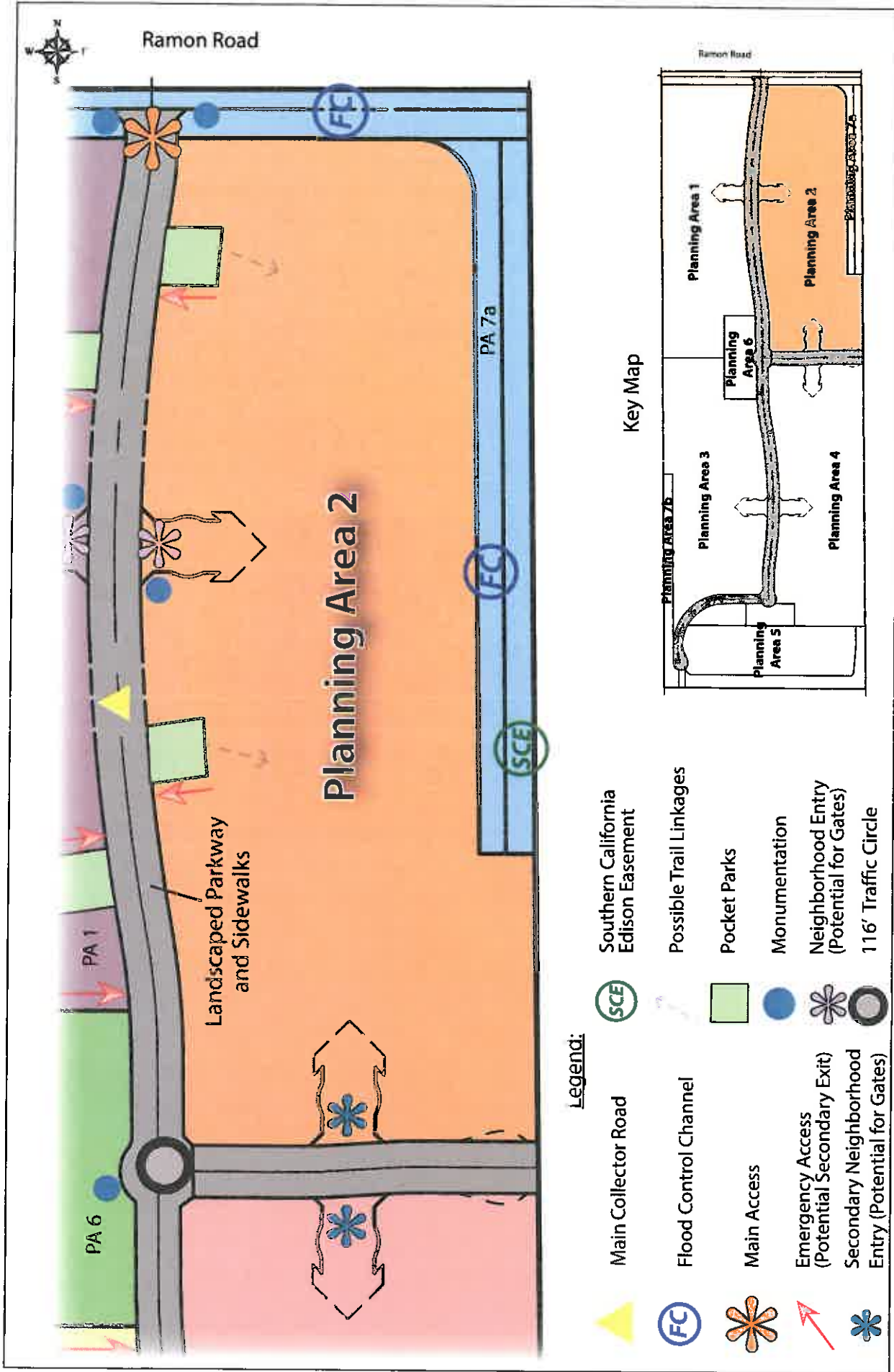
This Planning Area may be gated. Access to this Planning Area is via a local street or streets that connects to the community's main collector street. These local streets may be gated. From this point a system of

local streets provides vehicular access to all residences. One Family Dwellings with Garages in the Rear of the Building may be implemented in which case alleys will provide access from the local streets. Bicycle access is provided by two lanes, one on each side of the collector street. Pedestrian access is provided via 5 foot wide meandering sidewalks running parallel on each side of the collector street. Small recreational areas will be incorporated into the neighborhood, see Chapter IV, Design Guidelines for elaboration.

All land uses in this Planning Area shall conform to the Shade Standards contained in Chapter V of this Specific Plan. Those standards set forth minimum shade coverage areas and shade elements for this Planning Area.

## **2. Land Use and Development Guidelines**

Please see Zoning Ordinance Chapter V.



Planning Area 2  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 III-2

### 3. Planning Standards for Planning Area 2

1. Site plan concepts for the homes within Planning Area 2 shall be similar to those depicted in **Chapter IV, Section D, *Site Planning Characteristics***. See lotting concepts illustrated in **Figures IV-1 thru IV-3**.
2. Landscaping shall occur as described in **Chapter IV, Section F, *Landscape Design Guidelines***.
3. Roadway landscape treatment for the main collector road shall be as depicted in **Figure IV-18**. For local streets, landscape treatment shall be as depicted in **Figure IV-19**.
4. Entry monuments shall be provided at neighborhood access points as generally depicted on **Figure IV-20**.
5. Sidewalks, trails and paseos shall reflect designs and be constructed in general accordance with **Figures IV-16 thru IV-19, Figures IV-22 thru IV-24, and Figures IV-27 thru IV-30**.
6. Walls and fences to be generally located as shown on **Figure IV-25, *Conceptual Wall and Fencing Plan***, employing designs and materials depicted in **Figure IV-26, *Conceptual Wall and Fence Details***.
7. Recreation amenities within Planning Area 2 shall reflect designs generally in keeping with **Figure IV-27, *Conceptual Quarter Acre Park Spaces***, and incorporate applicable provisions of **Chapter IV, Section F., *Landscape Design Guidelines***, including, but not limited to, Shade (**Section IV.F.5**), Walls and Fences/Edge Conditions (**Section IV.F.6**), Lighting (**Section IV.F.7**) and Plant Palette (**Section IV.F.11**).
8. Please refer to **Chapter II, *Specific Plan***, for the following standards that apply site-wide:

- |                                  |  |
|----------------------------------|--|
| ii.A <i>Land Use Plan</i>        | ii.F <i>Open Space &amp; Recreation Plan</i> |
| ii.B <i>Circulation Plan</i>     | ii.G <i>Conceptual Grading Plan</i>          |
| ii.C <i>Master Drainage Plan</i> | ii.H <i>Project Phasing</i>                  |
| ii.D <i>Master Water Plan</i>    | ii.I <i>Maintenance Plan</i>                 |
| ii.E <i>Master Sewer Plan</i>    | ii.J <i>Public Safety Services</i>           |

### C. Planning Area 3: Medium High Density Residential (MHDR)

#### 1. Descriptive Summary

Planning Area 3, as shown on Figure III-3, provides for the development of 21.82 acres of Medium High Density Residential to a maximum of 130 units at an average density of 5.96 du/ac. Houses in Planning Area 3 are one- and two- story single-family detached homes and each house includes a two-car or larger garage. These homes are intended to be affordable and the residences will be designed to appeal to a broad range of prospective buyers: age-restricted, young families, services and public employees, young professionals and empty nesters.

This Planning Area may be gated. Access to this Planning Area is via a local street or streets that connects to the community's main collector street. These local streets may be gated. From this point a system of local streets provides vehicular access to all residences. One Family Dwellings with Garages in the Rear of the Building may be implemented in which case alleys will provide access from the local streets. Bicycle access is provided by two lanes, one on each side of the collector street. Pedestrian access is provided via



5-foot wide meandering sidewalks running parallel on each side of the collector street. Small recreational areas shall be incorporated into the neighborhood, see Chapter IV, Design Guidelines for elaboration.

All land uses in this Planning Area shall conform to the Shade Standards contained in Chapter V of this Specific Plan. Those standards set forth minimum shade coverage areas and shade elements for this Planning Area.

## **2. Land Use and Development Guidelines**

Please see Zoning Ordinance in Chapter V.

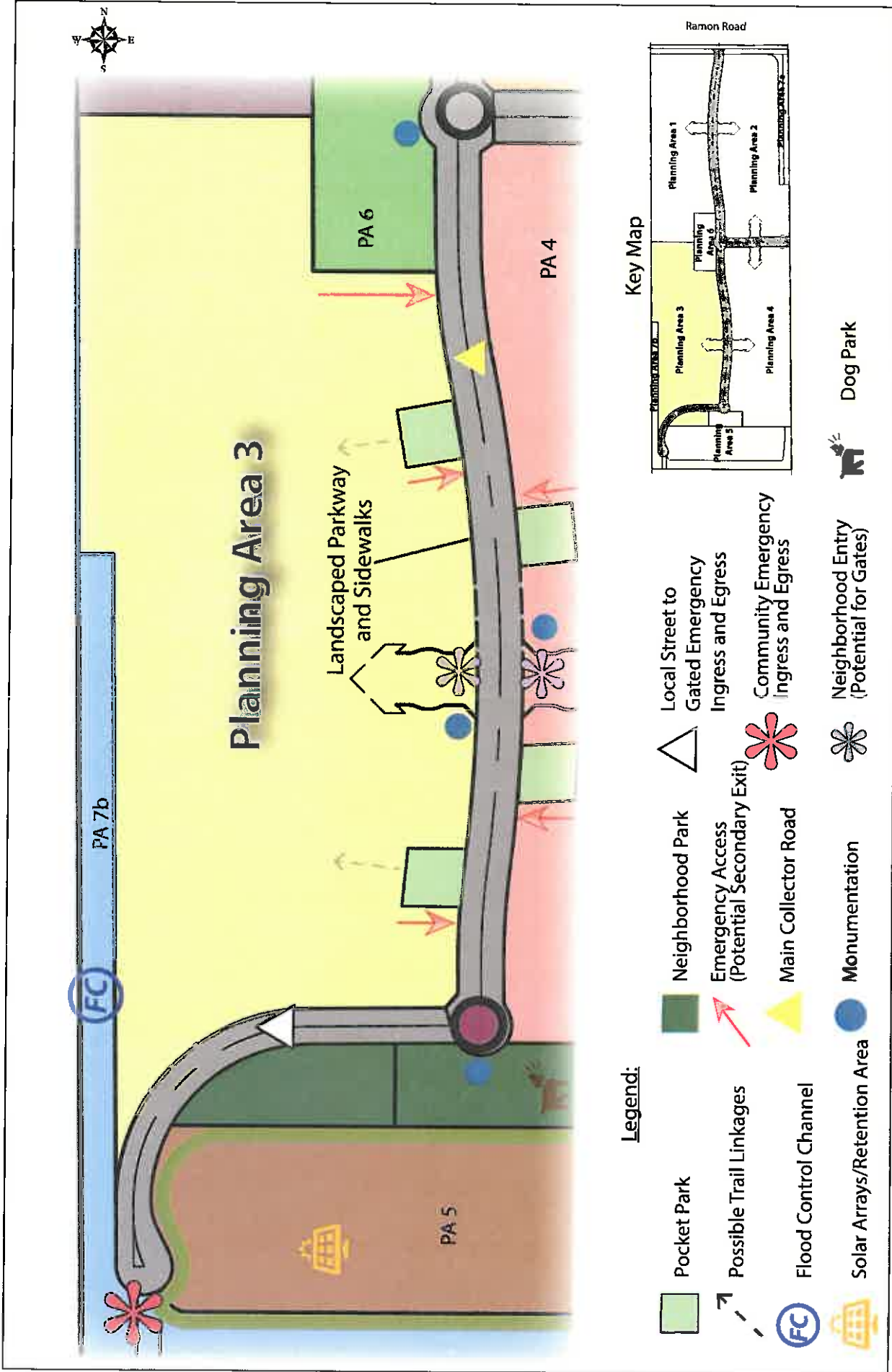


Figure III-3

Planning Area 3  
Thousand Palms 278 Specific Plan No. 386



### 3. Planning Standards for Planning Area 3

1. Site plan concepts for the homes within Planning Area 3 shall be similar to those depicted in **Chapter IV, Section D, Site Planning Characteristics**. See lotting concepts illustrated in **Figures IV-1 thru IV-3**.
2. Landscaping shall occur as described in **Chapter IV, Section F, Landscape Design Guidelines**.
3. Roadway landscape treatment for the main collector road shall be as depicted in **Figure IV-18**. For local streets, landscape treatment shall be as depicted in **Figure IV-19**.
4. Entry monuments shall be provided at neighborhood access points as generally depicted on **Figure IV-20**.
5. Sidewalks, trails and paseos shall reflect designs and be constructed in general accordance with **Figures IV-16 thru IV-19, Figures IV-22 thru IV-24, and IV-27 thru IV-30**.
6. Walls and fences to be generally located as shown on **Figure IV-25, Conceptual Wall and Fencing Plan**, employing designs and materials depicted in **Figure IV-26, Conceptual Wall and Fence Details**.
7. Recreation amenities within Planning Area 3 shall reflect designs generally in keeping with **Figure IV-27, Conceptual Quarter Acre Park Spaces**, and **Figure IV-29, Conceptual Neighborhood & Dog Park Landscape Plan**, and incorporate applicable provisions of **Chapter IV, Section F., Landscape Design Guidelines**, including, but not limited to, Shade (**Section IV.F.5**), Walls and Fences/Edge Conditions (**Section IV.F.6**), Lighting (**Section IV.F.7**) and Plant Palette (**Section IV.F.11**).
8. Please refer to **Chapter II, Specific Plan**, for the following standards that apply site-wide:

- |                                  |  |
|----------------------------------|--|
| II.A <i>Land Use Plan</i>        | ii.F <i>Open Space &amp; Recreation Plan</i> |
| II.B <i>Circulation Plan</i>     | II.G <i>Conceptual Grading Plan</i>          |
| II.C <i>Master Drainage Plan</i> | II.H <i>Project Phasing</i>                  |
| II.D <i>Master Water Plan</i>    | II.I <i>Maintenance Plan</i>                 |
| II.E <i>Master Sewer Plan</i>    | II.J <i>Public Safety Services</i>           |

### D. Planning Area 4: Medium High Density Residential (MHDR)

#### 1. Descriptive Summary

Planning Area 4, as shown on Figure III-4, provides for the development of 22.75 acres of Medium High Density Residential to a maximum of 170 units at an average density of 7.5 du/ac. Houses in Planning Area 4 are one- and two- story single-family detached homes. Each house includes a two-car or larger garage. These homes are intended to be affordable and the residences will be designed to appeal to a broad range of prospective buyers: age-restricted, young families, services and public employees, young professionals and empty nesters.

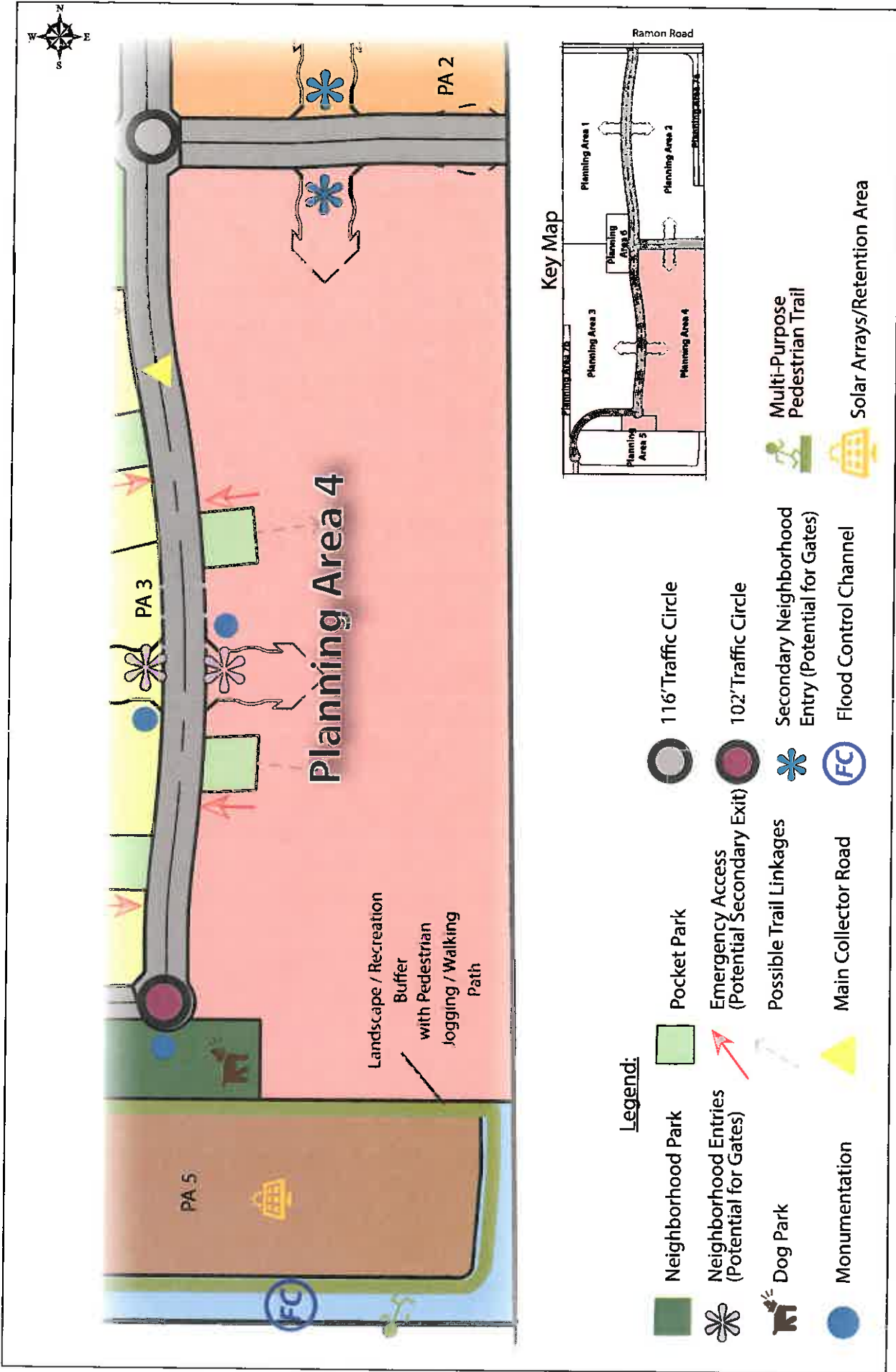
This Planning Area may be gated. Access to this Planning Area is via a local street or streets that connects to the community's main collector street. These local streets may be gated. From this point a system of local streets provides vehicular access to all residences. One Family Dwellings with Garages in the Rear of the Building may be implemented in which case alleys will provide access from the local streets. Bicycle

access is provided by two lanes, one on each side of the collector street. Pedestrian access is provided via 5-foot wide meandering sidewalks running parallel on each side of the collector street. Small recreational areas shall be incorporated into the neighborhood, see Chapter IV, Design Guidelines for elaboration.

All land uses in this Planning Area shall conform to the Shade Standards contained in Chapter IV, Design Guidelines of this Specific Plan. Those standards provide minimum shade coverage areas and shade elements for this Planning Area.

## **2. Land Use and Development Guidelines**

Please see Zoning Ordinance in Chapter V.



Planning Area 4  
 Thousand Palms 278 Specific Plan No. 386

Figure III-4



### 3. Planning Standards for Planning Area 4

1. Site plan concepts for the homes within Planning Area 4 shall be similar to those depicted in **Chapter IV, Section D, *Site Planning Characteristics***. See lotting concepts illustrated in **Figures IV-1 thru IV-3**.
2. Landscaping shall occur as described in **Chapter IV, Section F, *Landscape Design Guidelines***.
3. Roadway landscape treatment for the main collector road shall be as depicted in **Figure IV-18**. For local streets, landscape treatment shall be as depicted in **Figure IV-19**.
4. Entry monuments shall be provided at neighborhood access points as generally depicted on **Figure IV-20**.
5. Sidewalks, trails and paseos shall reflect designs and be constructed in general accordance with **Figures IV-16 thru IV-19, Figures IV-22 thru IV-24, and IV-27 thru IV-30**.
6. Walls and fences to be generally located as shown on **Figure IV-25, *Conceptual Wall and Fencing Plan***, employing designs and materials depicted in **Figure IV-26, *Conceptual Wall and Fence Details***.
7. Recreation amenities within Planning Area 4 shall reflect designs generally in keeping with **Figure IV-27, *Conceptual Quarter Acre Park Spaces***, and **Figure IV-29, *Conceptual Neighborhood & Dog Park Landscape Plan***, and incorporate applicable provisions of **Chapter IV, Section F., *Landscape Design Guidelines***, including, but not limited to, Shade (**Section IV.F.5**), Walls and Fences/Edge Conditions (**Section IV.F.6**), Lighting (**Section IV.F.7**) and Plant Palette (**Section IV.F.11**).
8. Please refer to **Chapter II, *Specific Plan***, for the following standards that apply site-wide:

- |                                  |  |
|----------------------------------|--|
| II.A <i>Land Use Plan</i>        | II.F <i>Open Space &amp; Recreation Plan</i> |
| II.B <i>Circulation Plan</i>     | II.G <i>Conceptual Grading Plan</i>          |
| II.C <i>Master Drainage Plan</i> | II.H <i>Project Phasing</i>                  |
| II.D <i>Master Water Plan</i>    | II.I <i>Maintenance Plan</i>                 |
| II.E <i>Master Sewer Plan</i>    | II.J <i>Public Safety Services</i>           |

## E. Planning Area 5: Shared Solar Generating Facility and Retention Basin

### 1. Descriptive Summary

Planning Area 5, as shown in Figure III-5, is located at the southern end of the property and encompasses 8.01 acres of land. This area is planned to contain the community's most unique feature – a Shared Solar Generating Facility. Shared Solar is a relatively new concept which is strongly supported by the U. S. Department of Energy. In contrast to photovoltaic panels being mounted on individual homes, the shared solar concept calls for most of the panels which will serve a development to be in one location. The electricity generated is put into the electrical “grid” at one point of connection. Each home is credited with its share of production through a mechanism known as “virtual metering”. The single point of connection is beneficial to the utility involved in that the power is metered at a single connection point instead of at each of the residences in the community. The community benefits visually in that the architectural integrity of individual homes is not impacted by roof mounted solar systems, and the homeowners benefit from economies of scale provided by the single, cohesive panel location, not having

to provide maintenance and repairs to panels located on the roofs as well as from being part of a new and innovative step in “green power” production.

The Shared Solar Array is planned in a topographically depressed area which will also serve as a retention basin. Runoff emanating from the Collector Road will be conveyed southerly and discharged into this large retention basin planned for Planning Area 5. This retention basin will retain flows generated by the Collector Road. The retention basin will be bounded by a landscaped buffer within which there will be located a multi-purpose trail with intermittently placed fitness stations.

An emergency access road for the entire planned community extends from the southern terminus of the main Collector Street to the southwest corner of the project site in order to connect with Les Road, an existing public street within the Shenandoah Springs/Tri-Palm Estates community immediately south of the project site. The last third of this emergency access road serves to define the western boundary of Planning Area 5. Interpretative materials associated with the solar facility will be provided along the encircling trail as well as in the adjacent Neighborhood Park.

## **2. Land use and Development Guidelines**

See Zoning Ordinance in Chapter V.

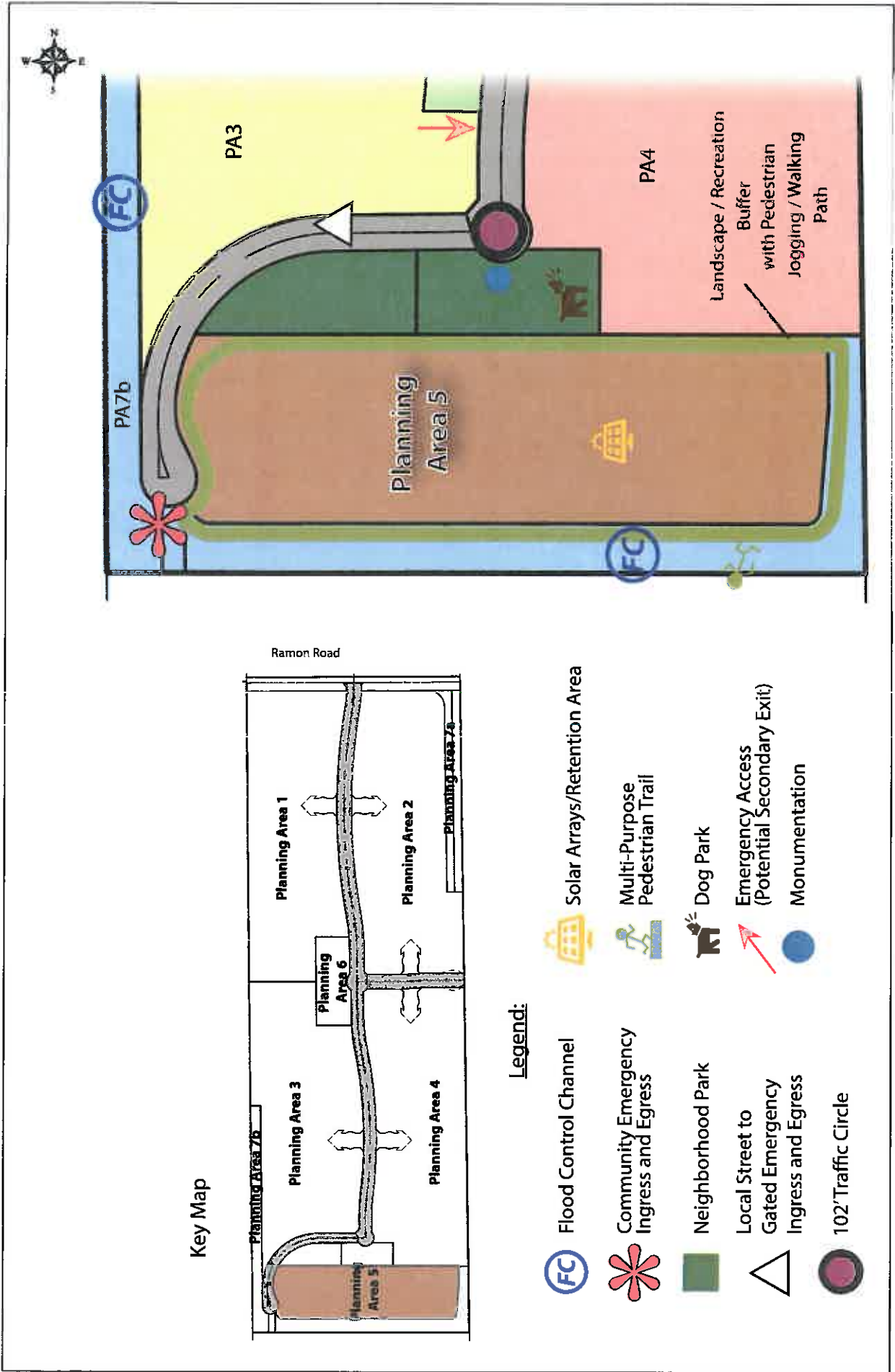


Figure III-5

Planning Area 5  
Thousand Palms 278 Specific Plan No. 386



### 3. **Planning Standards for Planning Area 5**

1. Site plan for Planning Area 5 shall be generally consistent with the conceptual illustrations depicted in **Figure III-5, *Planning Area 5***, and **Figure IV-30, *Conceptual Solar Field/Retention Area Plan***, respectively. The Solar Field will be placed within the retention basin (and may be upgraded over time as technologies change.)
2. Landscaping, fencing and recreational features shall be generally consistent with the conceptual illustration depicted in **Figure IV-30**.
3. Please refer to **Chapter IV, *Design Guidelines***, for other related design criteria.
4. Please refer to **Chapter II, *Specific Plan***, for the following standards that apply site-wide:

<b>II.A <i>Land Use Plan</i></b>	<b>II.F <i>Open Space &amp; Recreation Plan</i></b>
<b>II.B <i>Circulation Plan</i></b>	<b>II.G <i>Conceptual Grading Plan</i></b>
<b>II.C <i>Master Drainage Plan</i></b>	<b>II.H <i>Project Phasing</i></b>
<b>II.D <i>Master Water Plan</i></b>	<b>II.I <i>Maintenance Plan</i></b>
<b>II.E <i>Master Sewer Plan</i></b>	<b>II.J <i>Public Safety Services</i></b>

### F. **Planning Area 6: Community Center**

#### 1. **Descriptive Summary**

Planning Area 6, as shown in Figure IV-28, contains the Community Center. Located at the approximate center of the property along the western frontage of the main Collector Street, the Community Center has a land area of 2.5 acres. The Community Center area will contain a clubhouse (ranging between 3,500 and 4,000 square feet) and a variety of recreational amenities including: a pool, spa, barbeque area, special events turf area, tennis court, pickle-ball courts, bocce ball courts, etc., among others.

#### 2. **Land use and Development Guidelines**

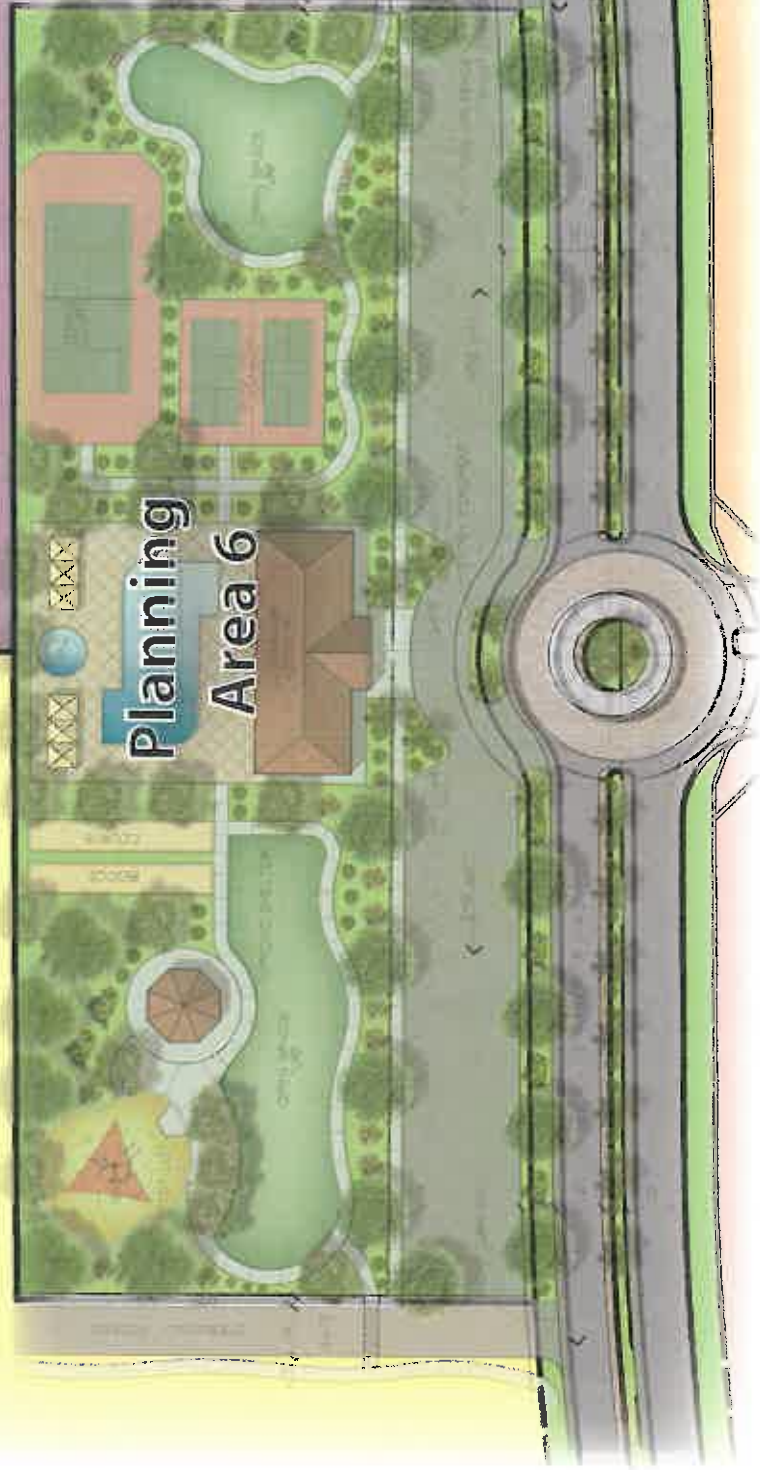
Please see Zoning Ordinance in Chapter V.



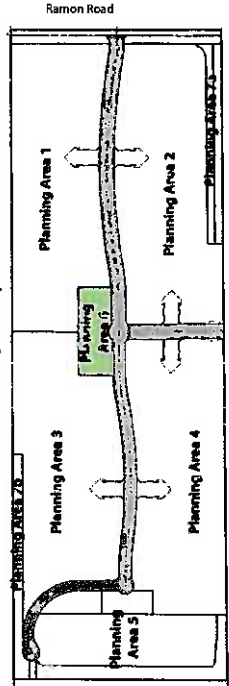
PA 1

PA 3

# Planning Area 6



Key Map



Planning Area 6  
Thousand Palms 278 Specific Plan No. 386

Figure III-6



### 3. **Planning Standards for Planning Area 6**

1. Site plan for the Community Center in Planning Area 6 shall be generally consistent with the conceptual illustrations depicted in **Figure III-6, Planning Area 6**, and **Figure IV-28, Conceptual Community Center Landscape Plan**, respectively.
2. Landscaping, fencing and recreational features shall be generally consistent with the conceptual illustration depicted in **Figure IV-28**.
3. Please refer to **Chapter IV, Design Guidelines**, for other related community and architectural design criteria. The clubhouse will be designed consistent with one of the four community themes described therein.
4. Please refer to **Chapter II, Specific Plan**, for the following standards that apply site-wide:

<b>II.A Land Use Plan</b>	<b>II.F Open Space &amp; Recreation Plan</b>
<b>II.B Circulation Plan</b>	<b>II.G Conceptual Grading Plan</b>
<b>II.C Master Drainage Plan</b>	<b>II.H Project Phasing</b>
<b>II.D Master Water Plan</b>	<b>II.I Maintenance Plan</b>
<b>II.E Master Sewer Plan</b>	<b>II.J Public Safety Services</b>

### G. **Planning Areas 7a and 7b: Frontage, Ramon Road Parkway/Flood Control Facility and Southern Flood Control Facility**

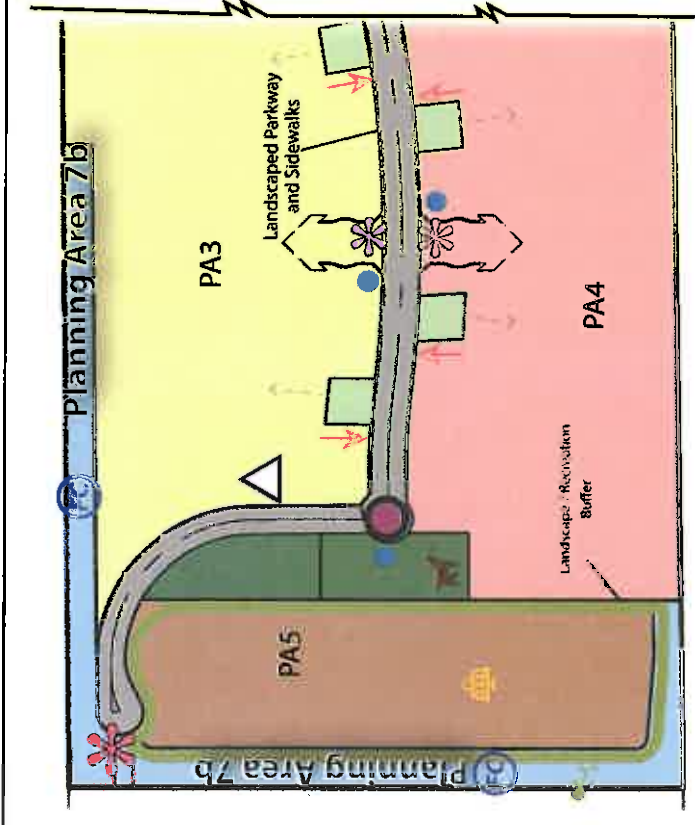
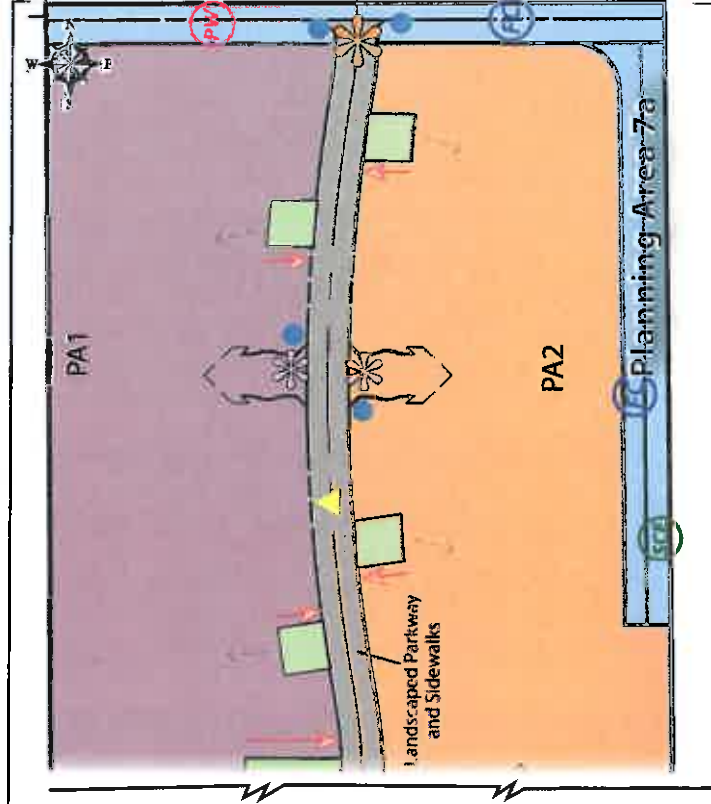
#### 1. **Descriptive Summary**

Planning Area 7a, as shown in Figure III-7, is located along the Ramon Road Frontage and a portion of the easterly boundary of Specific Plan No. 386. This 2.67 acre Planning Area includes a landscaped parkway along Ramon Road, the project entry, and a storm water channel. There will be extensive landscaping along the parkway and at the entry. Parkway, entry design and monumentation treatment is discussed in Chapters IV.F.3 and IV.F.4. The storm water channel is an interim flood improvement that will protect the community from regional flooding until the Thousand Palms portion of the Whitewater Basin Levee is completed. The proposed channel will be privately maintained by the Homeowners Association. See Chapter II C, Specific Plan, for a discussion of this improvement. Figure III-8 provides a Cross-Section of Planning Area 7a improvements. Planning Area 7b, also shown in Figure III-7, comprises 4.82-acres and is a storm water conveyance facility which will accept offsite riverine storm flows from the Shenandoah Springs/Tri Palm Estates community to the immediate west and south, convey it southerly to the southeasterly boundary of Specific Plan No. 386, where behind a weir, it will be allowed to accumulate until at grade at which time it will be slowly outlet as sheet flow to the east.

See Chapter II C, Specific Plan, for a discussion of this improvement.

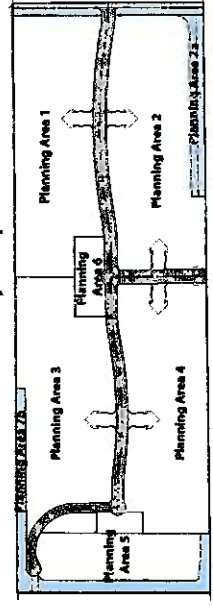
#### 2. **Land use and Development Guidelines**

Please see Zoning Ordinance in Section V.



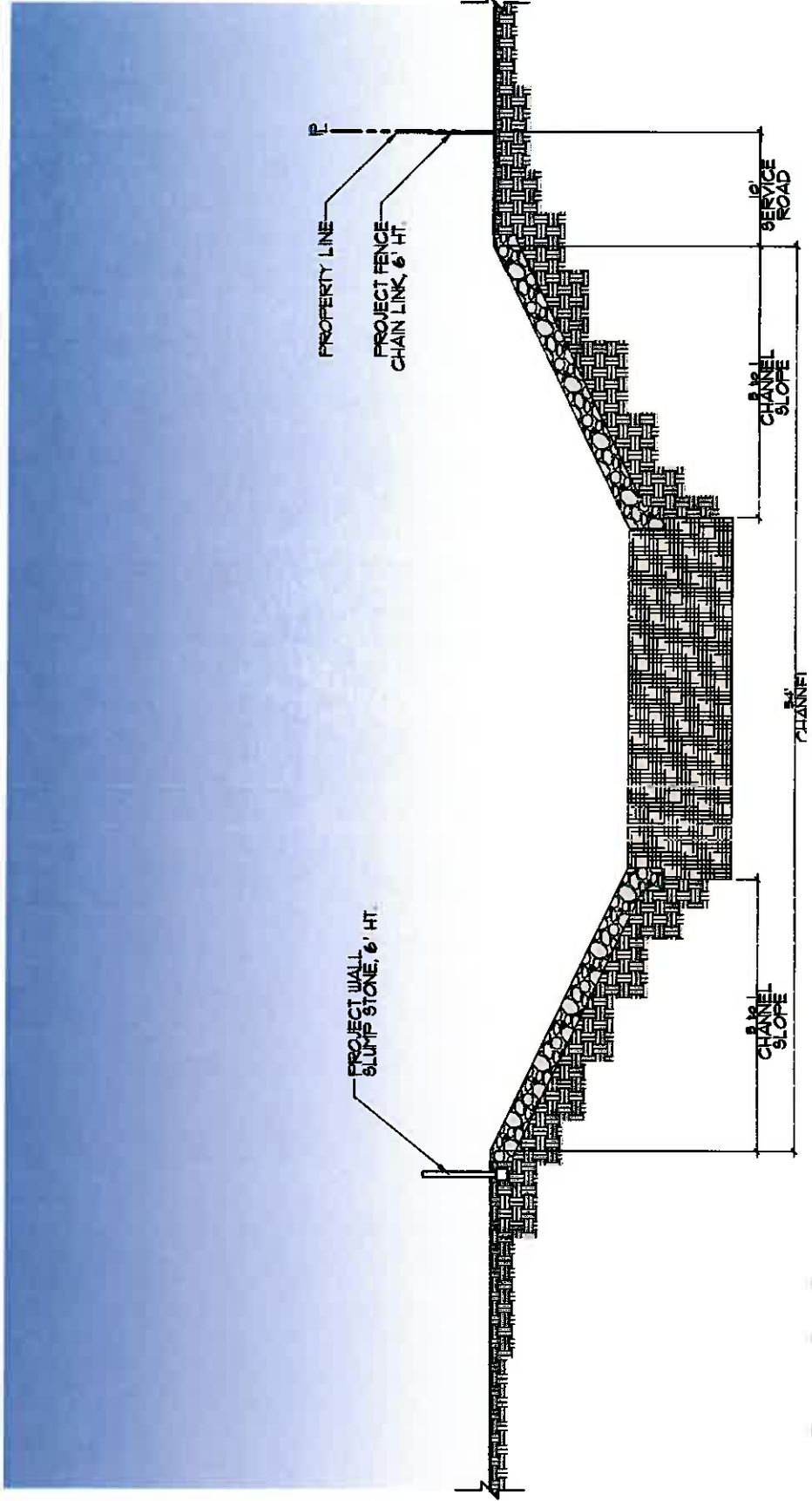
- Legend:**
- Parkway
  - Flood Control Channel
  - Main Access
  - Community Emergency Ingress and Egress
  - Emergency Access (Potential Secondary Exit)
  - Dog Park
  - Neighborhood Parks
  - Collector Road
  - Possible Trail Linkages
  - Pocket Parks
  - Monumentation
  - Solar Arrays/Detention Area
  - Southern California Edison Easement
  - 102' Traffic Circle
  - Multi-Purpose Pedestrian Trail
  - Neighborhood Entry (Potential for Gates)
  - Local Street to Gated Emergency Ingress and Egress

**Key Map**



**Figure III-7**

**Planning Areas 7a & 7b  
Thousand Palms 278 Specific Plan No. 386**



Source: Hermann Design Group, 2016



Planning Area 7a - Channel Cross-section  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 III-8

### 3. Planning Standards for Planning Areas 7a and 7b

1. Site plan for Planning Areas 7a and 7b shall be generally consistent with the conceptual illustration depicted in **Figure III-7, Planning Areas 7a and 7b.**
2. Regarding Planning Area 7a, landscaping, fencing and associated features shall be consistent with Planning Area 7a cross-sections west and east of the project entry presented in **Figure III-8, Planning Area 7a Cross-sections.**
3. Regarding Planning Area 7b, landscaping, fencing and associated features shall be consistent with the plan view perspective of the drainage channel in relation to adjoining land uses depicted on **Figure IV-30, Conceptual Solar Field/Retention Area Plan.**
4. Please refer to **Chapter IV, Design Guidelines**, for other related design criteria.
5. Please refer to **Chapter II, Specific Plan**, for the following standards that apply site-wide:

<b>II.A Land Use Plan</b>	<b>II.F Open Space &amp; Recreation Plan</b>
<b>II.B Circulation Plan</b>	<b>II.G Conceptual Grading Plan</b>
<b>II.C Master Drainage Plan</b>	<b>II.H Project Phasing</b>
<b>II.D Master Water Plan</b>	<b>II.I Maintenance Plan</b>
<b>II.E Master Sewer Plan</b>	<b>II.J Public Safety Services</b>

## IV. Design Guidelines

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### A. Purpose and Intent

The Design Guidelines for this Specific Plan are intended to provide standards of development for the project and to create an aesthetically cohesive living environment. Additional objectives of these guidelines are:

- 5) Provide clear direction to developers of the site to the theme and intent of the Specific Plan, thus reducing the likelihood of confusing interpretation and subjective decisions associated with the Specific Plan's implementation.
- 6) Address architectural design, landscape design, and other common community features of the project such as walls, fencing, trails, entry gates and parks.
- 7) Create lively and attractive neighborhoods with activities and areas of interest for all.
- 8) Provide continuity and compatibility with surrounding projects in the area.
- 9) Define a range of architectural styles to give the development a diverse yet cohesive high quality appearance.
- 10) Add a new and attractive community that will complement and enhance the Thousand Palms Community.

These Design Guidelines are intended to be flexible to respond over time to changes in trends, community desires and market conditions.

### B. Introduction

The theme, architectural design and physical characteristics of Specific Plan No. 386 are defined by the use of the following three elements: Landscape Design Guidelines, Architectural Design Guidelines, and Energy and Water Efficiency Guidelines.

**The Landscape Guidelines** are comprised of key elements such as entry monuments, streetscapes, edge conditions between land uses, community walls and fences, parks and trails. A plant palette is also presented to create a landscape plan that is compatible with the proposed community design and will emphasize drought tolerant plant selections.

**The Architectural Design Guidelines** include standards for site planning and product layout. The guidelines address the different lot configurations with minimum required setbacks and the relationships between the various residential products. Also, proposed architectural styles are depicted to serve as a reference for the design of residences in the project.

**The Energy and Water Efficiency Guidelines** propose measures to be implemented to improve the environmental efficiency of the project. Energy performance standards have the ultimate goal of achieving a community which minimizes energy and water usage while providing residents with a high quality life style along with the satisfaction of being part of a cutting edge environmentally sensitive community.

## **C. Community Theme**

The Coachella Valley has evolved from an agricultural outpost to a fully-fledged urban and suburban area. In its evolution the area has seen several architectural styles being developed in response to its climate and history. Some of those styles can be described as “Contemporary Architecture” and “Mediterranean Styled Architecture”. The latter can be further subdivided into “Spanish Style” and “Italianate Style”. Another style, California Modern, is also relevant with the resurgence of the Palm Springs Modern Movement. The combination of the four styles has the distinction of adding variety and interest to the current urban fabric of the valley. The idea is to celebrate those prominent architectural styles of the Coachella Valley in a lush, yet environmentally sound, desert landscaped setting. The architectural style anticipated to be reflected in any particular residential neighborhood is unknown at this time and will become more apparent as merchant builders incrementally build out SP000386.

## **D. Site Planning Characteristics**

Planning Areas 1 through 4 offer a variety of residential development opportunities. A number of lotting options and architectural treatments are provided to allow residences that are affordable and appealing to a wide variety of buyers including: age restricted, young families, services and public employees, young professionals and empty nesters. Figures IV-1, 2 and 3 illustrate typical, one family dwellings with garages oriented in both the front and the rear of the buildings, and parking court approaches to site planning. Should site design result in individual lots not abutting a street that project would have to be facilitated with a condominium map.

The following pages contain the different lot layouts that can be used in each of the residential Planning Areas.

## **E. Architectural Design Guidelines**

### **1. Architectural Criteria**

The architectural styles depicted in these design guidelines are meant only as a reference. They are by no means exact renditions of future buildings. They depict the kind of elements and composition motifs to be followed to achieve a community with design continuity.

### **2. Architectural Styles**

Four architectural styles are proposed to achieve the selected theme of “Desert Variations”. The styles are: “Contemporary,” “Spanish Mediterranean,” “Italianate,” and “California Modern”. The idea is to use any of these styles freely throughout the project to achieve design variations and an interesting neighborhood with design appeal.

#### **a) Contemporary Architectural Style**

Contemporary Architecture, illustrated in Figures IV-4 and IV-5, has its roots in a group of Architects of the mid Twentieth Century that decided to break out of the old traditions of Classic Architecture and propose a style devoid of superfluous decoration where form follows function. Palm Springs embraced the contemporary architectural movement with great intensity. Consequently, while examples of mid-



century modern built homes can be found throughout the Coachella Valley, the largest concentration this architectural style can be found in Palm Springs.

Partial Site Plan



**Legend:**

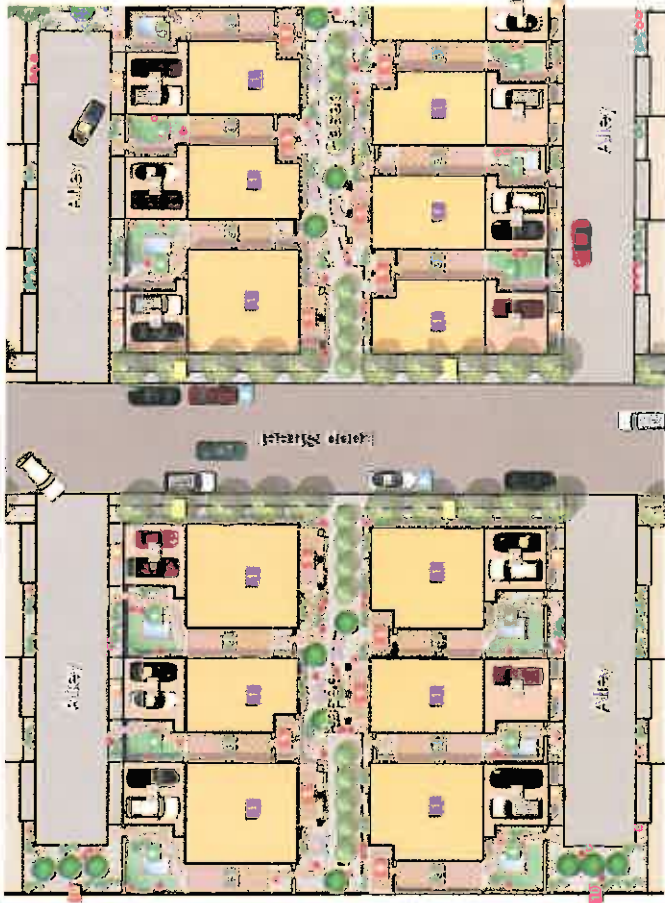
- 1st Floor Livable Space
  - 2 Car Garage
  - California Patio
  - Backyard/ Opt. Pool & Spa
  - Front Porch
  - Car Driveway
  - P.U.E.
  - Side Architecturally Treated Facade @ Corners
  - 5' Min. Side Setbacks
  - Property Boundary
  - 1 Story House Italianate Styled
  - 2 Story House Contemporary Styled
  - 2 Story House Spanish Style
- Graphic Scale For Partial Site Plan:  
 0' 10' 30' 60'

Typical Street Elevations



Conceptual Lot Details - One Family Dwellings  
 Thousand Palms 278 Specific Plan No. 386

Figure IV-1



Partial Site Plan

**Legend:**

- 1st Floor Livable Space
- 2 Car Garage
- Patio
- Garden/ Opt. Spa
- Front Porch
- Front Patio
- P.U.E.
- Off Street Parking
- 5' Driveway
- Property Boundary
- A. 1 Story Contemporary Style House Rear Loaded
- B. 2 Story Spanish Style House Rear Loaded
- C. 2 Story Italianate Style House Rear Loaded

View of Typical Paseo Elevations

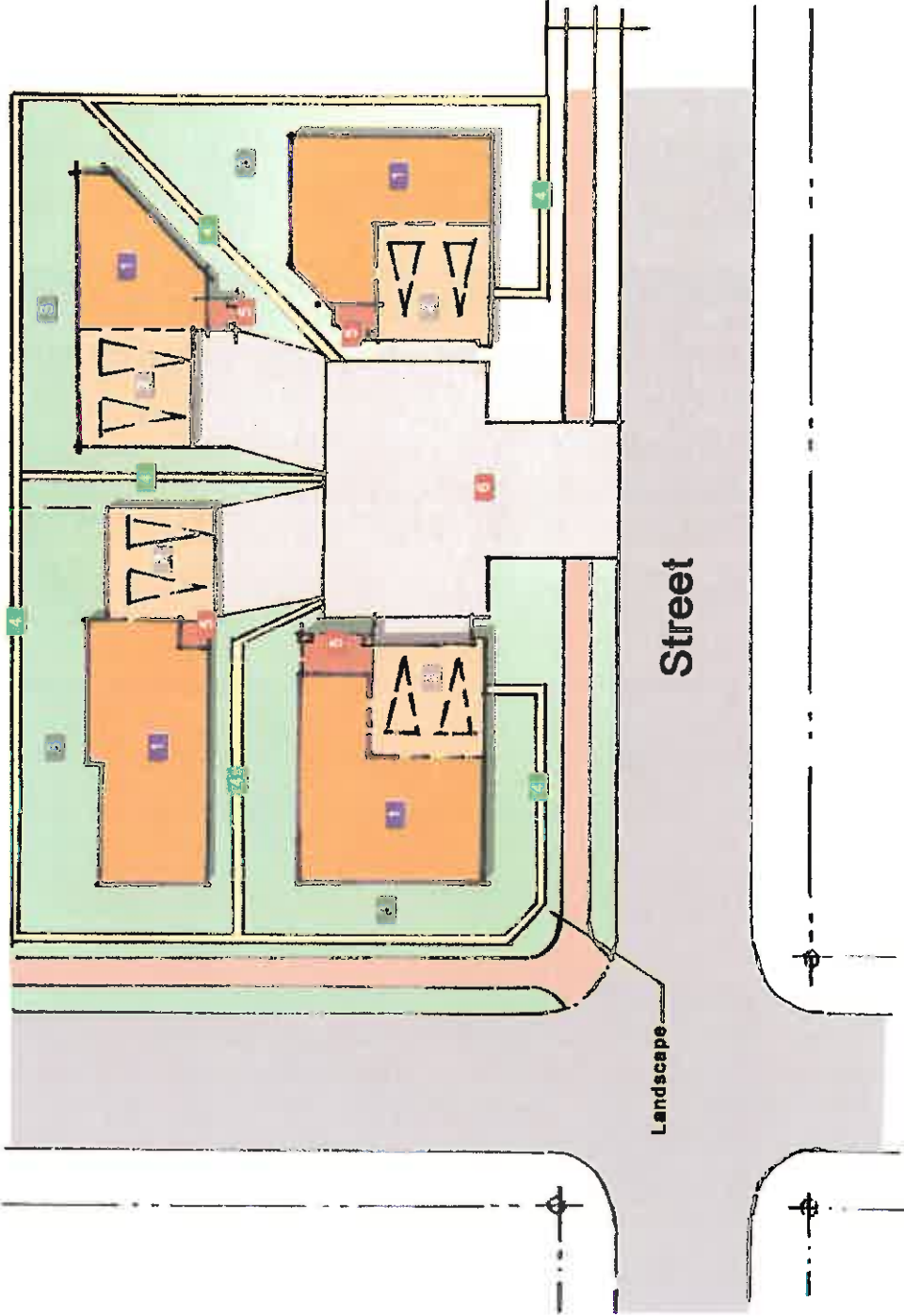


Conceptual Lot Details - One Family Dwellings with Garages in the Rear of the Building  
Thousand Palms 278 Specific Plan No. 386



**Legend:**

- 1 1st Floor Livable Space
- 2 Car Garage
- 3 Backyard
- 4 Wall
- 5 Front Porch
- 6 Common Driveway



**Lots are clustered around a courtyard  
One driveway serves 4 lots**



Conceptual Lot Details - Clustered One Family Dwellings  
Thousand Palms 278 Specific Plan No. 386

Figure  
IV-3



The main characteristics of Contemporary Style Architecture are (see Figure IV-6):

- 11) Clean rectilinear lines
- 12) Use of hipped roofs with wide overhangs
- 13) Flat concrete tiles
- 14) Horizontal rows of windows
- 15) Broad square columns and pilasters
- 16) Horizontal decorative emphasis. Square pop-out and recess accents
- 17) Upper portions of windows divided into small geometric patterns
- 18) Simplicity and lack of decoration
- 19) Rectangular windows and doors
- 20) Forms inspired by function
- 21) Beams, open floor plans and structural elements are exposed to the viewer
- 22) Materials are shown in their natural form

***b) Spanish Architectural Style***

The Spanish Style of architecture has deep roots in Southern California. The building style traditions of Spain and Mexico are still in use throughout Southern California. The main characteristics of the Spanish Style are (see Figures IV-7, 8, and 9):

- 23) Use of gabled roofs with Spanish concrete or clay tiles
- 24) Textured or smooth stucco walls
- 25) Arched top windows and doors
- 26) Decorative iron work
- 27) Deep recesses at door entries and windows
- 28) Balconies, pot shelves and clay pipe accents
- 29) Exposed rafter tails known as vigas
- 30) Courtyards
- 31) Arched top colonnades
- 32) Stone accent wainscots

One Family Dwellings 1 Story



**Legend:**

- 1 Hip roofs
- 2 Square windows
- 3 Flat concrete tiles
- 4 Rectilinear pop-out accents
- 5 Contemporary entry door
- 6 Flat lintel at entry porch
- 7 Square plain columns at porch
- 8 Contemporary mullions design
- 9 Flat lintel at garage door

One Family Dwellings 2 Story



**Legend:**

- 1 Hip roofs
- 2 Square windows
- 3 Flat concrete tiles
- 4 Rectilinear pop-out accents
- 5 Contemporary entry door
- 6 Modern design light fixtures
- 7 Flat lintel at entry porch
- 8 Square plain columns at porch
- 9 Contemporary mullions design
- 10 Flat lintel at garage door



Contemporary Architectural Style - One Family Dwellings  
Thousand Palms 278 Specific Plan No. 386

Figure  
IV-4



One Family Dwellings with Garages in the Rear of the Building 1 Story



**Legend:**

- 1 Hip roofs
- 2 Square windows
- 3 Flat concrete tiles
- 4 Rectilinear pop-out accents
- 5 Contemporary entry door
- 6 Rectilinear porch railings
- 7 Modern design light fixtures
- 8 Flat lintel at porch
- 9 Square plain columns at porch
- 10 Contemporary mullion design

One Family Dwellings with Garages in the Rear of the Building 2 Story



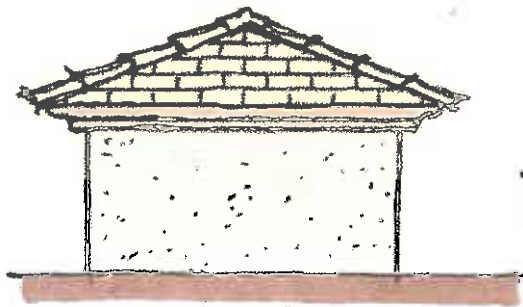
**Legend:**

- 1 Hip roofs
- 2 Square windows
- 3 Flat concrete tiles
- 4 Rectilinear pop-out accents
- 5 Contemporary entry door
- 6 Rectilinear porch railings
- 7 Modern design light fixtures
- 8 Flat lintel at porch
- 9 Square plain columns at porch
- 10 Contemporary mullion design

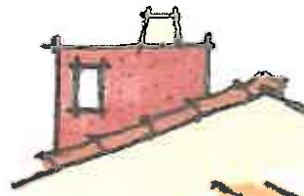


Contemporary Architectural Style - One Family Dwellings with Garages in the Rear of the Building  
Thousand Palms 278 Specific Plan No. 386

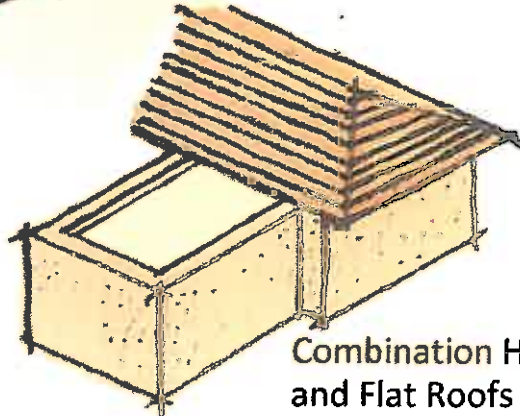
Figure IV-5



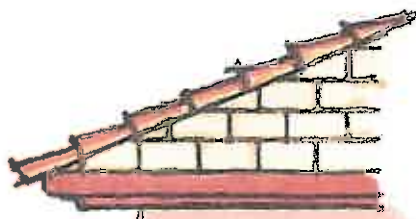
Hipped Roofs



Rectangular Horizontal Chimneys



Combination Hipped and Flat Roofs

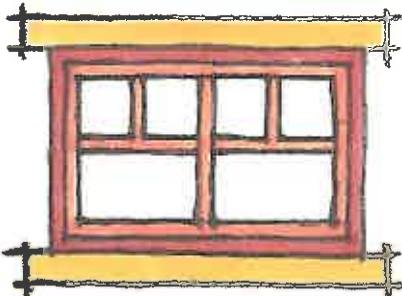


Flat Concrete or Clay Tile

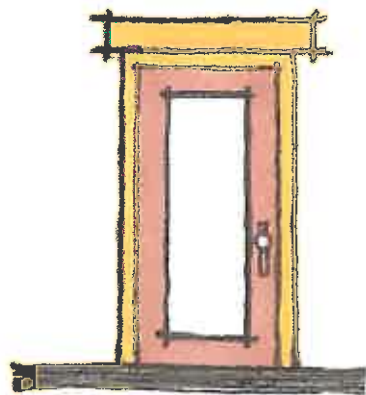
Light Fixtures of Contemporary Design



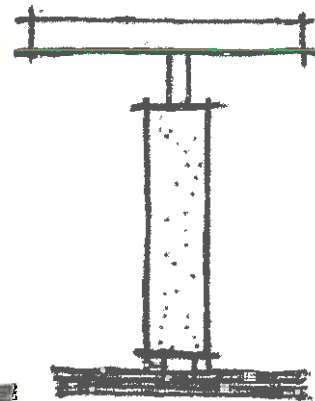
Horizontal Flat Pop-outs



Horizontal Windows With Rectangular Patterns for Mullions



Contemporary Designs of Entry Doors W/ Tempered Glass



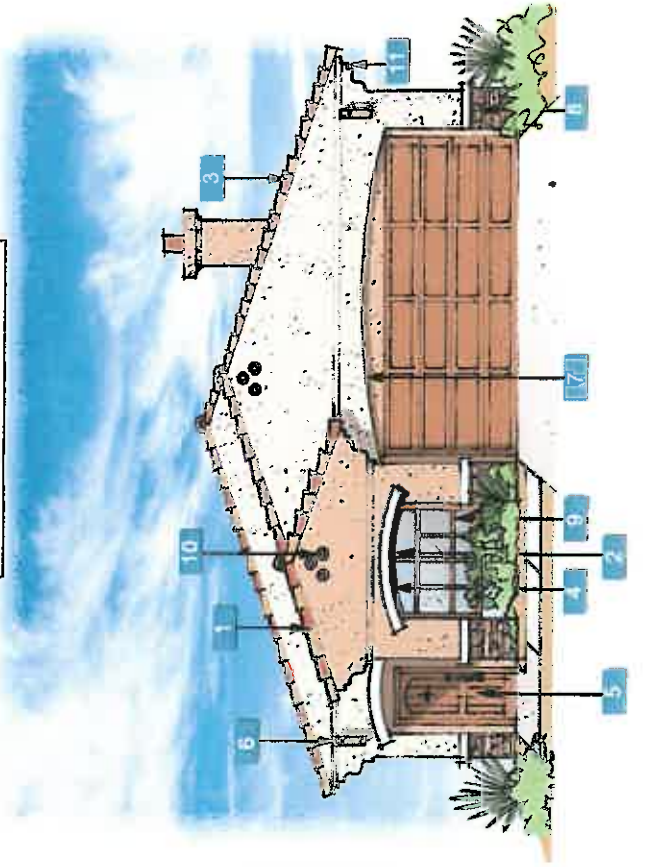
Shade Structures W/ Horizontal Lines and Square Columns



Architectural Details - Contemporary Style  
Thousand Palms 278 Specific Plan No. 386

Figure IV-6

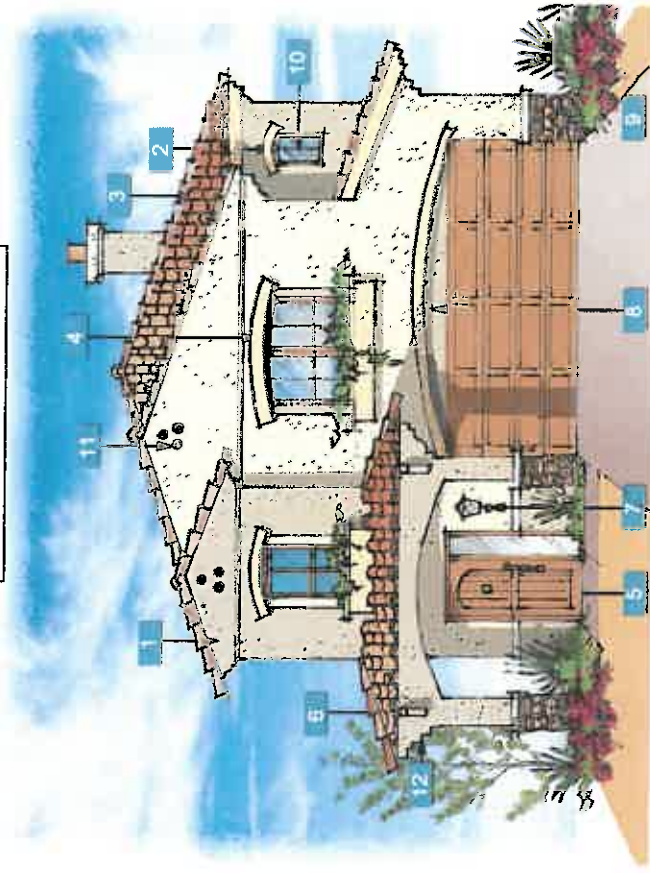
One Family Dwellings 1 Story



**Legend:**

- 1 Roof gables
- 2 Some arch-top windows
- 3 Spanish concrete tiles
- 4 Arched pop-out accents
- 5 Traditional design entry door
- 6 Decorative wood end-cuts
- 7 Arched reveal over garage door
- 8 Stone veneer at column wainscot
- 9 Traditional mullion design
- 10 Clay pipes accent
- 11 Spanish cornice section profile accent

One Family Dwellings 2 Story



**Legend:**

- 1 Roof gables
- 2 Some arch-top windows
- 3 Spanish concrete tiles
- 4 Arched pop-out accents
- 5 Traditional design entry door
- 6 Decorative wood end-cuts
- 7 Spanish styled light fixtures
- 8 Arched reveal over garage door
- 9 Stone veneer at column wainscot
- 10 Traditional mullion design
- 11 Clay pipes accent
- 12 Spanish cornice section profile accent



Spanish Architectural Style - One Family Dwellings  
Thousand Palms 278 Specific Plan No. 386

Figure IV-7



One Family Dwellings with Garages  
in the Rear of the Building 1 Story



**Legend:**

- 1 Roof gables
- 2 Spanish cornice section profile accent
- 3 Spanish concrete tiles
- 4 Pop-out accents
- 5 Traditional design entry door
- 6 Decorative wood end-cuts
- 7 Spanish styled light fixtures
- 8 Arched lintel over porch
- 9 Stone veneer at column wainscot
- 10 Traditional mullion design
- 11 Clay pipes accent

One Family Dwellings with Garages  
in the Rear of the Building 2 Story



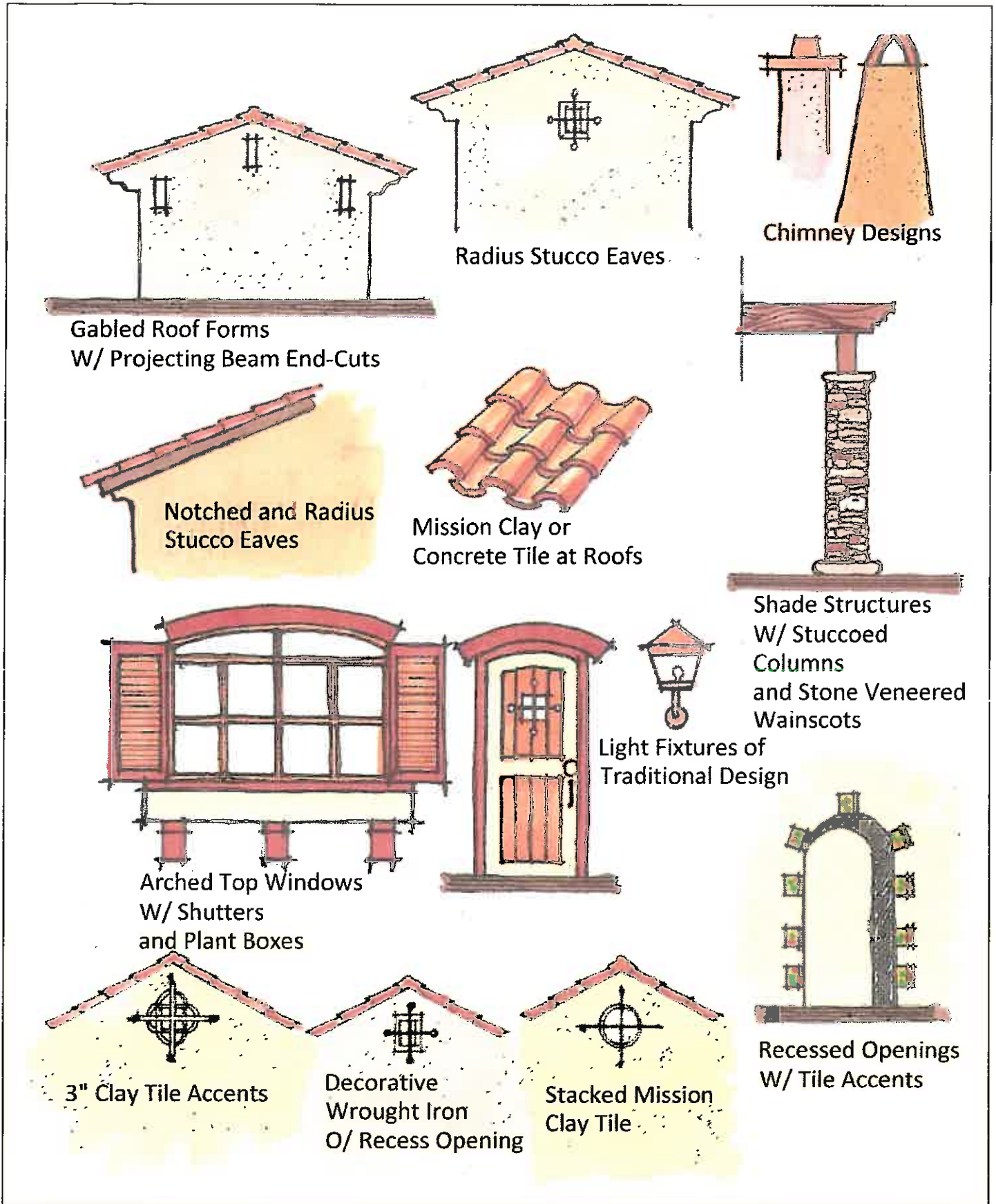
**Legend:**

- 1 Roof gables
- 2 Some arch-top windows
- 3 Spanish concrete tiles
- 4 Arched pop-out accents
- 5 Traditional design entry door
- 6 Decorative wood end-cuts
- 7 Spanish styled light fixtures
- 8 Arched lintel over porch
- 9 Stone veneer at column wainscot
- 10 Traditional mullion design
- 11 Clay pipes accent
- 12 Spanish cornice section profile accent



Spanish Architectural Style - One Family Dwellings with Garages in the Rear of the Building  
Thousand Palms 278 Specific Plan No. 386

Figure  
IV-8



Architectural Details - Spanish Style  
Thousand Palms 278 Specific Plan No. 386

Figure  
IV-9

**c) *Italianate Architectural Style***

The Italianate Style, illustrated in Figures IV-10 and IV-11, is inspired by the informal classicism of the old villas of Italy. It combines a picturesque way of interpreting architecture by combining classic elements of architecture with informal interpretations of traditional aesthetics. The style is very popular throughout the Coachella Valley and adapts well to the desert environment due to its warmth and rich character. The main characteristics of the Italianate Style are (see Figure IV-12):

- 33) Low pitched Hip roofs with curved concrete or clay tiles
- 34) Light textured stucco walls
- 35) Arched top windows and doors
- 36) Picturesque accent elements such as balustrades, shutters, light fixtures and quoins
- 37) Use of louvered wood or prefabricated shutters
- 38) Arched top colonnades
- 39) Stone accent wainscots
- 40) Use of moldings and classic shaped columns
- 41) Loggias that soften outdoor exposure and invite outdoor living

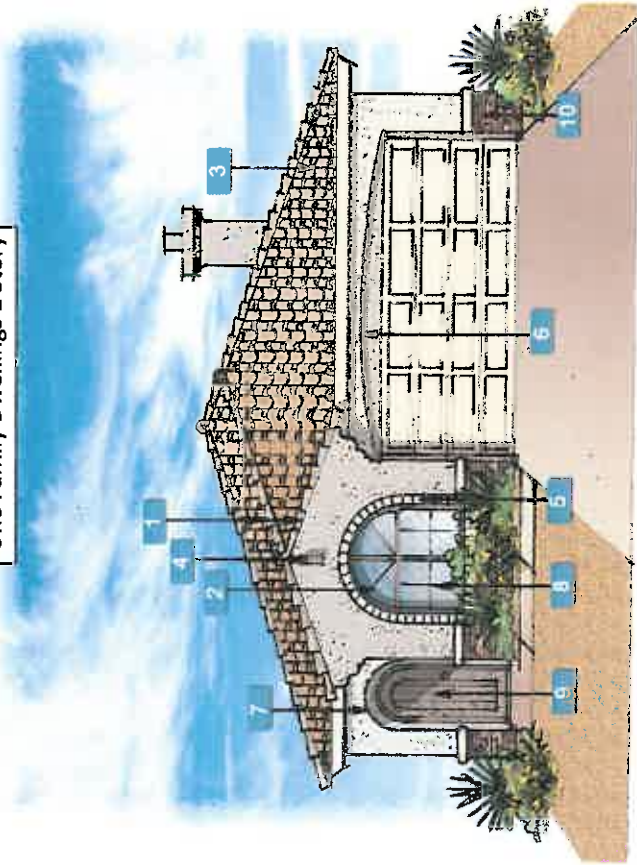
**d) *California Modern Architectural Style***

The California Modern style of Architecture, illustrated in Figure IV-13, seeks simplicity of form and design. It is inspired by the idea that form follows function. California Modern style is free of clutter and unnecessary elements. The focus is on the space itself, rather than on any decorations not relevant to the overall design. The main characteristics of the California Modern Style are (see Figure IV-14):

- Use of simple forms
- Form follows function
- Large horizontal windows with large glazed areas
- Linear design where horizontal lines predominate
- Bold roof lines with pronounced overhangs and flat roofs
- Structural elements are exposed to the viewer
- Post and beam Architecture
- Windows as a design element with many floor to ceiling windows and many sliding doors
- Lack of decoration
- Nothing to hide. Materials are shown as they are, nothing is hidden or altered to look like something else



One Family Dwellings 1 Story



**Legend:**

- 1 Combination of gables and hips
- 2 Some arch-top windows
- 3 Curved concrete tiles
- 4 Wood end-cuts
- 5 Decorative tile accents
- 6 Arched reveal over garage door
- 7 Archway at entry porch
- 8 Traditional mullion styling
- 9 Traditional entry door
- 10 Stone veneer wainscot

One Family Dwellings 2 Story

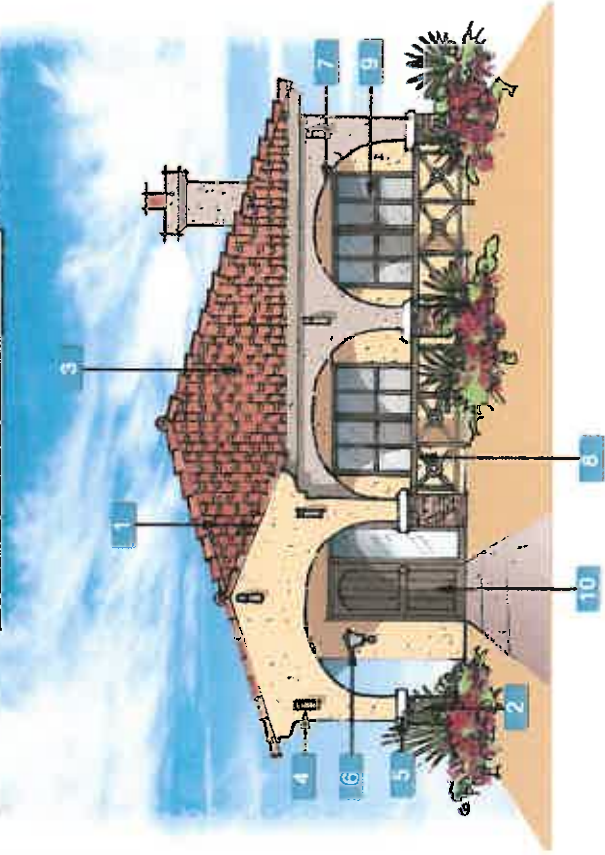


**Legend:**

- 1 Combination of gables and hips
- 2 Some arch-top windows
- 3 Curved concrete tiles
- 4 Wood end-cuts
- 5 Decorative tile accents
- 6 Diagonal cross steel cage accent
- 7 Decorative shutters
- 8 Arched reveal over garage door
- 9 Archway at entry porch
- 10 Traditional mullion styling
- 11 Traditional entry door
- 12 Stone veneer wainscot



One Family Dwellings with Garages  
in the Rear of the Building 1 Story



**Legend:**

- 1 Combination of gables and hips
- 2 Stone veneer wainscot
- 3 Curved concrete tiles
- 4 Wood end-cuts
- 5 Curved pop-out of wainscot
- 6 Italian style light fixture
- 7 Arched colonnade at porch
- 8 Diagonal cross metal railing
- 9 Traditional mullion styling
- 10 Traditional Entry Door

One Family Dwellings with Garages  
in the Rear of the Building 2 Story



**Legend:**

- 1 Combination of gables and hips
- 2 Some arch-top windows
- 3 Curved concrete tiles
- 4 Wood end-cuts
- 5 Decorative tile accents
- 6 Diagonal cross steel cage eave
- 7 Decorative shutters
- 8 Arched colonnade at porch
- 9 Diagonal cross metal railing
- 10 Traditional mullion styling
- 11 Traditional Entry Door
- 12 Stone veneer wainscot



Italianate Architectural Style - One Family Dwellings with Garages in the Rear of the Building  
Thousand Palms 278 Specific Plan No. 386

Figure  
IV-11

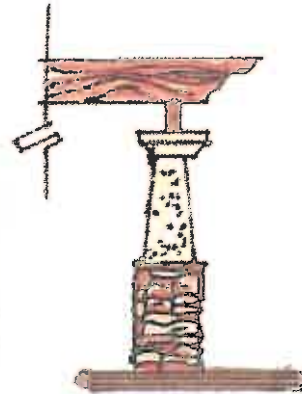




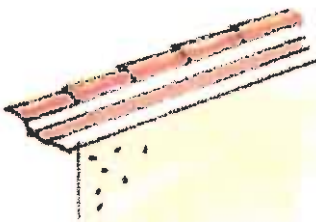
Chimney Designs



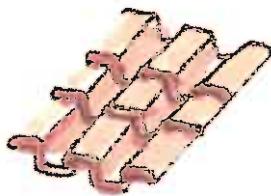
Paired Windows  
W/ Corbeled Roof  
And Brackets



Shade Structures  
W/ Precast Columns  
and Stone Veneered  
Wainscots



Foam Moldings at  
Fascias

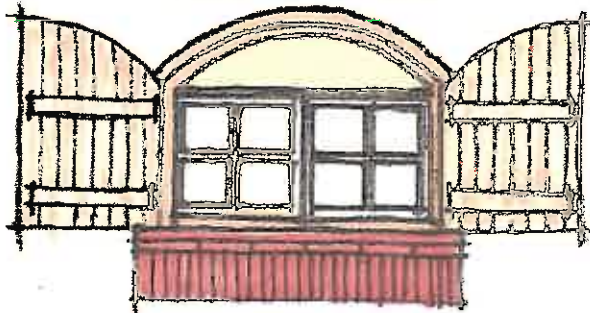


S-Curved Clay or  
Concrete Tile at Roofs



Light Fixtures of  
Traditional Design

Curved Pop-Outs



Arched Top Windows  
W/ Bow Shutters  
and Wrought Iron Boxes



Traditional Door  
W/ Stone Surround

Traditional Door  
W/ Precast Conc.  
Sorround



Combination Gabled  
and Hipped Roofs

One Family Dwellings 2 Story



- Legend:**
- 1 Flat roofs
  - 2 Square windows
  - 3 Metal garage door w/ translucent glass panels
  - 4 Rectilinear pop-out accents
  - 5 Contemporary entry door
  - 6 Smooth finish stucco walls
  - 7 Flat lintel at entry porch
  - 8 Square plain columns at entry
  - 9 Contemporary metal fence design w/ horiz. bands
  - 10 Flat lintel at garage door

One Family Dwellings with Garages in the Rear of the Building 2 Story



- Legend:**
- 1 Flat roofs
  - 2 Square windows
  - 3 Front porch w/ square lines design
  - 4 Rectilinear pop-out accents
  - 5 Contemporary entry door
  - 6 Smooth finish stucco walls
  - 7 Flat lintel at entry porch
  - 8 Square plain columns at entry
  - 9 Contemporary metal fence design w/ horiz. bands



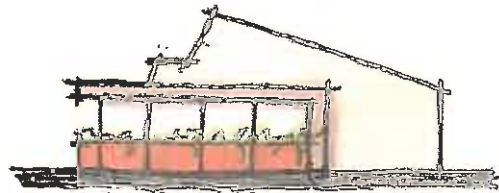
California Modern Architectural Style  
 Thousand Palms 278 Specific Plan No. 386

Figure IV-13

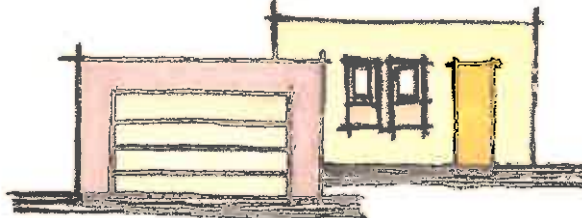




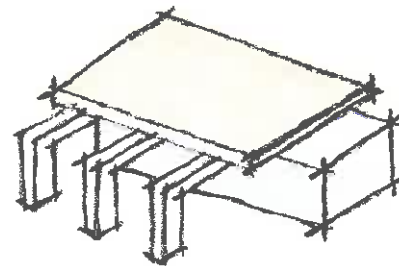
California Modern  
Architectural Style



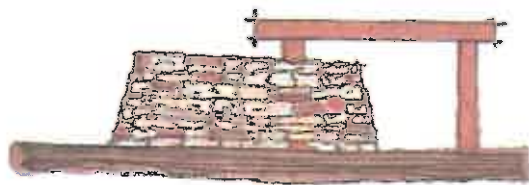
Inclined Lines



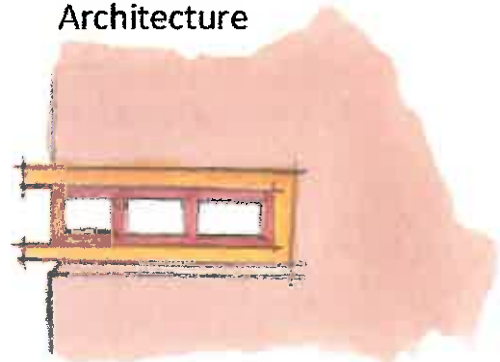
Forms Inspired By Function



Post and Beam  
Architecture



Nothing to Hide Materials Shows in  
Their Natural Form No Ornamentation



Windows as Design Elements  
Extensive Use of Glazing



## **F. Landscape Design Guidelines**

The purpose of these guidelines is to provide an organized and cohesive approach to the landscape design for Specific Plan No. 386. Thematic elements can be expressed through the creative use of both plant material and the community elements within the landscape such as walls, fencing, and signage. Flexibility is built into the plant palette and provides for choices of materials for streetscapes, parks, edge conditions, entries, and open space. The use of date palm trees at key locations provides one of the organizing elements for the project.

### **1. Overview**

The Coachella Valley is classified as a “tropical desert” where there can be frost in the winter and temperatures that can reach 120 degrees in the summer. The coldest month is typically December and the hottest is typically July. The average annual rainfall is less than four inches, and it normally occurs in the fall and winter with occasional monsoonal conditions that bring in higher levels of humidity and intermittent rainfall in the summer. While water in the desert is held in an aquifer below the desert floor and is in good supply, managing the Valley’s groundwater is a continuing priority within the Coachella Valley Water Districts’ Water Management Plans. Every effort needs to be, and is being, made to minimize the use of water in the landscape design for this community. As previously mentioned, a Water Supply Assessment has been prepared for this development and has final approval from the CVWD Board of Directors. The following discussion presents an inter-related program of landscape design elements which integrates hardscape and xeriscape features specifically tailored to facilitate both water conservation and aesthetic enhancement.

### **2. Landscape Design**

The Specific Plan No. 386 Community Theme of a “tropical desert” includes architectural and landscape guidelines that respond to our arid environment. High quality landscape and architectural treatments are essential to enhance the outdoor living environment many residents come to the Coachella Valley to experience. It is important that private and public outdoor spaces have adequate shade to reduce the harsh aspects of heat and to minimize the amount of energy spent cooling buildings and cars. Landscape design will follow Riverside County Ordinances 859 and 348, the Coachella Valley Water District Requirements, and AB 1881.

The Landscape Design Guidelines’ main objective is to provide highly water efficient, yet colorful and eye pleasing designs by using a series of thematic elements specially designed to reinforce the community’s identity along with carefully selected plant material.

Those thematic elements are:

- Streetscapes
- Monumentation
- Shade
- Walls and Fences/Edge Conditions
- Lighting
- Parks and Recreation

- General Landscape Conditions
- Irrigation
- Plant Palette

### **3. Streetscapes**

Streetscapes in the community are intended to give a sense of direction and permanence. Streetscapes shall have a variety of trees, plants, shrubs and different groundcovers. Each road within the road section hierarchy will have a distinct streetscape, as illustrated in Figures IV-15 through IV-20. Landscaping treatment include medians, sidewalks, trees and different plant groupings. All landscaping shall incorporate drought resistant plants as well as utilize efficient irrigation technologies.

#### ***a) Major Highway Streetscape***

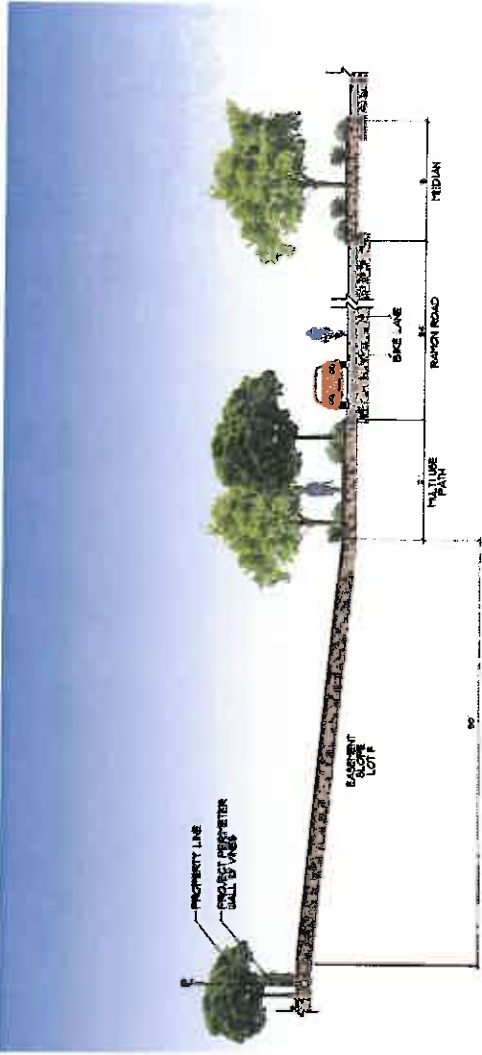
Ramon Road is the only major highway passing by the community. The streetscape along Ramon Road shall consist of a 21-foot landscaped parkway with a five-foot meandering decomposed granite trail that links the adjoining property to the Coachella Valley Preserve and a Class I Bikeway. In addition, Ramon Road shall have a 10-foot landscaped median. See Figure IV-15.

#### ***b) Primary Entry Access***

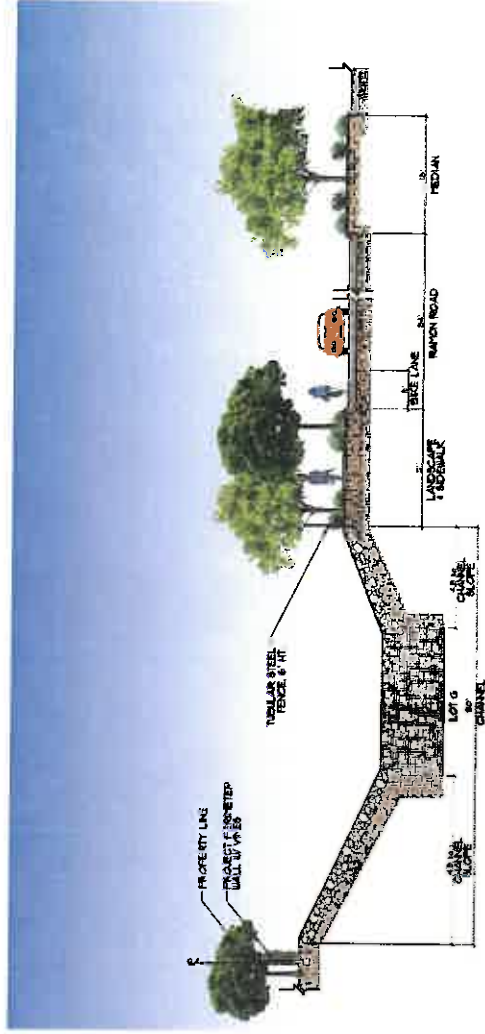
The entry road will run south from Ramon Road. A raised median will be constructed to separate inbound and outbound traffic. See Figure IV-16.

#### ***c) Traffic Circle Streetscape***

Specific Plan No. 386 includes traffic circles placed at key intersections. The streetscape for these elements shall consist of a central landscaped circular median covered with decomposed granite and groups of ornamental plants and accent trees. See Figure IV-17.



WEST OF ENTRY - RAMON ROAD SECTION



EAST OF ENTRY - RAMON ROAD SECTION

Source: Hermann Design, 2017

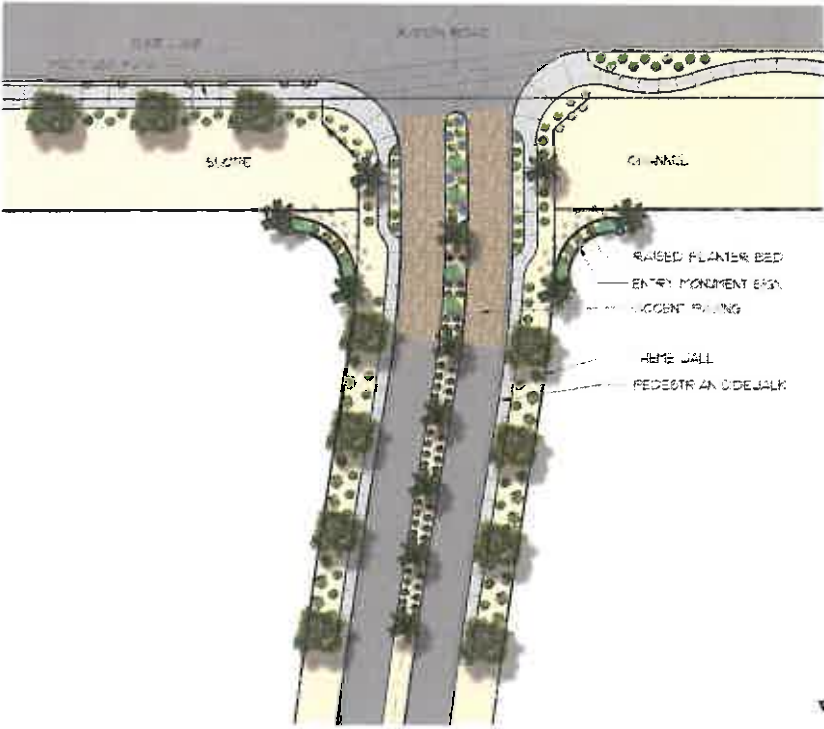


Thousand Palms 278 Specific Plan No. 386

Conceptual Ramon Road Streetscape & Cross-Section  
 Thousand Palms 278 Specific Plan No. 386



View looking south



Source: Hermann Design Group, 2017



Conceptual Ramon Road Entry Access Plan  
 Thousand Palms 278 Specific Plan No. 386

Figure IV-16



Source: Hermann Design Group, 2016



Conceptual Traffic Circle Plan  
Thousand Palms 278 Specific Plan No. 386

Figure  
IV-17



**d) Collector Street Streetscape**

As shown in Figure IV-18, collector roads contain two vehicular lanes separated by a ten-foot landscape median that is envisioned to be planted with date palms spaced at 25 feet. On those portions of the collector road with an ultimate right of way width of 88-feet, each side of the road will have a 19-foot landscaped parkway containing a five-foot meandering sidewalk, decomposed granite groundcover and groups of colorful shrubs and accent trees. On those portions of the collector road with an ultimate right of way width of 76-feet, the landscaped parkway will have a width of 13-feet and comprise the same elements.

**e) Local Street (60-foot right of way) Streetscape**

There will be a five-foot landscaped parkway and a five-foot sidewalk on each side of the road (See Figure IV-19).

**f) Private Local Street (41-foot right of way) Streetscape**

A 36-foot drive is provided for private local streets. Landscaped areas shall fall inside the front setback area of each individual parcel fronting a private street (A Cross-section for a Private Local Street is provided on previous Figure II-3).

**g) Cul-de-Sac Streetscape**

Cul-de-Sac streets are lined with accent trees. Cul-de-sacs, where appropriate, will feature a pedestrian sidewalk or trail linking the terminus with open space areas in the community.

**4. Monumentation**

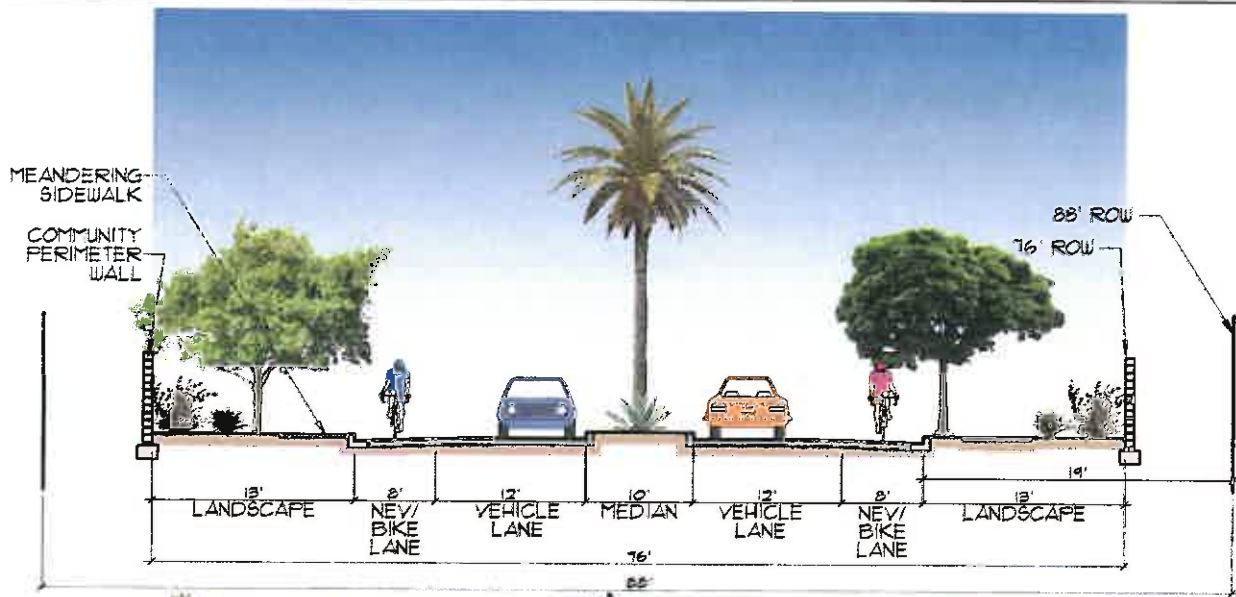
The intent of the community monumentation is to provide identification of the development as well as the different areas of the Specific Plan, and to communicate the overall theme of the project. The Conceptual Monumentation Plan shows the locations of community monumentation (See Figure IV-20). The hierarchy of monuments is as follows:

**a) Primary Entry Monumentation**

The primary entry monumentation is located at the main entrance to the community at the intersection of Ramon Road and the collector road serving the community. The primary monumentation treatment consists of two signage areas located on each side of the entrance. They are envisioned to be six to eight foot masonry walls with a smooth stucco finish and recessed areas for lettering. They will be flanked by large, ledgerstone veneered pilasters. Date palms are envisioned to be the primary tree at this location. A landscaped area in a semi-circular shape will be located in front of each signage element to create a colorful accent area for shrubs and flowers. See Figure IV-21.

**b) Neighborhood Entry Monumentation**

These signs will be located at all neighborhood entrances within the project. These are envisioned to be four-foot masonry walls with a smooth stucco finish and a ledgerstone veneer pilaster to the side. The neighborhood's identification will be placed over the stucco using raised letters that are attached to the wall. A landscaped area will be located in front of the signage wall and will create a colorful accent area for shrubs and flowers. See Figure IV-22.

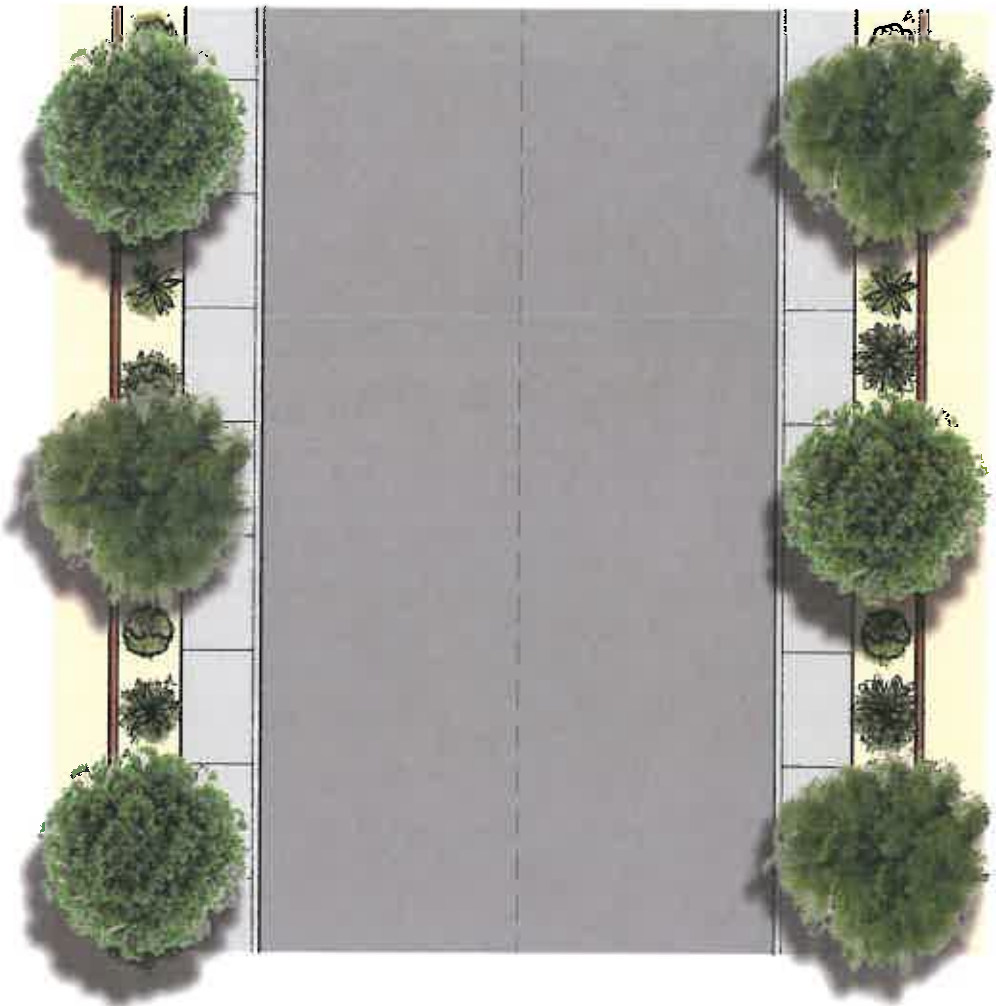
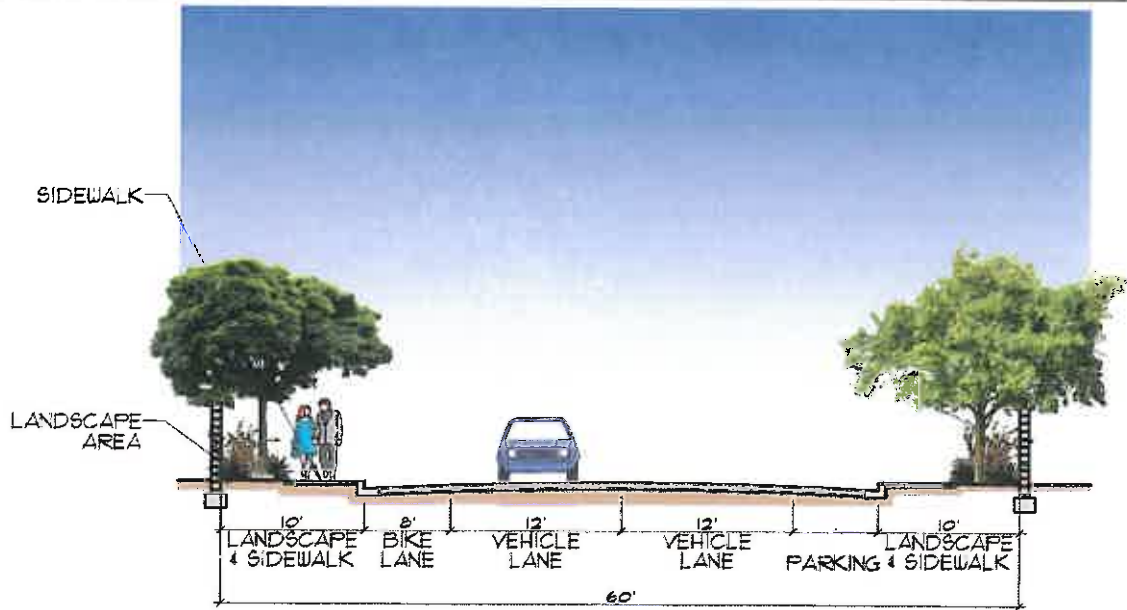


Source: Hermann Design Group, 2017



Conceptual Collector Street Streetscape & Cross-section  
Thousand Palms 278 Specific Plan No. 386

Figure  
IV-18

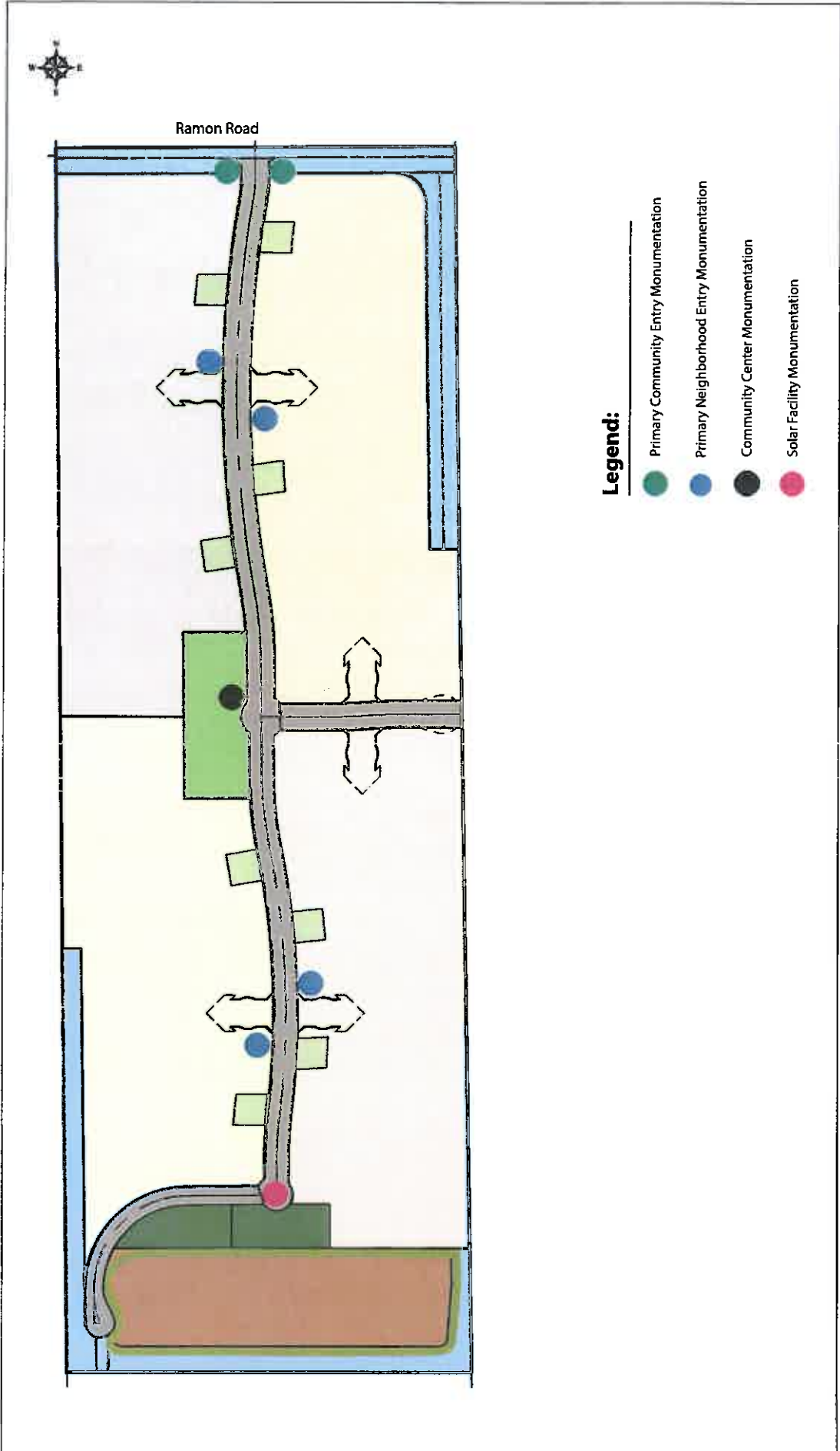


Source: Hermann Design Group, 2017



Conceptual Local Street (60' ROW)  
 Streetscape & Cross-section  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 IV-19



**Legend:**

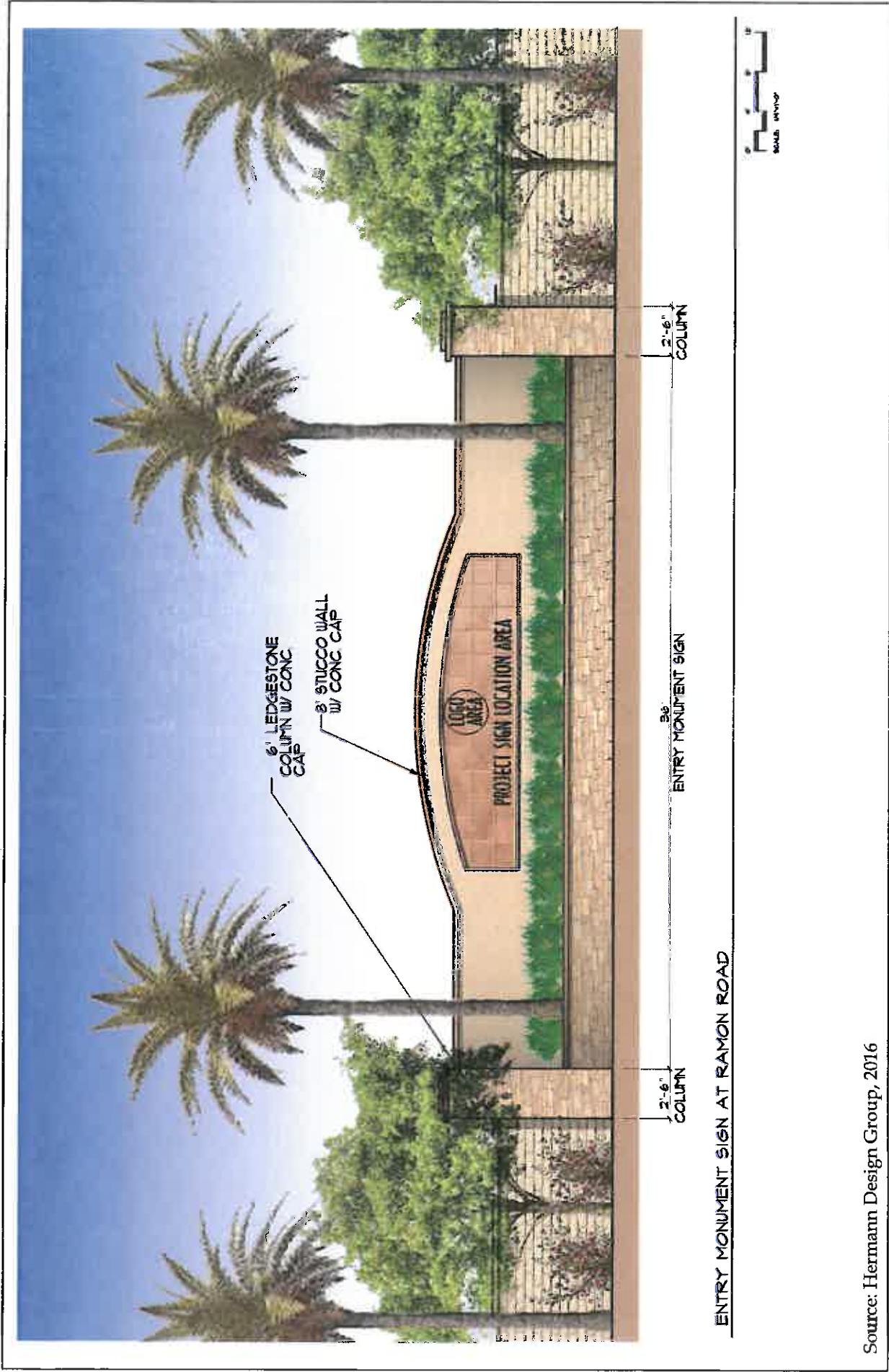
- Primary Community Entry Monumentation
- Primary Neighborhood Entry Monumentation
- Community Center Monumentation
- Solar Facility Monumentation

Figure IV-20

Conceptual Monumentation Plan  
Thousand Palms 278 Specific Plan No. 386







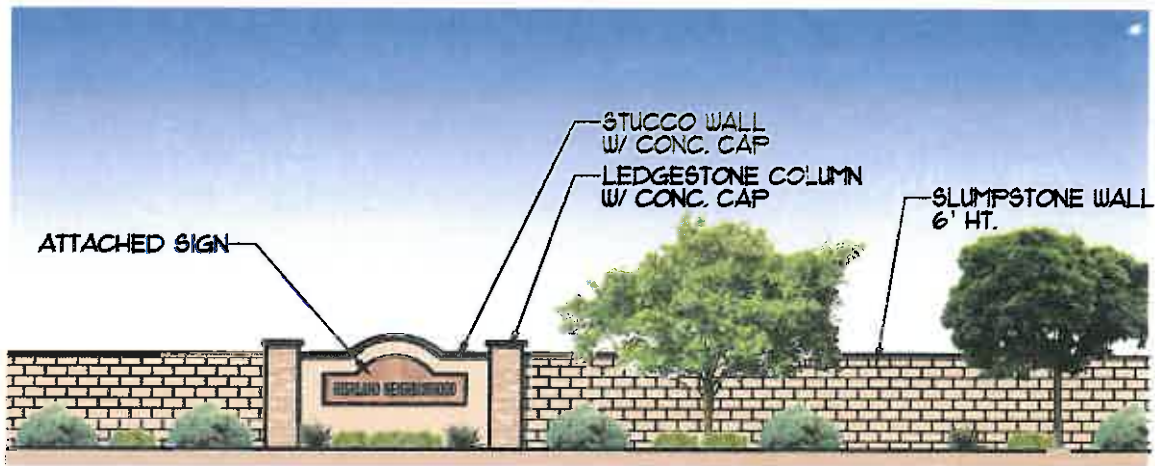
Source: Hermann Design Group, 2016



Conceptual Primary Entry Monumentation  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 IV-21





Source: Hermann Design Group, 2016



Conceptual Neighborhood Entry Monumentation  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 IV-22

**c) Community Center Monumentation**

This sign will be located at the main entrance to the Community Center. It is envisioned as a four-foot masonry wall with a stucco finish and a ledgerstone veneer pilaster to the side of the signage area. The Community Center landscaped area located in front of the signage wall will create a colorful accent area for shrubs and flowers. See Figure IV-23.

**d) Shared Solar Generating Facility Monumentation**

A sign identifying the solar facility will be located at the main access point to that facility. It is envisioned as a five-foot masonry wall with a stucco finish and a ledgerstone veneer pilaster to the side of the signage area. The sign identification will be placed over the stucco using raised letters that are attached to the wall. See Figure IV-24.

**5. Shade**

All parks and other passive recreational facilities within Specific Plan No. 386 will feature landscaping and physical shade structures, such as cabanas or picnic shelters, which create shade over amenities such as play equipment, trail paths, pools, and lawn play areas. Additionally, all on-site trails, sidewalks, and pedestrian paseos shall feature shading at predictable intervals to encourage pedestrian activity and bicycle use through the community. Riverside County Ordinances 859 and 348 will be used as a guideline to meet all shading requirements.

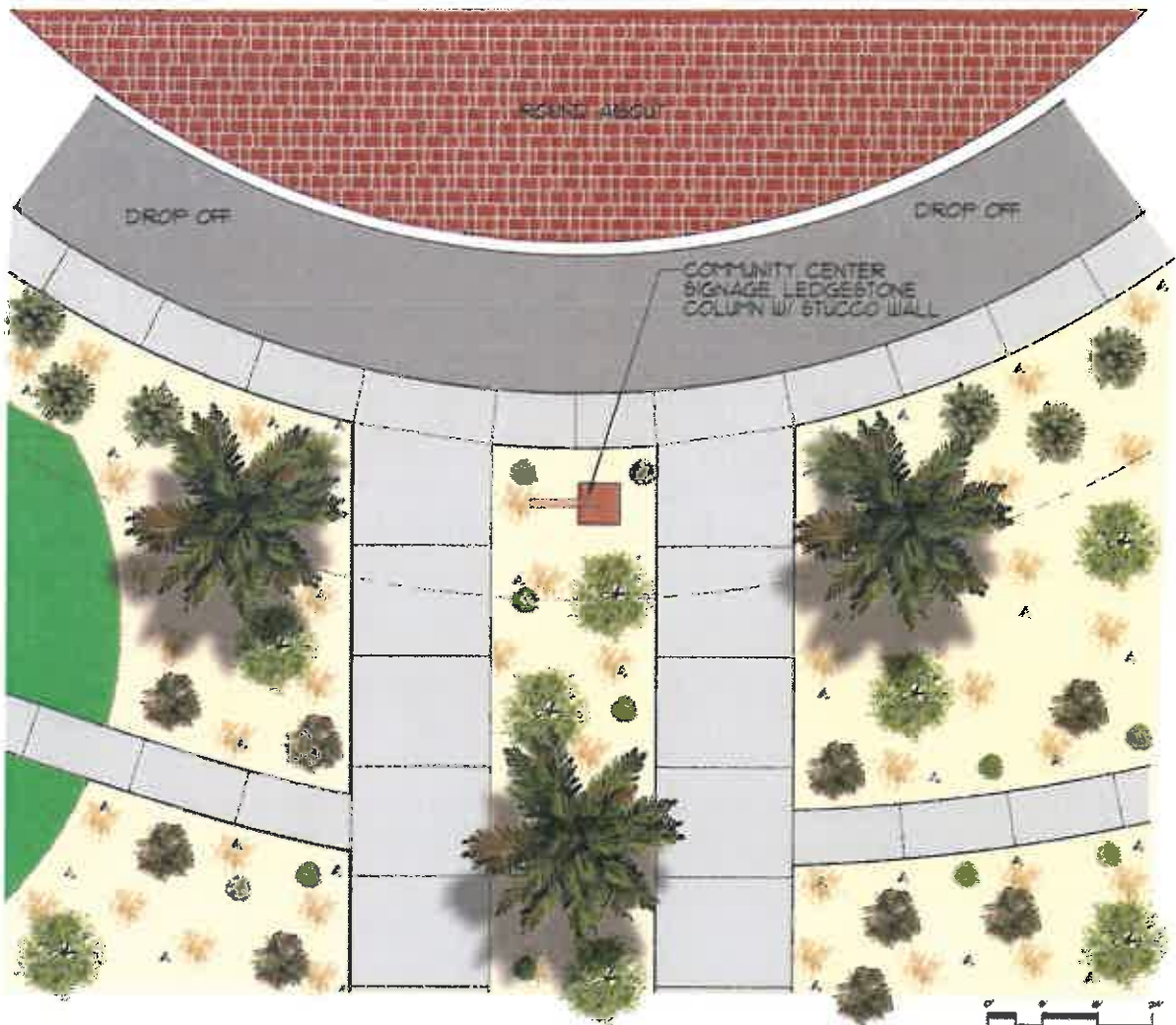
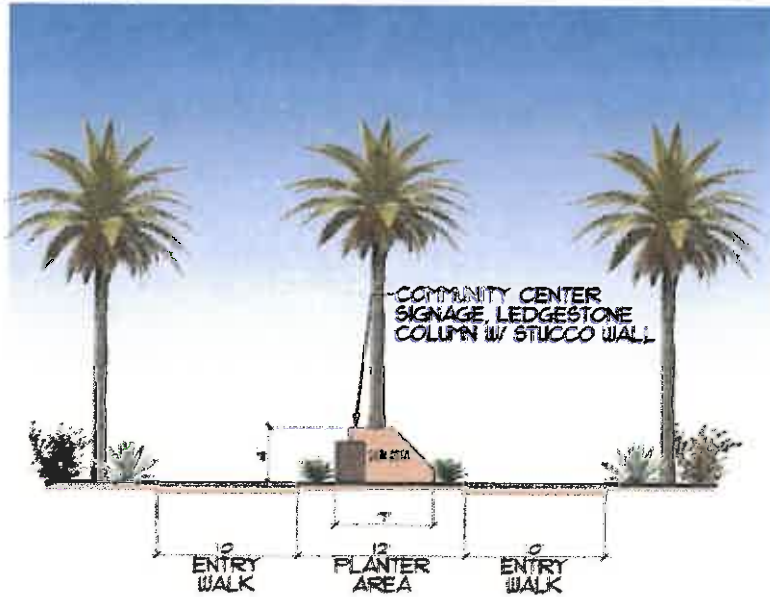
**6. Walls and Fences/Edge Conditions**

As shown in Figure IV-25, Conceptual Wall and Fence Plan, and Figure IV-26, Conceptual Wall and Fence Details, various types of walls and fencing are proposed within the Specific Plan No. 386 community, based on different edge conditions that occur within the community. The following statements apply to the use of fences and walls.

- The installation of fences and perimeter walls shall be permitted within a parcel with the purpose of providing security, sound attenuation, and separation of functional activities and screening of unsightly functions;
- Fences and walls around a parcel perimeter shall be at least 6-feet tall to screen lots from pedestrian views;
- All fences and walls shall be designed to be an integral part of the architectural theme for the community;
- Landscape materials to be used as an integral part of the fencing shall be encouraged; and
- Fences and walls shall not impair the safe flow of vehicles or pedestrian circulation.

**a) Residential-Open Space Retention**

Based upon these conditions, a transition between slumpstone perimeter wall and tubular steel fencing is seen throughout the project. Slumpstone perimeter wall measuring 30" in height is intended where residential lots abut retention areas, while tubular steel fencing measuring 42" high will be used where Local Street or other non-lotted property abuts the retention areas. For a graphical depiction, see Figure IV-26.



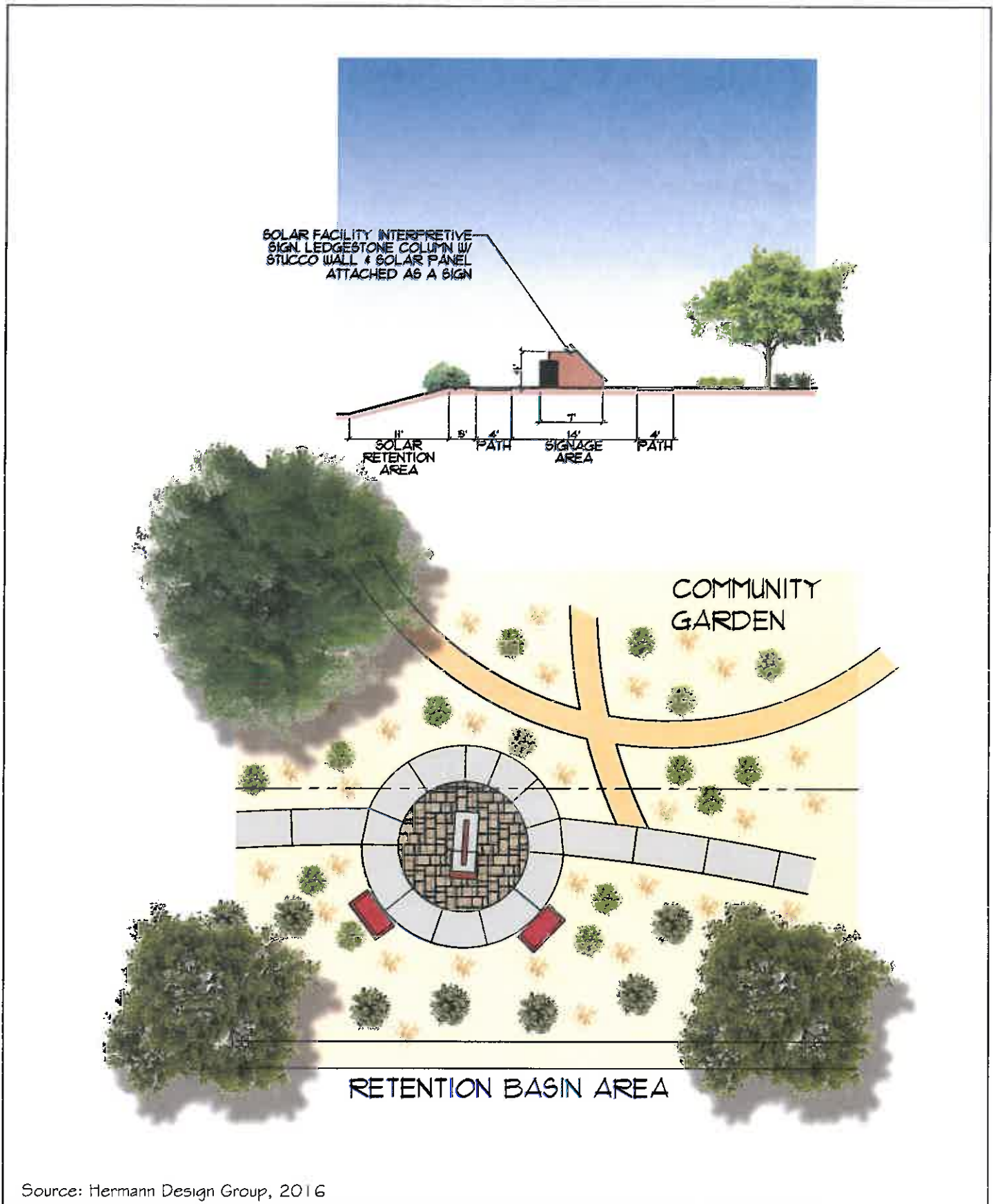
Source: Hermann Design Group, 2014



Conceptual Community Center Monumentation  
 Thousand Palms 278 Specific Plan No. 386

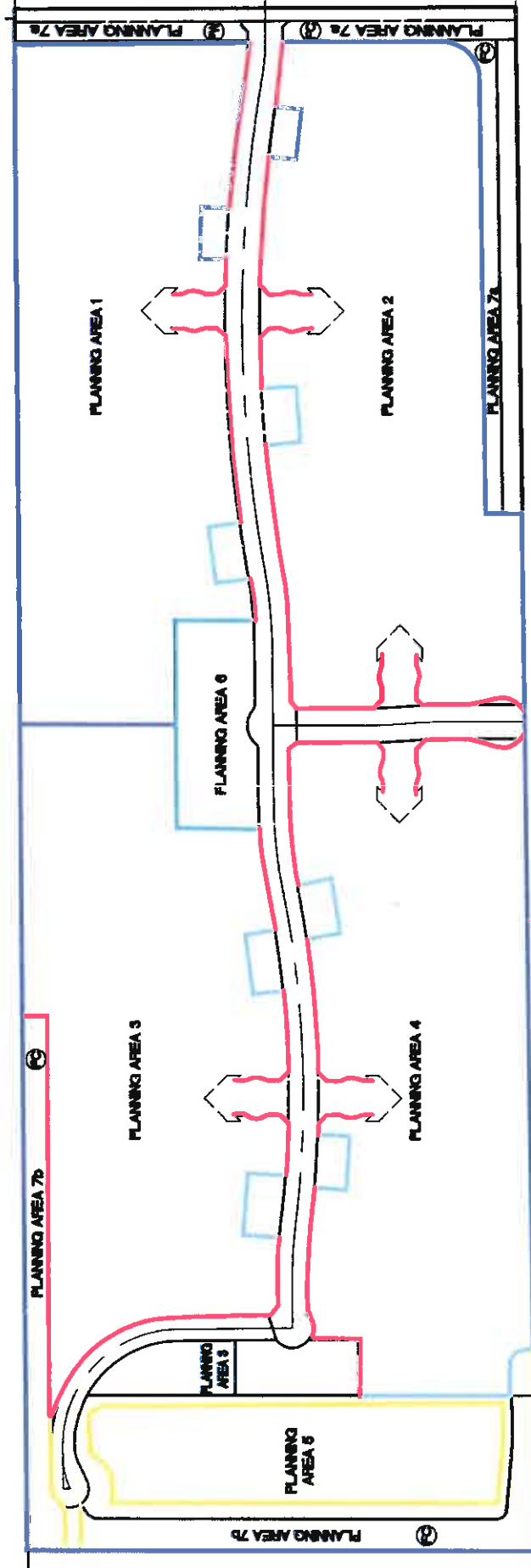
Figure  
 IV-23





Conceptual Solar Facility Monumentation  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 IV-24



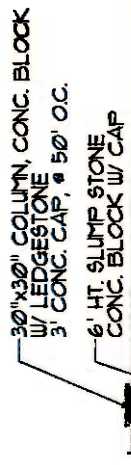
**Legend**

- Project Perimeter Wall
- Community Perimeter Wall
- Community Combination Fence/Wall
- View Fence
- Residential Wall

Conceptual Wall and Fence Plan  
 Thousand Palms 278 Specific Plan No. 386



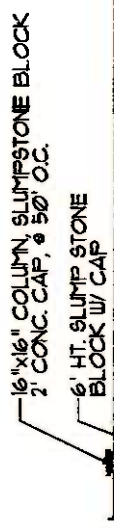




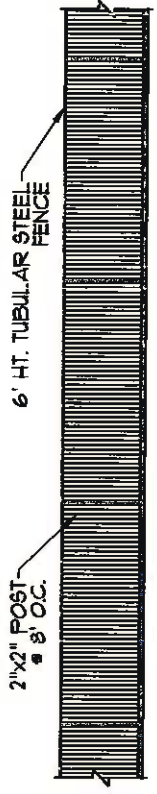
A PROJECT PERIMETER WALL @ RAMON RD.



D COMMUNITY COMBINATION FENCE/WALL-EDGE CONDITION RESIDENTIAL & FLOOD CONTROL



B COMMUNITY PERIMETER WALL-EDGE CONDITION RESIDENTIAL & OPEN SPACE



E VIEW FENCE-EDGE CONDITION @ SOLAR FIELD, RETENTION, & DOG PARK



C RESIDENTIAL WALL-EDGE CONDITION RESIDENTIAL & ADJACENT RESIDENTIAL

Source: Hermann Design Group, 2016



Conceptual Wall and Fence Details  
Thousand Palms 278 Specific Plan No. 386

Figure IV-26

**b) Residential along Ramon Road and Flood Control Channel**

A six-foot high slumpstone wall with 30" x 30" ledgerstone veneered pilasters at a 50-foot interval will separate residential uses of the community from the flood control channel running along Ramon Road. See Figure IV-26.

**c) Collector Street to Residential**

A six-foot high slumpstone wall with 18" x 18" pilasters at a 50-foot interval will separate residential uses from the collector street. See Figure IV-26.

**d) Residential and Adjacent Properties**

This transition provides for a six-foot high slumpstone perimeter wall adjacent to residential property lines. See Figure IV-26.

**e) Open Space/Parks to Residential/Dog Park**

A six-foot high tubular steel fence will separate parks/open space to residential areas and the dog park.

**7. Lighting**

- Lighting must be functionally and aesthetically appropriate and properly scaled to both the pedestrian and the vehicular areas of the development;
- Luminaries shall be placed to minimize glare or excessive light spillage on other parcels or adjacent off-site property; intensity shall be no greater than required standards for safe vehicle and pedestrian safety;
- Building illumination and architectural lighting shall reinforce the community's theme. Indirect wall lighting and overhead down lighting is encouraged;
- Light fixtures shall match the architectural styling of the buildings;
- Landscape lighting shall be used to highlight landscape features such as accent trees, slopes or pedestrian areas;
- String lights with small (no flashing) bulbs may be used to highlight trees and other landscape features. The light source for pedestrian area lighting shall be metal halide or improved color mercury vapor. Luminaries and standards chosen must remain consistent with those used throughout the development matching style, color and light distribution; and
- All low lighting fixtures shall be color corrected mercury vapor type lamps or metal halide.

**8. Parks and Recreation**

A system of open space areas, trails, neighborhood parks, and a Community Center provide residents of Specific Plan No. 386 with a variety of passive and active recreational opportunities. Along the main Collector Street a system of intersecting trails, sidewalks and bike paths connect with a series of 0.25-acre passive/active pocket parks. Preliminarily, eight (8) of these park spaces are anticipated. The specific locations of these pocket parks are as yet unknown. However, as shown on Figure IV-27, it is expected that each side of the Collector Street will have four at relatively evenly spaced intervals.

Following are other open space, park and recreation elements provided in SP000386:

**a) Community Center**

A 2.5-acre Community Center will be located along the western frontage of the main collector street at its approximate mid-point. It will have a clubhouse (3,500sf – 4,000sf), community-size pool, spa, shade cover, tot-lot, pickle ball courts, bocce ball courts, and picnic facilities within thematic garden areas (See Figure IV-28).

**b) Neighborhood Park**

A 1-acre Neighborhood Park is located at the southern end of Planning Area 3. This park has a passive recreational orientation and includes a Community Garden Area with raised planter beds, Aromatherapy Garden, a variety of pedestrian trails and walkways, shaded rest areas with benches, and a Shared Solar Array Interpretive Exhibit. See Figure IV-29.

**c) Dog Park**

Located at the southern end of Planning Area 4 immediately adjacent to the Neighborhood Park in Planning Area 3 is a 1-acre Dog Park. The dog park will provide a large dog area and small dog area, each with separate gated access. Walkways, drinking fountains, shaded seating areas, trash receptacles and landscaping will be provided. See Figure IV-29.

**d) Open Space Areas**

There will be several small open space areas located at each residential cluster and around the retention area (See previous Figure II-7).

**e) Solar Field/Retention Area**

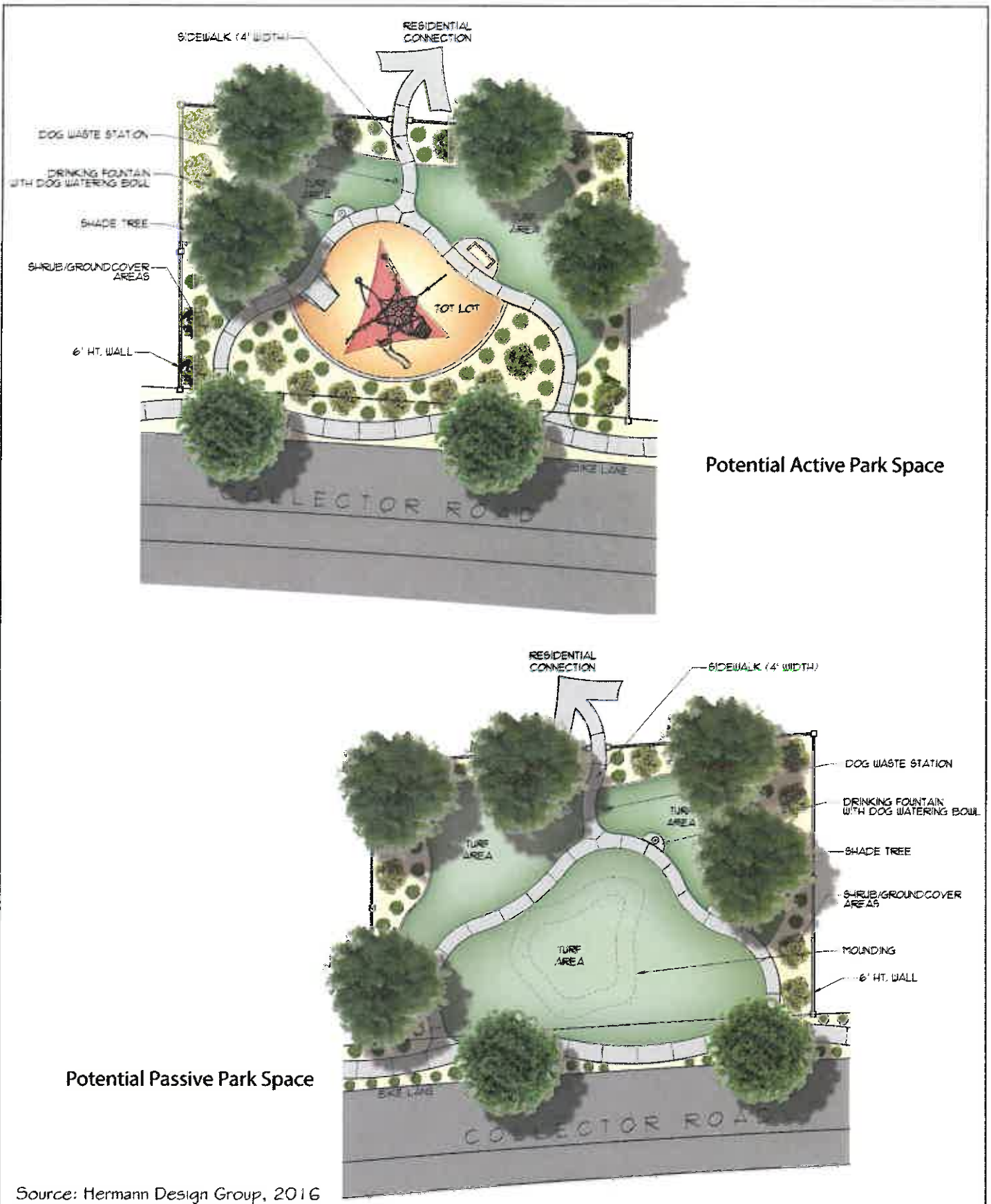
As shown in Figure IV-30, the Solar Field will include open space areas, a retention area, a peripheral fitness circuit, and a solar array next to the Neighborhood Park and Dog Park in Planning Areas 3 and 4, respectively.

**9. General Landscape Conditions**

Maintenance responsibility of the landscape on streetscape right-of-way and common areas, parks, trails and recreation areas shall be provided by a maintenance district or Homeowner's Association (HOA). Individual homeowners are responsible for the maintenance of the landscaping within their properties. They are also responsible for the maintenance of the walls and fences built on their properties.

**10. Irrigation**

Irrigation design will meet CVWD design standards and AB 1881. Irrigation will be designed to accommodate grade differences by separating zones for top, center, and bottom of slope. All spray and



Source: Hermann Design Group, 2016



Conceptual Quarter Acre Park Spaces  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 IV-27



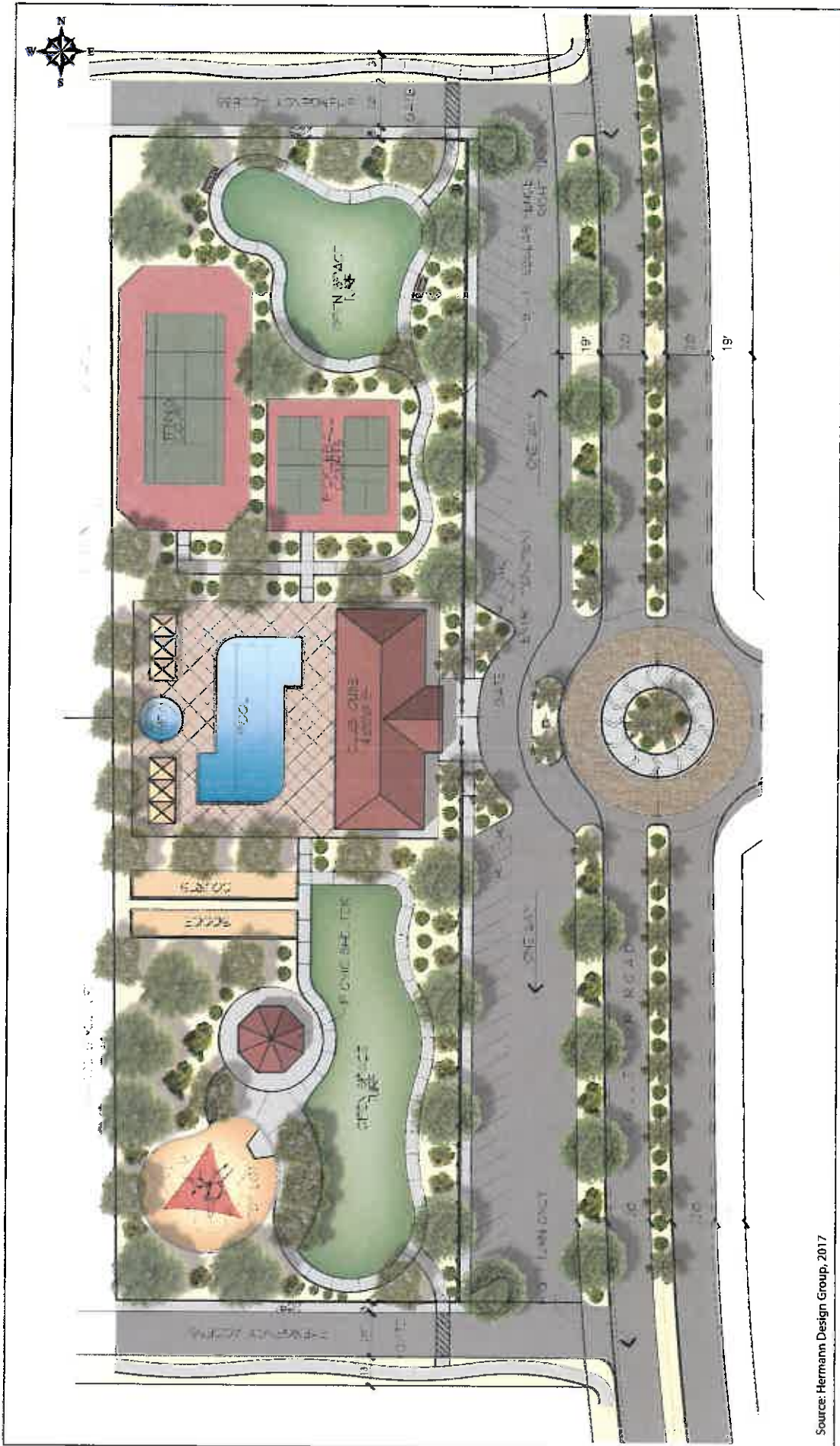


Figure IV-28

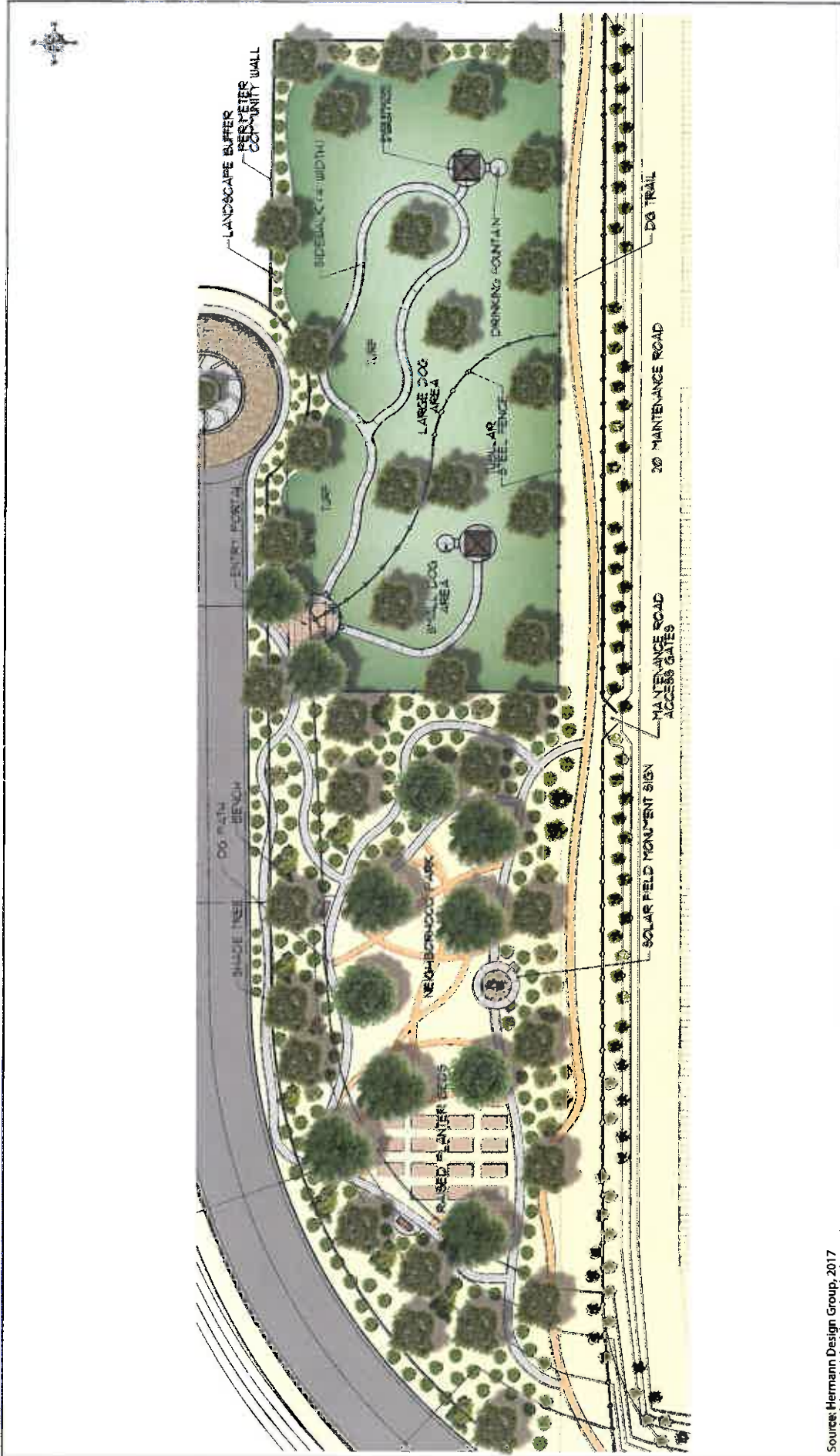
Conceptual Community Center Landscape Plan  
 Thousand Palms 278 Specific Plan No. 386

Source: Hermann Design Group, 2017



Thousand Palms 278 Specific Plan No. 386





Source: Hermann Design Group, 2017



Conceptual Neighborhood & Dog Park Landscape Plan  
 Thousand Palms 278 Specific Plan No. 386

Figure  
 IV-29





rotor irrigation must be installed to eliminate overspray into access, sidewalks, and hardscape. Flow sensors and master valves are required by CVWD downstream of all points of connection.

Drip irrigation will be provided for all plantings and will be controlled by “smart” weather-based equipment with rain sensors. Turf areas which require sprinklers will be carefully designed to avoid overwatering and runoff.

## **11. Plant Palette**

The intent of these guidelines is to provide a simple plant palette that compliments and enhances the thematic setting of the community. In addition, this plant palette has been selected for the plants’ appropriateness to climatic conditions, soil conditions, concern for maintenance, and water conservation. The Riverside County Guide to California Friendly Landscaping has been consulted extensively in this regard.

Plant selection for specific areas of the community shall have similar watering requirements so that irrigation can be designed to minimize water use and plant material can thrive under optimal conditions. Table IV-1, *Plant Palette*, provides illustrations and descriptions of the acceptable plant materials within the Specific Plan No. 386 community.

## **G. Energy and Water Efficiency Guidelines**

*The Energy Efficiency Guidelines* provide implementation measures which will, to the degree reasonably possible, maximize the energy efficiency performance of the project. Among the energy efficiency measures suggested by this Specific Plan are:

- Encourage building design and orientation to take advantage of passive energy (Solar and Wind);
- Incorporate window efficiency to allow increased sunlight, while decreasing heat gain;
- Install water heater pumps and insulate water pipes, to save water, energy, and reduce the time it takes to deliver hot water;
- Employ fans to cool homes and attics thereby reducing air conditioning loads;
- Employ “Cool Roofs” technology to minimize heat transfer; and
- To the extent practicable, use reflective building colors to minimize heat transfer.





























While the foregoing will in part help to enhance the energy efficiency of this development, the most innovative project feature in this regard is the incorporation of a Shared Solar Generating Facility into the design of the project. Shared Solar is a relatively new concept which is strongly supported by the U. S. Department of Energy and environmental groups. In contrast to photovoltaic panels being mounted on individual homes, the shared solar concept calls for all of the panels which will serve a development to be in one location. The electricity generated is put into the electrical “grid” at one point of connection and each home is credited with its share of production through a mechanism known as “virtual metering”. The single point of connection is beneficial to the utility involved in that the power is metered at a single connection point instead of at each of the residences in the community. The community benefits visually since the architectural integrity of homes is not diminished by roof mounted solar systems and the homeowners benefit from economies of scale provided by the single, cohesive panel location, not having






























to provide maintenance and repairs to panels located on their roofs as well as from being part of a new and innovative step in “green power” production.










Apart from domestic potable water consumption, *Water Efficiency Guidelines* are focused primarily on the landscaping scheme advanced by these Design Guidelines and are typically mentioned throughout this document when directly applicable. As mentioned previously, the average annual rainfall is less than four inches, and it normally occurs in the fall and winter with occasional monsoonal conditions that bring in higher levels of humidity and intermittent rainfall in the summer. In addition, although water in the desert is available as groundwater below the desert floor and is generally in good supply, managing the Valley’s groundwater is a continuing priority within the Valley’s Water Districts’ Water Management Plans. Overall, water efficiency features associated with Specific Plan No. 386 are oriented toward addressing the notable lack of rainfall here in the Coachella Valley and the overdraft of aquifers containing local groundwater.

THOUSAND PALMS 278, LLC LANDSCAPE PLANT MATERIAL MATRIX							Legend				
Date Last Revised: 8/4/14							OS	Open Space, Common Area, Parks			
							E	Entries			
							IS	Interior Streets			
							P	Perimeter			
							S	Streets			
LATIN NAME	COMMON NAME		MAX SIZE	WATER	BLOOM	BLOOM SEASON	OS	E	IS	P	S
<b>Palms</b>											
Brahea armata	Mexican Blue Palm		20' h x 20' t	M	None			x			
Butia capitata	Pindo Palm		10'15' h & w	M	None			x			
Chamaerops humilis	Mediterranean Fan Palm		20' h x 20' w	M	None	N/A	x	x			
Olea Europea "Wilsoni"	Fruitless Olive		25' h x 25' w	M	None	N/A	x	x			x
Phoenix dactylifera	Date Palm		60' h x 20' w	L	Creamy Yellow	Spring - Summer	x	x			x
Phoenix roebellini	Pigmy Date Palm		6-10' h & w	M	None	N/A	x				
Washingtonia filifera	California fan palm		35' -40' h	M	Creamy White	Spring	x	x			x
Washingtonia robusta	Mexican fan palm		50' - 75' h	M	Creamy White	Summer	x	x			x
<b>Trees</b>											
Acacia aneura	Muiga		20' h x 20' w	L	Yellow	Spring-Summer	x		x	x	x
Acacia farnesiana	Sweet Acacia		15-25' h& w	L	Yellow	Winter- Spring	x		x	x	
Acacia salicina	Willow Acacia		20' - 40' h x 10' -20' w	M	Creamy White	Late Summer	x			x	x
Acacia Stenophylla	Shoestring Acacia		25-30' h x 15' -20' w	L	Creamy White	Fall - Spring	x		x	x	
Acacia willardiana	Palo blanca		20'h x 15' w	L	Creamy White	Fall - Spring	x		x		
Caesalpinia cacalaco	Cascalote		20' h & w	L	Yellow	Winter	x		x		
Chilopsis linearis	Desert Willow		30' h x 25' w	M	Pink-Purple	Spring - Summer	x		x		
Lysiloma thomberi	Feather Bush		15' h x 15' w	L	Creamy White	Spring-Summer	x		x		
Parkinsonia floridum	Blue Palo Verde		35' h x 30'w	L	Yellow	Spring - Summer	x			x	
Parkinsonia x. 'Desert Museum'	Desert Museum		25'h x 25'w	L	Yellow	Spring	x	x		x	
Parkinsonia praecox	Palo brea		20-30' h & w	L	Yellow	Spring - Summer	x	x		x	
Pithecellobium flexicaule	Texas Ebony		20'-30'h x 15'-20'w	L	Creamy Yellow	Late Spring	x			x	x
Pinus eldarica	Afghan Pine		30-40' h & w	M	None	N/A	x			x	
Pinus pinea	Italian Stone Pine		30-40'h x 25' w	M	None	N/A	x			x	
Prosopis chilensis 'thornless'	Thornless Chilean Mesquite		25' h x 25' w	L	Yellow-Green	Late Spring	x	x		x	
Quercus virginiana	Southern Live Oak		40'- 60'h & w	M	None	N/A	x		x	x	x
Rhus lancea	African sumac		20-25' h & w	M	Whiteish-Green	Spring	x			x	x
Tipuana tipu	Tipu		25'-40' h x 30'-60'w	M	Yellow	Spring	x		x		x



LATIN NAME	COMMON NAME		MAX SIZE	WATER	BLOOM	BLOOM SEASON	OS	E	IS	P	S
<b>Citrus Trees</b>											
Grapefruit			10' -12' h & w	M	White	Spring	x			x	
Orange			10' -12' h & w	M	White	Spring	x			x	
Lemon			10' -12' h & w	M	White	Spring	x			x	
Lime			10' -12' h & w	M	White	Spring	x			x	
<b>Groundcover</b>											
Acacia redolens 'Prostrata'	Desert Carpet		2' h x 8' w	L	Yellow	Spring	x	x		x	
Baccharis x centennial	Prostrate Desert Bloom		2' h x 6' w	L	White	Spring	x	x			
Carissa "Green Carpet"	Prostrate Natal Plum		2' h x 4' w	L	White	Spring-Summer	x	x			
Dalea capitata	Golden dalea		1' h x 3' w	M	Yellow	Spring-Fall	x	x			x
Dalea greggii	Trailing indigo bush		1 1/2' h x 10' w	L	Light Purple	Spring	x	x		x	x
Eschscholzia californica	California poppy		2' h & w	L	Yellow-Orange	Spring-Summer	x	x		x	
Evolvulus glomeratus	Hawaiian Blue Eyes		1' h x 3' w	M	Blue-Purple	Spring-Summer	x	x		x	x
Guara lindheimeri	Gaura		3' h x 3' w	M	Pink-White	Summer-Fall	x	x			x
Lantana "Dallas Red"			15"-20" x 18" - 24"		Red	All	x	x		x	x
Lantana "New Gold"			2'-3' x 6'-8'		Yellow	All	x	x		x	x
Lantana 'Spreading Sunset"	Spreading lantana		3' h x 8' w	M	Orange	All	x	x		x	x
Myoporum parvifolium	Myoporum		4" h x 6' w	H	White	Spring	x			x	
Rosmarinus officinalis	Prostrate Dwarf Rosemary				Blue-Purple		x	x	x	x	x
Ruellia brittoniana 'Katie'	Dwarf Ruellia		1' h x 2' w	M	Blue-Purple	Summer-Fall	x	x	x		
Trachelospermum jasminoides	Star jasmine		2' h x 6' w	H	White	Spring	x	x			
Verbena peruviana	Verbena		1' h x 3' w	M	Purple, Pink	Spring-Fall	x	x			
<b>Shrubs</b>											
Bougainvillea species	"Rosenka" shown		Various	M	Pink / Fuchsia	Year Round	x				
Caesalpinia pulcherrima	Red Bird of Paradise		10' h x 10' w	L	Orange-Yellow	Summer	x	x		x	
Calliandra californica	Baja Fairy Duster		6' h x 4' w	L	Yellow	Spring-Fall	x			x	
Callistemon "Little John"	Dwarf Bottlebrush		3' h x 3' w	M	Red	Fall-Spring	x	x	x	x	x
Carissa "Boxwood Beauty"	Dwarf Natal Plum		2' h x 2' w	M	White	Spring-Fall	x	x	x	x	x
Cassia nemophila	Green Cassia		8' h x 8' w	L	Yellow	Winter-Spring	x	x	x	x	x
Dodonea viscosa	Hopseed Bush		15' h x 10' w	M	Inconspicuous	None	x			x	
Encelia farinosa	Brittle Bush		3' h x 4' w	L	Yellow	Spring	x			x	

LATIN NAME	COMMON NAME		MAX SIZE	WATER	BLOOM	BLOOM SEASON	OS	E	IS	P	S
Ficus nitida columnar	Indian Laurel Fig		20' h x 5' w	L	Inconspicuous		x			x	
Hamelia patens	Firebush		5' h x 5' w	M	Orange	Spring-Summer	x	x		x	
Ixora coccinea	Jungle Flame		4' h x 4' w	M	Orange	Winter-Spring	x	x			
Justicia spicigera	Mexican Honeysuckle		4' h x 4' w	M	Orange	Spring-Fall	x	x	x		
Larrea tridentata	Creosote Bush		8' h x 8' w	L	Yellow	All	x			x	
Leucophyllum "Green Cloud"	Green Cloud		6-8' h x 6-8' w	L	Purple	Summer-Fall	x	x		x	x
Leucophyllum pruinatum	Sierra Bouquet		6-8' h x 6-8' w	L	Blue-Violet	Summer-Fall	x	x		x	x
Leucophyllum langmaniae	Lynn's Legacy		5' h x 5' w	L	Lavender	Summer and Fall	x	x		x	x
Leucophyllum lanmaniae 'Rio Bravo'	Rio Bravo		5' h x 5' w	L	Lavender	Summer	x	x		x	
Russelia equisetiformis	Coral Fountain		5' h x 5' w	M	Red-Orange	Spring - Summer	x	x		x	x
Simmondsia chinensis	Joboba		8' h x 8' w	L	Green (Inconspicuous)	Spring	x			x	
Tagetes lemmonii	Desert Marigold		4' h x 4' w	M	Yellow	Fall	x	x		x	
Tecoma x. 'Orange Jubilee'	Orange Bells		12' h x 8' w	L - M	Orange	Spring-Fall	x			x	
Thevitia peruviana	Lucky Nut		25' h x 25' w	M	Yellow	Spring-Fall	x	x		x	
<b>Grasses</b>											
Aristida purpurea	Purple Three Awn		12"-20" h & w	M	Purple	Spring-Fall	x	x	x	x	x
Muhlenbergia c. 'Regal Mist'	Pink Muhly		4' h x 5' w	M	Purple-Pink	Summer-Fall	x	x	x	x	x
Nassella tenuissima	Mexican Feather Grass		2' h x 2' w	L	None	N/A	x	x	x	x	x
<b>Succulents/Cactus</b>											
Agave americana	Century plant		10' h x 10' w	L	None	N/A	x	x	x	x	x
Agave parryii v parryii	Parry's agave		2' h x 2' w	L	None	N/A	x	x	x	x	x
Agave desmettiana	Smooth agave		3' h x 3' w	L	None	N/A	x	x	x	x	x
Agave vilmoriniana	Octopus agave		6' h x 6' w	L	None	N/A	x	x	x	x	x
Agave geminiflora	Twin flowered agave		3' h x 3' w	L	None	N/A	x	x	x	x	x
Asclepias subulata	Desert Milkweed		4' h x 4' w	L	Yellow	Spring-Fall	x	x	x	x	x
Aloe 'Blue Elf'	Blue Elf Aloe		3' h x 3' w	L	Orange-Red	Winter-Spring	x	x	x	x	x
Aloe Vera	Medicinal Aloe						x	x	x	x	x
Dasyliion longissimum	Mexican Grass Tree		10' h x 6' w	L	None	N/A	x	x	x	x	x
Dasyliion wheeleri	Desert Spoon		5' h x 5' w	L	None	N/A	x	x	x	x	x
Fouquieria splendens	Ocotillo		15' h x 10' w	L	Orange-Red	Spring	x	x	x	x	x
Hesperaloe 'Brakelights'	Red Yucca		3' h x 3' w	L	Red	Spring-Summer	x	x	x	x	x

LATIN NAME	COMMON NAME		MAX SIZE	WATER	BLOOM	BLOOM SEASON	OS	E	IS	P	S
Pedilanthus macrocarpus	Lady Slipper		3' h x 3' w	L	Orange-Red	Spring-Fall	x	x	x	x	x
Yucca rostrata	Beaked Yucca		10' h x 5' w	L	White	Late Spring - Summer	x	x	x	x	x
<b>Vines</b>											
Bougainvillea species			20' h x 15' w	L	Orange,Red, Pink	Spring-Fall	x	x	x	x	x
Calliandra haematocephala	Powder Puff Vine		10' h x 10' w	L	Red	Fall-Spring	x	x	x	x	x
Campsis radicans	Orange Trumpet vine		20' h x 20' w	M	Orange	Summer-Fall	x	x	x	x	x
Duranta repens	Skyflower		20' h x 15' w	L	Purple	Summer-Fall	x	x	x	x	x
Ipomoea tricolor	Morning Glory		10'-15' h & w	M	Purple	Summer-Fall	x	x	x	x	x
Macfadyena-unguis-cati	Cat Claw		40' h x 40' w	L	Yellow	Spring	x	x	x	x	x
Tecoma x. 'Orange Jubilee'			25' h x 10'-15' w	L	Orange	Summer-Fall	x	x	x	x	x

**V. Zoning Ordinance**

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## VI. General Plan Consistency Analysis

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### A. Purpose and Intent

Land development patterns in the unincorporated areas of Riverside County are guided by the County of Riverside General Plan (herein "General Plan"). The General Plan was adopted by the Riverside County Board of Supervisors on October 7, 2003 as part of the Riverside County Integrated Project (RCIP) and was subsequently updated in 2008 and 2013. The General Plan is organized into separate elements, including Land Use, Circulation, Multipurpose Open Space, Safety, Healthy Communities, Noise, Housing Air Quality, and Administration. Each General Plan Element is instrumental to achieving the County's long-term development goals. Each element contains a series of policies that guide the course of action the County must take to achieve the County's vision for future development.

Riverside County regulations require that a Specific Plan include a discussion of the relationship of the Specific Plan to the goals and policies of the elements of the General Plan. This chapter provides a summary discussion to demonstrate that Specific Plan No. 386 is consistent with, and results in the implementation of, applicable goals and policies of the General Plan.

### B. Land Use Element

The General Plan Land Use Element functions as a land use guide for long range development in the County. The Land Use Element governs how land is to be utilized; therefore, many of the issues and policies contained in other General Plan elements are linked in some degree to this element. The Land Use Element designates the general distribution, general location, and extent of land uses, such as housing, business, industry, open space, agriculture, natural resources, recreation, and public/quasi-public uses. These designations are reflected on the General Plan Land Use Map, which categorizes individual parcels of land into four basic categories (known as "Foundation Components"): Rural, Community Development, Agriculture, and Open Space. Upon adoption of Specific Plan No. 386, the community's Foundation Component is Community Development.

A discussion of the key Land Use Element policies that apply to Specific Plan No. 386 is provided below.

Policy	Analysis
<b>Land Use Policy 4.1:</b> Require that new developments be located and designed to visually enhance, not degrade the character of the surrounding area through consideration of the following concepts: g. Encourage innovative and creative design concepts.	The Coachella Valley has evolved from an agricultural outpost to a full-fledged urban and suburban area. In its evolution, the area has seen several architectural styles being developed in response to the climate and history of the area. Some of those styles can be described as "Contemporary Architecture," "Mediterranean Styled Architecture" and "California Modern".



	<p>“Mediterranean Styled Architecture” can be further subdivided into “Spanish Style” and “Italianate Style”. The combination of these styles has the particularity of adding variety and interest to the urban fabric of the valley and that is why the chosen theme for the Thousand Palms 278 project is “Desert Variety”. The idea is to celebrate those different and most prominent styles of the Coachella Valley in a lush desert landscaped setting.</p>
<p><b>Land Use Policy 8.3:</b> Incorporate open space community green-belt separators, and recreational amenities into Community Development areas to enhance recreational opportunities and community aesthetics, and improve the quality of life.</p>	<p>As described in Chapter II, Specific Plan No. 386 provides for a variety of public and private recreational facilities. A conceptual depiction of the community’s Open Space and Recreation Plan is provided in Figure II-8.</p> <p>Approximately 12% of the project acreage is dedicated to open space and recreational uses. Residents of the community benefit from numerous recreational amenities including two 1-acre parks, smaller pocket parks, a 2.5 acre Community Center (including a clubhouse, swimming pool, and other recreational features), a dog park as well as trails and paseos connecting recreational facilities.</p>
<p><b>Land Use Policy 9.1:</b> Require that new development contribute their fair share to fund infrastructure and public facilities such as police and fire facilities such as police and fire facilities.</p>	<p>Specific Plan No. 386 is required to comply with the requirements of Riverside County Ordinance No 659. This ordinance is known as the County Development Impact Fee (DIF), which requires a fee payment by developers for the funding of public facilities, including fire protection facilities, sheriff facilities, libraries, and public health facilities. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Land Use Policy 17.2</b> Require that adequate and available circulation facilities, water resources,</p>	<p>Specific Plan No. 386 includes a hierarchy of roadways, sidewalks, trails and paseos to accommodate circulation throughout the project.</p>

sewer facilities, and/or septic capacity exist to meet the demands of the proposed land use.	In addition, the project will connect to CVWD's water and sewer system to meet the demands of the development.
<b>Land Use Policy 22.10:</b> Require that residential units/projects be designed to consider their surrounding and to visually enhance, not degrade, the character of the immediate area.	The Coachella Valley has evolved from an agricultural outpost to a full-fledged urban and suburban area. In its evolution, the area has seen several architectural styles being developed in response to the climate and history of the area. Specific Plan No. 386 facilitates "Contemporary", "Mediterranean", "Spanish", "Italianate", and "California Modern" architectural styles which are consistent with and enhance that of the Thousand Palms Community.

### C. Healthy Communities Element

The County of Riverside adopted a Healthy Communities Plan as part of their General Plan on December 8, 2015. The Thousand Palms Specific Plan has incorporated the recommendations from these policies into the Specific Plan's Development Guidelines that involve passive and active recreational opportunities for residents of all ages and their pets also.

A discussion of the key Healthy Communities Element policies that apply to Specific Plan No. 386 is provided below.

Policy	Analysis
<b>Healthy Communities Policy 1.2:</b> Promote an understanding of the connections between the built environment and the ongoing health challenges in Riverside County.	Specific Plan No. 386 has incorporated neighborhood parks and a Clubhouse which provide a range of activities for the future residents to remain active through walking paths, tot lots, pickle ball courts, dog parks, swimming pools, and areas for a community garden which all provide opportunities from the built environment.
<b>Healthy Communities Policy 2.2:</b> Encourage a Built Environment that promotes physical activity and access to healthy foods while reducing driving and pollution.	Specific Plan No. 386 provides walking trails, active recreation such as swimming and pickle ball, and access to Community Gardens for the consumption of fresh vegetables and fruit.
<b>Healthy Communities Policy 10.1:</b> Provide Residential of all ages and income levels with	Specific Plan No. 386 provides many safe activities within the development: the

convenient and safe opportunities for recreation and physical activities.	neighborhood parks contain tot lots, pickle ball and swimming for senior citizens, a clubhouse with other recreational activities, and a dog park that provides recreational opportunities for all ages.
<b>Healthy Communities Policy 10.2:</b> Locating parks in close proximity to homes and offices and requiring the development of parks, trails and open space facilities, occur concurrently with other development.	Specific Plan No. 386 has 4 Planning Areas with Dwelling Units and each has its own Community Park, Central Park and Clubhouse, walking trails, and various locations with open space.
<b>Healthy Communities Policy 13.1:</b> Encourage development of recreational centers to serve all phases of life (e.g. children and senior citizens).	Specific Plan No. 386 provides for tot lots for toddlers, pickle ball for seniors and other activities that will attract all ages. The development has Community Gardens which are appropriate for children, adults, and seniors.

#### D. Circulation Element

The purpose of the Circulation Element is to provide for the movement of goods and people, including pedestrians, bicycles, transit, train, air, and automobile traffic flows within and through the County. The Circulation Element designates future road improvements and extensions, addresses non-motorized transportation alternatives, and identifies funding options.

A discussion of the key Circulation Element policies that apply to Specific Plan No. 386 is provided below:

Policy	Analysis
<b>Circulation Policy 3.5:</b> Require all major subdivisions to provide adequate collector road networks designed to feed traffic onto General Plan-designated highways.	Specific Plan No. 386 is bordered to the north by Ramon Road. Ramon Road is designated as an Arterial Highway with an ultimate right-of-way width of 128 feet in the Riverside County General Plan. The main access to SP000386 is along the southern Ramon Road frontage directly opposite its intersection with Via Las Palmas to the north.  An 88' ROW collector road containing a landscaped median island extends southward from the Ramon Road entry and continues southbound to the center of the community at a turning circle where it then continues easterly to the eastern property line to an internal 76' ROW collector extending from the turning circle

	<p>southerly, connecting the entrance to the Shared Solar Generating Facility to the south, and emergency access road and exit at the southern end of the property to allow potential access to the future developments on vacant lands to the east of the community.</p> <p>Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Circulation Policy 3.6:</b> Require private developers to be primarily responsible for the improvement of streets and highways service access to developing commercial, industrial and residential areas. These may include road construction or widening, installation of turning lanes and traffic signals, and the improvement of any drainage facility or other auxiliary facility necessary for the safe and efficient movement of traffic or the protection of road facilities.</p>	<p>The developer of Specific Plan No. 386 will be required to implement the necessary roadway improvements and signals as recommended by the traffic study prepared for the project. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Circulation Policy 4.4:</b> Plan for pedestrian access that is consistent with road design standards while designing street and road projects. Provisions for pedestrian paths or sidewalks and timing of traffic signals to allow safe pedestrian street crossing shall be included.</p>	<p>Specific Plan No. 386 provides for pedestrian access, paths and sidewalks, therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p> <p>Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>

### E. Multipurpose Open Space Element

The Multipurpose Open Space Element is intended to protect and preserve natural resources, agriculture and open space areas, manage mineral resources, preserve and enhance cultural resources, and provide recreation opportunities. The Open Space Element seeks to preserve and protect identified open space areas in order to maintain or improve environmental quality. A discussion of the key Multipurpose Open Space Element policies that apply to Specific Plan No. 386 is provided below.

Policy	Analysis
<p><b>Open Space Policy 2.3:</b> Encourage the use of native, drought-resistant landscaping planting.</p>	<p>The Plant Palette of Specific Plan No. 386 calls for native and drought-resistant plants to be used in the landscaping of the site.</p>

	<p>Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Open Space Policy 20.5:</b> Require that development of recreation facilities occurs concurrent with other development in an area.</p>	<p>Specific Plan No. 386 is a “pedestrian friendly” residential community where a system of sidewalks and pedestrian trails connect people to all areas of the project. There is a 2.5-acre Community Center located at the southern portion of the site which is connected by pedestrian sidewalks to the entrance of the project on Ramon Road. Also, from the Community Center, pedestrian sidewalks and trails connect the main clubhouse to the 8.01-acre solar field located at the south end of the project. The solar field features a landscape/recreation buffer encompassing its perimeter. That buffer will contain a multi-purpose pedestrian trail which will include exercise stations and interpretive features that describe the Shared Solar Generating Facility. Neighborhood and Dog Parks are located to the north of the solar array and pocket parks are proposed in each residential Planning Area.</p> <p>The developer is coordinating with the Desert Recreation District with the intent of applying Quimby Fees to improve the nearby Thousand Palms Community Park.</p> <p>Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>

## F. Safety Element

The primary objective of the Safety Element is to reduce death, injuries, property damage, and economic and social impact from hazards. The goals of the Safety Element are to alleviate the risks associated with identified geologic, seismic, flood, airport safety, electromagnetic fields, fire hazards, and wind erosion hazards.

The Specific Plan is required to comply with the applicable provisions for the California Building Code, the Uniform Building Code, county Ordinance No. 457, 489.2, and 547, SCAQMD Rule 403, the Specific Plan’s



National Pollution Discharge Elimination System (NPDES) permit, and the Specific Plan's Storm Water Pollution Prevention Plan (SWPPP). Furthermore, the Specific Plan is required to implement all site-specific recommendations set-forth in geotechnical report(s) prepared for the project. The project's design includes storm water improvements that protect future development from flooding. Compliance with these requirements, design features, and applicable mitigation measures set forth in the environmental document prepared for the project reduces hazard-related impacts to a level before significance. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, any applicable Safety Element policies of the General Plan.

## G. Noise Element

The purpose of the noise element is to identify noise problems in the County, quantify existing and projected noise levels, and address excessive noise exposure and community planning for the regulation of noise. A discussion of the key Noise Element policies that apply to Specific Plan No. 386 is provided below:

Policy	Analysis
<p><b>Noise Policy 4.6</b> Establish acceptable standards for residential noise sources such as, but not limited to, leaf blowers, mobile vendors, mobile stereos and stationary noise sources such as home appliances, air conditioners, and swimming pool equipment. (AI 105)</p>	<p>The proposed project shall comply with the provisions of County of Riverside Ordinance No. 847 (as amended through 847.1), An Ordinance of the County of Riverside Regulating Noise. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Noise Policy 8.5</b> Employ noise mitigation practices when designing all future streets and highways, and when improvements occur along existing highway segments. These mitigation measures will emphasize the establishment of natural buffers or setbacks between the arterial roadways and adjoining noise-sensitive areas. (AI 105)</p>	<p>Ramon Road and the project's collector streets will convey project and regional traffic. The proposed project is designed with four distinct Planning Areas. Each Planning Area will be surrounded by a perimeter block wall. These perimeter walls will serve to attenuate sound from the Collector Street and a 50' setback and wall is provided along the Ramon frontage. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Noise Policy 13.3</b> Incorporate acoustic site planning into the design of new development, particularly large scale, mixed-use, or master-planned development, through measures which may include:</p>	<p>Ramon Road and the project's collector streets will convey project and regional traffic. The proposed project is designed with four distinct Planning Areas. Each Planning Area will be surrounded by a perimeter block wall. These perimeter walls will serve to attenuate sound from the Collector Street</p>

<ul style="list-style-type: none"> <li>• Separation of noise-sensitive buildings from noise-generating sources;</li> <li>• Use of natural topography and intervening structure to shield noise-sensitive land uses; and</li> <li>• Adequate sound proofing within the receiving structure. (AI 106)</li> </ul>	<p>and a 50' setback and wall is provided along the Ramon frontage. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Noise Policy 13.6</b> Consider the issue of adjacent residential land uses when designing and configuring all new, non-residential development. Design and configure on-site ingress and egress points that divert traffic away from near noise-sensitive land uses to the greatest degree practicable (AI 106, 107)</p>	<p>The proposed project incorporates traffic circles both on the primary Collector Street serving the project and at the primary entry to each of the Planning Areas. This will serve to slow down travel speeds and thus lower ambient noise levels. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>

## H. Housing Element

The Housing Element, as required by state law, identifies and establishes the County's policies with respect to meeting the needs of existing and future residents of Riverside County. Specific components of the Housing Element include the following: an assessment of housing needs and inventory; and analysis and program for preserving assisted housing development; a statement of community goals, quantified objectives, and policies relative to the maintenance, preservation, improvement and development of housing; and a program which set forth a five-year schedule of actions that the county if undertakes, or intends to undertake, in implementing the policies set forth in the Housing Element. A discussion of the key Housing Element policies that applies to Specific Plan No. 386 is provided below:

Policy	Analysis
<p><b>Housing Policy 1.7:</b> Encourage innovative housing, site plan design, and construction techniques to promote new affordable housing by the private sector.</p>	<p>Specific Plan No. 386 provides for a variety of lot configuration options for one- and two-story single-family residences in combination with four possible architectural styles. Such variety is intended to provide a wide range of affordable housing opportunities that will allow appropriate response to market demand and the needs of the community's future residents.</p> <p>Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>

<p><b>Housing Policy 5.1:</b> Encourage the use of energy conservation feature in residential construction and remodeling.</p>	<p>Specific Plan No. 386 includes a planned solar field on the southern portion of the site and/or rooftop solar panels which will offset a substantial portion of the project's electrical demand.</p> <p>Additionally, homes will be designed to be energy efficient in compliance with Title 24 Regulations.</p> <p>Homes will also be designed with low flow water fixtures in the bathrooms and kitchen and will be equipped with energy efficient appliances.</p> <p>Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
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## I. Air Quality Element

The Air Quality Element provides background information on the physical and regulatory environment affecting air quality. The purpose of the Air Quality Element is to protect residents of Riverside County from the harmful effects of poor air quality. The Air Quality Element identifies goals, policies and programs that are meant to balance actions regarding land use, circulation, and other issues with their potential effects on air quality. This Element, in conjunction with local and regional air quality planning efforts, addresses ambient air quality standards set forth by the Federal Environmental Protection Agency (EPA) and the California Air Resources Board (CARB). A discussion of the key Air Quality Element policies that apply to Specific Plan No. 386 is provided below:

Policy	Analysis
<p><b>Air Quality Policy 2.2:</b> Require site plan designs to protect people and land uses sensitive to air pollution through the use of barriers and/or distance from emissions sources when possible.</p>	<p>Ramon Road and the project's collector streets will convey project and regional traffic. The proposed project is designed with four distinct Planning Areas. Each Planning Area will be surrounded by a perimeter block wall. These perimeter walls will serve to attenuate sound from the Collector Street and a 50' setback and wall is provided along the Ramon frontage. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>

<p><b>Air Quality Policy 4.1:</b> Encourage the use of building materials/methods which reduce emissions.</p>	<p>Title 24 of the California Building Code requires developments to use energy efficient building materials and methods for the purpose of reducing emissions. Specific Plan No. 386 will implement Title 24 requirements. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Air Quality Policy 4.3:</b> Encourage centrally heated facilities to utilize automated time clocks or occupant sensors to control heating.</p>	<p>Specific Plan No. 386 will implement Title 24 requirements. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>
<p><b>Air Quality Policy 4.4:</b> Encourage the use of efficient heating equipment and other appliances, such as water heaters, swimming pool heaters, cooking equipment, refrigerators, furnaces and boiler units.</p>	<p>Specific Plan No. 386 will implement Title 24 requirements. Therefore, Specific Plan No. 386 is consistent with, and results in the implementation of, this policy of the General Plan.</p>

## J. Administration Element

Administration of the General Plan policies includes establishing, maintaining, and applying tools and procedures for interpreting the intent of the General Plan. The Administration Element also provides the County with a list of steps which County staff and the Board of Supervisors can use to determine whether a proposed Project is consistent with the General Plan's intent. The Element also provides the applicant a development proposal with a list of steps to follow when applying for a development permit.

Included within the Administration Element of the General Plan are four amendment strategies to the General Plan. When a project proposes to amend a Foundation Component Land Use Designation of the General Plan, the Administration element outlines the procedures of four separate types of amendments; a technical amendment, an entitlement/policy amendment, a foundation amendment and an agricultural foundation amendment.

The Specific Plan No. 386 project falls under the second type of amendment, entitlement/policy amendment. Specific Plan No. 386 is within the Community Development Foundation Component and is designated as Medium Density Residential (MDR). A General Plan Amendment is being pursued as part of the entitlement process to change the current designation to Specific Plan to facilitate the development of up to 590 units on the project site. This would not require a foundation amendment. The overall density of the site is 5-8 du/acre (gross) which is consistent with the current MDR designation.