

## **4.0 SPECIFIC PLAN**

---

### **4.1 PROJECT-WIDE DEVELOPMENT PLANS AND STANDARDS**

This chapter of the document (Chapter 4.0, Section 4.1) presents the Mirasera design philosophy and master development concept, and provides planning standards for application to the overall project. This chapter begins with the land use plan and includes a brief description of each major land use element. In support of the land use plan, associated master plans and standards are then discussed relating to the circulation, grading/drainage, landscaping, water/sewer, phasing, maintenance and airport land use plan components.

This portion of the document is augmented by Section 4.2 (Chapter 4.0) which provides a more focused and detailed analysis (descriptive summary) of each individual planning area and product type within the project in terms of development standards and design standards/guidelines.

#### **4.1.1 Conceptual Land Use Plan**

##### **a) Overall Project and Design Objectives**

The design of Mirasera is based upon the following objectives:

- Provide a comprehensive land use plan that identifies development scenarios which designate the distribution, location, and extent of land uses;
- Address the land use issues associated with development of the Mirasera Specific Plan in sufficient detail to ensure that the subject site develops in a manner consistent with the intent of the General Plan; protects the public health, safety and general welfare; complements zoning and land uses on adjacent properties and is suitable and appropriate for the subject property;
- Incorporate project design standards which encourage creativity and excellence;
- Create a signature mixed-use community appropriate for the Coachella Valley, where residents and employees can live, work and shop in the same urban village while reducing the need for the use of automobiles;
- Provide a variety of housing choices that give an opportunity for residents with diverse income levels to live and work in the same community, enhancing their ability to reallocate their time to be spent with their families as opposed to commuting;
- Promote and encourage walkability through an enhanced paseo system connecting the proposed on-site uses and amenities to each other and to the neighboring off-site uses;

- Enhance the appearance of the community with the creation of a unified desert appropriate landscape theme that ties together parks, open space, plazas, pedestrian corridors, and the streetscape;
- Provide a variety of architectural styles to achieve diversity with respect to elevation character (style, form, color, materials), as well as diversity in overall building massing (height and bulk). The various building types and architectural styles will be distributed throughout the community thereby avoiding distinct zones of repetitive massing and character; and
- Provide a diversity of housing unit plans to facilitate differing lifestyles.

#### b) Project Description

The Mirasera community will consist of up to 1,756 homes developed with an array of product types including single-family detached court homes, walk-up townhouses, condominiums, and flats. The mixed-use planning area allows up to 141 live/work residential units, 122,700 square feet of retail or office space and a 200 room hotel. The community also includes up to 228,700 square feet of business park/office development and up to 187,300 square feet of community retail space. **Figure 4-1** (Conceptual Land Use Plan) defines the type and general location of all proposed on-site land uses.

In order to present the project in a comprehensive manner, the site was divided into 5 areas of development (Planning Areas). This process allowed for a precise discussion of the planning and design approach, taking into consideration constraints on and surrounding each planning area. The Planning Area designations for the proposed project are shown on **Figure 4-2** (Planning Area Exhibit). To provide for flexibility, a density transfer of up to 10% shall be allowed between residential Planning Areas. Density transfers between Planning Areas with commercial and or office uses within the Specific Plan shall not be permitted, except through the Specific Plan Amendment process. The planning areas and product types are discussed in detail in Section 4.2 (Planning Area Land Use, Development Standards and Design Guidelines) of this chapter.

**Table 4-1**, (Conceptual Land Use Summary) shows the various land use designations, acreages, number of dwelling units and square footage as appropriate. The proposed project includes the following land uses:

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**
**SPECIFIC PLAN**

September 15<sup>th</sup>, 2006

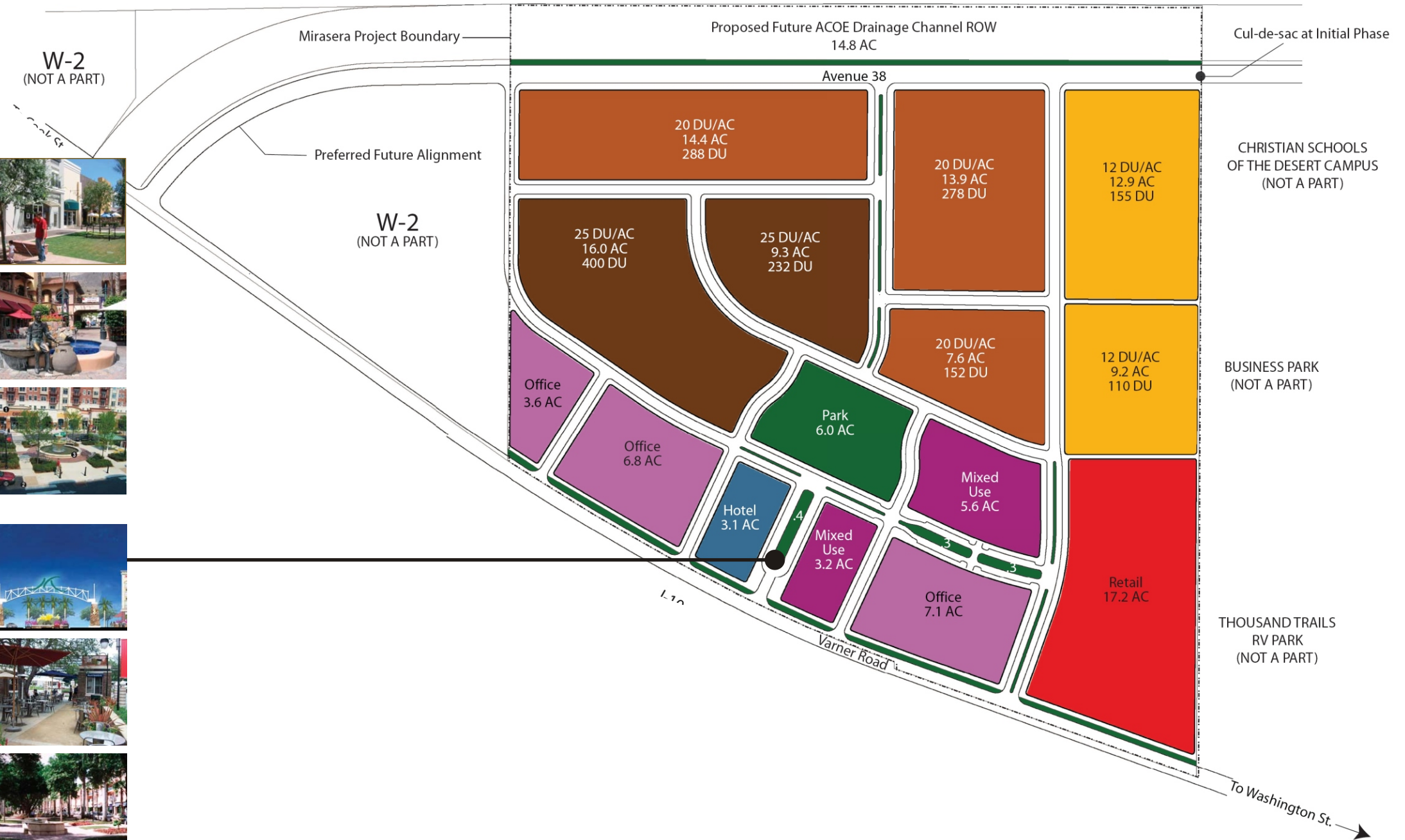
TABLE 4-1 CONCEPTUAL LAND USE SUMMARY						
PLANNING AREA	LAND USE	ACRES	RESIDENTIAL UNITS PER ACRE	NON-RESIDENTIAL F.A.R.	UNITS	NON-RESIDENTIAL SQUARE FEET
<b>PLANNING AREA 1*</b>						
PA 1	Very High Density Residential Mix	61.2	20-25	N/A	1,350	N/A
<b>PLANNING AREA 2*</b>						
PA 2	High Density Residential Mix	22.1	12	N/A	265	N/A
<b>PLANNING AREA 3</b>						
PA 3	Business Park/ Office	17.5	N/A	0.3	N/A	228,700
<b>PLANNING AREA 4</b>						
PA 4	Mixed Use/Live Work	11.9**	16**	.32	141***	122,700
<b>PLANNING AREA 5</b>						
PA 5	Community Retail	17.2	N/A	0.25	N/A	187,300
<b>PLANNING AREA 6</b>						
PA 6	Village Green	6.0	N/A	N/A	N/A	N/A
<b>OTHER</b>						
N/A	Parks/Trails	8.0	N/A	N/A	N/A	N/A
N/A	Drainage Channel	14.8	N/A	N/A	N/A	N/A
N/A	Misc. Roads and Open Space	31.1	N/A	N/A	N/A	N/A
<b>PROJECT TOTAL</b>		<b>189.8</b>	<b>9.25 (Gross)</b>		<b>1,756</b>	<b>538,700</b>
<p>*A density transfer of up to 10% shall be allowed between residential Planning Areas.</p> <p>**A 3.1 acre Hotel is included in the acreage total of Planning Area No. 4. The 16 residential units per acre figure is based on the remaining acreage (8.8 acres).</p> <p>***200 Hotel Units within Planning Area 4 are not included in the unit total.</p>						



Public Spaces and Plazas



The Promenade (Linear Park)

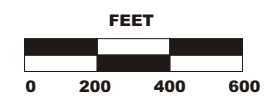


\*This exhibit is conceptual and displays only one potential residential development scenario.

## CONCEPTUAL LAND USE PLAN



MIRASERA  
40421.04.000 SPECIFIC PLAN

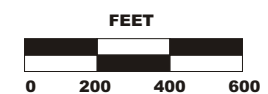


**Figure 4-1**



## PLANNING AREA EXHIBIT

MIRASERA  
40421.04.000 SPECIFIC PLAN



**Figure 4-2**



**c) Project Wide Development Standards**

Project-wide development standards shall be applied to ensure overall design coordination of the various planning areas within the Mirasera Specific Plan. The standards outlined below serve to ensure the orderly development of the land use plan on a community wide basis. The discussion following in Section 4.2 (Chapter 4) provides a detailed discussion of design guidelines that apply specifically to each of the individual planning areas.

1. The Mirasera project will develop with a maximum of 1,756 dwelling units; 187,300 square feet of community retail space; 141 live/work residential units, 122,700 square feet of retail/office space and a 200 room hotel within the mixed use portion of the project; and 228,700 square feet of business park/office space.
2. Land uses and development standards will be in accordance with the County of Riverside development codes except as specifically modified by this Specific Plan.
3. All development within the project site boundaries will be consistent with this Specific Plan and subsequent amendments on file with the County of Riverside Planning Department.
4. Prior to the issuance of a building permit for any land use associated with the Mirasera project, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent sections of this Specific Plan have been satisfied.
5. Lots created pursuant to this Specific Plan shall be in conformance with the development regulations contained in Chapter 4.0.
6. Mitigation measures for environmental resources shall be implemented as identified in the certified Environmental Impact Report Mitigation Monitoring Program.
7. Development area boundaries shall follow the land use plan. Minor adjustments (10% or less) to these boundaries resulting from final road alignments, site specific development plans and/or technical or engineering refinements will not require a Specific Plan Amendment.
8. For the security and safety of future guests and residents, the applicant and/or developer shall incorporate the following design concepts within each individual development proposal:
  - Adequate circulation for pedestrians, vehicles, police patrols and other emergency vehicles.
  - Lighting of streets, walkways and bikeways.
9. The Planning Director shall have both the authority to determine substantial conformance with the provisions of this Specific Plan and the authority to allow changes of 10% or less.

10. Unless modified by the Mirasera Specific Plan, development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinance Nos. 348 and 460; and shall conform substantially to the adopted Specific Plan as filed in the office of the Riverside County Planning Department, unless otherwise amended.
11. Construction of this project may be done progressively in phases provided a plan is submitted with appropriate fees to the Riverside County Planning Department and approved prior to issuance of any building permits.
12. A density transfer of up to 10% shall be allowed between residential Planning Areas. Density transfers between Planning Areas with commercial and or office uses within the Specific Plan shall not be permitted, except through the Specific Plan Amendment process.

#### **4.1.2 Conceptual Circulation Plan**

##### **a) Circulation Plan Description**

The Circulation Plan for the Mirasera project is multimodal and includes vehicular, pedestrian, bicycle and transit<sup>1</sup> systems. The plan is designed to provide optimal circulation efficiency as well as safety for guests and residents. Street widths have been designed to slow traffic speed with parallel parking permitted on both sides (in some instances). Project roadways will be constructed according to the specifications and standards set forth in this document. The internal circulation system has been designed to serve the various project areas, parking and multiple building pads.

##### *Vehicular*

The vehicular circulation plan has been developed to achieve the following: 1) provide appropriate vehicular access to all development areas within the project site; 2) create optimally sized streets which accommodate project traffic volumes while minimizing paved areas; 3) provide sufficient access for fire fighting and other emergency vehicles; 4) enhance the visual character of the site by providing well-designed, landscaped boulevards and streets; and 5) provide a functional on-site roadway system which provides for the safe and efficient movement of traffic.

**Figure 4-3** (Conceptual Circulation Plan) illustrates the street system for the proposed project. Access into the site is provided via Varner Road which is situated parallel to the southern boundary of the project site and Avenue 38 which is located to the north.

Access into the Mirasera project site will be provided via eight access points. The eight access points have been strategically placed along the northern and southern boundaries of the project site. **Table 4-2** (Project Site Entries) provides a tabular breakdown of primary and secondary community entries and the amount to be signalized. Access points will be

---

<sup>1</sup> Sunline Transit currently provides no service along Varner Road. When service becomes available, plot plans will be coordinated with Sunline Transit.

internally linked to offer multiple options for entering or leaving the site. Primary streets within the internal circulation pattern will service major development components and secondary roads will service specific uses and individual properties.

TABLE 4-2 PROJECT SITE ENTRIES			
PERIMETER ROADS	PRIMARY COMMUNITY ENTRY	SECONDARY COMMUNITY ENTRY	SIGNALIZED ENTRY
Varner Road	2	3	3
Avenue 38	1	2	0
<b>TOTAL</b>	<b>3</b>	<b>5</b>	<b>3</b>

#### *Varner Road*

As shown on **Figure 4-4** (Proposed Varner Road Cross Section) The project proponent shall construct Varner Road from the west project boundary to the east project boundary at its ultimate full width as a Major highway (118 foot right-of-way) including landscaping and parkway improvements in conjunction with development.

#### *Avenue 38*

The project proponent shall construct Avenue 38 from the west project boundary to the east project boundary at its ultimate full width as a Major highway (118 foot right-of-way) including landscaping and parkway improvements in conjunction with development.

#### *Pedestrian*

The proposed pedestrian circulation plan is intended to create a unified system that encourages pedestrian use. Pedestrian circulation is accomplished through an extensive paseo system which provides connectivity throughout the entire project site. All streets have a minimum 5-foot wide sidewalk separated from the street by a minimum 6-foot wide parkway. Along busier streets the sidewalk/parkway width increases. In addition to public sidewalks, individual residential and commercial projects within Mirasera are required to provide internal paseos that provide connections to adjacent uses. The paseo system is incorporated into the project design because the proximity between on-site land uses make walking a feasible and desirable transportation mode. The Mirasera paseo system will connect to the Riverside County regional trail network. 8-foot wide regional trails are located along the northern half of Varner Road and the northern half of the proposed Avenue 38.

The pedestrian circulation system has been developed to achieve the following: 1) provide a paseo system which links together the entire Mirasera project site while providing connection to the Riverside County regional trail network; 2) maximize safety and functionality between vehicular routes and pedestrian paths; 3) create a pleasant walking environment by providing elements of visual interest (i.e. vistas, rest stops, fountains, etc.); and 4) accommodate the needs of all pedestrians (including special needs groups such as children or the handicapped).

## Legend

-  Primary Community Entry
-  Secondary Community Entry
-  Signalized Entry
-  Residential Collector
-  Commercial Collector
-  Main Promenade
-  North Promenade
-  East Promenade
-  Regional Trail / Bike Path
-  Connection to Regional Trail System
-  Potential Pedestrian Connection



## CONCEPTUAL CIRCULATION PLAN

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

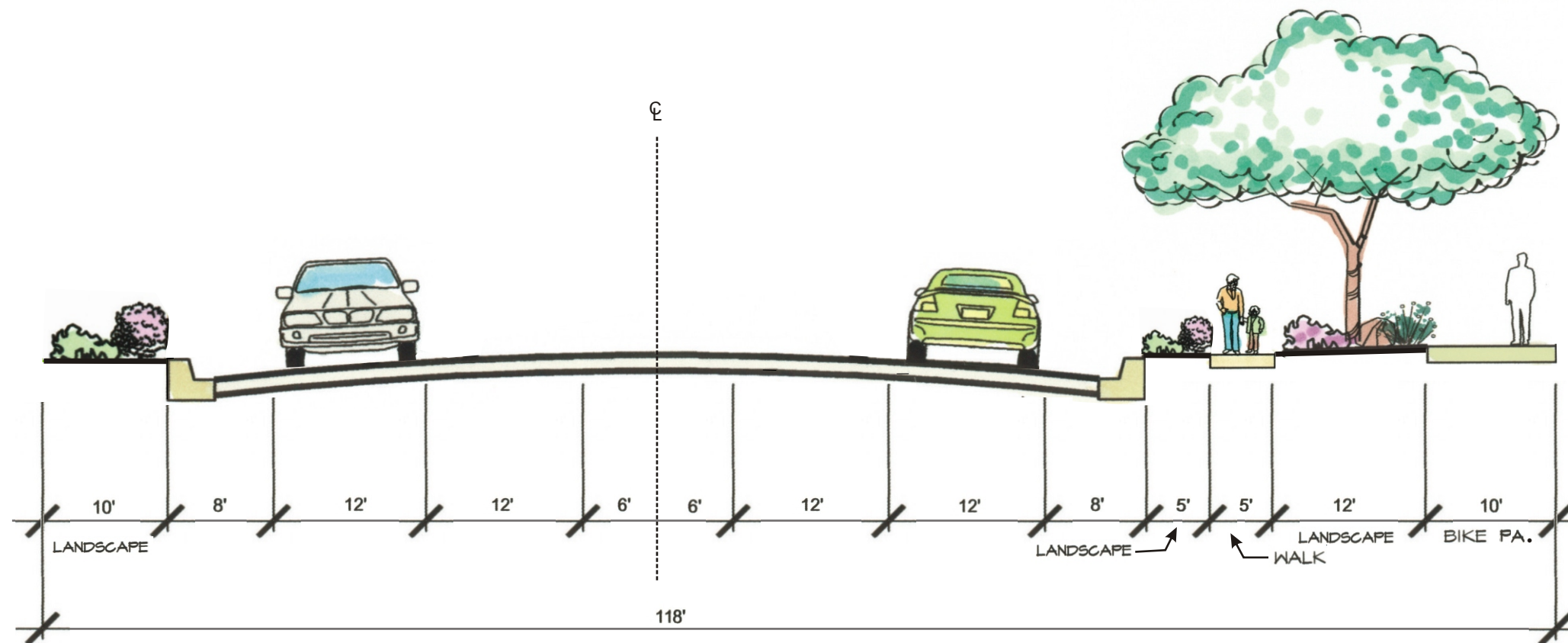
TKD

NOT TO SCALE

N

Figure 4-3

Stantec



## PROPOSED VARNER ROAD CROSS SECTION

Stantec

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

N

Figure 4-4

### *Bicycle*

Bicycling is increasingly being seen as an integral component of urban multi-modal trips. A seamless transportation system with convenient and reliable opportunities to use more than one mode in a single trip provides a wider range of cost effective travel options. Bicycle circulation will accommodate and encourage alternative modes of transportation for patrons, residents and employees of the Mirasera project. In addition to internal Mirasera project site bike paths, the County has required a Class I bike path to be constructed along both Varner Road and Avenue 38.

The bicycle circulation system has been developed to achieve the following: 1) assure safe and convenient bicycle access to specified areas within the Mirasera project site; 2) promote the use of bicycles as a viable and attractive alternative to cars; 3) compliance with Riverside County bikeway policies and standards; 4) provide adequate parking facilities for bicycles; 5) provide access to regional bicycle trails/paths; 6) maximize safety and functionality between vehicular routes and bike paths; and 7) provide an enjoyable experience for the cyclist by creating an aesthetically pleasing bike way system.

### *Emergency Access*

The circulation system as a whole has been designed in accordance with Riverside County Fire Department access requirements. The roadway system will provide a means of ingress for emergency vehicles while also allowing escape routes for use by project residents and guests. The proposed project will enhance emergency access to the site of the proposed project through multiple access points and the construction of all-weather paved roadways.

The Emergency Access Plan has been designed to: 1) provide suitable access for fire fighting and other emergency vehicles; and 2) provide a minimum of two emergency access points to all areas within the development.

### *Transit*

As the population of the Coachella Valley grows, the traffic volumes are likely to increase. To help reduce vehicular trips and congestion, alternative modes of transportation to and from the site are necessary. Utilization of the public transportation system will potentially reduce the amount of traffic associated with the Mirasera project. Bus stops will be strategically planned at key locations to provide sufficient accessibility to local and regional transit systems. Sunline Transit currently provides no service along Varner Road. When service becomes available, plot plans will be coordinated with Sunline Transit.

The transit component of the circulation plan has been developed to accomplish the following: 1) locate bus stops and shelters at strategic locations to maximize use and consistency with local transit system location criterion; 2) integrate the system into the Coachella Valley Sunline Transit Agency System (when service becomes available); and 3) design bus stops/shelters which are safe, provide adequate shelter from the elements and are aesthetically consistent with the overall project design theme.

**b) Circulation Plan Development Standards**

The following general standards shall be applied in the implementation of the Mirasera Circulation Plan:

1. The Conceptual Circulation Plan provides an efficient traffic design which meets the needs of the project and is complimentary to the regional circulation system. The on-site systems depicted in **Figure 4-3** will serve as the composite circulation network of the Mirasera project. All roadway improvements will be phased in accordance with this plan and any other County requirements.
2. Circulation and infrastructure improvements described in this document are conceptual in nature. Final alignments and sizing will be determined at the time of final submittal when detailed engineering analysis will be performed.
3. The Mirasera project shall comply with the on-site street improvement recommendations and mitigation measures outlined in the traffic analysis prepared for the Mirasera EIR.
4. The Circulation plans shall provide for bicycle and pedestrian paths that encourage the use of non-vehicular modes of transportation.
5. All landscaping treatments and cross sections associated with the Mirasera circulation network shall be consistent with the Mirasera landscape and circulation plan, based on the Streetscape Treatments illustrated by **Figure 4-9** thru **Figure 4-13** located in the Landscape Plan section of this document.
6. In accordance with the Western Coachella Valley Area Plan, Trails and Bikeway System, a Class I bike path shall be constructed along Varner Road as approved by the Transportation Department, Planning Department and the Parks and Recreation Department. The project shall annex to the landscaping and bike Maintenance District No. 89-1 Consolidated.
7. The proposed project is within the boundaries of the Coachella Valley Transportation Uniform Mitigation Fee District. Prior to the issuance of any building permits, the project proponent shall pay the mitigation fees in effect at the time building permits are issued.
8. The proposed project will be a substantial traffic attractor. As such, the project proponents may incorporate demand management programs (as may be appropriate) to comply with the goals and objectives of the County, including:
  - Design provisions to accommodate transit service.
  - The provision of on-site park-and-ride facilities.
  - The provision of a Transportation Management District.
9. Bicycle racks shall be provided in convenient locations to facilitate bicycle access to the project area. The bicycle rack shall be shown on project landscaping and improvement plans, and shall be installed in accordance with those plans.

10. Sufficient on-site parking shall be provided to meet County of Riverside parking code requirements. Shared parking is encouraged within Mirasera. A shared parking study is to be provided with a development plan application where shared parking is employed.
11. On-site traffic signing/stripping should be implemented in conjunction with detailed construction plans for the project site.
12. Sight distance at each project access should be reviewed with respect to standard Caltrans/County of Riverside sight distance standards at the time of preparation of final grading, landscape and street improvement plans.
13. The Circulation plan shall allow the utilization of golf carts on:
  - Interior roadways within the project site.
  - The 10-foot wide bicycle paths located along Varner Road and Avenue 38.

#### **4.1.3 Conceptual Grading and Drainage Plan**

##### **a) Conceptual Grading and Drainage Plan Description**

The Grading and Drainage Plan has been developed to achieve the following goals: 1) protect all structures and other physical improvements from 100-year flood damage; 2) result in no net increase in runoff volumes and no net increase in storm flowrate to downstream drainage areas; 3) provide all-weather thoroughfares through public and private streets; and 4) accomplish a balance of cut and fill within the project;

The entire Mirasera project site is within a designated 100-year flood plain. The applicable Flood Insurance Rate Map (FIRM) published by the Federal Emergency Management Agency (revised November 20<sup>th</sup> 1996) identifies the site as within "Zone AO." Zone AO is defined as properties subject to flows from 1-3 feet in depth. The velocities are considered non-erosive from 5 to 8 feet per second. Drainage areas and key flood control features for the project are identified in **Figure 4-5** (Conceptual Grading and Drainage Plan). The exhibit illustrates proposed finish grade elevations, direction of flow and retention/detention areas. The project will implement features to assure that the 100-year storm is safely managed to meet the Riverside County Flood Control District, Regional Water Quality Control District (RWQCD), National Pollutant Discharge Elimination System (NPDES) and Federal Emergency Management Agency (FEMA) Standards. The regional direction of flow is generally from the north to the south. In order to work with existing topographic features of the site, as well as the regional drainage elements of the area, the following will be incorporated into the site's grading and drainage development criteria:

- Provide a drainage channel to convey regional drainage and to accept about 80% of the site's drainage.
- Approximately 20% of the site's drainage will be directed towards Varner Road.
- The site's drainage will incorporate retention and/or detention as determined by the site's geotechnical characteristics.
- Site grading and drainage will be developed to balance site earthwork based on the site's geotechnical characteristics.

- A storm drain system will be developed to accommodate the 10-year and 100-year storm flows.
- If necessary, underground retention/detention facilities may be incorporated.

#### *Development Compliance*

The development of the site improvements will be in accordance with governmental agency standards and requirements, including the following:

- Riverside County Flood Control and Water Conservation District Hydrology Manual as a basis for storm water protection for the 10-year and 100-year storms.
- Flood protection as required for the designation on the FEMA Flood Insurance Rate Map (FIRM) or processing of a Letter of Map Amendment, as may be required for the proposed land uses.
- As authorized by the Clean Water Act, the National Pollutant Discharge Elimination System (NPDES) permit program will be incorporated to control water pollution by regulating discharge pollutants at point sources.
- Grading operations in compliance with the South Coast Air Quality Management District (SCAQMD) requirements.
- Building code requirements as dictated by local governmental agencies and the Uniform Building Code.

#### c) Conceptual Grading and Drainage Plan Development Standards

The following general standards shall be applied in the implementation of the Mirasera Conceptual Grading and Drainage Plan:

##### *Grading*

1. All grading will be performed in substantial conformance with **Figure 4-5** (Conceptual Grading and Drainage Plan) and shall conform with Riverside County grading standards to the satisfaction of the County Engineering Department.
2. All grading activity shall implement any grading-related mitigation measures outlined in the Environmental Impact Report.
3. All cut and/or fill slopes or individual combinations thereof shall meet the minimum requirements of the Uniform Building Code.
4. All grading activity shall conform to the recommendations of the preliminary soils report and subsequent reports prepared in conjunction with the grading plans.
5. The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of other parties.
6. The applicant shall prepare a construction management plan addressing soils import/export, haul routes and grading activities management.



## CONCEPTUAL GRADING AND DRAINAGE PLAN

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

FEET  
0 200 400 600

N

**Figure 4-5**

7. Graded but undeveloped land, including inactive on-site borrow areas, shall be maintained weed-free and planted with interim landscaping or otherwise stabilized in conformance with the requirements of the County and the South Coast Air Quality Management District (SCAQMD).
8. All development areas and lots shall be designed so that surface drainage is directed to street frontages or approved natural or improved drainage courses.
9. When consistent with an approved grading plan, grading will be permitted outside of the immediate area of development as follows:
  - Borrow sites are permitted on consenting offsite property and in areas scheduled for future development.
  - Excess cut from a given phase may be placed as engineered fill in a future development area or disposed of on consenting offsite property.
10. Potential construction noise shall be mitigated through the limitation of construction hours as stated in the County Municipal Code.
11. In order to control wind and waterborne erosion during and after construction, the following standards shall apply:
  - Prior to initial grading activities, a soils report and geotechnical study shall be performed that further analyze on-site soil conditions and include appropriate measures to control erosion and dust.
  - Erosion control plans including a dust control program will be submitted concurrently with the grading plans.
  - All requirements of the RCFCWD regarding erosion control for grading operations shall be implemented to reduce wind blown or water transported sediments.
  - Energy dissipation devices will be provided downstream of storm drain outlets to protect watercourses from increases in flow velocity.
  - All graded slopes shall be planted in a timely manner with plant materials that will stabilize the slopes and minimize erosion. During the interim period before permanent ground cover develops, straw, wood chips, or jute will be used as stabilizing agents.
12. A Native American Monitor shall be on-site during earth movement activities (grading).
13. If any cultural resources are discovered during grading, a qualified archaeologist will be consulted to ascertain their significance, consult with the County and appropriate Indian Tribe and implement appropriate mitigation prior to resuming grading activities.

#### *Drainage*

14. The drainage concept is illustrated in **Figure 4-5** (Conceptual Grading and Drainage Plan), but is subject to refinement during final engineering design. The precise system

layout, hydrology, and hydraulics will be determined during the final engineering phase of the improvement plan approval process.

15. Drainage, flood control facilities and improvements shall be provided in accordance with Riverside County Flood Control and Water Conservation District (RCFCWCD).
16. In conjunction with future development approvals, design will be coordinated to ensure that there are no major diversions between drainage areas.
17. Best Management Practices (BMP) will be implemented to enhance pollutant removal during storms, and to improve the quality of storm water runoff. BMP refers to structural or non-structural (procedural, educational or maintenance techniques not involving construction) pollution control measures which reduce the amount of non-point source pollution entering natural surface waters. The former group includes those BMP's in which pollutants are prevented from ever coming in contact with the storm water; the latter group consists of various methods of treating storm water.
18. The following non-structural BMP's are recommended:
  - Routine inspection of catch basins before and after the storm seasons, including cleaning to remove sediment and debris containing absorbed pollutants.
  - Definition and adherence to guidelines for fertilizer and pesticide usage, including proper application rates for the local area and soil type.
19. When structural BMP's are required, the following mitigation measures will be used depending upon site conditions and ultimate discharge requirements:
  - Control of hazardous waste during grading/construction (i.e. waste oil & grease) including confining the wastes to designated areas until they can be disposed of properly.
  - Control of all sediment transport through desilting basins during grading/construction operations.
20. All projects proposing construction activities including cleaning, grading, or excavation that results in the disturbance of at least one acre, or activity which is part of a larger common plan of development of one acre or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within the specific plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program. Mitigation measures may include, but are not limited to: on-site retention; covered storage of all outside storage facilities; vegetated swales; and monitoring programs.
21. Berms, channels and swales shall be graded in a way as to be integrated into the graded or paved surfaces, and will be designed with smooth sides.
22. Swales shall not interfere with pedestrian walkways.
23. All on-site grading and paving shall be constructed to drain to the adjacent street and/or adequate drainage facilities.

#### **4.1.4 Conceptual Landscape Plan**

##### **a) Conceptual Land Use Plan Description**

###### *Landscape Theme*

The objective of the overall landscaping concept is to provide a distinctive visual impression and community identity, soften the urban experience and compliment the quality of the building materials that will assure an attractive environment enhancing the quality of life among Mirasera residents.

Consideration of site conditions is important for the selection of landscape plant material. Trees and shrubs shall be selected that will be drought tolerant, hardy and durable under desert conditions and prevailing winds.

The landscape palette will be "Desert Transitional." This includes plants that may be native to the desert environment as well as introduced plant species from more subtropical zones. This diverse plant palette will be used to create a variety of landscape experiences, including natural edges and open space corridors to more structured and formal tree-lined paseos.

###### *Conceptual Landscape Plan Description*

Master planned landscape treatments will play a pivotal role in establishing an overall theme for the Mirasera project. Landscaping will provide unification and continuity among the various land uses. Landscape treatments are designed to reflect and enhance the character of the proposed development. The intent of the Conceptual Landscape Plan is to describe and illustrate how community unification can be achieved. The project will introduce thematic elements into the manmade environment and complement the natural beauty of the surrounding desert landscape.

###### *Plant Palette*

It is the intent of the Specific Plan to allow flexibility and diversity in planting design while defining an acceptable palette in order to reinforce the thematic identity of the proposed project. A limited selection of plant materials used in simple significant compositions is encouraged. Planting designs should be compatible with and complement adjacent plantings and should reinforce and enhance the individual architecture and design of each site. The plant palettes were developed with emphasis placed on plants which are suitable to the Coachella Valley and the Specific Plan design concept. Selections were made with respect to growth factors such as water, climate, soils, fire resistance, and maintenance concerns. Plants were selected to promote and compliment the project and provide it with its own identity. The proposed plant palette for the project is listed in **Table 4-3**.

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**

SPECIFIC PLAN

 September 15<sup>th</sup>, 2006

TABLE 4-3 PLANT PALETTE							
ZONES					BOTANICAL NAME		COMMON NAME
	CO	E			<b>PALMS</b>		
	CO	E			Brahea armata		Mexican Blue Palm
CD	CO	E	I	P	Butia capitata		Pindo Palm
CD		E			Chamaerops humillis		Mediterranean Fan Palm
CD	CO	E	I		Cycas revoluta		Sago Palm
CD	CO	E	I		S	Phoenix dactilifera	Date palm
CD	CO	E	I		S	Washingtonia filifera	California Fan Palm
CD	CO	E	I		S	Washingtonia robusta	Mexican Fan Palm
					<b>TREES</b>		
CD	CO			P	S	Acacia Salicina/Anuera	Willow Acacia
	CO			P	S	Acacia Smallii	Sweet Acacia
	CO			P	S	Acacia Stenophylla	Shoestring Acacia
	CO		I	P	S	Caesalpinia cacalaca	Cascalote
CD	CO	E	I	P	S	Cercidium hybrid 'Desert Museum'	Desert Museum
	CO			P	S	Cercidium floridum	Palo Verde
CD		E	I		S	Cercidium paraecox	Sonoran Palo Verde
CD	CO	E			S	Citrus spp.	Coachella Valley Grown
	CO			P		Chilopsis linearis	Desert Willow
	CO			P		Olneya tesota	Ironwood
	CO			P		Lysiloma thomberi	Feather Bush
						Pithecellobium flexicaule	Texas Ebony
CD	CO	E	I	P	S	Prosopis chilensis (thornless)	Thornless Chilean Mesquite
						Prosopis glandulosa	Honey Texas Mesquite
	CO			P		Sophora secundiflora	Texas Mountain Laurel
CD	CO	E	I		S	Tipuana Tipu	Tipu Tree

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**

SPECIFIC PLAN

 September 15<sup>th</sup>, 2006

TABLE 4-3 PLANT PALETTE							
ZONES						BOTANICAL NAME	COMMON NAME
	CO	E	I	P	S	Thevetia peruviana	Yellow Oleander
						<b>ACCENTS / GRASSES</b>	
						Aloe spp.	
CD	CO					Beaucarnea recurvata	Ponytail Palm
	CO			P		Dasyllirion acrotriche	Green Desert Spoon
	CO			P		Dasyllirion longissima	Mexican Grass Tree
	CO			P		Dasylirion wheeleri	Desert Spoon
	CO			P		Fouqueria splendens	Ocotillo
CD	CO			P	S	Muhlenbergia capilaris	Regal Mist
CD	CO			P	S	Muhlenbergia lindheimeri	Lindheimeri Muhly
CD	CO			P	S	Muhlenbergia rigens	Dear Grass
CD	CO			P	S	Pennisetum setaceum 'Rubrum'	Fountain Grass
						<b>SHRUBS</b>	
	CO			P		Baccharis hybrid 'Starn'	Thompson
CD	CO	E	I	P	S	Bougainvillea spp.	Bougainvillea
	CO			P		Baileya multiradiata	Desert marigold
	CO					Calliandra eriophylla	Fairy Duster
CD	CO	E	I	P	S	Caesalpinia pulcherrima	Red Bird of Paradise
CD	CO	E	I	P	S	Carissa g. 'Boxwood Beauty'	Boxwood Beauty Natal Plum
CD	CO	E	I	P	S	Cassia artemesoides	Desert Cassia
CD	CO	E	I	P	S	Cassia nemophila	Bushy Senna
CD	CO	E	I	P	S	Chrysactinia mexicana	Damianita
	CO			P		Cordia parvifolia	Little Leaf Cordia
	CO			P		Encelia farinosa	Brittlebush
	CO			P		Ericameria laricifolia	Turpentine Bush

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**
**SPECIFIC PLAN**

 September 15<sup>th</sup>, 2006

TABLE 4-3 PLANT PALETTE							
ZONES						BOTANICAL NAME	COMMON NAME
	CO					Euphorbia splendens	Crown of Thorns
CD	CO	E	I	P	S	Hesperaloe parviflora	Red Hesperaloe
	CO					Justicia Californica	Chuparosa
	CO					Justicia spicigera	Mexican Honeysuckle
CD	CO	E	I	P	S	Leucophyllum spp.	
	CO	E		P		Nerium oleander 'Petite Pink'	'Petite Pink' Oleander
CD	CO	E	I	P	S	Nandina domestica	Heavenly Bamboo
CD	CO	E	I	P	S	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's dwarf pittosporum
CD	CO	E	I	P	S	Penstemon spp.	
CD	CO	E	I	P	S	Ruellia brittoniana 'Katie'	Blue dwarf Ruellia
CD	CO	E	I	P	S	Ruellia peninsularis	Desert Ruellia
CD	CO	E	I	P	S	Salvia greggii	Red Salvia
CD	CO	E	I	P	S	Salvia leucantha	Mexican Bush Sage
CD	CO	E	I	P	S	Sphaeralcea ambigua	Globe Mallow
CD	CO	E	I	P	S	Tagetes lemmonii	Lemmon Marigold
CD	CO	E	I	P	S	Xylosma congestum	Xylosma
	CO					Zauschneria Californica	California fuchsia
VINES AND GROUND COVER							
CD	CO	E	I	P	S	Bougainvillea 'Barbara Karst'	Bougainvillea
CD	CO	E	I	P	S	Calliandra inaequilatera	Pink Powder Puff
CD	CO	E	I	P	S	Pandorea jasminoides	Bower vine
CD	CO	E	I	P	S	Tecoma stans v. stans	Yellow Bells
CD	CO	E	I	P	S	Tecoma hybrid 'Orange Jubilee'	Orange Jubilee
CD	CO	E	I	P	S	Trachelospermum jasminoides	Star Jasmine
CD	CO	E	I	P	S	Dalea spp.	

## MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT

## SPECIFIC PLAN

September 15<sup>th</sup>, 2006

TABLE 4-3 PLANT PALETTE							
ZONES						BOTANICAL NAME	COMMON NAME
CD	CO	E	I	P	S	Lantana ‘New Gold’	New Gold Lantana
CD	CO	E	I	P	S	Lantana montevidensis	Purple Lantana
CD	CO	E	I	P	S	Melampodium leucanthum	Blackfoot Daisy
CD	CO	E	I	P	S	Oenothera berlandieri	Mexican Evening Primrose
CD	CO	E	I	P	S	Rosmarinus officinalis ‘Prostratus’	Dwarf Rosemary
CD	CO	E	I	P	S	Verbena spp.	
Key:							
E – Entry District		I – Interior Streets		CO – Common area open space		CD – Commercial	
S – Streets		P – Ave 38 perimeter					

*Community Description*

The variety of architecture in Mirasera makes the landscape design an important element in creating a cohesive development and maintaining a strong sense of community. The landscape will bring continuity and become the fabric that holds together the eclectic mix of architecture at Mirasera. Streetscapes within the site apply a strong use of street trees, enhanced paving materials, lighting and street furniture. The combination of parks, open spaces, plazas, and paseos will foster a walkable community. Landscape will be water efficient and appropriate for the desert.

At the heart of Mirasera will be a 6.0 acre Village Green located at the terminus of the Main Promenade, a linear pedestrian plaza located in the middle of the main entry road into Mirasera. A clock tower or other iconic structure may be placed at this location giving the Promenade a northern visual focal point with a spectacular mountain backdrop. The Village Green may include a community center, amphitheatre, ball courts, tot lot and open lawn areas for passive recreation. The Main Promenade features a 50-foot wide tree shaded corridor offering respite from the desert sun that creates opportunities for Sunday bazaars or farmers market. A hotel site and vertical mixed use buildings line the Main Promenade giving it a 24-hour street life. Signature buildings will be located at the entrance to the Main Promenade along Varner Road and will incorporate high quality architecture and become a focal point for motorist along Interstate-10. In addition, a 40-foot wide passive linear park will connect the Village Green to the Community Retail area of Mirasera.

The community will consist of up to 1,756 homes developed in array of product types including single-family detached court homes, walk-up townhouses, condominiums, and flats. The mixed-use planning area allows up to 141 live/work residential units and 122,700

square feet of retail or office space. The community also includes up to 228,700 square feet of office development and up to 187,300 square feet of community retail space.

### *Community Elements*

The Conceptual Landscape Plan consists of community elements that form the basic structure of the plan. The objective is to reinforce the community identity through the control of master planned design elements. Collectively all elements will be coordinated with the selection of building and plant materials and will provide reinforcement of the overall project theme. These features will consist of major and minor project entries, intersection treatments, traffic calming and pedestrian crossing, streetscapes, monumentation and signage, street tree program, main street, walls and fences, lighting, sight furnishings, parks and open space, promenade, trails and paseos, landscape and water conservation.

### *Major and Minor Project Entries*

Project entries serve as the face of the Mirasera community. As such, they should be attractive and distinctive to create a positive project image that not only creates a pleasant environment for residents, but also draws users from Interstate-10.

See **Figure 4-6** (Major Project Entry)

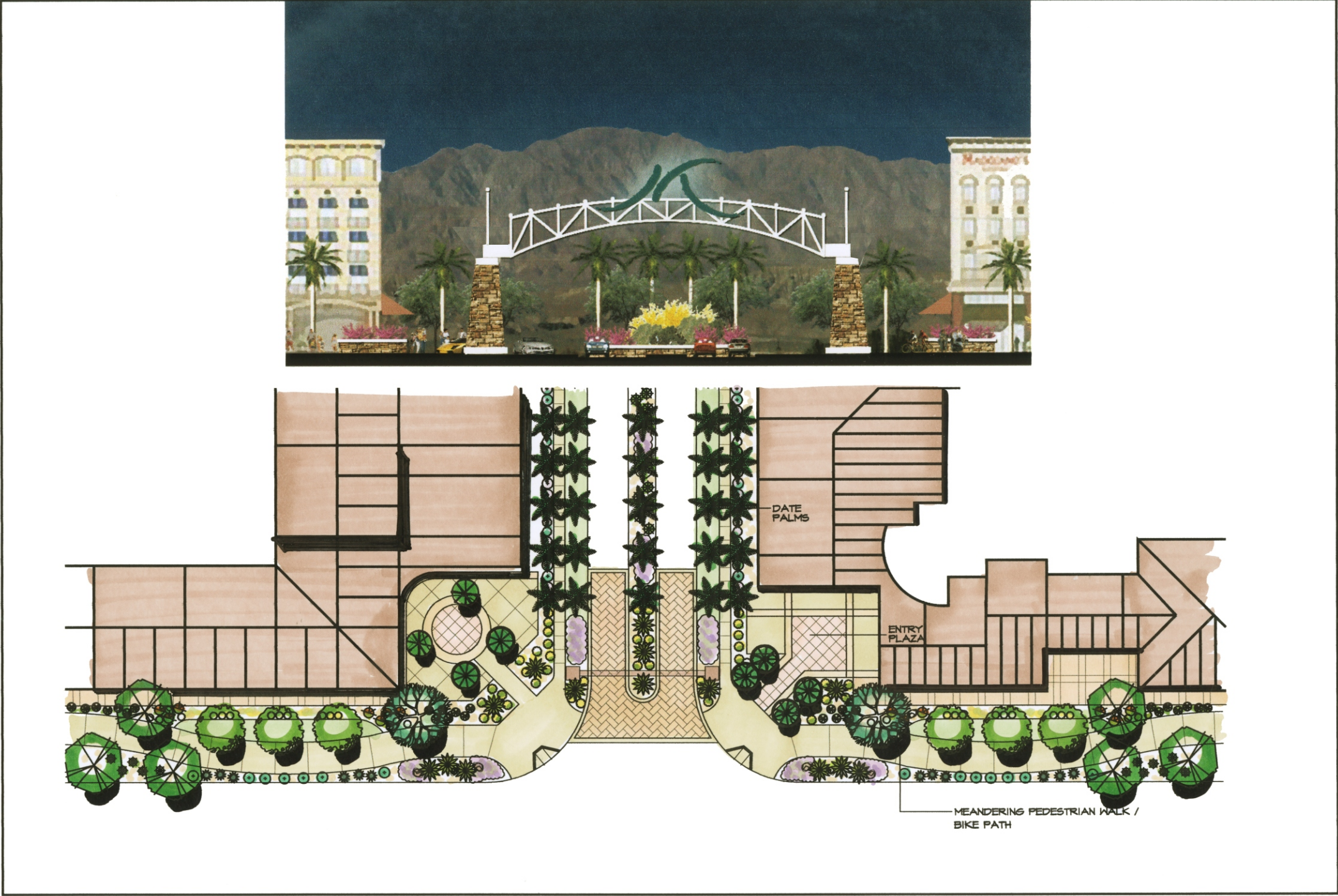
The structure, form, and character of the Major Entries will be established by the following design elements:

- Major project entries should feature attractive gateway entry signage composed of stone pilasters, a metal arch with project signage spanning the road, and accent lighting elements.
- Date palms, accent trees and plantings, and stone planters should also be incorporated into entry design.
- Special patterned paving should be used at major entries to create a sense of place and importance.
- Low profile and architecturally distinct thematic community identification signage will be located at the main entry drives from Varner Road and Avenue 38.

See **Figure 4-7** (Minor Project Entry)

The structure, form, and character of the Minor Entries will be established by the following design elements:

- Minor project entries should contain patterned paving, accent tree and plant plantings, and median plantings.
- Marquis should be placed at the project's eastern and western edges along Varner Road.



**MAJOR PROJECT ENTRY**

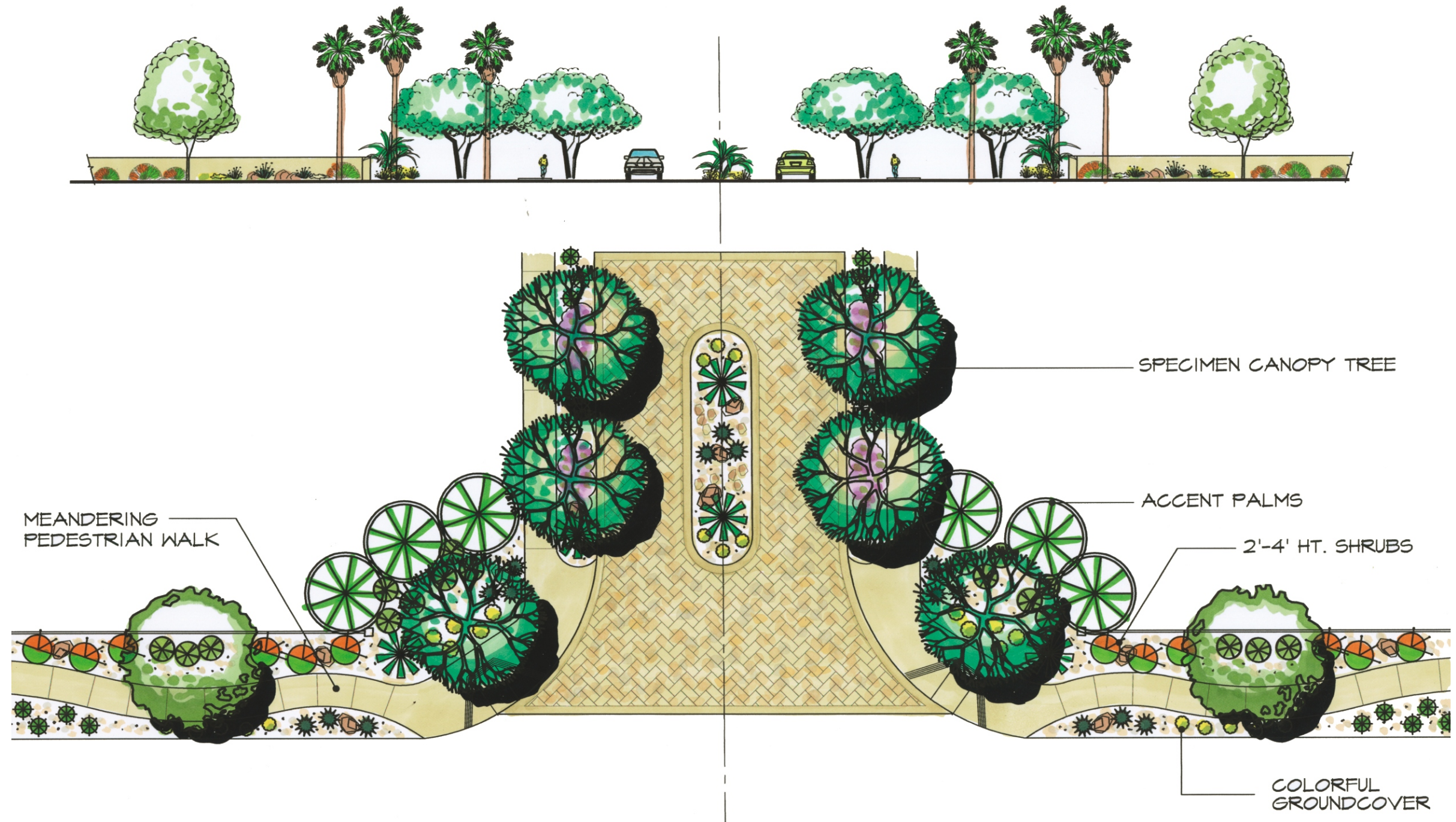


MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE

**Figure 4-6**



## MINOR PROJECT ENTRY

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

**Figure 4-7**

### *Intersection Treatments*

See **Figure 4-8** (Street Intersections)

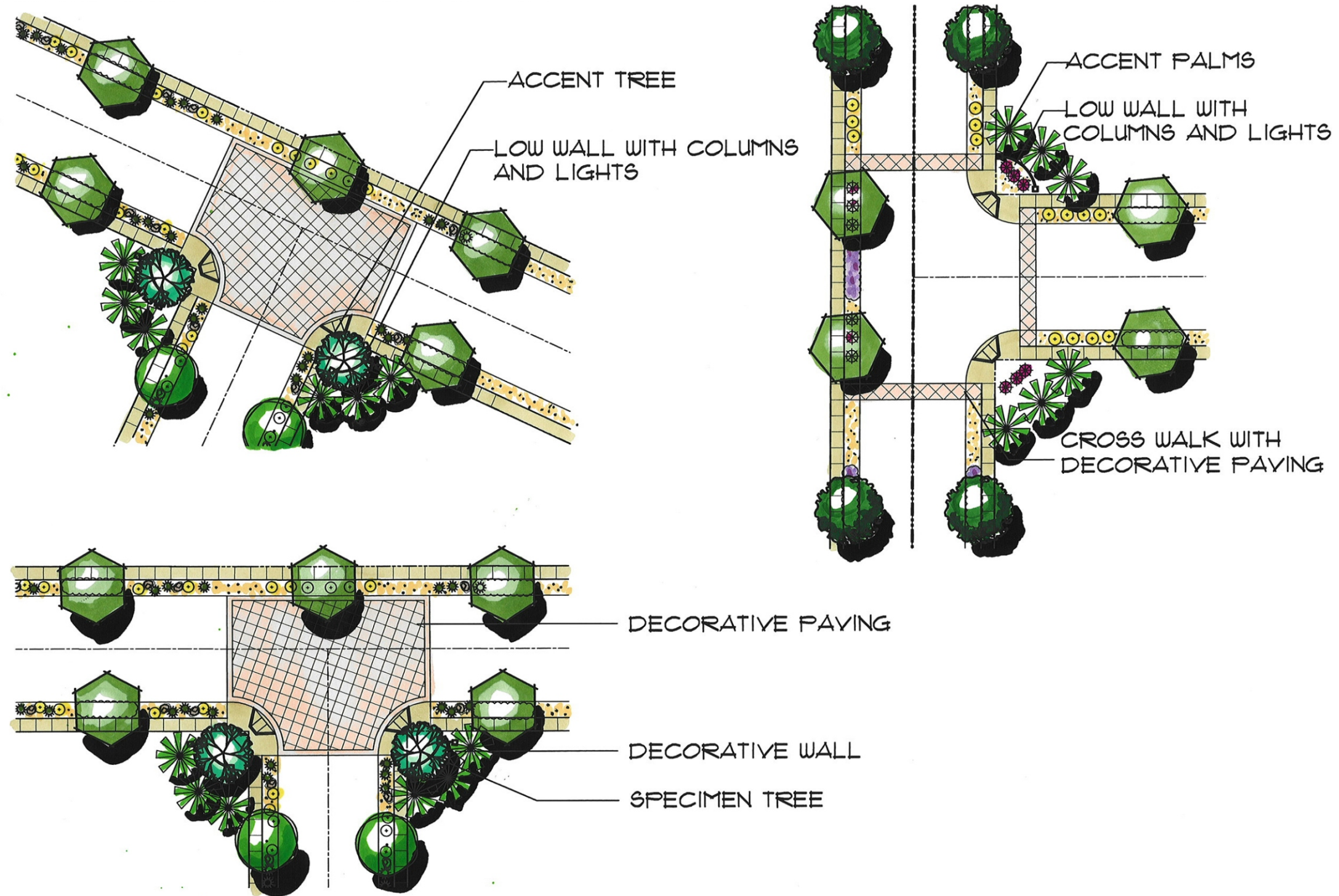
Intersections serve as important nodes within the Mirasera project. A hierarchy of intersection treatments will enhance important intersections and add to the visual quality and interest of the project.

- Patterned paving should be used to visually denote important intersections.
- Bollards should be placed behind the sidewalk edge, where appropriate, for pedestrian safety.
- Low walls with stone or decorative treatments, columns with ornamental caps or pots along with accent landscaping treatments will help define the intersection as well as create entry portals to neighborhoods.
- A hierarchy of intersections will be defined by the amount of special paving either at the entire intersection or at crosswalks. Some intersections may include a landscaped center island that will serve as a visual focal point.

### *Traffic Calming and Pedestrian Crossing*

Traffic calming measures and pedestrian crossings are design elements that reduce the speed of vehicular traffic and aid pedestrian circulation. These design elements should be clearly defined and visually attractive, adding to the safety and comfort of residents and visitors. These elements may be incorporated into the mixed-use planning area.

- Upgraded paving materials will punctuate important open space pathways of Mirasera. The urban nature of this community requires simple, timeless paving materials with a high level of craftsmanship and permanence.
- Sidewalk bulbs or bulb-outs slow traffic, reduce the length of the crosswalk, and create more sidewalk space/landscaping area. They should be incorporated into streetscape design at important intersections and pedestrian crossings when appropriate.
- Sidewalk crossings with upgraded concrete finishes and color will alert the motorists to pedestrian links and crossings.
- Pedestrian crossings should be designed to be handicap accessible in accordance with the Americans with Disabilities Act (ADA).
- Medians should be used along major streets to reduce vehicular traffic speeds, create pedestrian friendly environments, and to ensure an attractive project image.
- Mid-block chokers are raised landscape islands in the parking zone that narrow the roadway, reducing vehicular speeds and creating visual variation along the streetscape. They should be used on pedestrian oriented streets when necessary.
- Speed bumps, when appropriate, should be incorporated into parking lot design to reduce vehicular speeds.



## STREET INTERSECTIONS


Stantec 

MIRASERA  
40421.04.000 SPECIFIC PLAN

  
MIRASERA  
... the village

 THE  
PLANNING  
CENTER

 TKD

NOT TO SCALE  


**Figure 4-8**

*Streetscapes*

The street landscape concept has been developed in response to the circulation hierarchy of the Mirasera project. Successful streetscapes are a partnership between the building design and the landscaped edge of the street. Each type of street should be defined by distinctive landscaping, lighting, and street furnishings. The Mirasera streetscape concept seeks to illustrate community characteristics and unify surrounding elements. As shown on **Figures 4-9** thru **4-13** landscape design concepts and dimensions representing the typical roadway cross sections were prepared for the following areas of the Mirasera project:

- Residential Collector (Figure 4-9)
- Commercial Collector (Figure 4-10)
- Main Promenade Option A (Figure 4-11)
- Main Promenade Option B (Figure 4-12)
- North Promenade (Figure 4-13)

*Median Island Planting***Figure 4-14** (Median Island Planting)

Medians shall be planted with landscape materials consistent with the overall theme of the Mirasera project.

*Monumentation and Signage*

See **Figure 4-15** (Project Signage)

Monumentation and signage will be used to identify the various project components. Signs shall utilize materials and color palettes that are compatible with the architecture and designs of the surrounding environment. Monument signs should be located near entries to prevent visual clutter in the landscape setback areas. All free-standing signs should be of monument type. Pole or pylon signs are prohibited. Sign programs that identify a hierarchy of signs (directional signs, center signs, etc.) with a common theme shall be required for any project within the specific plan area.

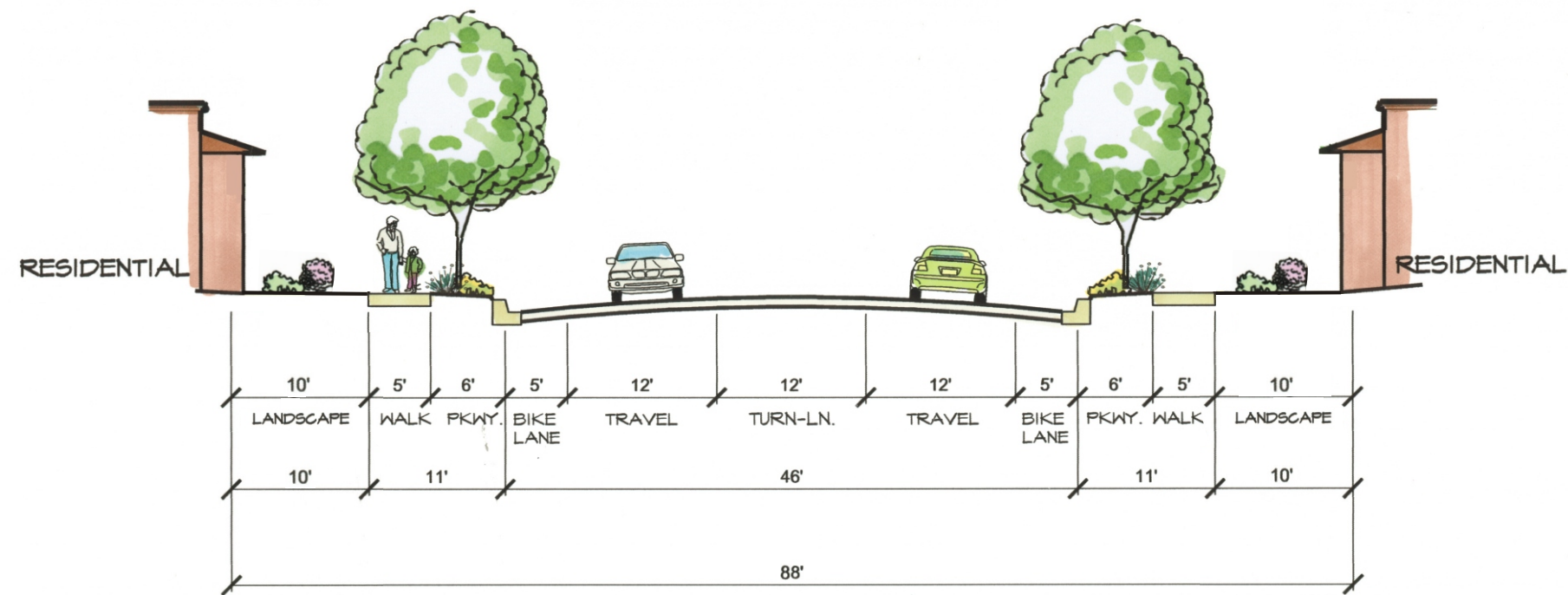
*Varner Road and Avenue 38 Streetscapes*

The streetscapes along Varner Road and Avenue 38 will conform with County Design Guidelines while maintaining a plant palette and design concept compatible with surrounding finished street frontages.

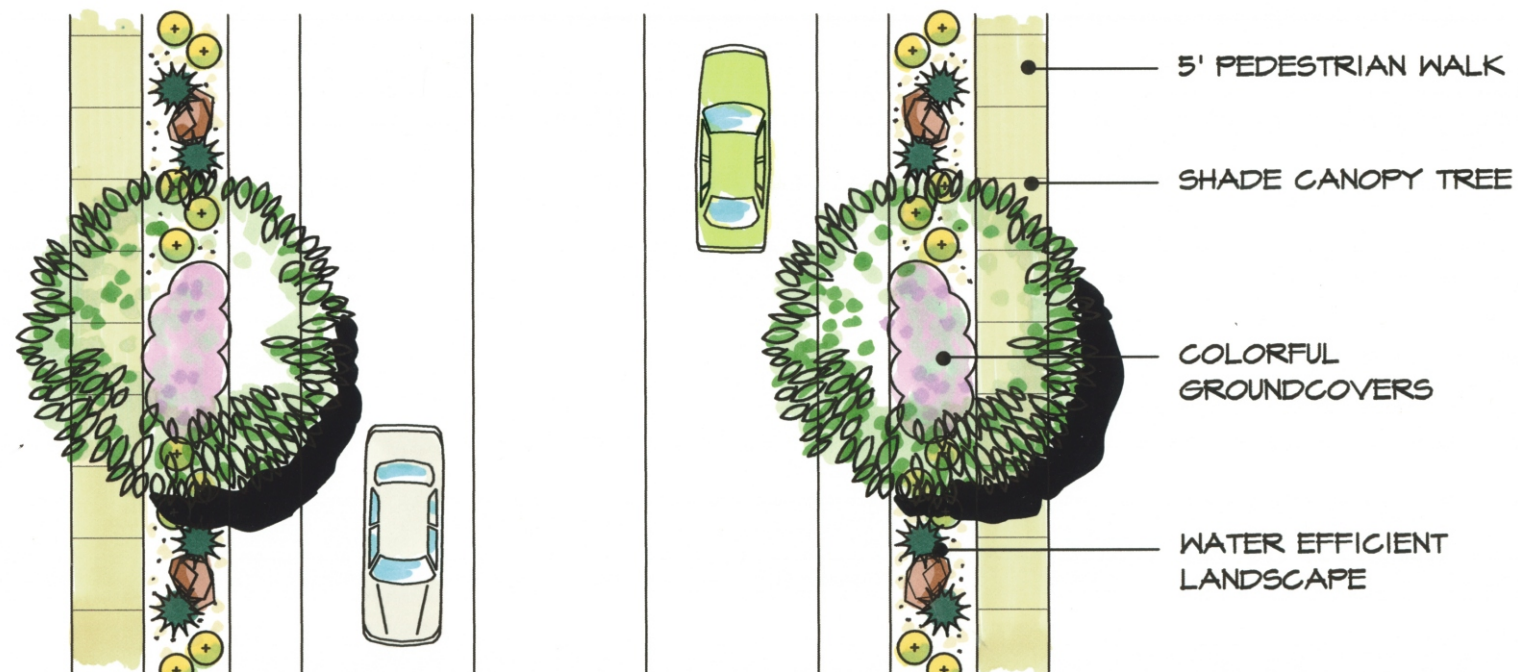
*Street Tree Program*

See **Figure 4-16** (Street Tree Program)

Street trees will be a major feature of Mirasera. Dependent on species, the trees will be spaced to form an arching canopy along the major on-site streets. Trees will be located in a landscaped parkway with an adjacent sidewalk that will provide separation between autos and pedestrians. One tree type will be used along the entire length of the street to provide continuity. Accent trees may be used at intersections and special focal points. Streets will



## Residential Collector



### RESIDENTIAL COLLECTOR STREETScape AND CROSS SECTION

Stantec

MIRASERA  
40421.04.000 SPECIFIC PLAN

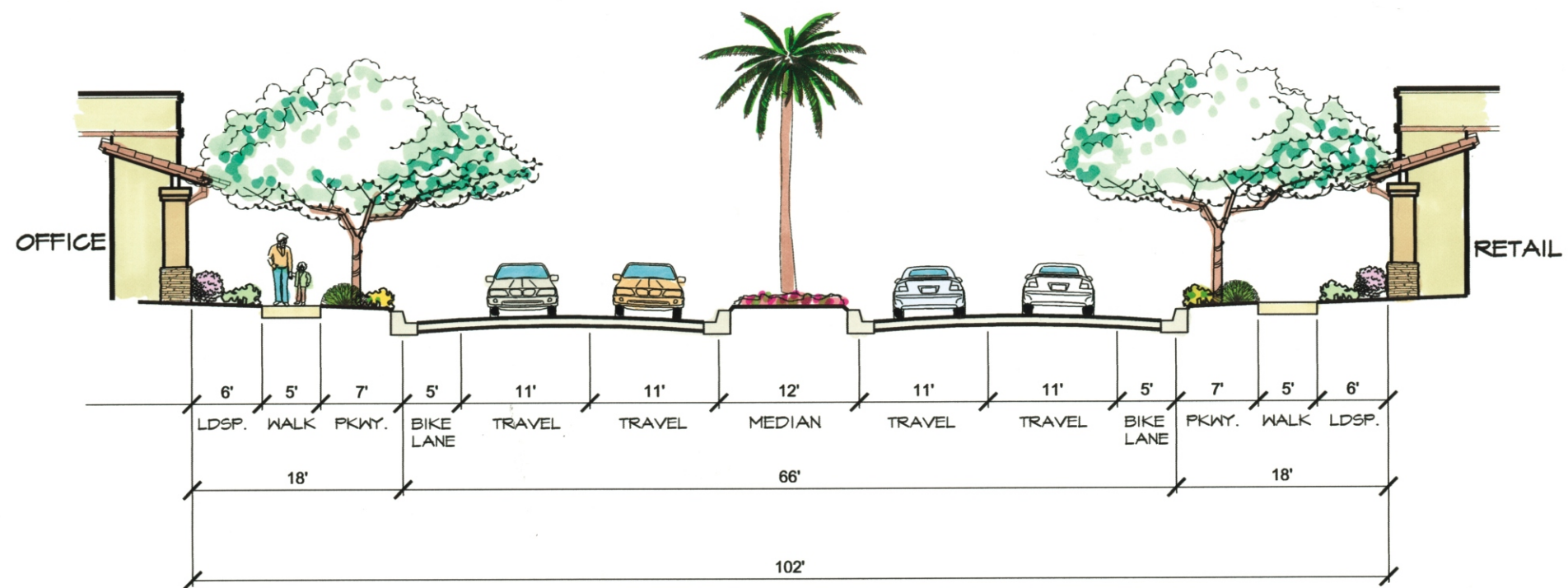
MIRASERA  
... the village

THE  
PLANNING  
CENTER

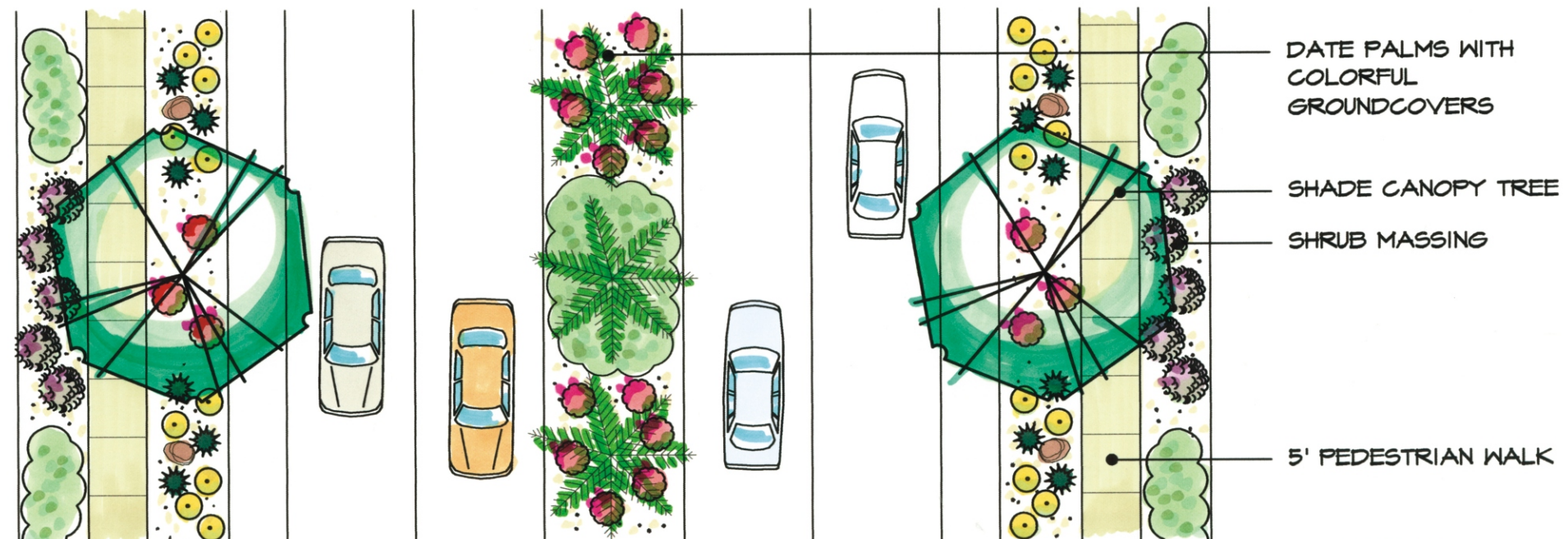
TKD

NOT TO SCALE

Figure 4-9



## Commercial Collector



**COMMERCIAL COLLECTOR STREETScape AND CROSS SECTION**

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

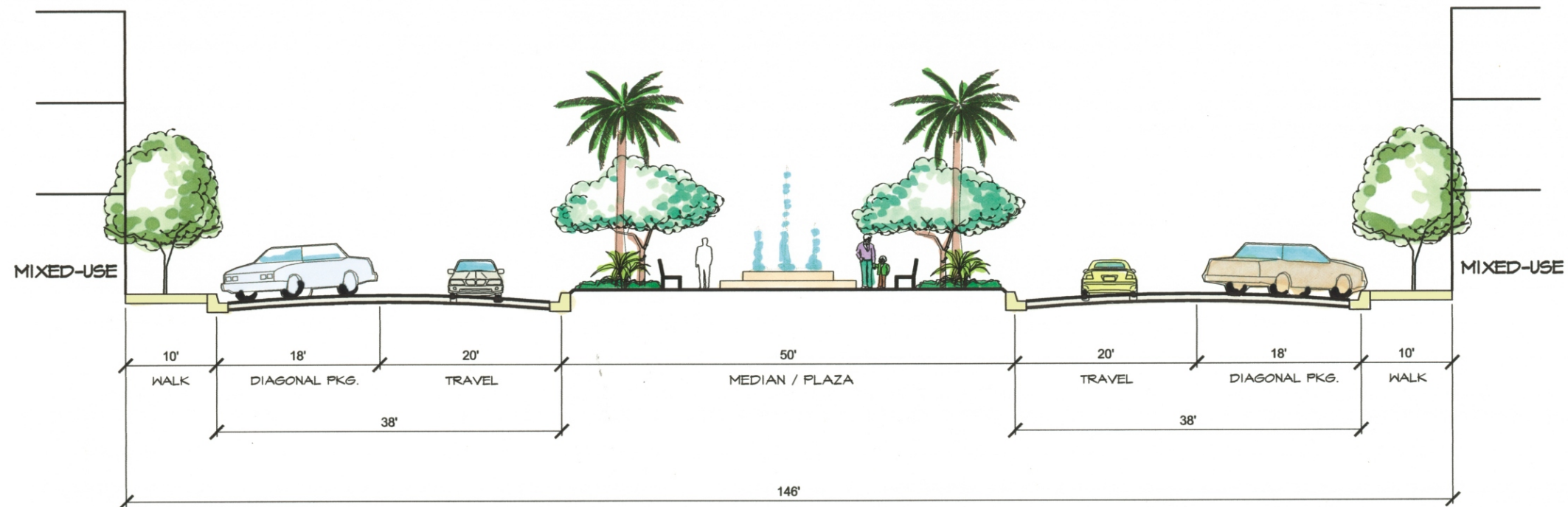
MIRASERA  
... the village

THE  
PLANNING  
CENTER

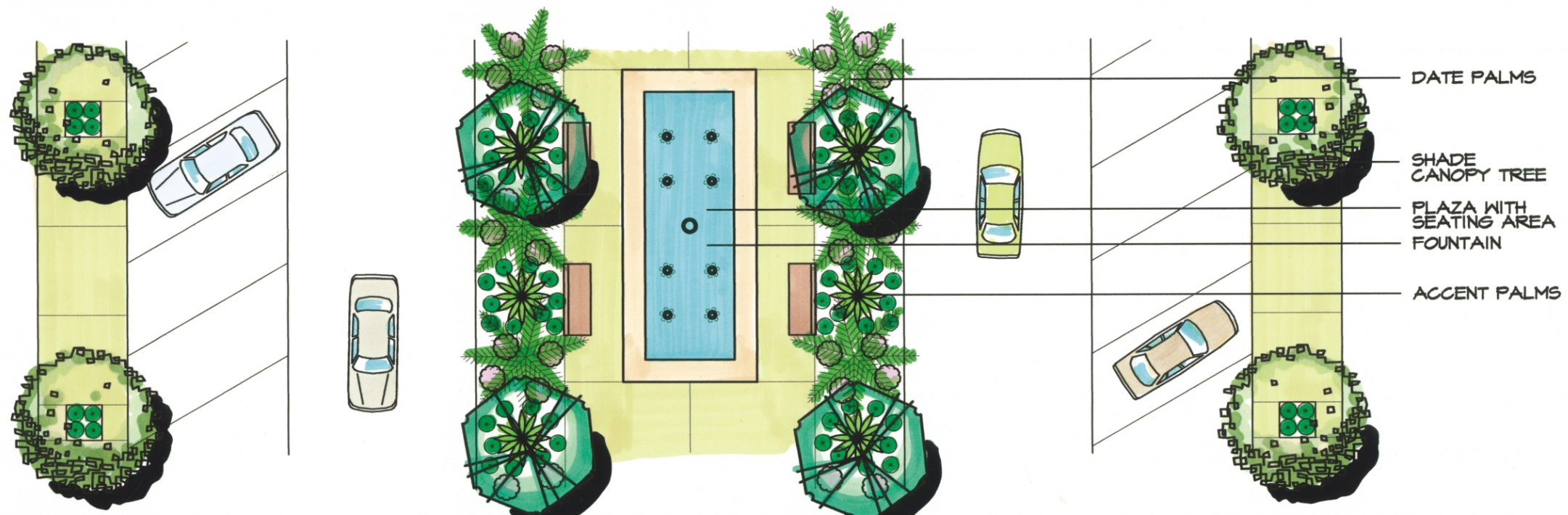
TKD

NOT TO SCALE

**Figure 4-10**



## Main Promenade



**MAIN PROMENADE STREETSCAPE AND CROSS SECTION (OPTION A)**

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

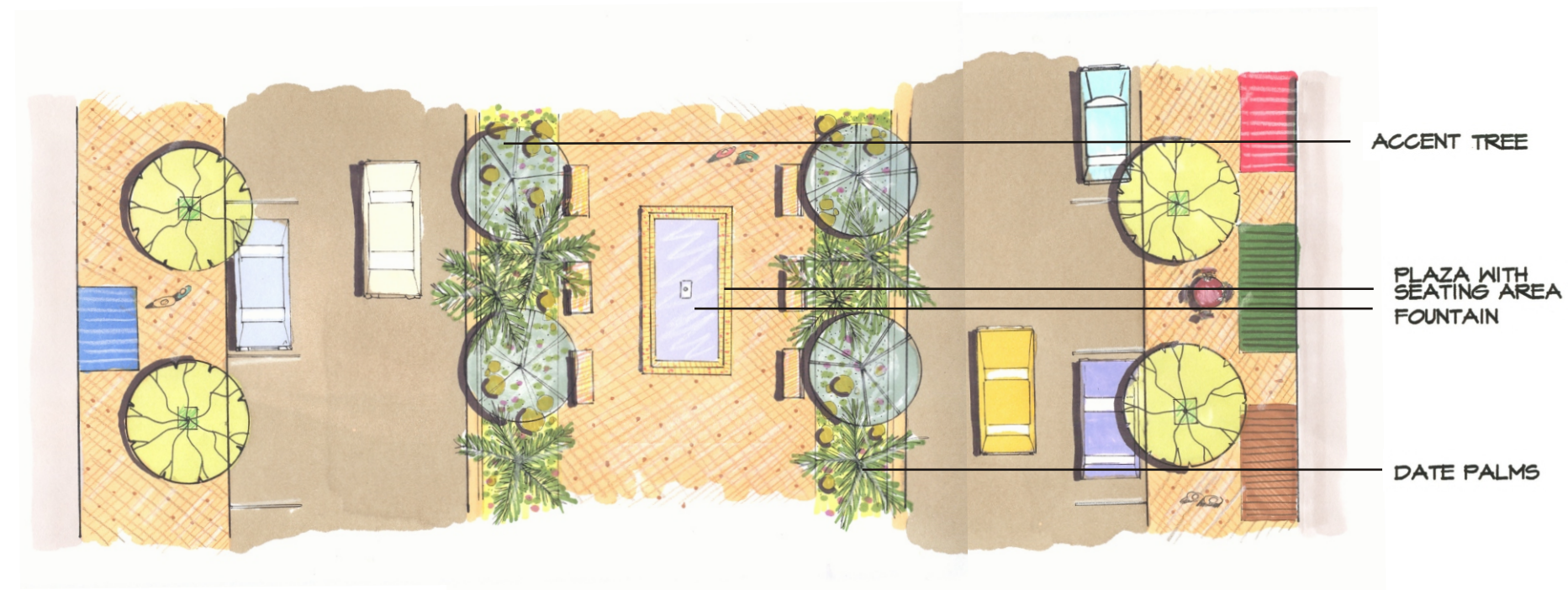
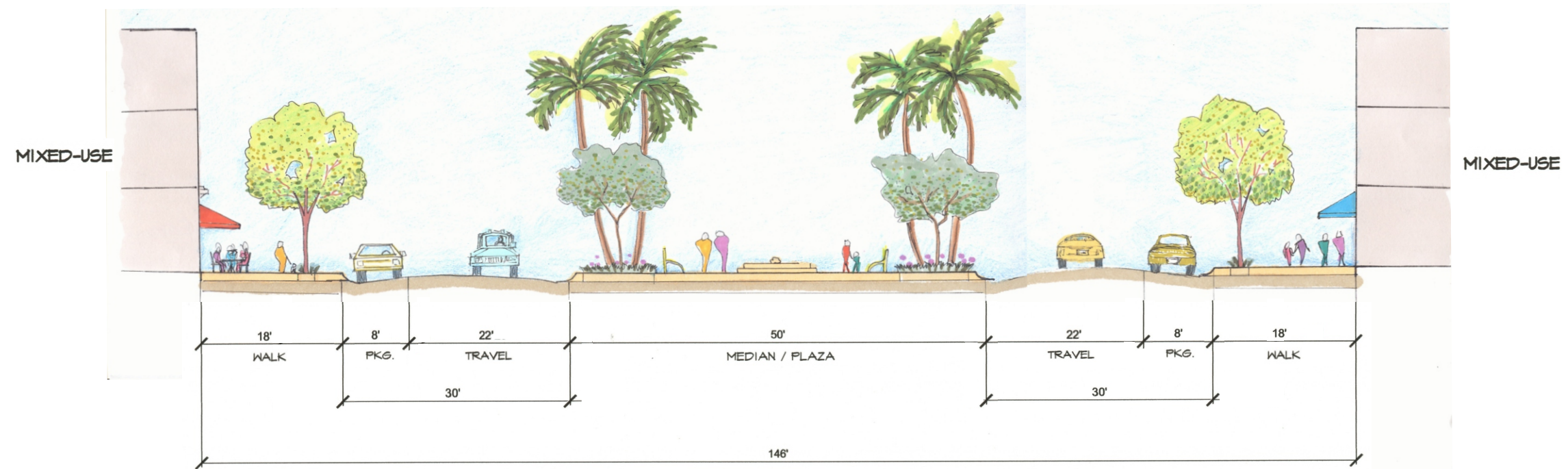
MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

**Figure 4-11**



## MAIN PROMENADE STREETSCAPE AND CROSS SECTION (OPTION B)

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

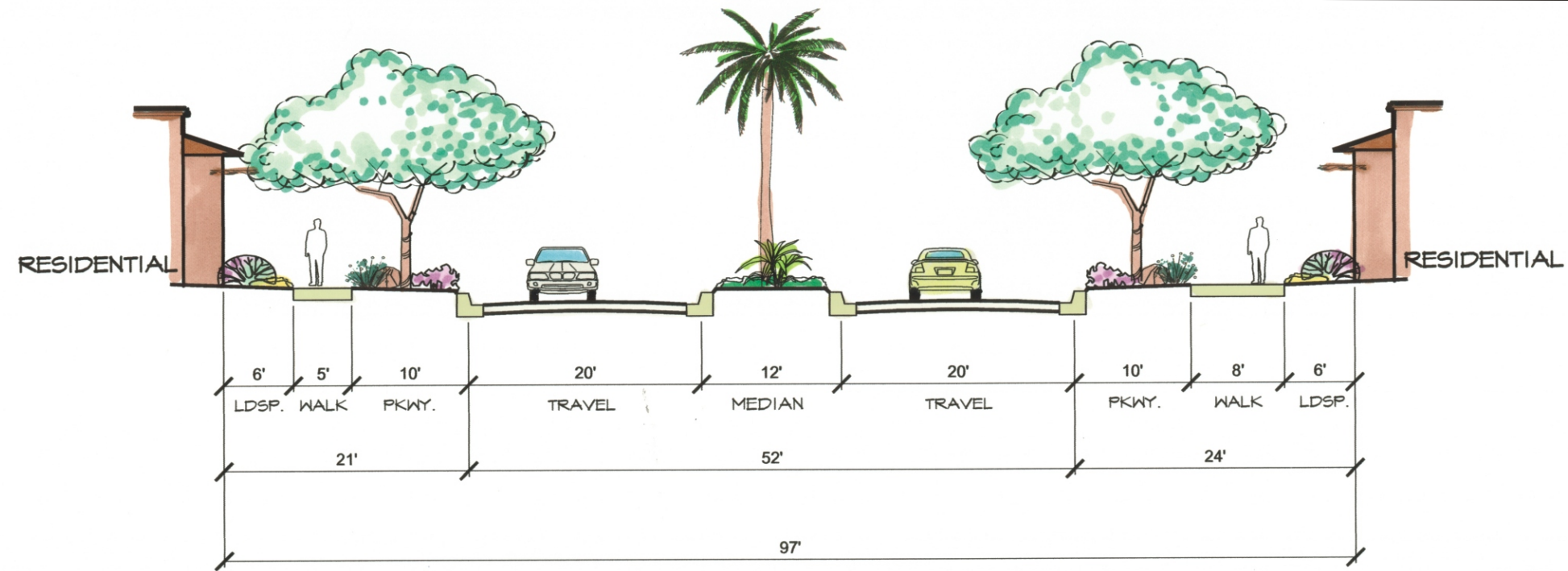
MIRASERA  
... the village

THE  
PLANNING  
CENTER

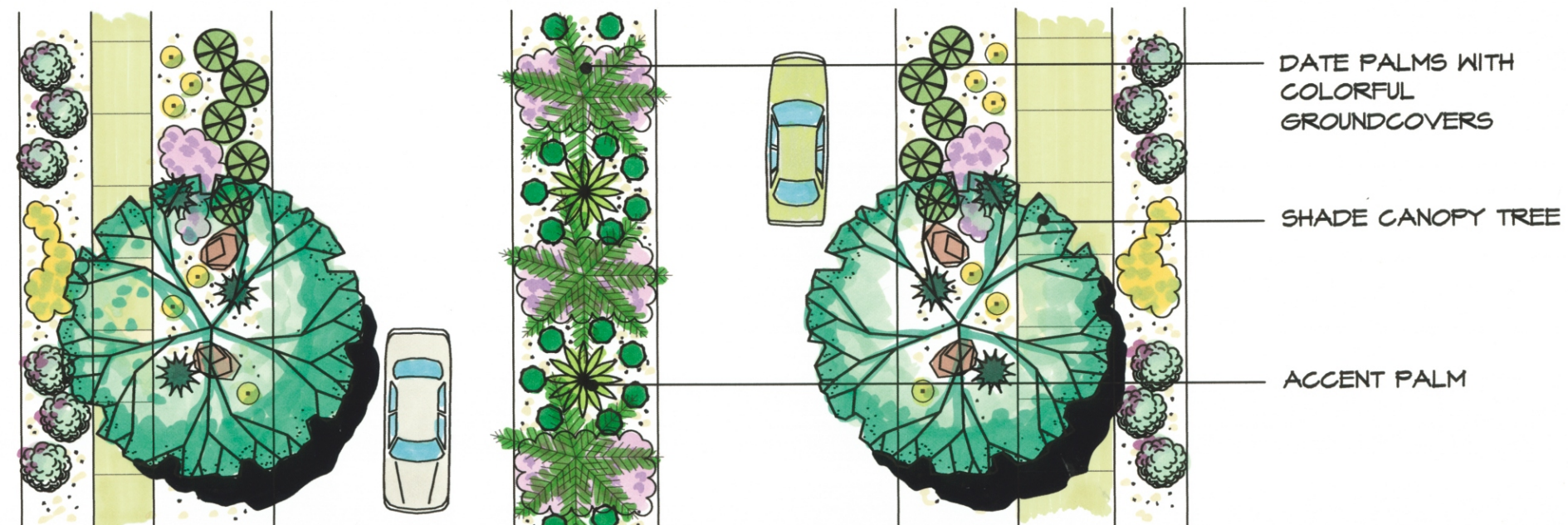
TKD

NOT TO SCALE

**Figure 4-12**



## North Promenade



### NORTH PROMENADE STREETSCAPE AND CROSS SECTION

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

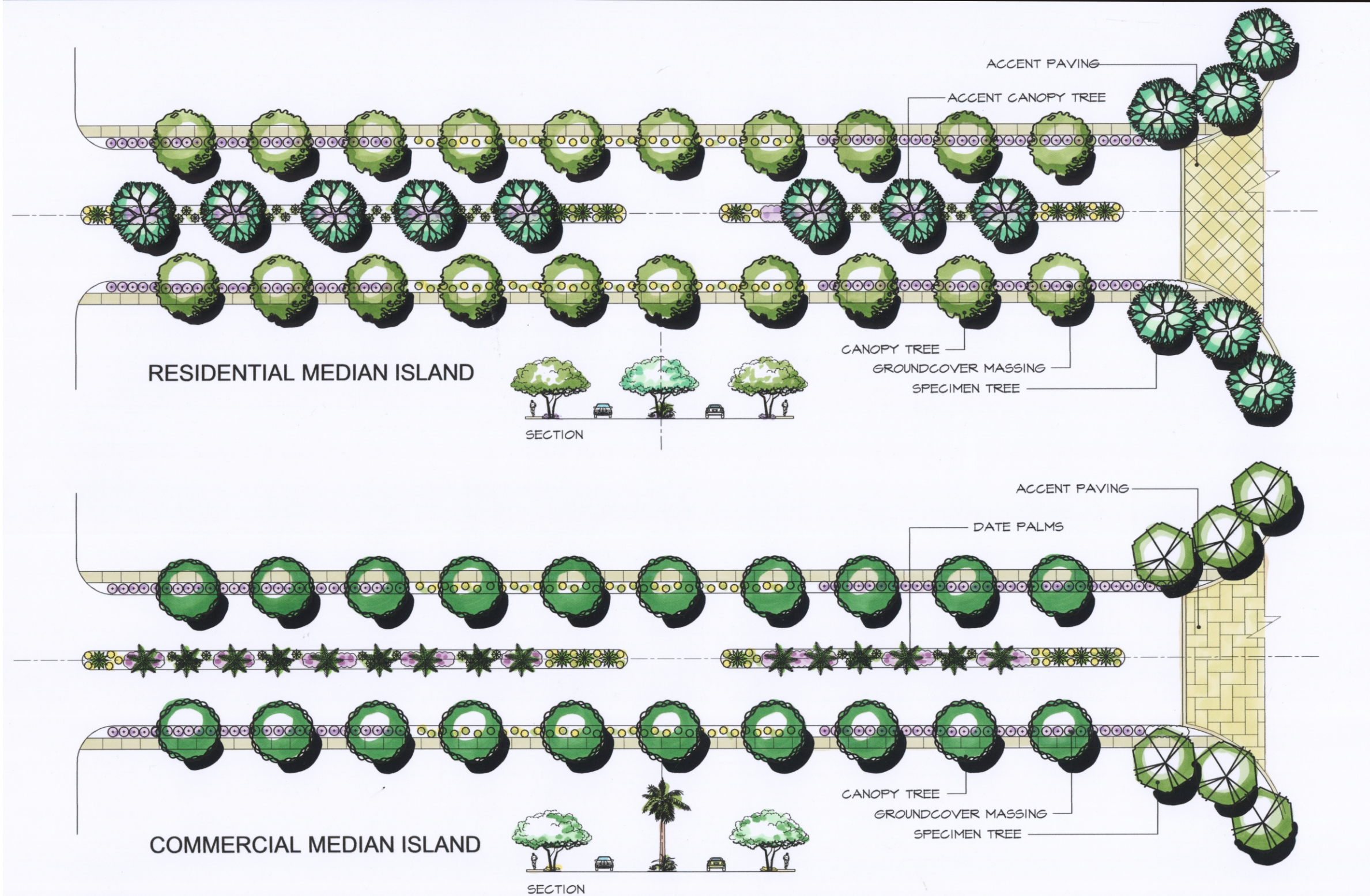
MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

**Figure 4-13**



## MEDIAN ISLAND PLANTING

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

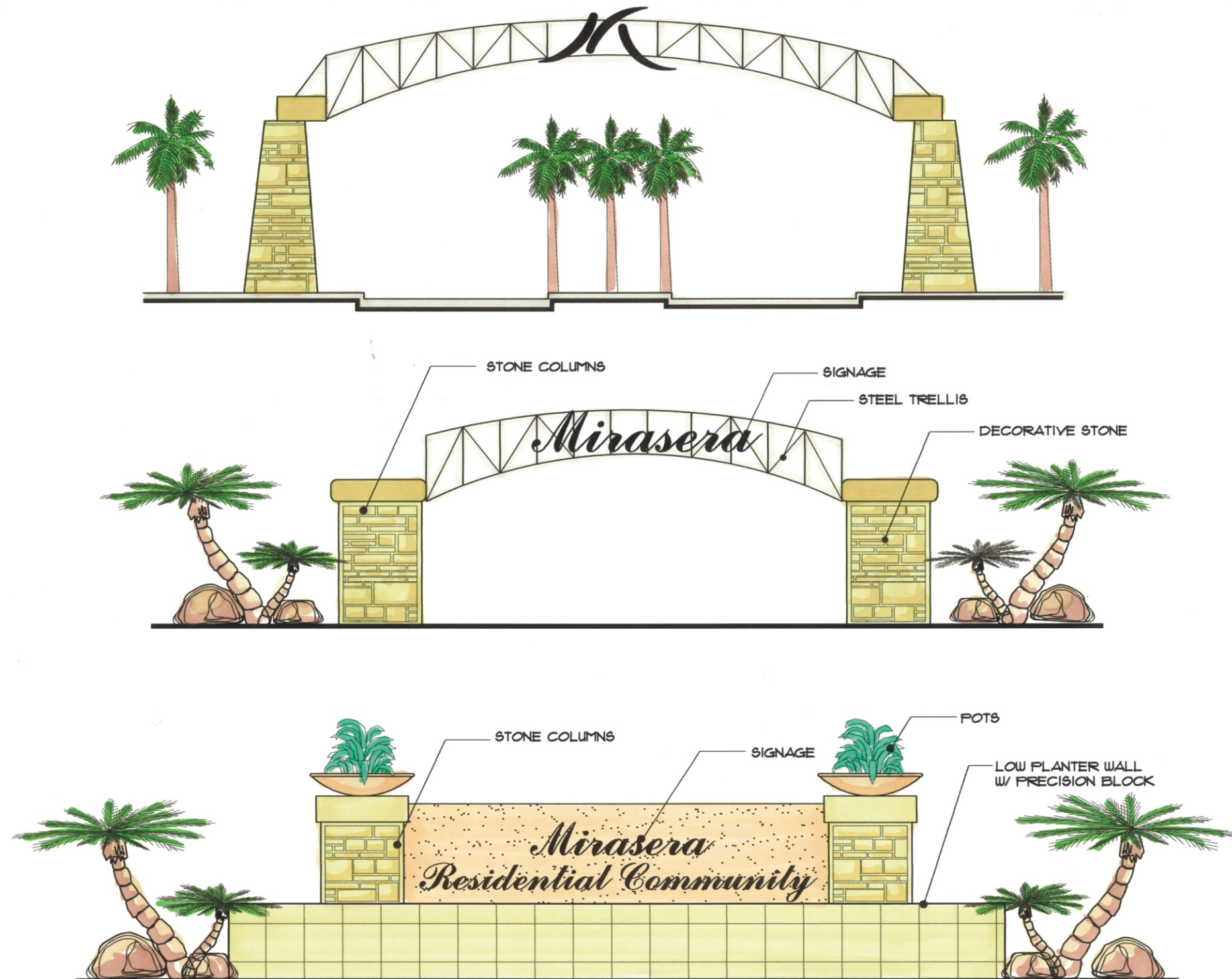
THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

Stantec

Figure 4-14



## PROJECT SIGNAGE

Stantec 

MIRASERA  
40421.04.000 SPECIFIC PLAN

  
MIRASERA  
... the village

 THE  
PLANNING  
CENTER

 TKD

NOT TO SCALE  


**Figure 4-15**

MAIN PROMENADE



CERCIDIUM FLORIDUM

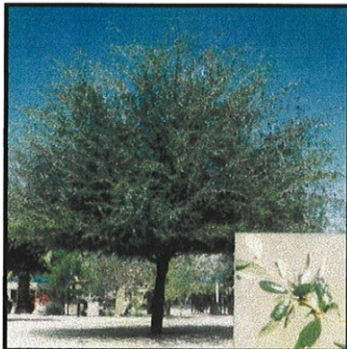


PROSOPIS CHILENSIS

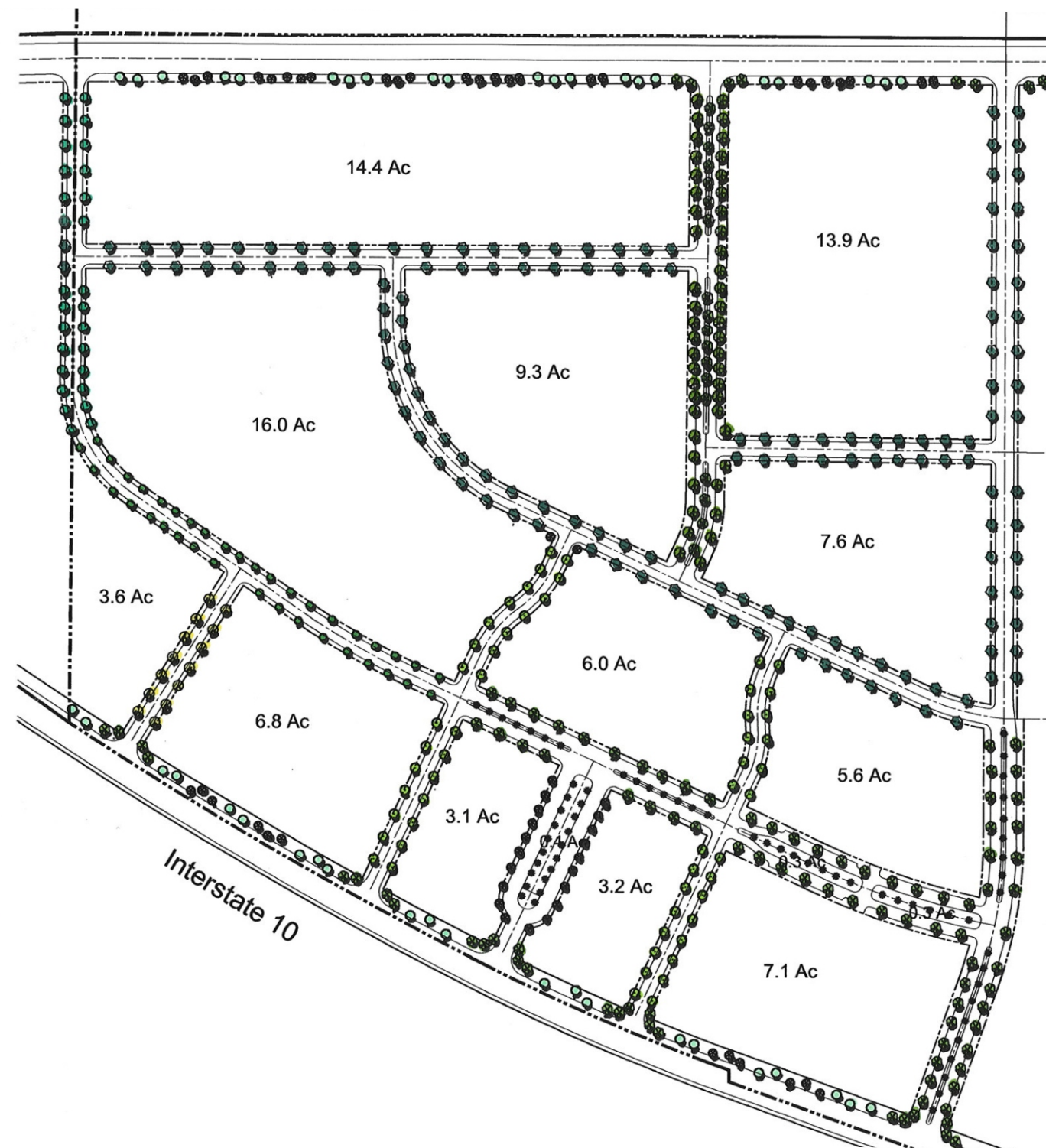
NORTH PROMENADE



TIPUANA TIPU



QUERCUS VIRGINIANA



COLLECTOR ROAD



DALBERGIA SISSOO



CERCIDIUM 'DESERT MUSEUM'



OLNEYA TESOTA

LOCAL ROAD



SCHINUS MOLLE



ACACIA SMALLII

## STREET TREE PROGRAM

MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



Figure 4-16

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT****SPECIFIC PLAN**September 15<sup>th</sup>, 2006

be delineated by the use of various species of trees. The variety, form, and spacing of trees will change depending on the street type and hierarchy.

*Main Street*

A key component of Mirasera is the integration of a central, internal main street, intended to foster pedestrian activity and to contribute to the creation of a landmark place. It is envisioned that the main street will have sidewalks wide enough to accommodate landscaping and pedestrian walkway areas as well as space to accommodate outdoor dining tables, window shopping, and projections such as awnings.

Parking in this area may either be head-in diagonal or parallel and should act as a traffic calming mechanism that encourages drivers to be more cautious as they drive. There are many design options that can be used to make this main street a pedestrian friendly place and it will be critical for applicants to work closely with the County to create the best possible design for the site. The majority of parking will be provided in parking lots behind the buildings.

Neck downs, bulb-outs (which can also act as planters), and traffic calming measures are essential components of this concept because it is a "slow-go" area for traffic.

**TABLE 4-4  
MAIN STREET DEVELOPMENT STANDARDS**

<b>DEVELOPMENT CRITERIA</b>	<b>STANDARD</b>	<b>SPECIAL PROVISIONS</b>
Landscape Requirements	One (1) 36" box tree per four parking spaces	
Minimum Sidewalk Width	15-20 feet adjacent to commercial uses (from curb to building frontage) 10-15 feet adjacent to live/work uses (from curb to building)	Outdoor dining, benches, outdoor displays, or any other ancillary uses as approved by the Planning Department may encroach into the 15 foot sidewalk area a maximum of 8 feet from the building frontage.
Maximum Projection of Awnings or Signs	5 feet from building frontage	
Maximum Projection of Architectural Features (balconies or pop-outs)	5 feet from building frontage	
Minimum Walkway Width within an Arcade	10 feet	Maximum column width shall be 3 feet. A 3-4 foot separation shall be provided from the column to the curb; if vehicles overhang the sidewalk, a minimum of 4 feet shall be provided between column and curb, allowing for a 2 foot overhang for vehicles.

### *Walls and Fences*

The purpose of walls and fences is to assist in the establishment of project identity and compliment the architectural character of the development. The proposed community frontage walls are designed to reduce noise and provide privacy from adjacent roadways and properties. Community wall and fence elevations are shown in **Figure 4-17** (Perimeter Walls and Fence Detail).

Community Frontage Walls will be constructed of precision block, split face block and pilasters with a split face block finish. Precision blocks are the most widely utilized type of concrete block. Precision blocks have square edges and smooth texture that are most commonly associated with concrete block. Split-face blocks provide an attractive alternative to standard precision blocks. Their rugged texture reveals the natural aggregates used in their manufacture to create a visually appealing finish. Community perimeter block walls will be constructed of precision block with integral color and pilasters with split face block finish. The Community combination fence/wall will be constructed of two (2) feet of wrought iron on top of four (4) feet of precision block with pilasters. View fences will be wrought iron with pilasters. Walls shall not exceed six (6) feet in height except where necessary for noise attenuation. Chain link fence, wood-only fence and barbed wire fence are prohibited. All walls facing street frontages on individual lots shall complement the architecture of the proposed project.

### *Light Pollution*

The Mount Palomar Observatory, located in San Diego County, requires darkness so that the night sky can be viewed clearly. The presence of the observatory necessitates unique nighttime lighting standards in several areas of Riverside County including the Mirasera project site. The following policies are intended to limit light leakage and spillage that may obstruct or hinder the view:

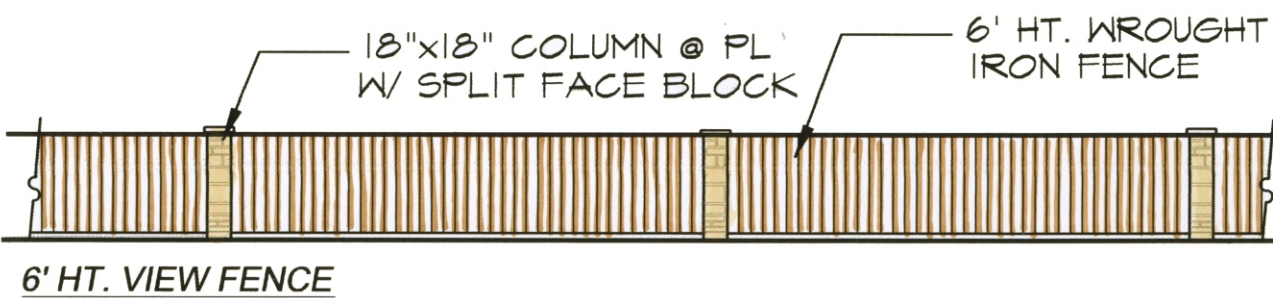
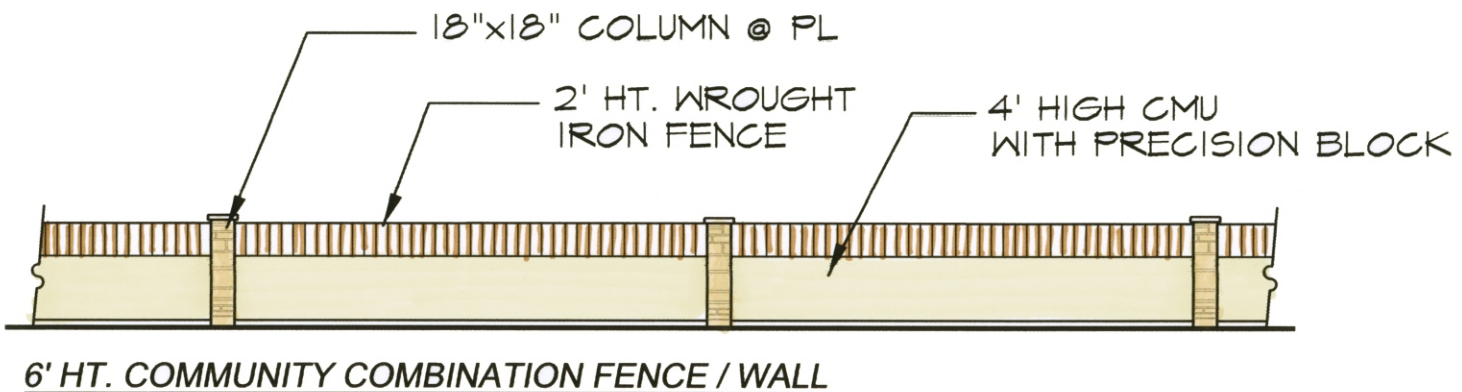
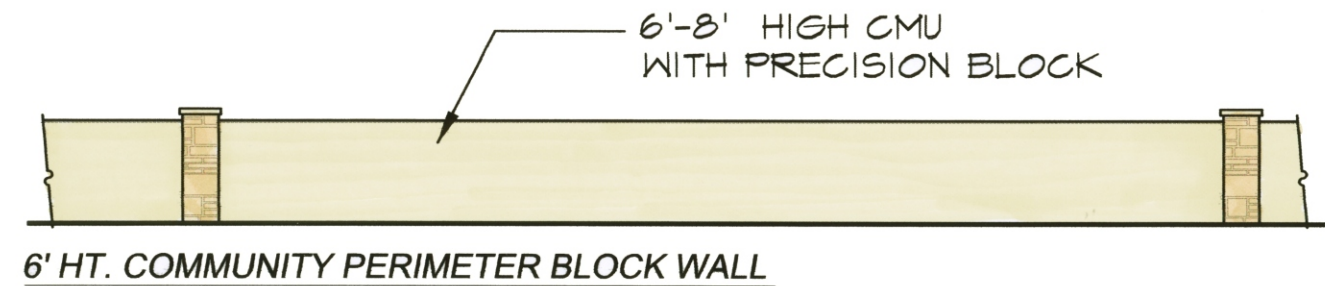
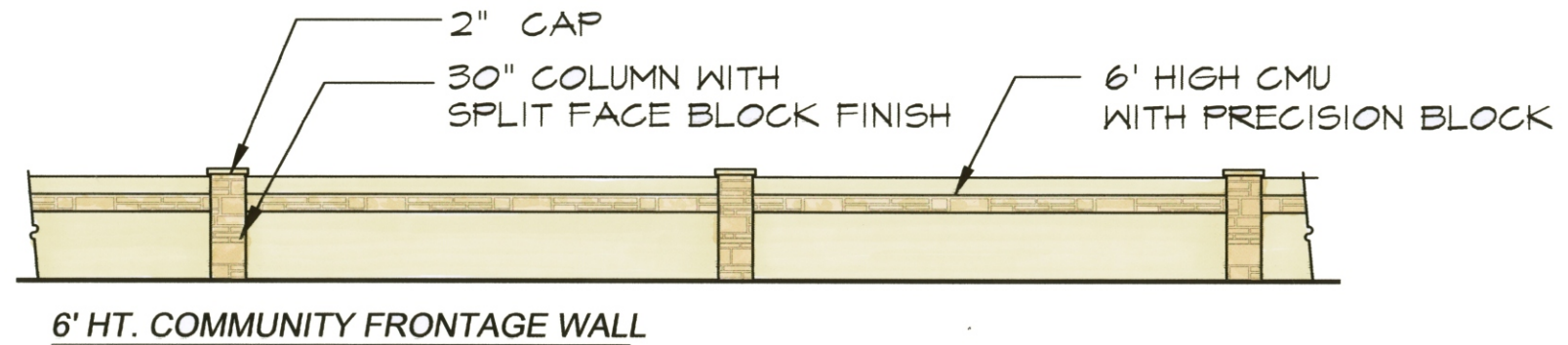
- Where outdoor lighting is proposed, require the inclusion of outdoor lighting features that would minimize the effects on the nighttime sky.
- Adhere to the lighting requirements of the County Ordinance Regulating Light Pollution for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

### *Lighting*

See **Figure 4-18** (Lighting Detail Exhibit)

Lighting shall be used to ensure that a safe street environment exists. Additionally intersections shall be “hot lit”, to act as focal points as seen while walking or driving through the community.

- Pedestrian scale, thematic light fixtures will supplement the required street lighting.



## PERIMETER WALLS AND FENCE DETAIL



MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE

**Figure 4-17**



## LIGHTING DETAIL EXHIBIT


**Stantec** 

MIRASERA  
40421.04.000 SPECIFIC PLAN

  
MIRASERA  
... the village

 THE  
PLANNING  
CENTER

 TKD

NOT TO SCALE  


**Figure 4-18**

- Lighting standards should be consistent throughout the project. They should blend architecturally with buildings, street furniture, and other hardscape elements.
- Fixtures should conform to state and county safety and illumination requirements.
- The design and placement of lighting should minimize glare and spill-over onto adjacent properties and buildings.
- Nighttime lighting should be provided in pedestrian areas.
- Nighttime accent lighting should be used to highlight signage, trees, and landscaping at project entries and other locations as appropriate.

### *Site Furnishings*

See **Figure 4-19** (Typical Street Furniture)

Site furnishings, including banners, benches, bollards, lighting fixtures, and trash receptacles, will complement the landscape and architectural amenities and enhance the aesthetic quality of the community while serving the functional needs of the residents. By strategically locating furnishings in parks and within the streetscape, interaction among the residents will be encouraged.

- Street furniture should complement the architectural theme of the surrounding buildings.
- Themed banners may be placed along the Promenade to create a festive atmosphere and to advertise community events.
- Quality materials that are appropriate for the desert environment shall be used.
- Benches that will provide a comfortable seating surface in extreme temperatures shall be used.
- The style of the site furnishings shall compliment other design elements such as special paving, fountains, and wall details.

### *Parks and Open Space*

#### Village Green

See **Figure 4-20** (Village Green – Conceptual Park and Plaza Design)

The Village Green will serve as an active and passive recreation area, and gathering place for the Mirasera community. It may include a community center, amphitheatre, ball courts, tot lot, and open lawn areas for passive recreation.

- The Village Green should provide areas for both active and passive uses.



POTS / BENCHES



FOUNTAIN / PLAZA



TRASH ENCLOSURE



LIGHT FIXTURE



BENCHES



TREE WELLS

## TYPICAL STREET FURNITURE

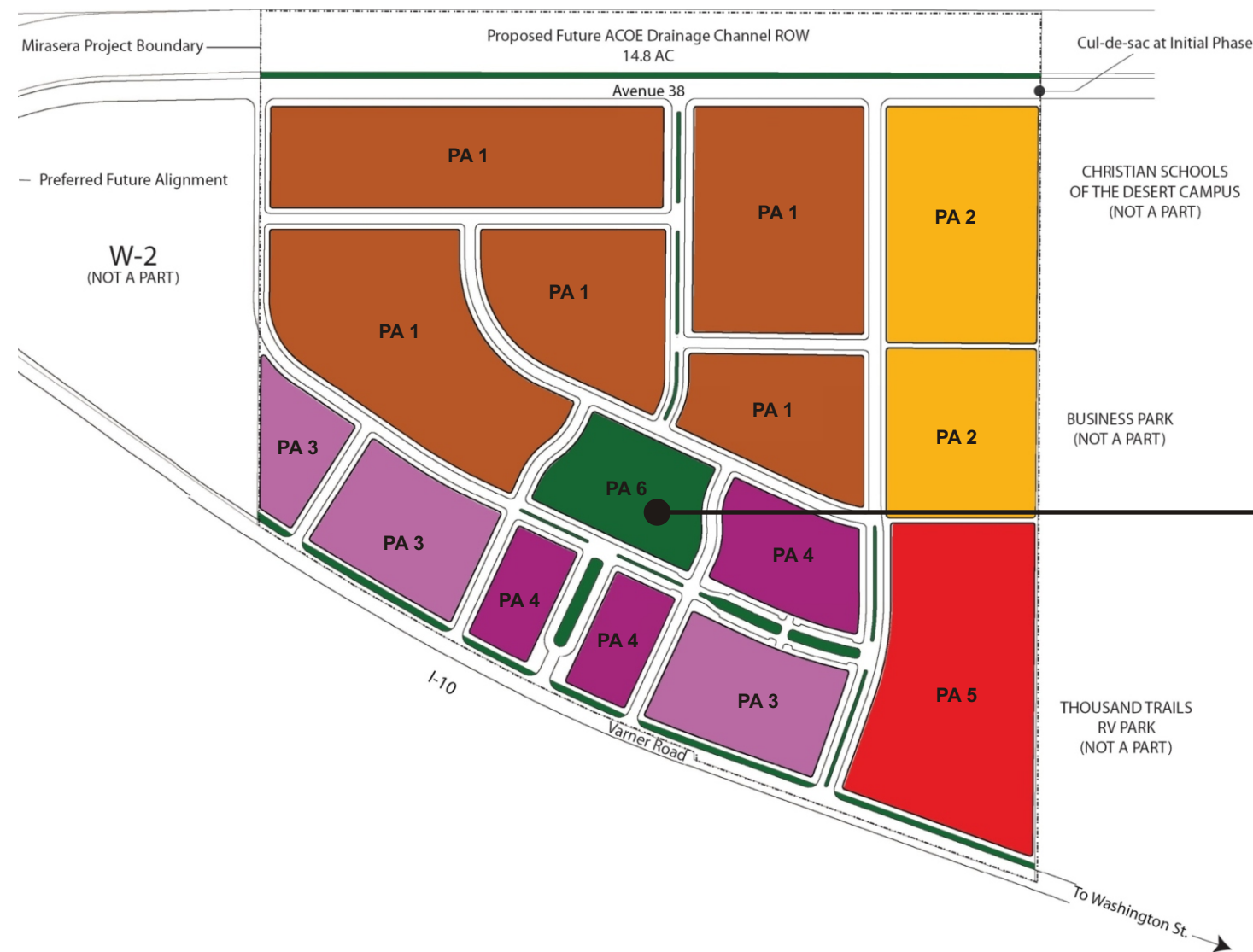
MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE

Stantec

Figure 4-19



## VILLAGE GREEN - CONCEPTUAL PUBLIC PARK AND PLAZA DESIGN

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

**Figure 4-20**

- Shade structures should be provided for picnic areas and other seating.
- Shade trees should be a central component of the Village Green's design.
- Meandering paths with sitting areas should provide pedestrian connections throughout the Village Green.
- Special paving and monumentation along with accent trees and/or plantings should be placed at the entrances to the Village Green.
- A tower or iconic structure should be placed where it will act as a focal point when viewed from the Promenade.

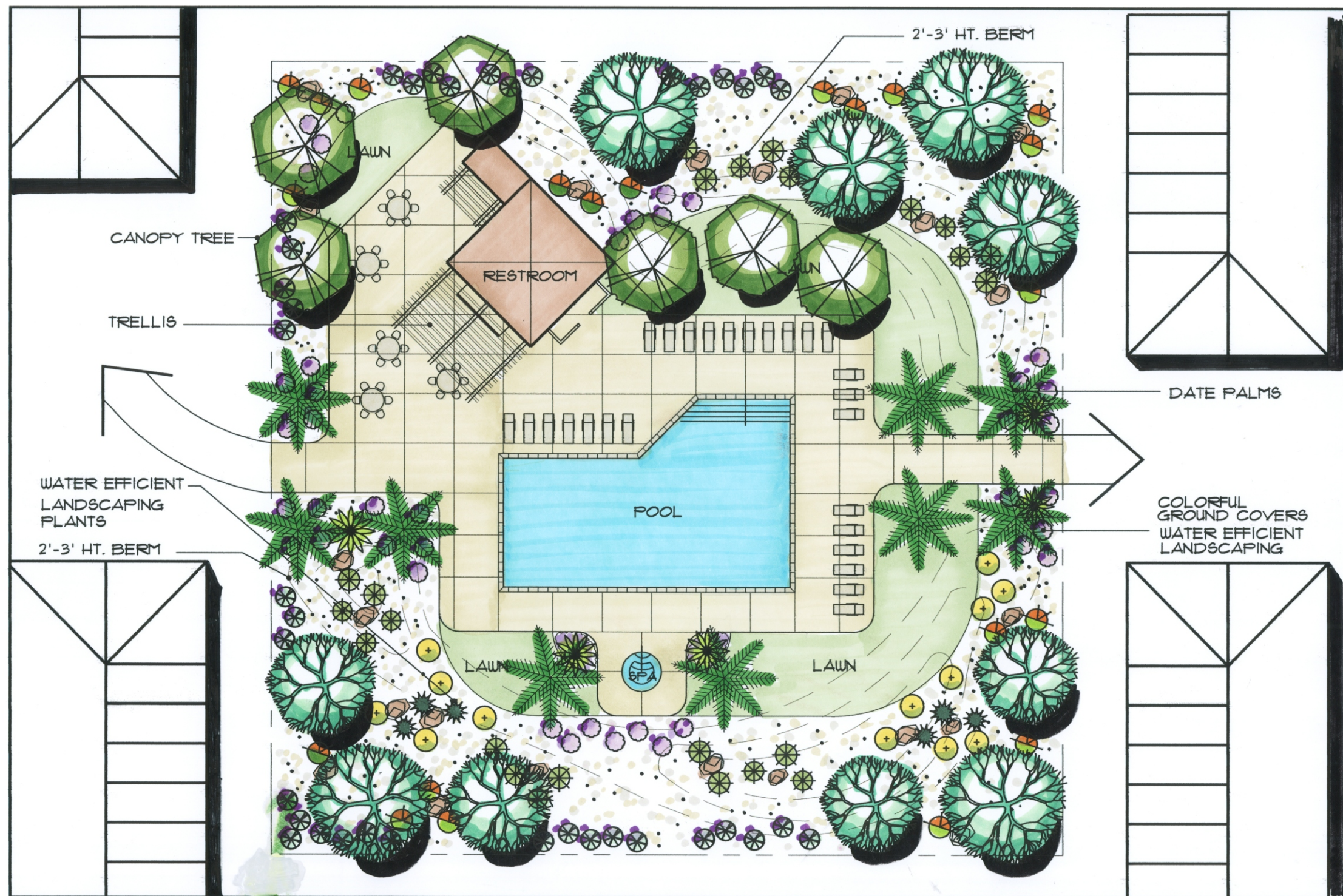
#### *Main and East Promenade*

The Main and East Promenade's will serve as the heart of Mirasera. They will be vibrant pedestrian areas surrounded by main street shops, restaurants, and residences. Elements along each Promenade should be designed to create an attractive, lively, and pedestrian oriented core for the Mirasera project.

- Along the Promenade, landscaping, and street furniture should work together to create a vibrant, unified, and coherent visual identity.
- The Promenade may include a variety of different public spaces, including the large central linear pedestrian plaza, smaller courtyards and plazas, and pedestrian passageways.
- Spaces for carts and street vendors should be provided within the Main Promenade
- The Promenade should be designed with pedestrian comfort and safety in mind. Canopy shade trees should be used to provide protection from the hot desert sun. Ample outdoor eating and seating opportunities will provide for pedestrian convenience and create social opportunities.
- Special paving features and public art adds richness to the environment and should be incorporated into the design of public spaces when appropriate.
- Buildings should front onto the Promenade to create a visually pleasing streetscape.

#### *Recreation and Open Space*

The mixed-use environment of Mirasera requires special recreation and open space standards to provide 20 acres of recreation and open space (project-wide) while also considering the unique character of the project. In addition to the open space requirements below, Mirasera will provide residents with a centrally located 6-acre Village Green located in Planning Area 6, and recreation trails connecting to the regional trail system located along Avenue 38 and Varner Road.



## TYPICAL PRIVATE RECREATION FACILITY

Stantec

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

Figure 4-21

### *Planning Area 1*

Planning Area 1 is characterized by very high density development that accommodates a mix of residential uses, including multi-family apartments, duplexes, condominiums, and attached townhomes. Based on the type of residential products offered within PA 1 and the mixed-use setting of Mirasera, it is expected that residents will primarily consist of empty-nesters, singles, and young couples. These groups of consumers do not require the large private and common open spaces normally associated with traditional suburban development. The following standards provide for smaller, centrally located plazas and recreation spaces that facilitate a more intimate, urban lifestyle.

1. Each residential development parcel is required to provide **common open space** on a minimum of 10% of the site. Common open space may include: recreation areas such as a basketball court; lap pool and spa; exercise equipment; community/media room; seating area with barbecues; and landscaped areas and pathways not including any portion of open and enclosed parking areas, garages, streets, driveways, automobile turning aisles or turnaround areas.
2. A minimum of 100 square feet per unit shall be **usable** common open space. This shall contribute to the minimum 10% requirement.
  - a. Usable common open space shall have a minimum level surface dimension of 20 feet in any direction and a minimum area of 400 square feet.
  - b. The dimensions for usable common open space areas shall be measured from the outside of any private open space attached to a unit at ground level.
  - c. The dimensions for usable common open space may include the building setback area if the buildings facing the open space area display a high degree of articulation and the building setback area is heavily landscaped. Landscaping may consist of in-ground or above ground plantings (potted plants).
  - d. Usable common open space shall not include any of the following:
    - i. Any private open space accessible to a particular residential unit.
    - ii. Sidewalks and paved pathways
    - iii. Any portion of open and enclosed parking areas, garages, streets, driveways, automobile turning aisles or turnaround areas
    - iv. Storage areas or any are fences and inaccessible to the residents
    - v. Slope areas exceeding 5 percent
    - vi. Areas within public rights-of-way

### *Planning Area 2*

Planning Area 2 is characterized by high density development that accommodates a mix of residential development, including detached small lot single-family homes, patio homes, duplexes, and townhomes. Residents living within Planning Area 2 may consist of empty-nesters, young couples, and families with children. Due to the increased potential for children living in Planning Area 2, recreation areas should be designed to provide activities appropriate for children. In addition to common open spaces provided within Planning Area 2, the Village Green located within Planning Area 6 will serve as an active and passive recreation area for all of Mirasera's residents. It may include a community center, ball courts, tot lot, and open lawn areas. The following standards are intended to provide adequate recreation and open space for the residents of Planning Area 2.

1. Attached residential projects within Planning Area 2 shall refer to the common open space standards as described above for residential projects within Planning Area 1.
2. Detached residential developments shall provide 0.5 acres of usable common open space for every 100 units within the development or a fraction thereof. Common open space may include: tot lots; recreation areas such as a basketball court, lap pool and spa, and exercise equipment; community/media room; open lawn areas with barbecues; and landscaped areas and pathways not including any portion of open and enclosed parking areas, garages, streets, driveways, automobile turning aisles or turnaround areas.
3. Usable common open space shall have a minimum level surface dimension of 40 feet in any direction and a minimum area of 4,500 square feet.

#### *Planning Area 4*

Planning Area 4 is envisioned to be the most flexible (in relation to permitted land uses) of the five planning areas. The mixed-use area can accommodate pedestrian oriented commercial uses, live-work units, residential/office over retail, townhomes, and flats. Based on the type of residential products offered within PA 4 and the mixed-use setting of this planning area, it is expected that residents will primarily consist of empty-nesters, singles, and young couples. These groups of consumers do not require the large private and common open spaces normally associated with traditional suburban development. The Village Green located within Planning Area 6 will serve as the primary active and passive recreation area for residents. The following standards provide for smaller, centrally located plazas and recreation spaces that facilitate a more intimate, urban lifestyle.

1. Attached residential-only projects within Planning Area 4 shall refer to the common open space standards as described above for residential projects within Planning Area 1.
2. Each mixed-use development project is required to provide **common open space** on a minimum of 15% of the site. This includes common open space for the commercial portions of the mixed-use project. Common open space may include plazas, and landscaped areas and pathways not including any portion of open and enclosed parking areas, garages, streets, driveways, automobile turning aisles or turnaround areas.
3. A minimum of 80 square feet per residential unit shall be **usable** common open space. This shall contribute to the minimum 15% requirement.
  - a. Usable common open space shall have a minimum level surface dimension of 20 feet in any direction and a minimum area of 400 square feet.
  - b. The dimensions for usable common open space areas shall be measured from the outside of any private open space attached to a unit at ground level.
  - c. The dimensions for usable common open space may include the building setback area if the buildings facing the open space area display a high degree of articulation and the building setback area is heavily landscaped. Landscaping may consist of in-ground or above ground plantings (potted plants).
  - d. Usable common open space shall not include any of the following:
    - vii. Any private open space accessible to a particular residential unit.
    - viii. Sidewalks and paved pathways
    - ix. Any portion of open and enclosed parking areas, garages, streets, driveways, automobile turning aisles or turnaround areas
    - x. Storage areas or any are fences and inaccessible to the residents

- xi. Slope areas exceeding 5 percent
- xii. Areas within public rights-of-way

### *Trails and Paseos*

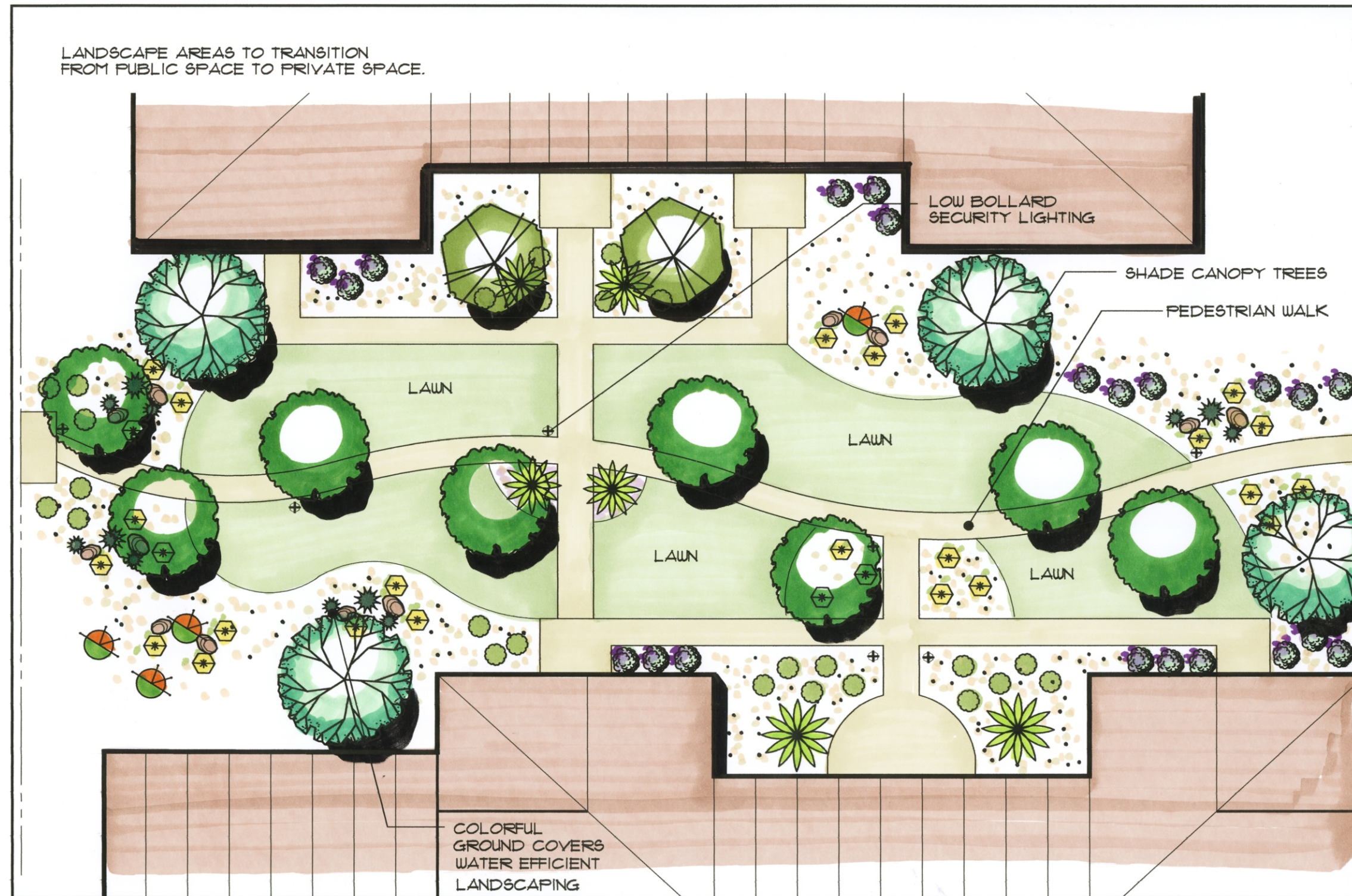
See **Figure 4-22** (Typical Private Paseo)

Trails and paseos are an essential component of the design of Mirasera. They will provide safe and visually appealing pedestrian and bicycle access throughout the project as well as connect with the regional trail network.

- All streets should have a minimum 5-foot wide sidewalk separated from the street by a minimum 6-foot parkway. The sidewalk and parkway areas should be increased in the Promenade and along other busy streets to accommodate for additional pedestrian traffic.
- Amenities, such as shade elements, benches, bike racks, and water fountains should be strategically placed along trails and paseos to enhance the user's experience and create more interesting public spaces.
- Paseos should include meandering sidewalks (minimum of 6 feet in width) within a landscaped strip (minimum of 30 feet in width).
- Shade trees, sun structures, and mini-courtyards should be incorporated into paseo and trail design for added pedestrian comfort.
- Trails and paseos should be clearly marked with consistent signage and bollard lighting as appropriate.
- Buildings should front on trails and paseos when feasible.
- Building and private space landscape designs should integrate into open space corridors. See **Figure 4-23** (Conceptual Open Space Design)
- Class I bike paths along Varner Road and Avenue 38
- Trails and paseos should be designed to minimize conflict between pedestrians and bicyclists. This should be done by separating the uses or providing wide paths to allow for multiple concurrent uses.

### *Landscape Water Conservation*

Appropriate plant selections with low water and maintenance requirements along with drip irrigation and other water conserving irrigation techniques will be utilized to provide Mirasera with the latest technology and knowledge for community-wide water conservation. The landscape irrigation concept for the community will be designed to provide the most efficient means to distribute irrigation water and ensure plant survival within a time frame that least interferes with the activities of the community. The irrigation system will utilize various types



## TYPICAL PRIVATE PASEO

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

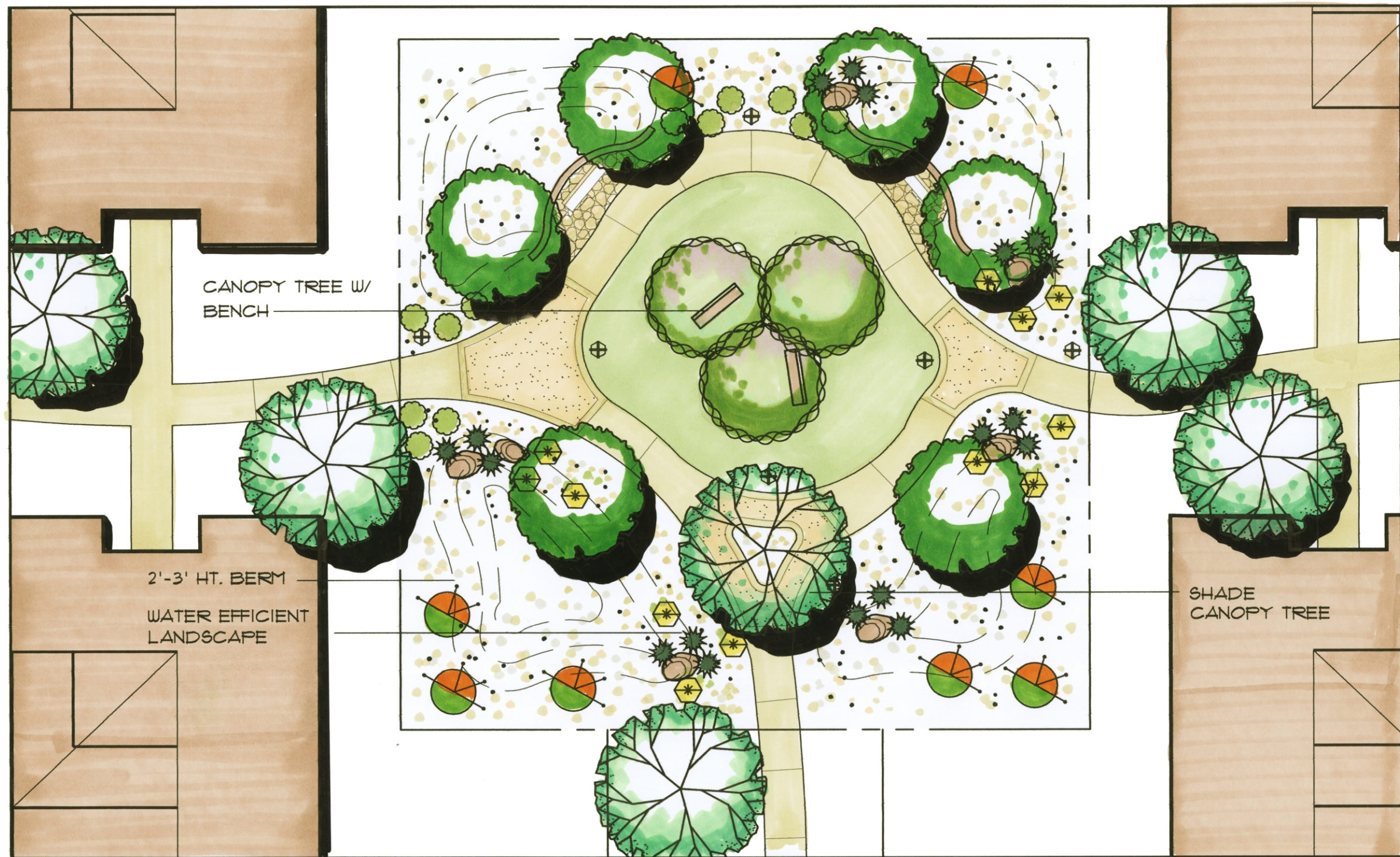
MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

**Figure 4-22**



## CONCEPTUAL OPEN SPACE DESIGN

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

NOT TO SCALE

**Figure 4-23**

of irrigation heads compatible with the area being watered. Infiltration rates of the soil will be monitored by moisture sensing equipment and time clocks.

b) Conceptual Landscape Plan Development Standards

The following general standards shall be applied in the implementation of the Mirasera Conceptual Landscape Plan:

1. All detailed landscaping programs for planning area roadways and pedestrian walkways will be prepared by a qualified landscape architect in conformance with Specific Plan Landscape Guidelines. Project entries have been designed with landscaping and architectural treatments that project a high quality image for the mixed use development.
2. Improvement plans for respective landscaped areas shall be submitted to the County Planning Department and Coachella Valley Water District prior to development of each planning area/parcel. The improvement plans shall include, but are not limited to, the following information:
  - Final grading and drainage plan.
  - Irrigation plans certified by a landscape architect.
  - A planting plan with locations, type, size and quantity of plantings, as well as mulching and staking methods.
  - A hardscaping plan with location, type and quantity of hardscape features including pool layout and wall/fence details.
  - Site cross sections.
  - Special treatment/buffer area treatment plans.
  - Erosion control plans.
3. The applicant and/or developer shall be responsible for maintenance and upkeep of all planting, common landscaped areas and irrigation systems until such time as these operations are the responsibility of other parties.
4. The project area experiences temperature extremes which can make it difficult for the installation of plant materials during the hot summer months (July-September). Container plants which have not been acclimated to the region may experience heat damage resulting in partial or total loss of foliage before they are established. If construction schedules permit, the ideal planting time is in the spring or fall months.
5. Parcel developers should assess any existing landscaping adjacent to their property and whenever possible, reinforce and complement that established character.
6. All landscaped areas shall be planted with plant materials chosen from the appropriate plant palette contained in **Table 4-3** of this Specific Plan. Smooth transitions from landscaped common areas to adjoining properties are encouraged.
7. All landscaped areas shall be provided with permanent irrigation facilities. Automatic irrigation is required as a part of landscape development. Drip irrigation and other efficient methods of water usage shall be integrated into the project where feasible.

Irrigation systems shall be designed with head to head coverage and shall be zoned for plants with similar water requirements wherever possible.

8. Landscaping plans shall incorporate water conservation methods including but not limited to: drip irrigation and other methods of irrigation efficiency; use of drought-tolerant native plant materials; and, extensive use of mulches and other soil improvements.

#### **4.1.5 Water and Sewer Plan**

##### **a) Water and Sewer Plan Description**

The Water and Sewer Plans have been developed to achieve the following goals: 1) provide potable water, water for fire protection and sanitary sewer service to all development areas within the project; and 2) locate utility lines within streets.

##### *Water*

The Mirasera Specific Plan is located within the service area of the Coachella Valley Water District (CVWD) for domestic water service. Existing water mains available for connection to the project include an 18-inch water main (located east of the project site) in Varner Road and an 18-inch water main (located east of the project site) in Washington Street.

A conceptual water plan has been developed to serve the project as shown on **Figure 4-24**. The Conceptual Water Plan illustrates the “backbone,” or primary water system proposed for the project. To serve the Mirasera Development, a proposed 18-inch water main will be extended from the existing connection points (mentioned above) and will eventually loop throughout the entire project site and branch out to provide service to all areas. Pipelines within the development will then range in size from 8 inches to 18 inches in diameter, dependent upon the water demand associated with the area being serviced. Public utility easements would be granted over water lines within the project to provide CVWD with access and maintenance rights over their lines.

##### *Recycled Water*

Recycled water is currently unavailable to the project site and recent discussions with CVWD revealed no indication of availability within the foreseeable future. Making recycled water available to Mirasera is not a high priority for the district because the project does not contain a large water user (i.e. golf course).

However, the 6.0 acre Village Green (park) located within the center of the project site might produce a high enough demand to justify using recycled water if it were available. Therefore, in order to accommodate the potential for using recycled water to irrigate the Village Green, a recycled water line will be extended from the park to Varner Road where it can be connected to a regional line in the future.

##### *Sewer*

The Mirasera Specific Plan is located within the service area of the Coachella Valley Water District (CVWD) for sanitary sewer service. Existing sewer mains available for connection to

the project include a 24-inch sewer main in Washington Street which is located east of the project site.

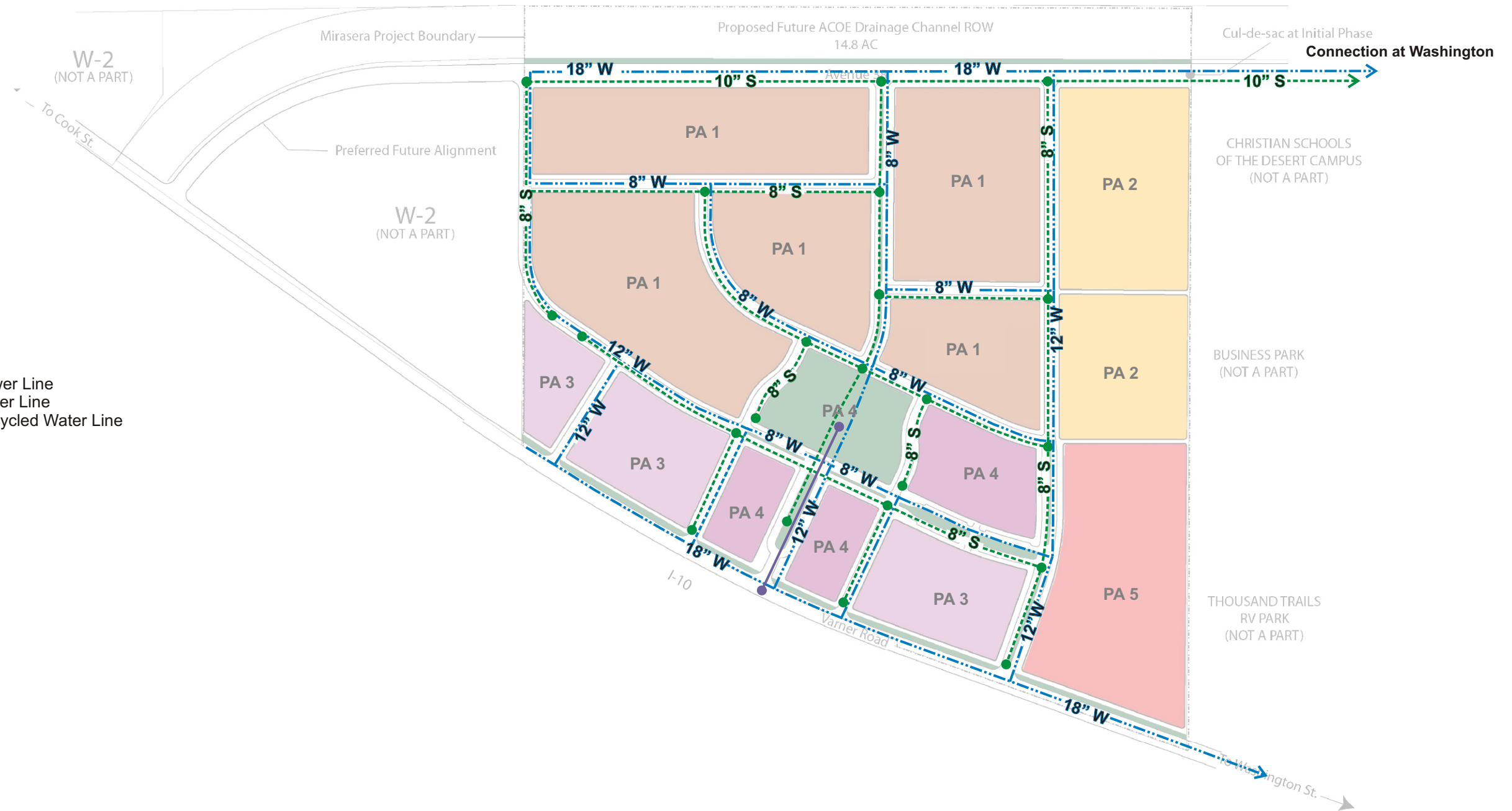
A conceptual sewer plan has been developed to serve the project as shown on **Figure 4-24**. The conceptual sewer system consists of 8-inch sewer lines located within the project's private street system and a 10-inch sewer main located within Avenue 38. To serve the Mirasera Development, a proposed 10-inch sewer line will be extended from the existing 24-inch sewer main in Washington Street and will connect at multiple points leading into the project site. Pipelines within the development will then consist of 8-inch lines within the project's interior. Public utility easements would be granted over sewer lines within the project to provide CVWD with access and maintenance over their lines.

b) Water and Sewer Plan Development Standards

1. The proposed Sewer and Water Master Plans for the Mirasera Specific Plan provide an efficient system of utilities to meet the needs of the project. The backbone sewer and water systems are shown on **Figure 4-24** (Conceptual Water and Sewer Plan).
2. All water and sewer lines will be designed per the requirements of CVWD.
3. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance No. 460 and No. 787, subject to approval by the Riverside County Fire Department.
4. Water distribution and sewage collection facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
5. A water system adequate for fire fighting needs shall be available before any combustible material is stored on the construction site. The water system including delivery volume, duration and pressure shall be approved by the Riverside County Fire Department and CVWD.
6. The water system shall provide domestic water service and minimum fire flow requirements to the project in compliance with Riverside County standards. The hydraulic calculations for the water system plan shall be provided to CVWD.

**Legend**

- Sewer Line
- Water Line
- Recycled Water Line



## CONCEPTUAL WATER AND SEWER PLAN

**Stantec**

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

FEET  
0 200 400 600

N

**Figure 4-24**

#### 4.1.6 Phasing Plan

##### a) Phasing Plan Description

The Phasing Plan has been developed to achieve the following goals: 1) allow systematic, staged project development; (2) ensure that infrastructure development is properly timed to coincide with building construction; and 3) allow the concurrent and/or non-sequential phasing of development in response to market conditions.

The Phasing Plan for the Mirasera project assumes a five-year build-out concept. The actual timing of development will depend primarily on market absorption rates and on construction of the necessary infrastructure systems. As shown on **Table 4-5** (Phasing Plan), construction would occur in five phases (I-V). The phasing plan represents the best estimate of the developer and may be amended by the Planning Commission in conjunction with the routine approval of maps (parcel/tentative) or development site plans. The provision for an amendment is important to allow the developer and the County to meet changing market demands and community needs.

TABLE 4-5 PHASING PLAN		
PHASE NO.	LAND USE DESCRIPTION	ANTICIPATED COMPLETION DATE
I	Residential Phase I, Community Commercial Phase I	2007
II	Residential Phase II, Office Phase I, Community Commercial Phase II	2008
III	Residential Phase III, Office Phase II, Mixed Use Retail	2010
IV	Residential Phase IV, Office Phase III, Hotel	2011
V	Residential Phase V	2012

##### b) Phasing Plan Development Standards

1. Drainage, water and sewer facilities and roads shall be provided at adequate levels to accommodate development in each phase in accordance with County of Riverside requirements as implemented through the conditions of approval for SP. 338.
2. Phases should develop in accordance with market conditions and infrastructure timing considerations.
3. Phases may develop concurrent or non-sequentially, providing that adequate consideration for infrastructure, both on-site and regional, has been given.
4. Entry Statements and landscape buffer treatments shall be phased concurrently with individual planning areas which include those amenities and design features.
5. Each increment or phase of development shall contain appropriate levels of infrastructure and amenities to support the needs of the respective phase.

6. The borrow and disposal of graded material is allowed between current and future phases as needed to achieve overall earthwork balance onsite.

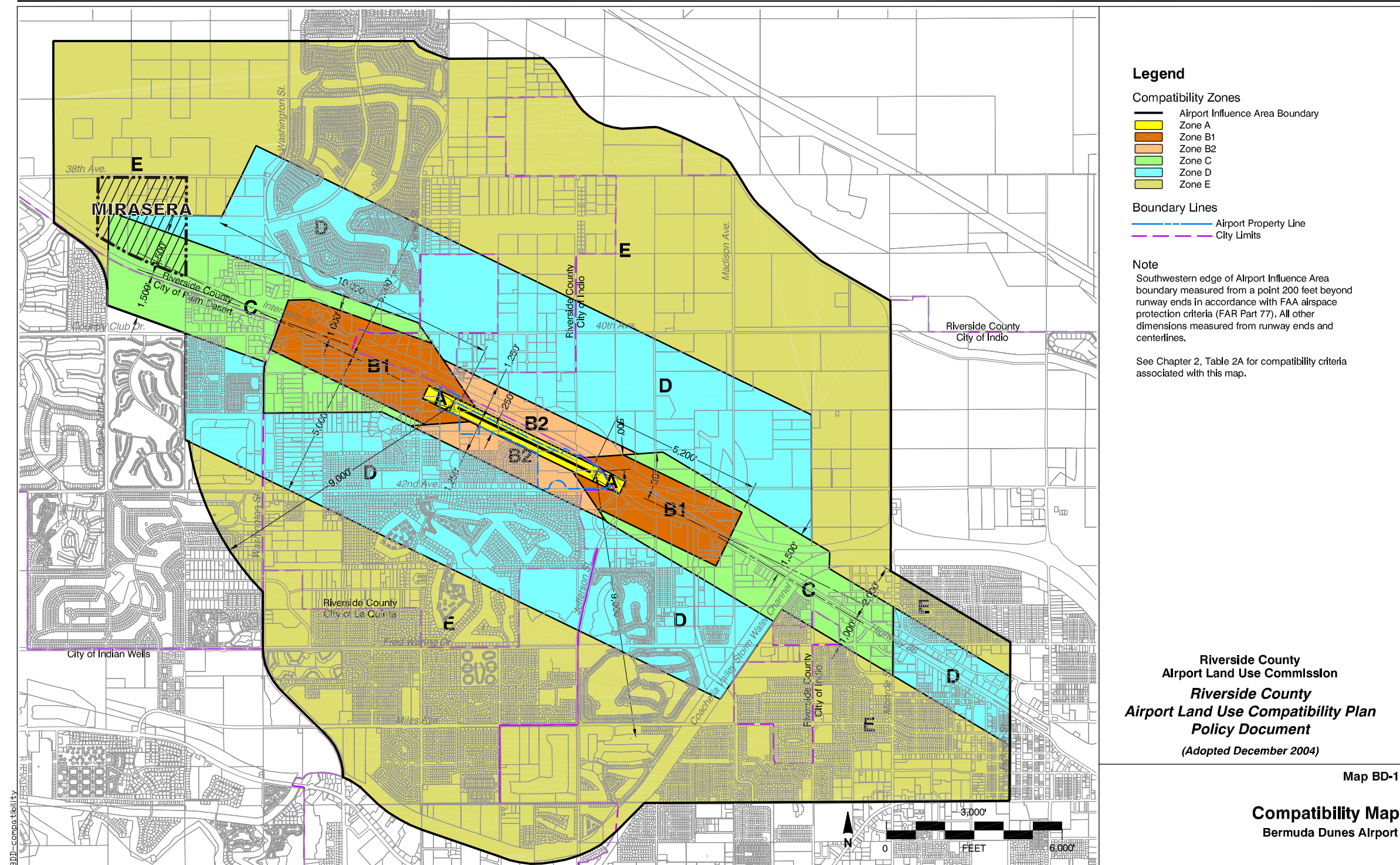
#### 4.1.7 Comprehensive Maintenance Plan

Final decisions regarding maintenance entities shall be made at the development stage and with approval of involved County agencies. **Table 4-6** (Comprehensive Maintenance Plan) provides a tabular summary of project maintenance responsibilities.

TABLE 4-6 COMPREHENSIVE MAINTENANCE PLAN	
RESPONSIBILITY	PROJECT FACILITIES
Homeowners Association	Residential Uses
Master Maintenance Association	Commercial Uses
Master Maintenance Association and/or Homeowners Association	On-site streets (private), Landscaping and Lighting
County of Riverside	Varner Road
Landscaping and Lighting District (Riverside County)	Landscaping and Lighting along Varner Road and Avenue 38
Master Maintenance Association (CVWD)	On-site Flood Control (including local and regional facilities)
Master Maintenance Association	Landscaping and Entry Treatments

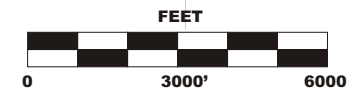
#### 4.1.8 Consistency with the Riverside County Airport Land Use Compatibility Plan

As shown on **Figure 4-25** (Airport Compatibility Zones), the Mirasera project lies within the Bermuda Dunes influence area of the Riverside County Airport Land Use Compatibility Plan. Please see Section 5.3.14.2 of the Environmental Impact Report for a detailed summary of the Mirasera project and its' consistency with the Bermuda Dunes influence area of the Riverside County Airport Land Use Compatibility Plan.



## AIRPORT COMPATIBILITY ZONES

MIRASERA  
40421.04.000 SPECIFIC PLAN



**Figure 4-25**



## 4.2 PLANNING AREA LAND USE, DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

Development standards for the Mirasera project site have been established at two levels: (1) standards that universally apply to the overall project as set forth in the preceding Section 4.1, and (2) those standards found in this Section that apply specifically to the individual planning areas and further reinforce the overall project standards.

The purpose of development standards is to provide quantifiable requirements, such as setbacks and building height limitations, for the various land uses located within Mirasera. Where a conflict exists between these development standards and the County of Riverside Land Use Ordinance the standards contained herein shall apply. Where the standards contained herein remain silent, the provisions and definitions within the County of Riverside Land Use Ordinance shall apply.

This chapter provides a description of each individual planning area comprising the Mirasera Specific Plan. The description of each planning area will be followed by a list of planning standards and design standards/guidelines anticipated for the particular planning area.

### 4.2.1 Planning Area No. 1: Residential Very High Density

#### *Descriptive Summary*

Planning Area 1 is characterized by very high density development that accommodates a mix of residential uses, including multi-family apartments, duplexes, condominiums, attached small lot single-family homes and other compatible uses. Building elevations will be oriented towards the street to create pedestrian friendly streetscapes.

#### *Development Standards*

#### Residential

TABLE 4-7 SFA TOWNHOMES (PA 1) DEVELOPMENT STANDARDS		
SFA TOWNHOMES (PA 1)	12-20 DWELLING UNITS/ACRE	NOTES
<b>BUILDING INTENSITY</b>		
Maximum Net Density	20 DU/AC	
Max. Building Coverage	N/A	
Maximum Height	70'	
Minimum Lot Size	N/A	

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**

SPECIFIC PLAN

 September 15<sup>th</sup>, 2006

<b>TABLE 4-7</b> <b>SFA TOWNHOMES (PA 1) DEVELOPMENT STANDARDS</b>		
<b>SFA TOWNHOMES (PA 1)</b>	<b>12-20 DWELLING UNITS/ACRE</b>	<b>NOTES</b>
<b>BUILDING SETBACKS (measured from property line)</b>		
Front yard and exterior side yard (Arterial)	10' min	7' min to projections <sup>2</sup> / 5' min to stoops and porches
Front yard and exterior side yard (Collector)	7' min	5' min to projections <sup>2</sup> / 2' min to stoops and porches
Front yard and exterior side yard (Boulevard)	5' min to 10' max	2' minimum setback for stoops and porches
Front yard and exterior side yard (Local)	7' min	5' min to projections <sup>2</sup> / 2' min to stoops and porches
Side yard (Private Drive)	8' min	
Side yard (Interior)	0' or 12' min*	* 12' min building separation
Garage (Interior)	4' min*	*Garage to private drive 2' min from garage to private auto court
<b>PARKING</b>		
Studio	1 space per unit*	*covered
1 bedroom	1.5 spaces per unit*	*1 covered
2 + bedrooms	2 spaces per unit*	*2 covered
Guest Parking: Project has resident garages <sup>1</sup>	0.5 spaces per dwelling unit*	Public on-street parking may be counted toward guest requirement
Guest Parking: Project has resident carports <sup>1</sup>	0.5 spaces per dwelling unit	Public on-street parking may be counted toward guest requirement
<b>ENCROACHMENTS</b>		
See notes in Building Setbacks above		
<b>RECREATION AND OPEN SPACE</b>		
Common Open Space <sup>3</sup>	10% of development area	
Landscape/Open Space Area <sup>4</sup>	20% of development area	
<b>ACCESSORY USES</b>		

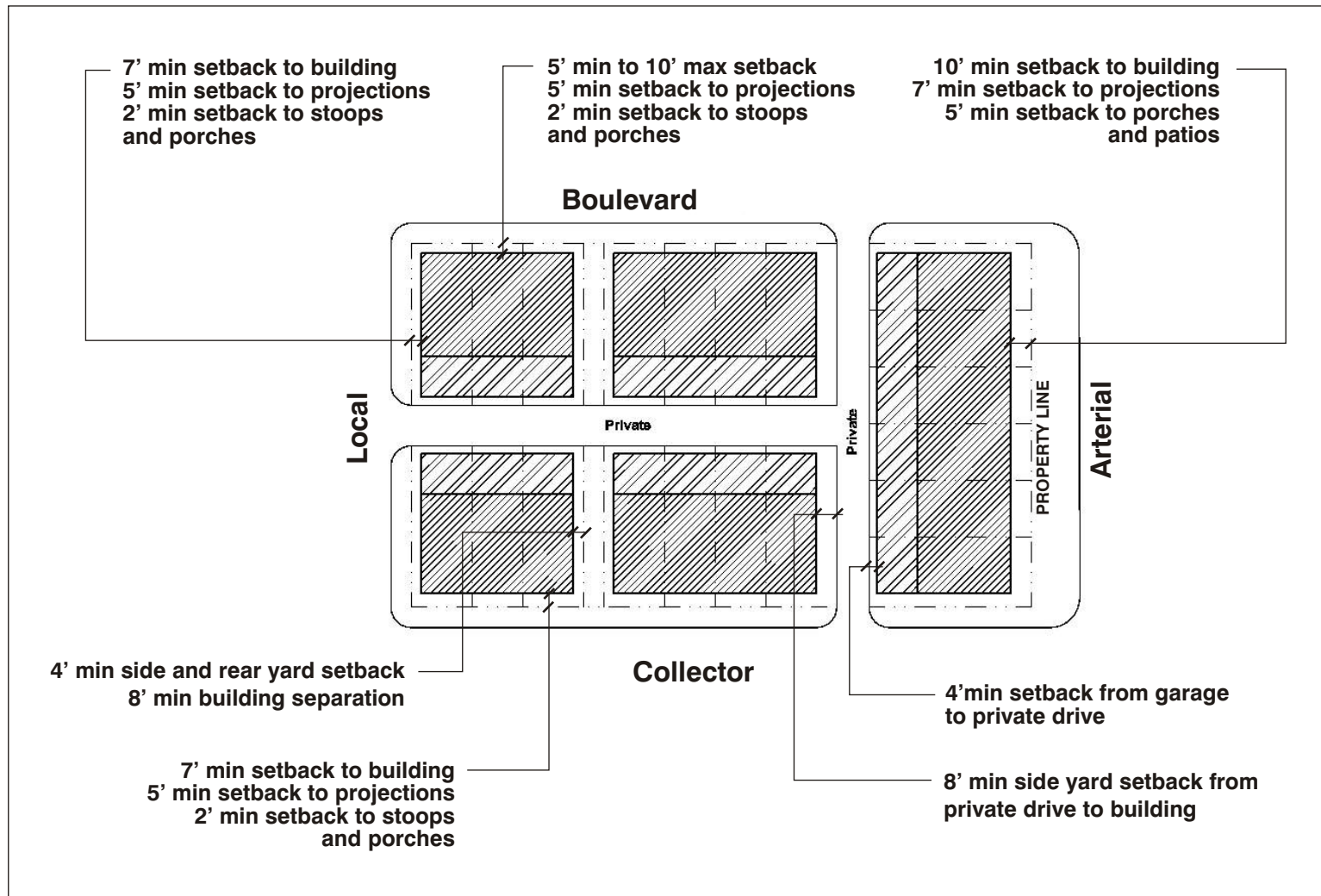
MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT

SPECIFIC PLAN

September 15<sup>th</sup>, 2006

TABLE 4-7 SFA TOWNHOMES (PA 1) DEVELOPMENT STANDARDS		
SFA TOWNHOMES (PA 1)	12-20 DWELLING UNITS/ACRE	NOTES
Refer to Riverside County Land Use Ordinance		
<b>NOTES</b>		
1 - Garages are used for storage of household goods resulting in a greater number of resident vehicles parking in visitor spaces. This circumstance does not occur with carports.		
2 - Projections include cornices, overhangs, eaves, bay windows, and balconies.		
3 – Common Open Space is defined as indoor or outdoor common recreational space. <ul style="list-style-type: none"> <li>– Private Recreation Facilities count towards the 10% requirement.</li> <li>– Outdoor common space shall have a minimum surface dimension of 20 feet in any direction and minimum area of 400 square feet.</li> <li>– Outdoor common open space shall not include the following:               <ul style="list-style-type: none"> <li>-Any area designated as private open space</li> <li>-Any portion of open and enclosed parking areas</li> <li>-Storage Areas</li> <li>-Slope areas exceeding 5%</li> </ul> </li> </ul>		
4 – Landscape/Open Space area includes: <ul style="list-style-type: none"> <li>-Landscaping adjacent to buildings</li> <li>-Landscaping within setbacks</li> <li>-Outdoor recreation space</li> <li>– Landscape/Open Space area does not include the following:               <ul style="list-style-type: none"> <li>-Landscaping within parking areas</li> </ul> </li> </ul>		

Please see **Figure 4-26** (Planning Area 1 - SFA Townhomes Prototype) for an illustration of the setbacks addressed in **Table 4-7** above.



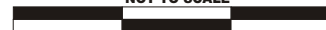
## PLANNING AREA 1 - SFA TOWNHOMES PROTOTYPE



MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



**Figure 4-26**

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**

SPECIFIC PLAN

 September 15<sup>th</sup>, 2006

<b>TABLE 4-8 MULTI-FAMILY (PA 1) DEVELOPMENT STANDARDS</b>		
<b>MULTI-FAMILY ATTACHED (PA 1)</b>	<b>15-25 DWELLING UNITS/ACRE</b>	<b>NOTES</b>
<b>BUILDING INTENSITY</b>		
Maximum Net Density	25 DU/AC	
Max. Building Coverage	60% max.	Includes all buildings, accessory, and structures
Maximum Height	70' <sup>1</sup>	
Minimum Lot Size	N/A	
<b>BUILDING SETBACKS (measured from property line)</b>		
Front yard and exterior side yard (Arterial)	10' min	7' min to projections <sup>1</sup> / 5' min to stoops and porches
Front yard and exterior side yard (Collector)	8' min	5' min to projections <sup>1</sup> / 3' minimum setback for stoops and porches
Front yard and exterior side yard (Boulevard)	5' min to 10' max	2' minimum setback for stoops and porches
Front yard and exterior side yard (Local)	8' min	5' min to projections <sup>2</sup> / 3' min to porch
Side yard (Interior)	20' min*	*Building Separation
Side yard (private drive)	8' min	
Garage (private drive)	3' min*	* Garage to private drive
<b>PARKING</b>		
Studio	1 space per unit*	*covered
1 bedroom	1.5 spaces per unit*	*1 covered
2+ bedrooms	2 spaces per unit*	*1 covered
Guest Parking	0.25 spaces per dwelling unit	
<b>ENCROACHMENTS</b>		
See notes in Building Setbacks above		
<b>RECREATION AND OPEN SPACE</b>		
Common Open Space <sup>3</sup>	10% of development area	

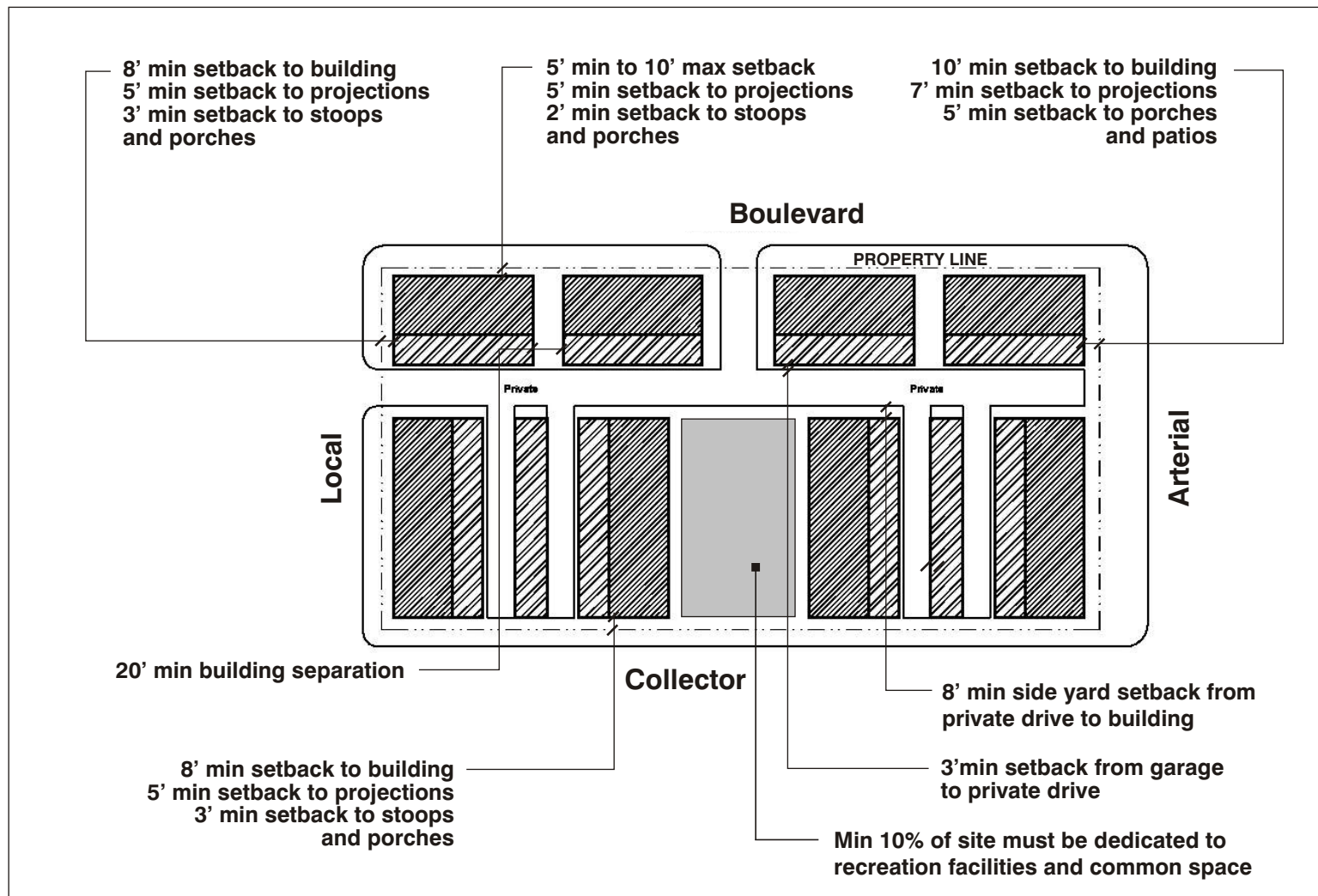
**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**

SPECIFIC PLAN

 September 15<sup>th</sup>, 2006

<b>TABLE 4-8</b> <b>MULTI-FAMILY (PA 1) DEVELOPMENT STANDARDS</b>		
<b>MULTI-FAMILY ATTACHED (PA 1)</b>	<b>15-25 DWELLING UNITS/ACRE</b>	<b>NOTES</b>
Landscape/Open Space Area <sup>4</sup>	20% of development area	
<b>ACCESSORY USES</b>		
Refer to Riverside County Land Use Ordinance		
<b>NOTES</b>		
1 - In Zone C as identified in the Riverside County Airport Land Use Compatibility Plan for the Bermuda Dunes Airport, buildings shall be limited to no more than 3 stories.		
2 - Projections include cornices, overhangs, eaves, bay windows, and balconies		
3 – Common Open Space is defined as indoor or outdoor common recreational space. <ul style="list-style-type: none"> <li>– Private Recreation Facilities count towards the 10% requirement.</li> <li>– Outdoor common space shall have a minimum surface dimension of 20 feet in any direction and minimum area of 400 square feet.</li> <li>– Outdoor common open space shall not include the following:                             <ul style="list-style-type: none"> <li>-Any area designated as private open space</li> <li>-Any portion of open and enclosed parking areas</li> <li>-Storage Areas</li> <li>-Slope areas exceeding 5%</li> </ul> </li> </ul>		
4 – Landscape/Open Space area includes: <ul style="list-style-type: none"> <li>-Landscaping adjacent to buildings</li> <li>-Landscaping within setbacks</li> <li>-Outdoor recreation space</li> </ul> – Landscape/Open Space area does not include the following: <ul style="list-style-type: none"> <li>-Landscaping within parking areas</li> </ul>		

Please see **Figure 4-27** (Planning Area 1 – Multi-Family Attached Prototype) for an illustration of the setbacks addressed in **Table 4-8** above.



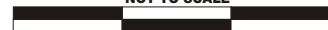
## PLANNING AREA 1 - MULTI-FAMILY ATTACHED PROTOTYPE



MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



**Figure 4-27**

*Permitted Uses*

The following uses are allowed providing a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance 348 as approved:

1. One-family dwelling.
2. Public parks and public playgrounds
3. Home occupations.
4. On-site signs, affixed to building walls, stating the name of the structure, use, or institution, not to exceed five percent of the surface area of the exterior face of the wall upon which the sign is located.
5. One-family dwellings developed as restricted single-family residential subdivisions, subject to the development standards of Section 7.11 of the Riverside County Zoning Ordinance. The provisions of Sections 8.2 of the Riverside County Zoning Ordinance shall not be applicable to developments under this permitted use.
6. Accessory buildings, to a specific permitted use, provided that the accessory building is established as an incident to a principal use and does not change the character of that use.
7. Planned residential developments, provided a land division is approved pursuant to the provisions of Riverside County Ordinance No 460 and the development standards in Section 18.5 or 18.6 of the Riverside County Zoning Ordinance.
8. Two family dwellings, multiple family dwellings, bungalow courts and apartment houses.
9. Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.
10. Congregate care residential facilities.
11. Timeshare units.

The following uses shall be permitted provided a conditional use permit is obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance 348 as approved

1. Evening nursery school, child care and baby-sitting facilities, where 13 or more unrelated children are kept under supervision by a person licensed by the State Department of Social Welfare or Riverside County Department of Public Welfare during any hours between 5 p.m. and 8 a.m.
2. Congregate care residential facilities, developed pursuant to Section 19.103 of the Riverside County Zoning Ordinance

*Site Planning*

1. Multi-family buildings and attached housing products should be sited along the streetscape with parking lots internalized to reduce the visual impact of parking.
2. Buildings shall relate to the surrounding development and streetscapes appropriately to create a cohesive visual identity.
3. Neighborhoods shall provide connections to the community parks and trails network.
4. Multi-family buildings shall be oriented and clustered in such a way as to provide courtyards and open space areas.
5. Allowing encroachments, such as porches, steps and trellises, into the building setback helps the building mass relate to the pedestrian scale at the sidewalk edge.
6. All first floor residential units must connect to the sidewalk and street by way of porches, stoops, and private paths.
7. Defined below are the various building elements which serve to define the transition between the street and the primary building façade. Such elements are permitted to encroach within the primary building setback as follows:
  - a. Porch – A structure attached to a building to shelter an entrance or to serve as a semi-enclosed space; usually roofed and generally open-sided.
  - b. Stoop – A platform or small porch usually elevated several steps at the entrance to a dwelling or building.
  - c. Steps (to stoop or porch) – a stair unit which consists of stairs and risers.
  - d. Forecourt – A private open space enclosed by a low wall or fence between the building façade and frontage line/street right-of-way.
  - e. Balcony – A projecting platform on a building, sometimes supported from below, sometimes cantilevered; enclosed by a railing or balustrade.
  - f. Fireplace, Roof overhangs, Canopies, Awnings, and other architectural features which are subordinate to the main building façade.
  - g. Arbor and Trellis
8. All required covered resident parking spaces shall be assigned to a specific unit.
9. Sufficient on-site resident parking will be provided for each project. Parking along the project's public street frontage may count toward fulfilling visitor-parking requirements.
10. Handicapped parking will be provided in accordance with the standards of the County of Riverside.

*Building Facades*

1. Forward architecture shall be used in the design of homes. This is accomplished by placing entries, windows, front porches, and living areas towards the street.
2. Architecture should integrate interactive elements such as porches, verandas, porte-cocheres, balconies, decks, porticos, trellises, arbors, and courtyards toward the street.
3. Wrap around architecture is encouraged for use on buildings located on corner lots.
4. Long, unbroken façades and box-like forms shall be avoided. Landscaping should be used to create aesthetic building massing conditions and screening.
5. Carports and garages shall be designed as an integral part of the architecture of the development. They shall be the same in materials, color and detail to the principle buildings of the development.

*Walls*

1. Where appropriate, buildings should be sited in such a way that they serve the function of walls. Where necessary, walls shall be used to provide privacy and security from arterial and collector roads and adjacent conflicting land uses.
2. A master fencing plan shall be prepared by the master developer (or builder of initial residential project) and submitted to the County of Riverside for approval with the development submittal for the project in which the walls are to be constructed. The master fencing plan shall set the design character.
3. Community walls adjacent to right-of-way shall be maintained by the entity who is maintaining the landscaping within the right-of-way.
4. Private walls used to separate individual residential lots shall be a maximum of six (6) feet in height.
5. Walls used to screen service, trash and utility areas shall be a minimum of six (6) feet in height.
6. View fencing, variable wall alignments and heights, landscaping and pilasters should be integrated into the wall design in order to avoid long interrupted stretches of wall.
7. The application of materials, colors, texture, and alignment in the design of walls shall be used to relieve visual monotony. Appropriate materials for walls include stone, stone veneer, split/face precision block, tubular steel, concrete and wrought iron.

*Signage*

1. Signs within a project should use uniform scheme of colors, materials, and style compatible with the projects theme and character.
2. Monument signs identifying individual projects shall have a maximum height of six (6) feet.

*Lighting*

1. Exterior lighting shall be shielded from projection off-site and designed to be compatible with the architectural character and landscape design of the building.
2. Illumination levels shall be appropriate and compatible with the purpose, ambient levels and color of the surrounding neighborhood.
3. Lighting shall be placed along the primary pedestrian pathways, recreation areas, and other high use areas.
4. Where outdoor lighting is proposed, require the inclusion of outdoor lighting features that would minimize the effects on the nighttime sky.
5. Adhere to the lighting requirements of the County Ordinance Regulating Light Pollution for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

*Landscape*

1. Accent landscaping such as specimen trees, colorful perennial shrubs, groundcover, tall grasses and flowers should be used at project entryways.
2. Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
3. Areas shall be provided adjacent to garage entries located in alleys and auto courts for landscape elements that will soften the built environment.
4. Paseos should include meandering sidewalks (minimum of 5 feet in width) within a landscaped strip (minimum of 20 feet in width).

*Service, Trash and Utility Areas*

1. Service, trash/recycling and storage areas for multi-family attached projects shall not be viewed from public areas and shall be enclosed with walls. These enclosures shall be designed for architectural compatibility with the building, and screened with landscaping.
2. Transformers and other utility equipment located above ground shall be screened and incorporated into the landscape when possible.
3. On-site storage of recreational vehicles is prohibited.
4. All pool and spa equipment, and other electrical equipment visible from the public right-of-way shall be screened with landscaping.

**4.2.2 Planning Area No. 2: Residential High Density***Descriptive Summary*

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**
**SPECIFIC PLAN**

September 15<sup>th</sup>, 2006

Planning Area 2 is characterized by high density development that accommodates a mix of residential uses, including attached and detached small lot single-family homes, patio homes, multi-family apartments, duplexes, townhomes, and other compatible uses.

*Development Standards*

<b>TABLE 4-9</b> <b>SFD GARDEN COURT (PA 2) DEVELOPMENT STANDARDS</b>		
<b>SFD GARDEN COURT (PA 2)</b>	<b>(6 - 12 DWELLING UNITS/ACRE)</b>	<b>NOTES</b>
<b>BUILDING INTENSITY</b>		
Maximum Net Density	12 DU/AC	
Max. Building Coverage	70%	
Maximum Height	35'	
Minimum Lot Size	2,000 sq. ft.	
<b>BUILDING SETBACKS (measured from property line)</b>		
Front yard and exterior side yard (Arterial)	12' min	10' min to projections <sup>1</sup> / 7' min to porches and patios
Front yard and exterior side yard (Collector)	10' min	8' min to projections <sup>1</sup> / 5' min to porches and patios
Front yard and exterior side yard (Local)	8' min	6' min to projections <sup>1</sup> / 5' min to porches and patios
Front yard (Interior)	8' min	6' min to projections <sup>1</sup> / 5' min to porches and patios
Side yard (Private Drive)	8' min	
Side yard (Interior)	4' min*	*In zero lot-line conditions an 8' min building separation shall apply.
Rear yard (Interior)	4' min*	*Garage to private drive 2' min from garage to private auto court
<b>PARKING</b>		
Resident: 1+ bedrooms	2 spaces per unit*	*covered
Visitor	Visitor parking for single-family detached units is assumed to be available along the public or private street frontage. If on-street parking is not permitted or is restricted on the unit's street frontage then 1 visitor parking space shall be required for each affected unit.	

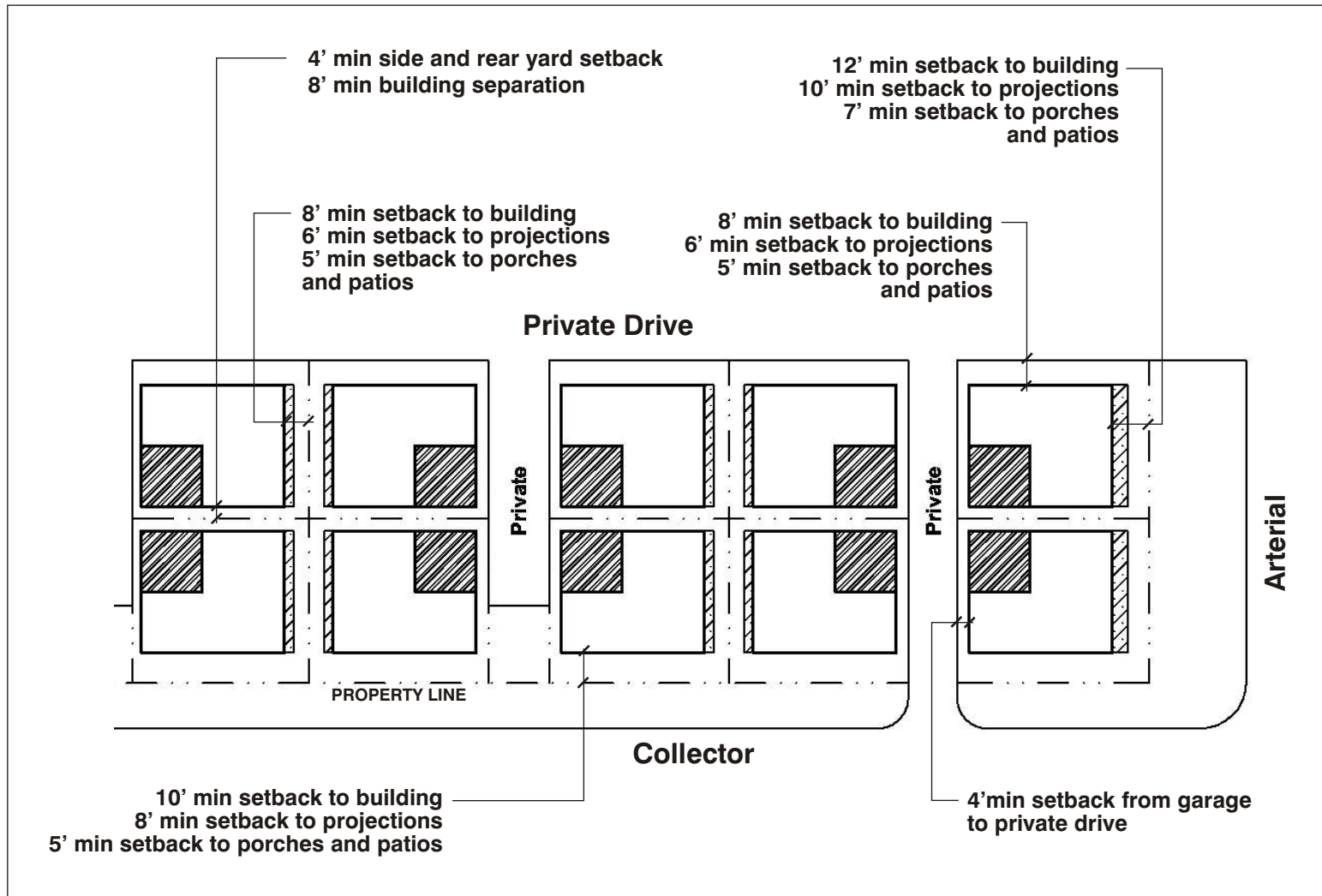
**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**

SPECIFIC PLAN

September 15<sup>th</sup>, 2006

TABLE 4-9 SFD GARDEN COURT (PA 2) DEVELOPMENT STANDARDS		
SFD GARDEN COURT (PA 2)	(6 - 12 DWELLING UNITS/ACRE)	NOTES
<b>ENCROACHMENTS</b>		
See notes in Building Setbacks above		
<b>ACCESSORY USES</b>		
Covered structures and building additions not allowed		
<b>NOTES</b>		
1 - Projections include cornices, overhangs, eaves, bay windows, and balconies		

Please see **Figure 4-28** (Planning Area 2 - Garden Court Prototype) for an illustration of the setbacks addressed in **Table 4-9** above.



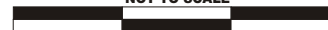
## PLANNING AREA 2 - GARDEN COURT PROTOTYPE



MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



**Figure 4-28**

## MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT

## SPECIFIC PLAN

September 15<sup>th</sup>, 2006

TABLE 4-10 SFD ALLEY LOAD (PA 2) DEVELOPMENT STANDARDS		
SFD ALLEY LOAD (PA 2)	(6 - 12 DWELLING UNITS/ACRE)	NOTES
BUILDING INTENSITY		
Maximum Net Density	12 DU/AC	
Max. Building Coverage	60% max.	
Maximum Height	35'	
Minimum Lot Size	3,000 sq. ft.	
BUILDING SETBACKS (measured from property line)		
Front yard and exterior side yard (Arterial)	12' min	10' min to projections <sup>1</sup> / 7' min to porches and patios
Front yard and exterior side yard (Collector)	10' min	8' min to projections <sup>1</sup> / 5' min to porches and patios
Front yard and exterior side yard (Local)	8' min	6' min to projections <sup>1</sup> / 5' min to porches and patios
Front yard (Interior)	8' min	6' min to projections <sup>1</sup> / 5' min to porches and patios
Side yard (Private Drive)	8' min	
Side yard (Interior)	5' min	
Rear yard (Interior)	4' min*	*Garage to private alley
PARKING		
Resident: 1+ bedrooms	2 spaces per unit	*covered
Visitor	Visitor parking for single-family detached units is assumed to be available along the public or private street frontage. If on-street parking is not permitted or is restricted on the unit's street frontage then 1 visitor parking space shall be required for each affected unit. Parking is not permitted in alleys.	
ENCROACHMENTS		
See notes in Building Setbacks above		
ACCESSORY USES		
Covered structures and building additions not allowed		
NOTES		

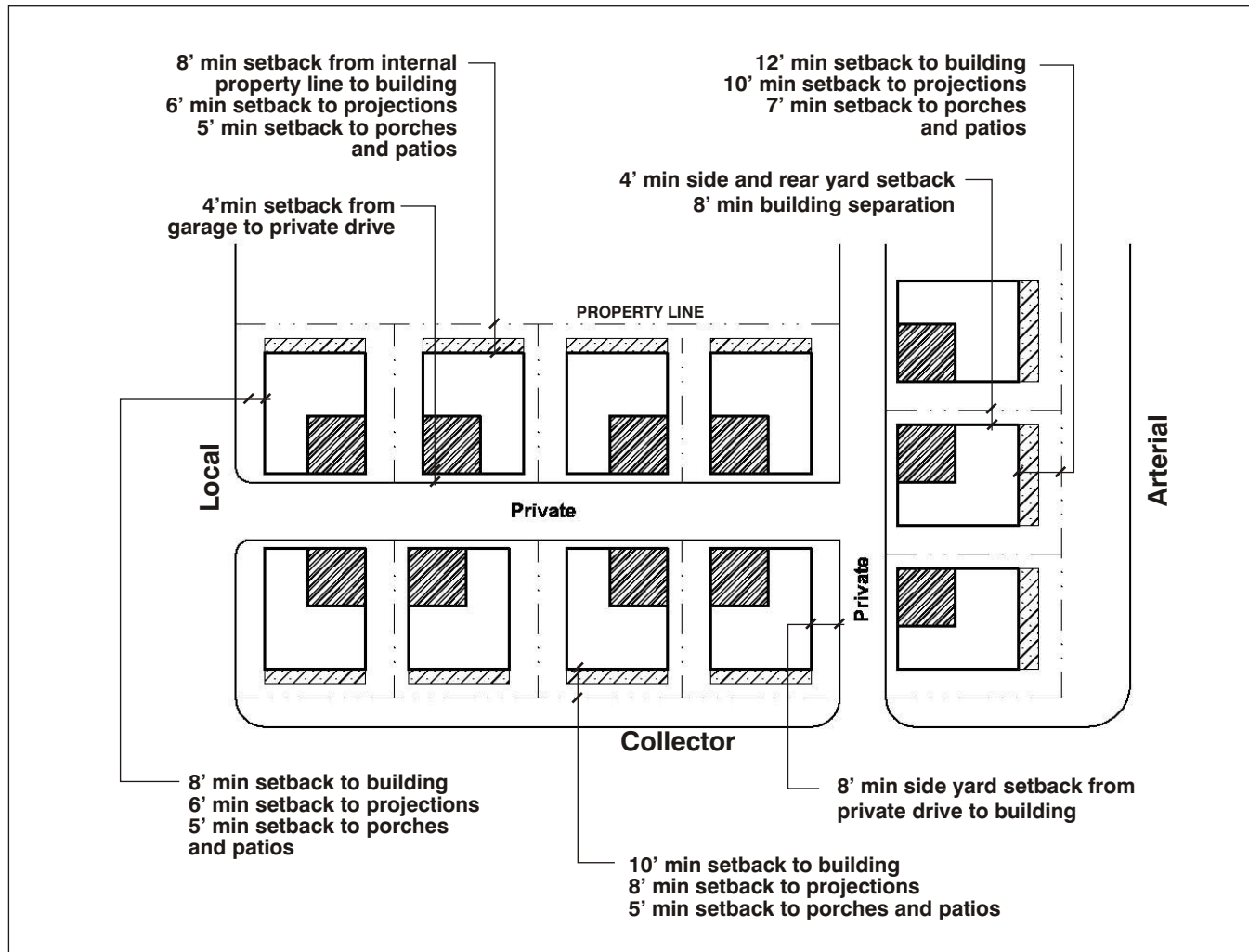
**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**

SPECIFIC PLAN

September 15<sup>th</sup>, 2006

TABLE 4-10 SFD ALLEY LOAD (PA 2) DEVELOPMENT STANDARDS		
SFD ALLEY LOAD (PA 2)	(6 - 12 DWELLING UNITS/ACRE)	NOTES
1 - Projections include cornices, overhangs, eaves, bay windows, and balconies		

Please see **Figure 4-29** (Planning Area 2 – Alley Load Prototype) for an illustration of the setbacks addressed in **Table 4-10** above.



## PLANNING AREA 2 - ALLEY LOAD PROTOTYPE



THE  
PLANNING  
CENTER



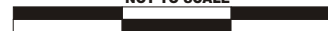
TKD

Stantec

MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



**Figure 4-29**

*Permitted Uses*

1. One-family dwellings.
2. Home occupations.
3. Planned residential developments, provided a land division is approved pursuant to the provisions of Riverside County Ordinance No. 460 and the development standards in Section 18.5 or 18.6 of the Riverside County Zoning Ordinance.
4. On-site signs, affixed to building walls, stating the name of the structure, use, or institution, not to exceed five percent of the surface area of the exterior face of the wall upon which the sign is located.
5. One-family dwellings developed as restricted single-family residential subdivisions, subject to the development standards of Section 7.11 of the Riverside County Zoning Ordinance. The provisions of Sections 7.2 through 7.10 of the Riverside County Zoning Ordinance shall not be applicable to developments under this permitted use.
6. Timeshare units.

The following uses shall be permitted provided a plot plan has first been approved pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance:

1. Two family dwellings, multiple family dwellings, bungalow courts and apartment houses.
2. Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.
3. Public parks and public playgrounds

The following uses are permitted provided a conditional use permit is granted pursuant to Section 18.28 of the Riverside County Zoning Ordinance:

1. Congregate care residential facilities, developed pursuant to Section 19.103 of this ordinance.

*Site Planning*

1. Buildings should be sited along the streetscape with parking lots internalized to reduce the visual impact of parking.
2. Buildings shall relate to the surrounding development and streetscapes appropriately to create a cohesive visual identity.
3. Neighborhoods shall provide connections to the community parks and trails network.
4. Buildings should be oriented and clustered in such a way as to provide courtyards and open space areas.

5. Allowing encroachments, such as porches, steps and trellises, into the building setback helps the building mass relate to the pedestrian scale at the sidewalk edge.
6. Buildings must connect to the sidewalk and street by way of porches, stoops, and private paths.
7. Defined below are the various building elements which serve to define the transition between the street and the primary building façade. Such elements are permitted to encroach within the primary building setback as follows:
  - a. Porch – A structure attached to a building to shelter an entrance or to serve as a semi-enclosed space; usually roofed and generally open-sided.
  - b. Stoop – A platform or small porch usually elevated several steps at the entrance to a dwelling or building.
  - c. Steps (to stoop or porch) – a stair unit which consists of stairs and risers.
  - d. Forecourt – A private open space enclosed by a low wall or fence between the building façade and frontage line/street right-of-way.
  - e. Balcony – A projecting platform on a building, sometimes supported from below, sometimes cantilevered; enclosed by a railing or balustrade.
  - f. Fireplace, Roof overhangs, Canopies, Awnings, and other architectural features which are subordinate to the main building façade.
  - g. Arbor and Trellis

### *Building Facades*

1. Forward architecture shall be used in the design of homes. This is accomplished by placing entries, windows, front porches, and living areas towards the street.
2. Architecture should integrate interactive elements such as porches, verandas, porte-cocheres, balconies, decks, porticos, trellises, arbors, and courtyards toward the street.
3. Wrap around architecture is required and is encouraged for use on buildings located on corner lots.
4. Long, unbroken facades and box-like forms shall be avoided. Landscaping should be used to create aesthetic building massing conditions and screening.

### *Walls*

1. Where appropriate, buildings should be sited in such a way that they serve the function of walls. Where necessary, wall shall be used to provide privacy and security from arterial and collector roads and adjacent conflicting land uses.

2. A master fencing plan shall be prepared by the master developer (or builder of initial residential project) and submitted to the County of Riverside for approval with the development submittal for the project in which the walls are to be constructed. The master fencing plan shall set the design character.
3. Community walls adjacent to right-of-way shall be maintained by the entity who is maintaining the landscaping within the right-of-way.
4. Private walls used to separate individual residential lots shall be a maximum of six (6) feet in height.
5. Walls used to screen service, trash and utility areas shall be a minimum of six (6) feet in height.
6. View fencing, variable wall alignments and heights, landscaping and pilasters should be integrated into the wall design in order to avoid long interrupted stretches of wall.
7. The application of materials, colors, texture, and alignment in the design of walls shall be used to relieve visual monotony. Appropriate materials for walls include stone, stone veneer, split/face precision block, tubular steel, concrete and wrought iron.

#### *Signage*

1. Signs within a project should use uniform scheme of colors, materials, and style compatible with the projects theme and character.
2. Monument signs identifying individual projects shall have a maximum height of six (6) feet.

#### *Lighting*

1. Exterior lighting shall be shielded from projection off-site and designed to be compatible with the architectural character and landscape design of the building.
2. Illumination levels shall be appropriate and compatible with the purpose, ambient levels and color of the surrounding neighborhood.
3. Lighting shall be placed along the primary pedestrian pathways, recreation areas, and other high use areas.
4. Where outdoor lighting is proposed, require the inclusion of outdoor lighting features that would minimize the effects on the nighttime sky.
5. Adhere to the lighting requirements of the County Ordinance Regulating Light Pollution for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

*Landscape*

1. Accent landscaping such as specimen trees, colorful perennial shrubs, groundcover, tall grasses and flowers should be used at project entryways.
2. Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
3. Areas shall be provided adjacent to garage entries located in alleys and auto courts for landscape elements that will soften the built environment.
4. Paseos should include meandering sidewalks (minimum of 5 feet in width) within a landscaped strip (minimum of 20 feet in width).

*Service and Utility Areas*

1. Transformers and other utility equipment located above ground shall be screened and incorporated into the landscape when possible.
2. On-site storage of recreational vehicles is prohibited.
3. All pool and spa equipment, and other electrical equipment visible from the public right-of-way shall be screened with landscaping.

**4.2.3 Planning Area No. 3: Business Park/Office**

*Descriptive Summary*

Planning Area 3 provides for the development and maintenance of a variety of professional office uses such as financial, legal, real estate and insurance services. It may also include a limited amount of retail and service businesses that are subordinate to and compatible with the office development and primarily intended to serve the needs of the office workers.

*Development Standards*

TABLE 4-11 BUSINESS PARK/OFFICE (PA 3) DEVELOPMENT STANDARDS		
BUSINESS PARK/OFFICE (PA 3)		NOTES
<b>BUILDING INTENSITY</b>		
Maximum Floor Area Ratio	.30	
Maximum Building Coverage	30%	
Maximum Building Height	60'	
Minimum Building Separation	0' or 30' min	

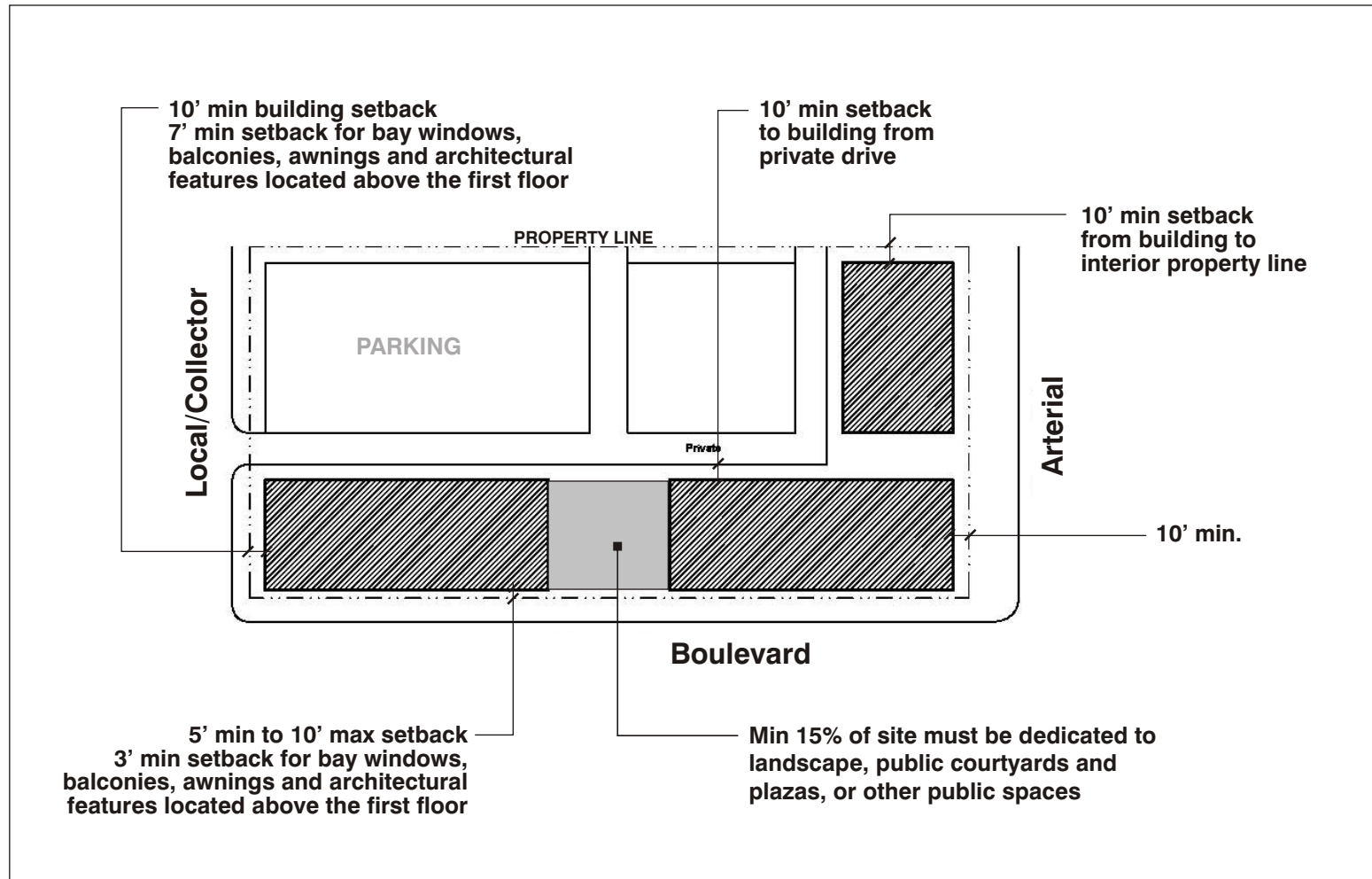
**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**

SPECIFIC PLAN

 September 15<sup>th</sup>, 2006

TABLE 4-11 BUSINESS PARK/OFFICE (PA 3) DEVELOPMENT STANDARDS		
BUSINESS PARK/OFFICE (PA 3)		NOTES
BUILDING SETBACKS (measured from property line)		
Arterial (Varner Road)	10' min	
Collector	10' min	7' min to projections <sup>1</sup>
Boulevard	5' min to 10' max*	*for 60% of the lot frontage, 3' min to projections <sup>1</sup>
Local	10' min	7' min to projections <sup>1</sup>
Interior (Private)	10' min	
Interior (Property Line)	10' min	
PARKING		
Office / Research and Development	1 space per 225 sq. ft.	
Medical Office	1 space per 180 sq. ft.	
ENCROACHMENTS		
Refer to the Riverside County Land Use Code		
OPEN SPACE		
Landscape Area	15% of development area	
1 - Projections include cornices, overhangs, eaves, bay windows, and balconies		
2 - In Zone C as identified in the Riverside County Airport Land Use Compatibility Plan for the Bermuda Dunes Airport, buildings shall be limited to no more than 3 stories.		

Please see **Figure 4-30** (Planning Area 3 – Business Park/Office Prototype) for an illustration of the setbacks addressed in **Table 4-11** above.



## PLANNING AREA 3 - BUSINESS PARK/OFFICE PROTOTYPE



THE  
PLANNING  
CENTER



TKD

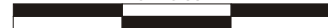
Stantec



MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



**Figure 4-30**

*Permitted Uses*

The following uses are permitted provided a plot plan has been approved pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance:

1. Art gallery, library, reading room, museum.
2. Banks and financial institutions.
3. Employment agencies.
4. Parking lots and parking structures.
5. Prescription pharmacy when related and incidental to a professional office building.
6. Tourist information centers.
7. Travel agencies.
8. Day care centers.
9. Administrative and professional offices, including but not limited to business, law, medical, dental, chiropractic, architectural, engineering, community planning, and real estate offices, in which some activity may be carried on catering to retail sales and stock of goods is maintained for sale.
10. Timeshare units
11. Administrative and professional offices, including but not limited to business, law, medical, dental, chiropractic, architectural, engineering, community planning, and real estate offices, in which some activity may be carried on catering to retail sales and stock of goods is maintained for sale.

The following uses are permitted provided a conditional use permit has been approved pursuant to Section 18.28 of the Riverside County Zoning Ordinance:

1. Health and exercise centers, provided all facilities are located within an enclosed building.
2. Laboratories, film, dental, medical, research or testing.
3. Restaurants, not including drive-in or take-out restaurants.
4. Studios for professional work in or teaching of any form of fine arts, including but not limited to photography, music, drama, and dance, where no stock of goods is maintained for sale.

*Site Planning*

1. Building placement and orientation shall be designed to create visual interest along public right-of-ways.
2. Bicycle racks shall be provided at all projects adjacent to any bicycle trail.
3. Plazas or common areas within a project shall be located near building entrances or areas of high pedestrian traffic to ensure their use.
4. Street corners should be defined by buildings that set the tone for the entire block, enrich the streetscape and reduce the impact of parking.
5. Parking areas shall be screened from the public right-of-way.

*Building Facades*Building Articulation and Massing

1. Building mass shall be visually enhanced with the use of setbacks, building offsets, vertical variation of roof lines, change in plane, glazing, free standing structure(s), or other similar treatments.
2. Buildings should locate arrival points within their complex to facilitate order and celebrate arrival. Special architectural and material design should be focused at these points.
3. Any equipment mounted on the roofs shall be screened from the view of higher rise structures.

Corner Architecture

1. Within urban neighborhoods, the corners of buildings become important design features. These areas are focal points in the streetscape and as such should be places for architectural articulation, corner glazing, as well as color and material accents.

360 Degree Architecture

1. Those buildings which are prominently visible from the adjacent community edges will receive special design attention to assure that architectural forms are consistently detailed on all sides.

Materials and Color

1. Color and pattern concepts for the community shall be provided with the Tentative Map Submittal. A color and materials board shall be submitted with each application. Refer to Section 4.2.6 (Design Guidelines) for additional criteria.

*Walls*

1. Where appropriate, buildings should be sited in such a way that they serve the function of walls.
2. Walls used to screen service, trash and utility areas shall be a minimum of six (6) feet in height.
3. The application of materials, colors, texture, and alignment in the design of walls shall be used to relieve visual monotony. Solid walls may be slump stone, split/face precision block or standard integral colored masonry unit.

*Signage*

A master sign program for Planning Area 3 (Business Park/ Office) shall be prepared and must establish the locations, style and types of signs for the entire Planning Area 3. The purpose of the master sign plan is to ensure that signs are consistent throughout the business park/office uses.

1. Signage should be used only where necessary in an understated manner, emphasizing an image of permanence and quality.
2. Signs should be distinctive eye catching and simple, avoiding cluttered design and excess advertising.
3. Signs within a project should use a uniform scheme of colors, materials and styles.
4. Tenant identification signs should be consistently located and integrated into the architectural design of the building entry.
5. Desirable signs include indirectly lit signs, halo lighting, channel lettered signs, wall signs, awnings, and double-faced projecting or hanging signs along pedestrian walkways. Simple painted or raised letter signs are encouraged.

*Lighting*

1. A master lighting program for Planning Area 3 (Business Park/ Office) shall be prepared and must establish the locations, style and type of light for the entire Planning Area 3.
2. Night lighting of building exteriors shall be used only to highlight special recognizable features; accent repeated features; or use the play of light and shadow to articulate the façade. The purpose of illuminating the building is to add visual interest and supply building identification.
3. Lighting fixtures and support structures should be consistent with the architectural character and design of the project
4. Illumination levels shall be appropriate to the surrounding environment and purpose.
5. Architectural feature, roof lines, pedestrian routes, and building entrances should be illuminated.

6. Overly bright or glaring lights shall be avoided.
7. All sources of light shall be concealed and directed downward.
8. Where outdoor lighting is proposed, require the inclusion of outdoor lighting features that would minimize the effects on the nighttime sky.
9. Adhere to the lighting requirements of the County Ordinance Regulating Light Pollution for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

*Landscape*

1. Accent landscaping such as specimen trees, colorful perennial shrubs, groundcover, tall grasses and flowers should be used at project entryways.
2. Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
3. Parking lots shall provide one tree for every six (6) parking spaces.

*Service, Trash and Utility Areas*

1. Trash collection, service, loading, storage and maintenance areas shall be screened from public view.
2. Service, trash and utility areas shall be incorporated into the overall design of the site and building.
3. No loading will be permitted from any public street adjacent to the site without a conditional use permit.
4. Service areas must be located and designed so that service vehicles have clear and convenient access and do not block adjacent vehicular or pedestrian circulation or vehicular parking. Service areas may not front on streets or extend into required setback areas.
5. Site planning shall take the location of residential units into consideration and shall screen or cover areas to minimize noise levels and visual impacts.
6. The various utility structures and boxes shall be carefully sited and coordinated with landscaping before final engineering plans are done. The location of major utilities and pull-boxes should be located out of line of sight.

**4.2.4 Planning Area No. 4: Mixed Use***Descriptive Summary*

Planning Area 4 is envisioned to be the most flexible (in relation to permitted land uses) of the six planning areas. This mixed-use area can accommodate pedestrian oriented commercial

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**
**SPECIFIC PLAN**

 September 15<sup>th</sup>, 2006

uses, live-work units, residential townhomes and flats. The residential and commercial uses must be vertically integrated. Planning Area 4 could be dedicated entirely for commercial uses. A total of 122,700 square feet of retail/office use is allowed. A maximum of 141 residential units are permitted within the Planning Area 4.

Planning Area 4 also includes the Promenade, a pedestrian plaza dividing the main street. This activity area will complement the outdoor cafes, pedestrian plazas and street activity of the adjacent commercial buildings. It will include a variety of site amenities such as walkways, fountains, benches, shade structures and open lawn areas.

*Development Standards*

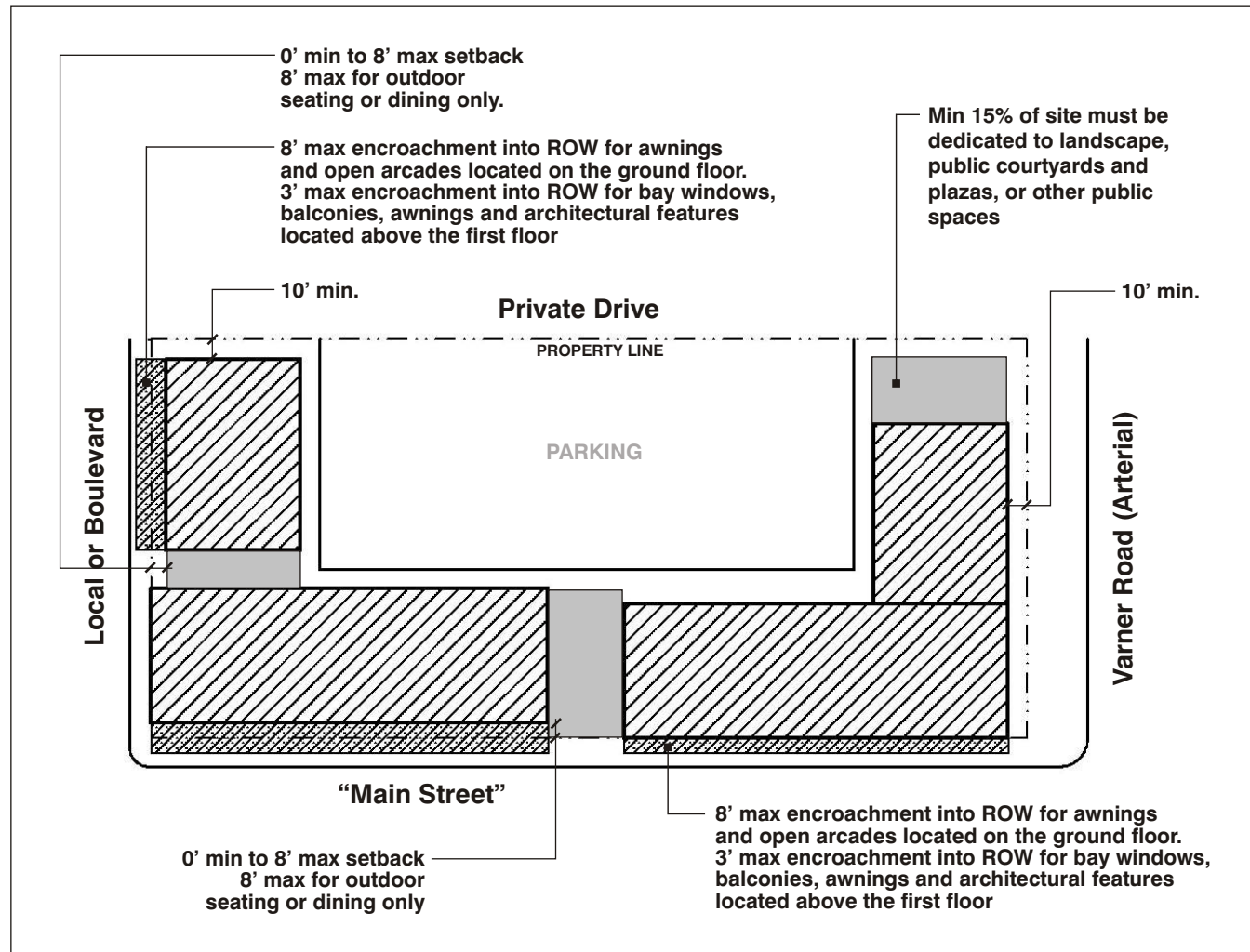
<b>TABLE 4-12 MIXED USE (PA 4) DEVELOPMENT STANDARDS</b>		
<b>MIXED USE (PA 4)</b>	<b>RETAIL/OFFICE USE</b>	<b>RESIDENTIAL /LIVE WORK USE</b>
<b>DENSITY/ INTENSITY</b>		
Maximum Net Density	-	16 du/ac
Maximum F.A.R.	.32 (Commercial portion)	-
Max. Building Coverage	50%	50%
Maximum Height	70' <sup>6</sup>	70' <sup>6</sup>
Minimum Lot Size	N/A	N/A
<b>BUILDING SETBACKS FROM R.O.W.</b>		
Varner Road (Arterial)	20' min	20' min <sup>5</sup>
"Main Street"	0' min. to 18' max. <sup>1,2</sup>	0' min to 18' max <sup>1, 2</sup>
Collector	5' min. to 15' max. <sup>1</sup>	5' min to 15' max
Local	10' min. to 20' max. <sup>1</sup>	10' min to 20' max
Private Drive/Internal Property Line	10'	10'
<b>ENCROACHMENTS</b>	Encroachments into setbacks will comply with the following	
Front Encroachment <sup>3</sup>	8' max into ROW	3' (5' for steps, stoops and porches) <sup>2</sup>
Side Street encroachment <sup>3</sup>	8' max into ROW	3' (5' for steps, stoops and porches) <sup>2</sup>
<b>OPEN SPACE</b>		
Common Open Space <sup>4</sup>	Min. 15%	Min 15%

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**
**SPECIFIC PLAN**

September 15<sup>th</sup>, 2006

<b>TABLE 4-12</b> <b>MIXED USE (PA 4) DEVELOPMENT STANDARDS</b>		
<b>MIXED USE (PA 4)</b>	<b>RETAIL/OFFICE USE</b>	<b>RESIDENTIAL /LIVE WORK USE</b>
<b>PARKING</b>		
Residential: Studio	-	1 space per unit
Residential: 1 bedroom	-	1.5 spaces per unit
Residential: 2 bedrooms	-	1.6 spaces per unit
Residential: Guests	-	.25 spaces per unit
Retail: Retail/Service	1 space per 250 sq. ft.	-
Retail: Restaurant	10 spaces per 1,000 sq. ft.	-
Retail: Hotel	To be determined by the approval body for the proposed use	-
Retail: Health Club	1 space/175 square feet of gross floor area	-
Office	1 space per 225 sq. ft.	
<b>NOTES</b>		
1 – Maximum allowance is for outdoor seating and dining only. The maximum setback does not apply to courtyards open to the street that are used as public space. Seating or dining areas may be alternately located adjacent to the curb as long as a minimum 7' wide pedestrian right-of-way is maintained.		
2 – for 85% of lot frontage		
3 – Encroachments shall be limited to awnings, bay windows, balconies, and open arcades. Arcades may be located within 3' of the street curb. No encroachment allowed into Varner Road. Refer to Main Street Development Standards in Section V.2.		
4 – Includes plazas and landscape		
5 – Setbacks and encroachments apply to residential only buildings		
6 - In Zone C as identified in the Riverside County Airport Land Use Compatibility Plan for the Bermuda Dunes Airport, buildings shall be limited to no more than 3 stories.		

Please see **Figure 4-31** (Planning Area 4 – Mixed Use Prototype) and **Figure 4-32** (Planning Area 4 – Residential Prototype) for an illustration of the setbacks addressed in **Table 4-12** above.



## PLANNING AREA 4 - MIXED-USE PROTOTYPE



THE  
PLANNING  
CENTER



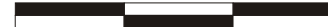
TKD

Stantec

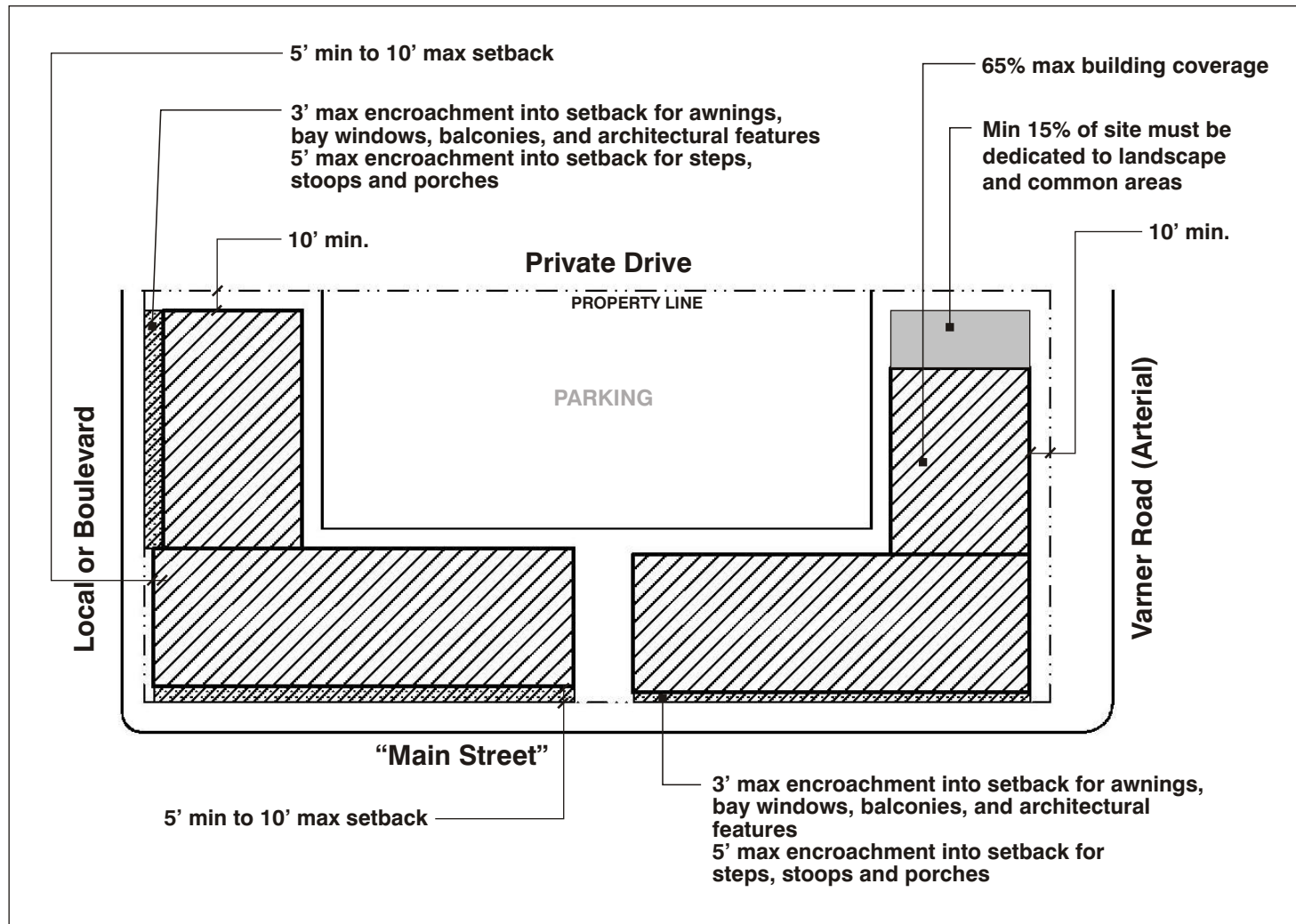
MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



**Figure 4-31**



## PLANNING AREA 4 - RESIDENTIAL PROTOTYPE



THE  
PLANNING  
CENTER



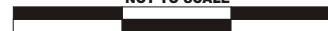
TKD

Stantec

MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



**Figure 4-32**

*Permitted Uses*

The following uses are permitted, only in enclosed buildings with not more than 200 square feet of outside storage or display of materials appurtenant to such use, provided a plot plan shall have been approved pursuant to provisions of Section 18.30 of the Riverside County Zoning Ordinance:

1. Antique shops.
2. Art supply shops and studios.
3. Auditoriums and conference rooms.
4. Bakery goods distributors.
5. Bakery shops, including baking only when incidental to retail sales on the premises.
6. Banks and financial institutions.
7. Barber and beauty shops.
8. Bars and cocktail lounges.
9. Billiard and pool halls.
10. Blueprint and duplicating services.
11. Book stores and binders.
12. Catering services.
13. Clothing stores.
14. Confectionery or candy stores.
15. Costume design studios.
16. Dance halls.
17. Delicatessens.
18. Department stores.
19. Drug stores.
20. Dry goods stores.
21. Employment agencies.

22. Florists shops.
23. Food markets and frozen food lockers.
24. Gift shops.
25. Hotels, resort hotels and motels.
26. Hobby shops.
27. Ice cream shops.
28. Ice sales, not including ice plants.
29. Interior decorating shops.
30. Jewelry stores, including incidental repairs.
31. Laundries and laundromats.
32. Leather goods stores.
33. Locksmith shops.
34. Mail order businesses.
35. Manufacturer's agent.
36. Meat markets, not including slaughtering.
37. Mimeographing and addressograph services.
38. Music stores.
39. News stores.
40. Notions or novelty stores.
41. Offices, including business, law, medical, dental, chiropractic, architectural, engineering, community planning, real estate.
42. One on-site leasing office.
43. Paint and wallpaper stores, not including paint contractors.
44. Pet shops and pet supply shops.
45. Photography shops and studios and photo engraving.

- 46. Poultry markets, not including slaughtering or live sales.
- 47. Produce markets.
- 48. Radio and television broadcasting studios.
- 49. Recording studios.
- 50. Refreshment stands.
- 51. Restaurants and other eating establishments.
- 52. Schools, business and professional, including art, barber, beauty, dance, drama, music and swimming.
- 53. Shoe stores and repair shops.
- 54. Shoeshine stands.
- 55. Signs, on-site advertising, consistent with the Specific Plan.
- 56. Sporting goods stores.
- 57. Stained glass assembly.
- 58. Stationer stores.
- 59. Tailor shops.
- 60. Telephone exchanges.
- 61. Theaters, not including drive-ins.
- 62. Tobacco shops.
- 63. Tourist information centers.
- 64. Toy shops.
- 65. Travel agencies.
- 66. Watch repair shops.
- 67. Day care centers.
- 68. Timeshare units
- 69. Residences and offices above primary retail level

## 70. Public fairs

## 71. Parks

The following uses are permitted, together with outside storage and display of materials appurtenant to such use, provided a plot plan has been approved pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance:

1. Bicycle sales and rentals.
2. Ceramic sales and manufacturing for on-site sales, provided the total volume of kiln space does not exceed 16 cubic feet.
3. Electrical substations.
4. Golf cart sales and service.
5. Nurseries and garden supply stores.
6. Parking lots and parking structures.

The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of Section 18.28 of the Riverside County Zoning Ordinance:

1. Animal hospitals.
2. All uses permitted in Subsection a. of this section that have more than 200 square feet of outside storage or display of materials.
3. Congregate care residential facilities.
4. Liquor stores pursuant to the provisions of Section 18.48 (Alcoholic Beverage Sales) of this ordinance.

*Site Planning*

The character of an urban village presents many interesting design opportunities and challenges. Density encourages exciting building forms and view opportunities, but requires careful attention to site planning detail. Each individual site plan in Mirasera must be mindful of its relationship to and impact on its neighbors. Site design must consider not only the placement of buildings, but also the relationship to the street and landscaping.

1. Allowing encroachments, such as arcades, porches, steps and trellises, into the building setback helps the building mass relate to the pedestrian scale at the sidewalk edge.
2. Public plazas, outdoor dining, and other pedestrian oriented amenities may be used to divide ground level building facades.

3. Defined below are the various building elements which serve to define the transition between the street and the primary building façade. Such elements are permitted to encroach within the primary building setback as stated above.
  - Porch – A structure attached to a building to shelter an entrance or to serve as a semi-enclosed space; usually roofed and generally open-sided.
  - Stoop – A platform or small porch usually elevated several steps at the entrance to a dwelling or building.
  - Steps (to stoop or porch) – a stair unit which consists of stairs and risers.
  - Forecourt – A private open space enclosed by a low wall or fence between the building façade and frontage line/street right-of-way.
  - Balcony – A projecting platform on a building, sometimes supported from below, sometimes cantilevered; enclosed by a railing or balustrade.
  - Fireplace, Roof overhangs, Canopies, Awnings, and other architectural features which are subordinate to the main building façade.
  - Arbor and Trellis
4. Vehicular access to each site must be designed to insure minimum conflict between pedestrian, auto and service vehicles. Sight lines, pedestrian walkways and lighting are factors to consider in final site designs.
5. Each building may have one or more street frontages. Design consideration must be taken to orient pedestrian and automobile access. Buildings shall be designed to maximize views, where available, keeping in mind that the prominent view of the building is equally important. Solar access and noise attenuation should also be a consideration in the final design and placement of building forms.
6. The development concept within Planning Area 4 requires commercial and residential uses that are vertically integrated.
7. On residential units, projecting features such as balconies, porches, bays, and dormer windows are encouraged to create visual interest and distinction between units.
8. Where commercial and residential uses are on the same level, different design methods may be used to clearly distinguish between public and private (commercial versus residential) spaces and access points. These methods could include vertical separation by raising the residential unit slightly above grade or applying distinguishing materials, textures, colors or other physically clear demarcations at a common grade level.
9. Commercial street corners should be defined by buildings that set the tone for the entire block, enrich the streetscape and reduce the impact of parking.
10. Parking areas shall be screened from the public right-of-way.

11. On-street parking should be provided as part of the core streetscape and should include areas for diagonal or parallel parking, particularly near high activity uses. On-street parking provides a protective barrier between auto traffic and pedestrians, and serves as a traffic calming technique.

### *Building Facades*

#### Building Articulation and Massing

1. Buildings should locate arrival points within their complex to facilitate order and celebrate arrival. Special architectural and material design should be focused at these points.
2. Vertical step-backs in building mass are a key feature in the urban design fabric. It is encouraged that mid-rise buildings provide an intermittent recession of the vertical wall face to provide visual relief, open views, allow for solar access and create opportunities for upper level patios and decks.
3. The use of architectural accents appropriate for each of the design styles such as bay windows, balconies, and belting courses is encouraged.
4. Any equipment mounted on the roofs shall be screened.

#### Corner Architecture

1. Within urban neighborhoods, the corners of buildings become important design features. These areas are focal points in the streetscape and as such should be places for architectural articulation, corner glazing, as well as color and material accents.

#### Tower Features

1. Tower features should be incorporated into the design of the commercial and residential components of Mirasera. Tower features help to create the image of a landmark place and add architectural interest to otherwise standard structures.
2. The scale of tower elements should be designed to create an architectural statement but should not be so grand as to appear imposing to plazas and walkways adjacent to them.

#### 360 Degree Architecture

1. Those buildings which are prominently visible from the adjacent community edges shall receive special design attention to assure that architectural forms are consistently detailed on all sides. Maximum total blank wall (without windows or entrances) may not exceed 30 percent of the first story wall.

#### Materials and Color

1. Color and pattern concepts for the community shall be provided with the Tentative Map Submittal. A color and materials board shall be submitted with each application. Refer to Section 4.2.6 (Design Guidelines) for additional criteria.

### Walls

1. Where appropriate, buildings should be sited in such a way that they serve the function of walls.
2. Walls used to screen service, trash and utility areas shall be a minimum of six (6) feet in height.
3. The application of materials, colors, texture, and alignment in the design of walls shall be used to relieve visual monotony. Solid walls may be slump stone, split/face precision block or standard integral colored masonry unit.

### *Lighting*

1. A master lighting program for Planning Area 4 (Mixed Use) shall be prepared and must establish the locations, style and type of light for the entire Planning Area 4. The purpose of the master lighting plan is to ensure light poles and fixtures are consistent throughout the mixed-use village. The lighting plan should also establish locations, styles and types for street furniture including trash receptacles, benches, and bike racks.
2. Night lighting of building exteriors shall be used only to highlight special recognizable features; accent repeated features; or use the play of light and shadow to articulate the façade. The purpose of illuminating the building is to add visual interest and supply building identification.
3. Lighting fixtures and support structures should be consistent with the architectural character and design of the project
4. Illumination levels shall be appropriate to the surrounding environment and purpose.
5. Architectural feature, roof lines, pedestrian routes, and building entrances should be illuminated.
6. Overly bright or glaring lights shall be avoided.
7. All sources of light shall be concealed and directed downward.
8. Where outdoor lighting is proposed, require the inclusion of outdoor lighting features that would minimize the effects on the nighttime sky.
9. Adhere to the lighting requirements of the County Ordinance Regulating Light Pollution for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

*Signage*

1. A master sign program for Planning Area 4 (Mixed-Use) shall be prepared and must establish appropriate locations, styles and types of signs for Planning Area 4. The purpose of the master sign plan is to ensure that signs are consistent throughout the mixed-use village.
2. Signage should be used only where necessary in an understated manner.
3. Signs should be distinctive eye catching and simple, avoiding cluttered design and excess advertising.
4. Signs within a project should use a uniform scheme of colors, materials and styles.
5. Tenant identification signs should be consistently located and integrated into the architectural design of the building entry.
6. Desirable signs include indirectly lit signs, halo lighting, channel lettered signs, wall signs, awnings, and double-faced projecting or hanging signs along pedestrian walkways. Simple painted or raised letter sign are encouraged.
7. Sign size on the internal Main Street should be complementary to the proportion and scale of the building and its elements.
8. Awnings should not be internally illuminated. Lettering, in addition to the permitted business signage, is allowed on the flaps of the awnings.
9. Signs should complement the architecture of the building and provide a unifying element along the street.
10. Along Main Street, the best placement for commercial signs is along the lintel or sign frieze between the ground floor storefront and the upper facades.
11. Directional plaques mounted on a small freestanding monument similar architecturally to the community identification signs may be placed at logical locations to help direct residents and guests to their destinations.

*Landscape*

1. Accent landscaping such as specimen trees, colorful perennial shrubs, groundcover, tall grasses and flowers should be used at project entryways.
2. Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
3. Parking lots shall provide one tree for every six (6) parking spaces.

*Service, Trash and Utility Areas*

1. Trash collection, service, loading, storage and maintenance areas shall be screened from public view.

2. Service, trash and utility areas shall be incorporated into the overall design of the site and building.
3. No loading will be permitted from any public street adjacent to the site without a conditional use permit.
4. Service areas must be located and designed so that service vehicles have clear and convenient access and do not block adjacent vehicular or pedestrian circulation or vehicular parking. Service areas may not front on streets or extend into required setback areas.
5. Site planning shall take the location of residential units into consideration and shall screen or cover service areas to minimize noise levels and visual impacts.
6. Utility structures become a larger design issue as density increases. The various structures and boxes shall be carefully sited and coordinated with landscaping before final engineering plans are done. The location of major utilities and pull-boxes should be located out of line of sight.
7. Covered enclosures are required due to the urban nature of residential development that can be accommodated by the Specific Plan. Since residential units have the potential to be located close together and will most likely be designed as multi-story, trellises or other covered structures can minimize the visual impact of unsightly trash bins from dwelling units.

#### *Mixed-Use Compatibility*

The following standards are intended to ensure the compatibility of uses in a mixed-use project.

#### *Security*

1. The residential units shall be designed to ensure the security of residents through the provision of secured entrances and exits that are separate from the non-residential uses and are directly accessible to resident parking areas.
2. Non-residential and residential uses shall not have common entrance hallways or common balconies.

#### *Parking*

1. Where vertically mixed uses exist, parking spaces specifically designated for non-residential and residential uses shall be marked by the use of posting, pavement markings, and/or physical separation.

#### *Restriction on Activities*

1. Commercial uses shall be designed and operated, and hours of operation limited, where appropriate, so that neighboring residents are not exposed to offensive noise, especially from traffic, trash collection, routine deliveries or late night activity.

2. No use shall produce continual loading or unloading of heavy trucks at the site between the hours of 8 pm and 6 am.

*Noise Standards*

1. Residential portions of the project shall be designed to limit the interior noise caused by the commercial and parking portions of the project to a maximum of forty-five (45) db CNEL on an annual basis in any habitable room with windows closed. Proper design may include, but shall not be limited to, building orientation, double or extra-strength windows, wall and ceiling insulation, and orientation and insulation of vents. Where it is necessary that windows be closed in order to achieve the required level, means shall be provided for ventilation/cooling to provide a habitable environment.

*Vibrations and Odors*

1. No use, activity or process shall produce continual vibrations or noxious odors that are perceptible without instruments by the average person at the property lines of the site or within the interior of on-site residential units.

**4.2.5 Planning Area No. 5: Community Retail**

*Descriptive Summary*

Planning Area 5 provides for the development and maintenance of commercial areas that provide a wide range of goods and services, including retail, personal service-uses, professional offices, corporate headquarters, administrative offices and tourist-oriented commercial uses. Typical uses may include a supermarket, drugstore, restaurant, and other smaller retail and support services such as banks and video rental stores.

*Development Standards*

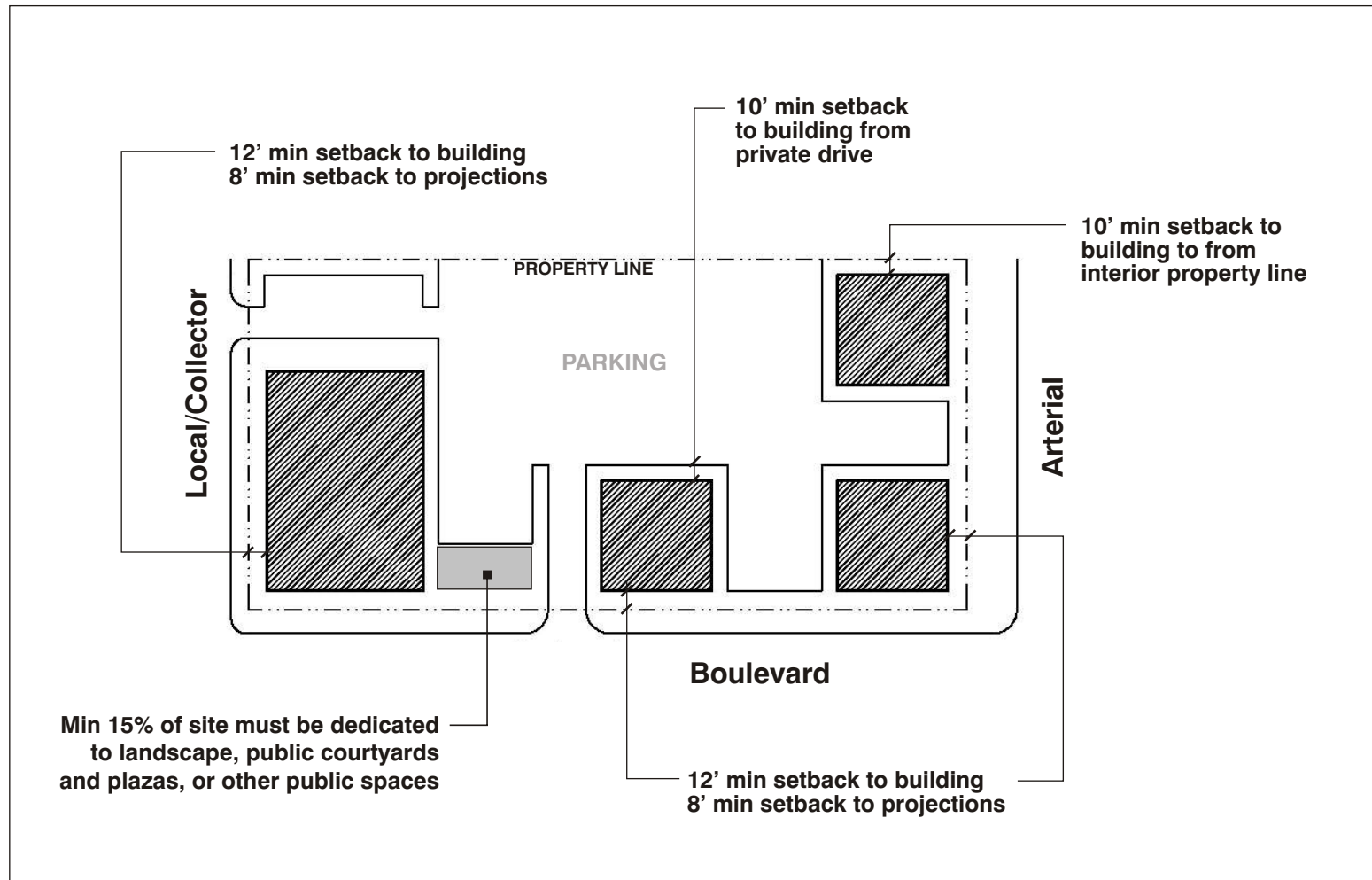
TABLE 4-13 COMMUNITY RETAIL (PA 5) DEVELOPMENT STANDARDS		
COMMUNITY RETAIL (PA-5)		NOTES
<b>BUILDING INTENSITY</b>		
Maximum Floor Area Ratio	.25	
Maximum Building Coverage	30%	
Maximum Building Height	70'	
Building Separation	0' or 20' min.	
<b>BUILDING SETBACKS (measured from property line)</b>		
Arterial (Varner Road/Ave 38)	12' min	8' min to projections <sup>1</sup>
Collector/Boulevard	12' min	8' min to projections <sup>1</sup>

**MIRASERA SPECIFIC PLAN AND ENVIRONMENTAL IMPACT REPORT**
**SPECIFIC PLAN**

September 15<sup>th</sup>, 2006

Local	12' min	8' min to projections <sup>1</sup>
Internal Private Drive	10' min	6' min to projections <sup>1</sup>
Internal Property Line	10' min	
<b>PARKING</b>		
Retail/Service	1 space per 250 sq. ft.	
Restaurant	10 spaces per 1,000 sq. ft.	
Fast Food Restaurant	1 space/100 square feet of gross floor area	
<b>ENCROACHMENTS</b>		
See notes in Building Setbacks above		
<b>Open Space</b>		
Landscape Area	15% of development area	
<b>NOTES</b>		
1 – Projections include cornices, overhangs and eaves.		
2 - In Zone C as identified in the Riverside County Airport Land Use Compatibility Plan for the Bermuda Dunes Airport, buildings shall be limited to no more than 3 stories.		

Please see **Figure 4-33** (Planning Area 5 – Community Retail Prototype) for an illustration of the setbacks addressed in **Table 4-14** above.



## PLANNING AREA 5 - COMMUNITY RETAIL PROTOTYPE



THE  
PLANNING  
CENTER



TKD

Stantec



MIRASERA  
40421.04.000 SPECIFIC PLAN



NOT TO SCALE



**Figure 4-33**

*Permitted Uses*

The following uses are permitted, only in enclosed buildings with not more than 200 square feet of outside storage or display of materials appurtenant to such use, provided a plot plan shall have been approved pursuant to the provisions of Section 18.30 of the Riverside County Zoning ordinance:

1. Antique shops.
2. Appliance stores, household.
3. Art supply shops and studios.
4. Auditoriums and conference rooms.
5. Automobile parts and supply stores.
6. Bakery shops, including baking only when incidental to retail sales on the premises.
7. Banks and financial institutions.
8. Barber and beauty shops.
9. Bars and cocktail lounges.
10. Bicycle sales and rentals.
11. Billiard and pool halls.
12. Blueprint and duplicating services.
13. Book stores and binders.
14. Bowling alleys.
15. Catering services.
16. Cleaning and dyeing shops.
17. Clothing stores.
18. Confectionery or candy stores.
19. Costume design studios.
20. Dance halls.
21. Delicatessens.

22. Department stores.
23. Drug stores.
24. Dry goods stores.
25. Electrical substations.
26. Employment agencies.
27. Florist shops.
28. Food markets and frozen food lockers.
29. Gift shops.
30. Hardware stores.
31. Household goods sales and repair, including but not limited to, new and used appliances, furniture, carpets, draperies, lamps, radios, and television sets, including repair thereof.
32. Hobby shops.
33. Hotel, Motel
34. Ice cream shops.
35. Ice sales, not including ice plants.
36. Interior decorating shops.
37. Jewelry stores with incidental repairs.
38. Laundries and laundromats.
39. Leather goods stores.
40. Locksmith shops.
41. Mail order businesses.
42. Manufacturer's agent.
43. Market, food, wholesale or jobber.
44. Meat markets, not including slaughtering.
45. Mimeographing and addressograph services.

46. Music stores.
47. News stores.
48. Notions or novelty stores.
49. Nurseries and garden supply stores.
50. Offices, business.
51. Paint and wall paper stores, not including paint contractors.
52. Parking lots and parking structures.
53. Pet shops and pet supply shops.
54. Photography shops and studios and photo engraving.
55. Plumbing shops, not including plumbing contractors.
56. Poultry markets, not including slaughtering or live sales.
57. Printers or publishers.
58. Produce markets.
59. Radio and television broadcasting studios.
60. Recording studios.
61. Refreshment stands.
62. Restaurants and other eating establishments.
63. Schools, business and professional, including art, barber, beauty, dance drama, music and swimming.
64. Shoe stores and repair shops.
65. Shoeshine stands.
66. Signs, on-site advertising.
67. Sporting goods stores.
68. Stained glass assembly.
69. Stationery stores.
70. Tailor shops.

71. Telephone exchanges.
72. Theaters, not including drive-ins.
73. Tobacco shops.
74. Tourist information centers.
75. Toy shops.
76. Travel agencies.
77. Watch repair shops.
78. Wholesale businesses with samples on the premises, but not to include storage.
79. Golf cart sales and service.
80. Day care centers.
81. Convenience stores, not including the sale of motor vehicle fuel.

Uses Permitted by Conditional Use Permit. The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of Section 18.28 of the Riverside County Zoning Ordinance:

1. Car washes.
2. Sale, rental, repair, or demonstration of motorcycles, scooters or motorbikes of two horsepower or greater.
3. Animal hospitals.
4. All uses permitted in Subsection a. that have more than 200 square feet of outside storage of display of materials.
5. Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.
6. Convenience stores, including the sale of motor vehicle fuel.
7. Liquor stores pursuant to the provisions of Section 18.48 (Alcoholic Beverage Sales) of the Riverside County Zoning Ordinance.

#### *Site Planning*

1. Building placement and orientation shall be designed to create visual interest along public right-of-ways.

2. Bicycle racks shall be provided for all projects that are adjacent to any bicycle trail.
3. Businesses that use shopping carts shall provide a shopping cart corral within 150 feet of 85 percent of their parking stalls.
4. Plazas or common areas within a project shall be located near building entrances or areas of high pedestrian traffic to ensure their use.
5. Commercial street corners should be defined by buildings that set the tone for the entire block, enrich the streetscape and reduce the impact of parking.
6. Parking areas should provide pedestrian connections between buildings through the use of walkways.
7. Parking areas shall be screened from the public right-of-way.
8. Any equipment mounted on the roofs will be screened from the view of higher rise structures.

### *Building Facades*

#### Building Articulation and Massing

Both pedestrian and automobile access is a major consideration in the urban context of the mid-rise building. Buildings should locate arrival points within their complex to facilitate order and celebrate arrival. Special architectural and material design should be focused at these points.

Building interaction with the street level is important to a well-defined urban village street scene. Stairways, entry porches, balconies, arcades, and colonnades will provide a strong transition from the street to each dwelling unit.

Vertical step-backs in building mass are a key feature in the urban design fabric. It is encouraged that mid-rise buildings provide for an intermittent recession of the vertical wall face to provide visual relief, open views, allow for solar access and create opportunities for upper level patios and decks.

#### Corner Architecture

1. Within urban neighborhoods, the corners of buildings become important design features. These areas are focal points in the streetscape and as such should be places for architectural articulation, corner glazing, as well as color and material accents.

#### 360 Degree Architecture

1. Those buildings which are prominently visible from the adjacent community edges will receive special design attention to assure that architectural forms are consistently detailed on all sides.

#### Materials and Color

1. Color and pattern concepts for the community shall be provided with the Tentative Map Submittal. A color and materials board shall be submitted with each application. Refer to Section 4.2.6 (Design Guidelines) for additional criteria.

### *Walls*

1. Where appropriate, buildings should be sited in such a way that they serve the function of walls.
2. Walls used to screen service, trash and utility areas shall be a minimum of six (6) feet in height.
3. The application of materials, colors, texture, and alignment in the design of walls shall be used to relieve visual monotony. Solid walls may be slump stone, split/face precision block or standard integral colored masonry unit.

### *Signage*

1. A master sign program for Planning Area 5 (Community Retail) shall be prepared and must establish the locations, style and types of signs for the entire Planning Area 5. The purpose of the master sign plan is to ensure that signs are consistent throughout the business park/office uses.
2. Signage should be used only where necessary in an understated manner, emphasizing an image of permanence and quality.
3. Signs should be distinctive eye catching and simple, avoiding cluttered design and excess advertising.
4. Signs within a project should use a uniform scheme of colors, materials and styles.
5. Tenant identification signs should be consistently located and integrated into the architectural design of the building entry.
6. Desirable signs include indirectly lit signs, halo lighting, channel lettered signs, wall signs, awnings, and double-faced projecting or hanging signs along pedestrian walkways. Simple painted or raised letter signs are encouraged.

### *Lighting*

1. A master lighting program for Planning Area 5 (Community Retail) shall be prepared and must establish the locations, style and type of light for the entire Planning Area 5.
2. Night lighting of building exteriors shall be used only to highlight special recognizable features; accent repeated features; or use the play of light and shadow to articulate the façade. The purpose of illuminating the building is to add visual interest and supply building identification.
3. Lighting fixtures and support structures should be consistent with the architectural character and design of the project

4. Illumination levels shall be appropriate to the surrounding environment and purpose.
5. Architectural feature, roof lines, pedestrian routes, and building entrances should be illuminated.
6. Overly bright or glaring lights shall be avoided.
7. All sources of light shall be concealed and directed downward.
8. Where outdoor lighting is proposed, require the inclusion of outdoor lighting features that would minimize the effects on the nighttime sky.
9. Adhere to the lighting requirements of the County Ordinance Regulating Light Pollution for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

#### *Landscape*

1. Accent landscaping such as specimen trees, colorful perennial shrubs, groundcover, tall grasses and flowers should be used at project entryways.
2. Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
3. Parking lot entry drives and primary internal drive intersections should be treated with special landscape elements, such as special paving, graphic sign, specialty lighting, specimen trees, and/or flowering plants that will provide individual identity to the project.
4. Parking lots shall provide one tree for every six (6) parking spaces.

#### *Service, Trash and Utility Areas*

1. Trash collection, service, loading, storage and maintenance areas shall be screened from public view.
2. Service, trash and utility areas shall be incorporated into the overall design of the site and building.
3. No loading will be permitted from any public street adjacent to the site without a conditional use permit.
4. Service areas must be located and designed so that service vehicles have clear and convenient access and do not block adjacent vehicular or pedestrian circulation or vehicular parking. Service areas may not front on streets or extend into required setback areas.
5. Site planning shall take the location of residential units into consideration and shall screen or cover areas to minimize noise levels and visual impacts.

6. Utility structures become a larger design issue as density increases. The various structures and boxes shall be carefully sited and coordinated with landscaping before final engineering plans are done. The location of major utilities and pull-boxes should be located out of line of sight.

#### 4.2.6 Planning Area No. 6: Village Green

A 6.0 acre Village Green will be located at the northern terminus of the Main Promenade. A clock tower or other iconic structure should be placed at this location giving the Promenade a northern visual focal point. The Village Green may include a community center, amphitheatre, ball courts, tot lot and open lawn areas for passive recreation. Meandering walkways with sitting areas will be shaded by large canopy trees. The walkways will provide a pedestrian link between the neighborhoods and main street area.

TABLE 4-14 VILLAGE GREEN (PA 6) DEVELOPMENT STANDARDS		
VILLAGE GREEN (PA 6)		NOTES
BUILDING INTENSITY		
Max. Building Coverage	25%	
Maximum Height	70'	
Building Separation	20' min	
BUILDING SETBACKS (measured from property line)		
Collector	14' min	12' min to projections
Local	14' min	12' min to projections
Interior	10' min	6' min to projections
Property Line	12' min	
PARKING		
Park <sup>1</sup>	5 spaces, minimum, for first 2 acres, and 1 space (minimum) for each additional acre.	
Recreation Center <sup>1,2</sup>	1 space / 50 square feet of gross floor area	
Private Recreation Pool <sup>1,2</sup>	1 space / 150 square feet of water surface area	
Picnic Tables <sup>1,2</sup>	1 space / table	
OPEN SPACE		
Site specific to use		

TABLE 4-13 VILLAGE GREEN (PA 6) DEVELOPMENT STANDARDS		
VILLAGE GREEN (PA 6)		NOTES
<b>ACCESSORY USES</b>		
Covered structures and building additions not allowed.		
1 – Parking provided along the park's street frontage will be credited towards meeting the parking requirement.		
2 – Parking spaces required are in addition to the required parking spaces for the park.		

### *Permitted Uses*

The following uses are permitted provided a plot plan has been approved pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance.

1. Noncommercial community association recreation and assembly buildings and facilities including but not limited to basketball courts, volleyball courts, tennis courts, amphitheaters and fountains.
2. Picnic grounds
3. On-site identification signs, maximum size – ten square feet.
4. Water wells and appurtenant facilities.

### *Site Planning*

1. Bicycle racks shall be provided.
2. Parking areas shall be screened from the public right-of-way.

### *Building Facades*

Refer to Section 4.2.6 (Design Guidelines)

### *Walls*

1. Where appropriate, buildings should be sited in such a way that they serve the function of walls.
2. Walls used to screen service, trash and utility areas shall be a minimum of six (6) feet in height.
3. The application of materials, colors, texture, and alignment in the design of walls shall be used to relieve visual monotony. Solid walls may be slump stone, split/face precision block or standard integral colored masonry unit.

*Signage*

1. Signs for the Village Green should be designed to identify and locate individual facilities for proper visibility.
2. Signage should be used only where necessary in an understated manner.

*Lighting*

1. Night lighting of building exteriors shall be used only to highlight special recognizable features; accent repeated features; or use the play of light and shadow to articulate the façade. The purpose of illuminating the building is to add visual interest and supply building identification.
2. Lighting fixtures and support structures should be consistent with the architectural character and design of the project
3. Illumination levels shall be appropriate to the surrounding environment and purpose.
4. Architectural feature, roof lines, pedestrian routes, and building entrances should be illuminated.
5. Overly bright or glaring lights shall be avoided.
6. All sources of light shall be concealed and directed downward.
7. Where outdoor lighting is proposed, require the inclusion of outdoor lighting features that would minimize the effects on the nighttime sky.
8. Adhere to the lighting requirements of the County Ordinance Regulating Light Pollution for standards that are intended to limit light leakage and spillage that may interfere with the operations of the Palomar Observatory.

*Service, Trash and Utility Areas*

1. Trash collection, service, loading, storage and maintenance areas shall be screened from public view.
2. Service, trash and utility areas shall be incorporated into the overall design of the site and building.
3. The various structures and boxes shall be carefully sited and coordinated with landscaping before final engineering plans are done. The location of major utilities and pull-boxes should be located out of line of sight.

*Landscape*

1. Low water demand plant materials and turf shall be used in conjunction with low water demand principles and techniques.
2. Parking lots shall provide one tree for every six (6) parking spaces.

3. Refer to Section 4.1.4 (Conceptual Landscape Plan) for additional standards.

#### **4.2.7 Design Guidelines**

The fundamental goal of these Design Guidelines is to provide the foundation for a harmonious, livable, and walkable urban environment in the desert climate of the Coachella Valley. The following principles were applied in the formulation of these Architectural Guidelines:

1. Plan blocks to create a pleasant walking distance between residential, commercial and recreation areas.
2. Design building frontages to further define the streetscape and reinforce the order and organization of the community.
3. Plan for parks and plazas to be visible and accessible to the pedestrian.
4. Utilize elements of a building that reduce the harsh impacts of the desert environment.

#### *Architectural Theme*

See **Figure 4-34** (Architectural Theme)

The Architectural theme of Mirasera is intended to transcend predetermined historical styles. Builders and design teams will be challenged to identify creative, contemporary solutions that respond to the wide range of physical, social and economic factors that help define Mirasera, its physical context, and its targeted demographic. The overriding goal of Mirasera is to create a signature development that embraces a pedestrian oriented smart growth alternative, focused on the urban experience and planned around public spaces. When designing for Mirasera it is integral to consider the relationship between the pedestrian, the streetscape, and the buildings that frame the community.

#### *Architectural Character*

The average yearly precipitation in the Coachella Valley is about three inches and it is common for temperatures during the summer to reach 120 degrees. Because of the intensity of the desert environment, the architecture and landscape must work together to create livable environments for people outside their homes. Architectural character and design should reduce the harsh impacts of the desert environment through the creation of shade and shadow and the use of desert appropriate façade colors and building materials. In combination with desert appropriate landscape, these elements will provide Mirasera with a “desert oasis” environment.



*Courtyards and arcades provide shelter and relief for pedestrians from the harsh desert sun.*



*Buildings sited at the street edge create shade for pedestrians and enhance the streetscene.*



*Quality materials and architectural articulation help to create a sense of permanence.*



*Pedestrian promenades encourage pedestrian friendly design within Mirasera.*

## ARCHITECTURAL THEME

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village



THE  
PLANNING  
CENTER



TKD

Stantec



NOT TO SCALE



**Figure 4-34**

Individual projects shall be based on the Coachella Valley climate and lifestyle. Plan forms that employ features such as the courtyard, plaza, and patio will be encouraged. Natural ventilation and solar control will be an important consideration. The following guidelines incorporate elements of building design that address the desert environment.

### *General Design Guidelines*

#### Architectural Styles

See **Figure 4-35** (Architectural Styles)

This specific plan intentionally does not identify a particular architectural style. Flexibility in Mirasera's ultimate architectural appearance has been purposely built into the development plan so long as the quality architectural details identified in this document are implemented.

Builders and design teams are required to approach building form and define architectural character with a decidedly contemporary perspective, as identified below:

1. Direct replication or mimicry of historical architectural styles is not permitted.
2. Contemporary adaptation of traditional vernaculars is acceptable; however, it must be executed with a fresh, contemporary approach.
3. Exploration of a modern architectural vocabulary that best embodies the unique qualities of the respective sites is greatly encouraged.
4. The choice of architectural expression must be derived, primarily, from the respective building typology (i.e. row villages, podium buildings, etc).

### *Site Planning*

The character of an urban village presents many interesting design opportunities and challenges. Density encourages exciting building forms and view opportunities, but requires careful attention to site planning and architectural detail. Each individual site plan in Mirasera must be mindful of its relationship to and impact on its neighbors. Site design must consider not only the placement of buildings, but also the relationship to the street, landscaping, and streetscape.

### *Building Siting*

See **Figure 4-36** (Building Siting)

1. Whenever possible, buildings should be clustered to create plazas and pedestrian corridors. When clustering is impractical, a visual link between separate structures should be established through the use of arcades, trellises, or other open structures.



## ARCHITECTURAL STYLES

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER



TKD

Stantec

NOT TO SCALE

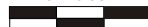


Figure 4-35



*Buildings placed at the street edge enhance retail and mixed-use corridors.*



*Row townhomes should be oriented towards the street with steps and elevated entries.*



*Parking lots that are clustered and located behind buildings reduce the impact of expansive parking lots along streets.*



*Multi-story residential buildings can create a pleasant building, sidewalk, and street relationship.*



*Buildings should be clustered, creating pedestrian plazas.*



*On-street parking and landscaped bulbouts provide a protective barrier between auto traffic and pedestrians.*

## BUILDING SITING

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village



THE  
PLANNING  
CENTER

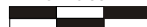


TKD

Stantec



NOT TO SCALE



**Figure 4-36**

2. Buildings should be divided into distinct massing elements. Building facades should be articulated with architectural elements and details. Vertical and horizontal offsets should be provided to minimize bulk. Variations in roof ridge lines should also be used to provide visual interest. To avoid long expanses of blank walls, false window treatments should be considered where appropriate.
3. Locate and orient buildings to positively define edges at streets, roads, and parks and create a clear sense of enclosure.
4. Buildings should locate arrival points within their complex to facilitate order and celebrate arrival. Special architectural and material design should be focused at these points.
5. Building interaction with the street level is important to a well-defined urban village street scene. Where appropriate, stairways, entry porches, balconies, arcades, and colonnades should be used to provide a strong transition from the street to the building.
6. Residential building orientation and window and balconies placement should be designed to maximize view potential and to best shield residents from commercial loading areas, utilities and mechanical equipment, trash areas, and highway noise.
7. Each building may have one or more street frontages. Careful consideration must be taken in the placement and orientation of pedestrian and automobile access. Buildings shall be designed to maximize views, where available, keeping in mind that the prominent view of the building is equally important. Solar access and noise attenuation should also be a consideration in the final design and placement of building forms.

#### *Integration of Pedestrian Level Elements into Project Design*

1. Pedestrian and bicycle access within the site is essential. This access should include well-defined and convenient pedestrian walkways between buildings, from buildings to parking lots, and especially between commercial and residential uses.
2. Bike racks should be conveniently located at main entrances.
3. A future location for a bus shelter shall be provided along Varner Road, with convenient pedestrian access from the bus pull-out to the nearest buildings or main street.
4. Orient streets to frame views of prominent visual landmarks.
5. Minimize the radius of corners where pedestrian walkways cross at intersections.

#### *Parking Lot Layout*

1. Vehicular access to each site must be designed to insure minimum conflict between pedestrians, autos, and service vehicles. Sight lines, pedestrian walkways, and lighting are factors to consider in final site designs.

2. Parking lot layouts that maximizes the shared parking potential of uses on site, includes both standard and compact parking spaces, and accommodates efficient vehicular movement throughout the specific plan area shall be provided.
3. Parking lots should not dominate the street scene but should be tucked behind buildings where possible. Where parking lots are located adjacent to streets, berming and landscaping shall be used to soften their visual impacts.
4. On-street parking should be provided on local residential streets. On-street parking provides a protective barrier between auto traffic and pedestrians, and serves as a traffic calming technique.
5. Parkway landscaping should be utilized to minimize the visual impacts of on-street parking on the pedestrian experience.
6. Cluster parking areas rather than create large expansive parking lots. Larger lots, particularly in commercial areas, tend to have several “dead” areas where parking is seldom utilized.

#### *Building Facades*

See **Figure 4-37** (Building Facades A)

See **Figure 4-38** (Building Facades B)

#### *Building Articulation and Massing*

1. Exercise creativity and individual expression in conceiving and interpreting architectural form.
2. Avoid repetition and stacking, and create identity and interest by varying floor plans and unit types.
3. Provide multiple entrances to activate the street, and utilize porches, stoops, and trellises as transitional spaces between the “private” and “public” realms.
4. Permit massing breaks, such as eroded corners and entry courts to promote visibility and allow block transparency.
5. Create variety in building mass by providing adequate vertical and horizontal offsets and appropriate architectural elements that establish rhythm and order.
6. Establish a clear pattern and provide appropriate articulation of windows, doors, and balcony openings, utilizing a variety of devices such as canopies, awnings, and railings. The use of architectural accents appropriate for each of the design styles such as bay windows, balconies, and belting courses is encouraged.
7. Protect views of mountains. Step back the upper floors to protect view corridors.
8. Varied and articulated building footprints and wall facades, variations in height and roof lines, and architectural detailing consistent with the architectural style are required.



*Vertical and horizontal offsets and architectural elements help to create variety in building mass.*



*360-degree architecture should be used, ensuring portions of the building typically considered the rear contain architectural details.*



*Creativity and individual expression in conceiving architectural form is encouraged.*



*Pedestrian areas, patios and courtyards should be designed to create areas of shade and shadow.*



*Articulation of windows, doors and balconies can be enhanced with canopies, awnings and railings.*



*The intensity and variability of desert light requires the use of earth tones and accent colors to reduce glare and reflect heat.*

## BUILDING FACADES (A)



THE  
PLANNING  
CENTER



TKD

Stantec

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

NOT TO SCALE

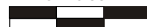


Figure 4-37



*Passages and arcades allow pedestrians to escape the desert sun.*



*Varying the building's massing, height, roof line, and color scheme create interest and variety in the streetscape.*



*Corners of buildings are focal points in the streetscape and should receive special architectural articulation.*

## BUILDING FACADES (B)



THE  
PLANNING  
CENTER



TKD

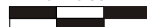
Stantec



MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

NOT TO SCALE



**Figure 4-38**

9. Vertical step-backs in building mass are a key feature in the urban design fabric. Mid-rise buildings provide an intermittent recession of the vertical wall face to provide visual relief, open views, allow for solar access, and create opportunities for upper level patios and decks.

#### *Shade and Shadow*

1. The intensity and heat of the desert environment requires that architecture and landscaping work together to create patterns of shade and shadow. Building design should include patios and arcades and locate pedestrian areas where shade occurs.
2. Energy efficiency, achieved through building design or orientation, materials, window overhangs, arcades or loggia, solar hot water heating, proper placement of shade trees, advanced heating and cooling systems, or other conservation measures should be used where appropriate.

#### *Corner Architecture*

1. Within urban neighborhoods, the corners of buildings become important design features. These areas are focal points in the streetscape and as such should be places for architectural articulation and corner glazing as well as color and material accents.

#### *Tower Features*

1. Tower features should be incorporated into the design of the commercial and residential components of Mirasera. Tower features help to create the image of a landmark place and add architectural interest to otherwise standard structures.
2. The scale of tower elements should be designed to create an architectural statement but should not be so grand as to appear imposing to plazas and walkways adjacent to them.

#### *360 Degree Architecture*

1. 360-degree architecture should be used, ensuring that the areas of structures typically considered as the rear of the building still contain architectural details that convey the quality and attention to detail of the project.
2. Those buildings which are prominently visible from the public view shall receive special design attention to assure that architectural forms are consistently detailed on all sides.

#### *Materials and Color*

1. Quality materials, with appropriate use of colors, textures, and materials that are appropriate for the desert environment, are required. The intensity and variability of desert light requires the use of earth tones and accent colors to reduce glare and reflected heat. Natural, rugged materials that complement the surrounding natural environment and are able to withstand the harsh desert climate should be used.

2. Acceptable color and pattern concepts for the community shall be provided with the Tentative Map Submittal. A color and materials board shall be submitted with each application.
3. Use materials, colors, and details to enrich building character and emphasize human scale by employing rich, durable, and high quality finishes at the street level.
4. Use architectural elements that form an integral part of the building and avoid the application of ornamentation and features that appear to be cheap and tacked-on.

### *Walls and Fences*

1. The need for walls or fences within the specific plan area is a function of the location and building orientation of future residential uses. A primary goal of this project is to achieve an aesthetically and functionally integrated set of uses. Convenient access (pedestrian and auto) and visual access from residential to commercial uses on the site are main components of integration. This can be accomplished without compromising privacy and the quality of living environments through creative site planning techniques. In addition, a secondary objective is to improve the integration of the commercial uses on-site with existing surrounding residential areas, so that Mirasera truly functions as a neighborhood center for nearby residents. Rather than a traditional, complete separation of residential from commercial uses by walls, walls within the specific plan area will be incorporated only as needed by future residential projects to provide for privacy or noise control. The following guidelines are established to guide the location and treatment of walls and fences for residential projects:
  - A maximum 6-foot wall or fence may be incorporated for ground floor screening of private outdoor space of residents. An open fence design with a landscape screen may also be used if noise is not a major consideration.
  - Entrances and exits (both auto and pedestrian) for residential projects should be integrated with the entries of adjacent commercial sites so that internal access opportunities between uses are maximized.
  - Common open space areas for commercial development, such as plazas or outdoor dining, should be accessible to adjacent residential uses.

### *Signage*

See **Figure 4-39** (Signage)

1. Create signs that are unique and original. Interesting designs contribute to the unique identity of a community and also contribute to the creation of a sense of place.
2. Signs shall be compatible with building and site design in terms of color, material, and placement.
3. Signs shall utilize materials and color palettes that are compatible with the architecture and designs of the surrounding environment.



Monument signs shall utilize material and colors that are compatible with the architecture and design of the surrounding environment



Signs should be unique and contribute to the identity of the community.



Monument signs should be located near entries to prevent visual clutter in the landscape zone.



Sign programs that identify a hierarchy of signs with a common theme is required.



Monument signs should emphasize the name the center rather than individual stores.

## SIGNAGE

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village

THE  
PLANNING  
CENTER

TKD

Stantec

NOT TO SCALE

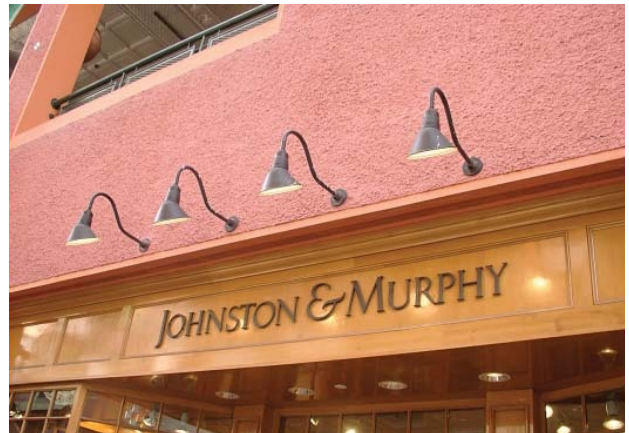
Figure 4-39

4. Carefully design and place signs so as not to dominate and detract from the visual aesthetics of the core.
5. Ensure that signs are properly maintained.
6. Minimize the amount of text placed on commercial signs. Limit sign text to the name of the business and slogan.
7. Integrate lighting elements into sign designs. Conceal lighting mechanics so that they do not detract from sign aesthetics.
8. Prohibit the use of flashing, moving, or audible signs.
9. All free-standing signs should be of monument type. Pole or pylon signs are prohibited.
10. Free-standing monument signs should be set back a minimum of 3 feet from the public right of way.
11. Monument signs should be located near entries to prevent visual clutter in the landscape setback areas. Business identification signage should be limited to building walls that are visible from Varner Road.
12. Text located on free-standing monument signs should emphasize the name of the center versus the shops that are located there, which should have lettering that is secondary in size and placement.
13. Sign programs that identify a hierarchy of signs (directional signs, center signs, etc.) with a common theme shall be required for any project within the specific plan area.
14. Wall sign placement should be coordinated with architectural features.
15. Multi-tenant signage shall be used in commercial and office areas when feasible.
16. Residential neighborhoods will be identified with a discreet residential product name and address monmentation integrated into the landscape at each residential entry.

### *Lighting*

See **Figure 4-40** (Lighting)

1. A lighting plan shall be submitted with the application for first tentative map.
2. Signs should be externally lit with downward facing light to avoid nighttime glare when possible.
3. All trails and major walkways, especially the paseos, shall have down lights with bollard or cove lights to insure safety.



Where appropriate, accent lighting may be utilized to highlight pedestrian areas and buildings.

Lighting should be directed downward to protect the nighttime sky.

## LIGHTING

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village



THE  
PLANNING  
CENTER



TKD

Stantec



NOT TO SCALE

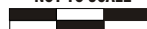


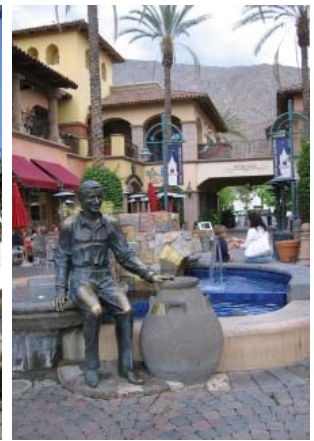
Figure 4-40

4. Iconic buildings within the plan shall be spot lit to provide accent and directional reference.
5. Low profile lighting will allow for safe and leisurely travel through the trail system.

### *Landscape*

See **Figure 4-41** (Landscape)

1. Coordination of landscaping, hardscape treatment, lighting, and signage shall be provided within the specific plan area. Individual projects or phases shall provide a consistent appearance. Coordination in appearance and function with other projects in the specific plan area shall also be provided.
2. Enhanced streetscape along Varner Road and Avenue 38 shall be provided to achieve a consistent and attractive edge to the specific plan area. Site entrances shall be well defined with special landscape entry treatment and directional signage for on-site uses. Parking lots shall be at least partially screened from view by berming, fencing, or the use of hedges.
3. Entry treatments at the primary entries to the site are intended to incorporate a single decorative center sign with accent planting. Entry accessways are to separate parking areas and be accented with hedges and plant materials on either side.
4. Wherever appropriate, landscaped plant materials shall be drought tolerant, long-lived varieties. Short-lived materials, such as flowering annuals and perennials may be used to accent or augment the longer lived elements which form the landscape framework.
5. Provide extensive vegetated landscaping between sections and rows of stalls, along the perimeter of lots, and at lot entryways. Landscape surface lots so that their visual appearance is one of "cars in a park" rather than trees in a parking lot.
6. Effective softening of parking, loading, and driveway areas with landscaping, buffering, and lighting shall be provided. Landscaping shall provide shade at maturity on at least 40 percent of non-roof impervious surfaces on the site, including, parking lots, walkways, and plazas. Tree-wells shall be installed every six (6) stalls and planter curb returns at the end of aisles shall be provided.
7. Appropriate landscape buffering between commercial and residential uses both on and off-site shall be provided.
8. Shade trees, sun structures, and mini-courtyards should be incorporated into paseo and trail design for added pedestrian comfort.
9. Trails and paseos should be clearly marked with consistent signage and bollard lighting as appropriate.
10. Buildings should front on trails and paseos when feasible.



*Street furniture, outdoor art and seating areas positively contribute to the pedestrian experience.*



*Landscaping between rows of parking stalls, along the perimeter of lots and at lot entries help to soften the appearance of parking lots.*



*Landscaped areas should generally utilize plant materials that are appropriate for the Coachella Valley, while also providing areas for shade.*

## LANDSCAPE

MIRASERA  
40421.04.000 SPECIFIC PLAN

MIRASERA  
... the village



THE  
PLANNING  
CENTER

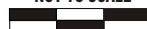


TKD

Stantec



NOT TO SCALE



**Figure 4-41**

*Accessory Structures*

1. Accessory structures, such as mechanical equipment, storage areas, garbage bins, loading docks, parking structures, security fences, telecommunications equipment, and similar uses, are essential for the operation of Mirasera. Though their use is often taken for granted, poorly located or designed accessory structures can visually detract from what may otherwise be a quality development. It is essential for accessory uses to receive the same quality design and siting detail as primary structures.
2. Architectural and landscape treatments shall be used to minimize the visual impact of accessory structures. Design accessory uses to look as if they are a logical extension of existing structures. Integration of accessory uses into main structures preserves the consistency and integrity of architectural and streetscape design.
3. Any screening constructed for accessory structures should be designed in a manner that maintains the functionality and accessibility of the equipment.
4. Orient service and storage areas away from public views.
5. Provide ornamental screening for utility boxes, trash bins, and outdoor storage areas.
6. Locate utility lines underground.

*Trash Enclosures*

1. The various structures and boxes shall be carefully sited and coordinated with landscaping before final engineering plans are done. The location of major utilities and pull-boxes should be located out of line of sight and will be a condition of design review.
2. Trash collection, service, loading, storage and maintenance areas shall be screened from public view. No loading will be permitted from any public street adjacent to the site. Service areas must be located and designed so that service vehicles have clear and convenient access and do not block adjacent vehicular or pedestrian circulation or vehicular parking. Service areas may not front on streets or extend into required setback areas. Site planning shall take the location of residential units into consideration and shall screen or cover areas to minimize noise levels and visual impacts.
3. Trash collection and compaction can exert visual and noise impacts on surrounding uses. Alternatively, if designed correctly, these structures can serve as elements to create character and architectural continuity throughout the project.
4. The following guidelines should be incorporated throughout the project:
  - Trash enclosures are to be located in discrete places to the extent feasible but placed in a location to allow easy access and that does not damage surrounding landscaping.
  - Trash enclosures shall be designed to architecturally integrate with the overall design theme of the development. Trash enclosures should be planted with

vines if located adjacent to or within a landscaped area to help screen the enclosure.

*Miscellaneous*

1. Residential units developed on site shall be designed to ensure the security of residents. This can be achieved through careful site plan design, building placement, window placement (create "eyes on the street"), lighting, appropriate landscaping treatments, and the provision of secured entrances including gated entries, pedestrian gates, or separate entrances for units in the live/work product.
2. CC&R's for the Mirasera Specific Plan should address the shared nature of parking for the overall project. It is the intent that residential uses proposed within the Specific Plan Area would be allowed to use parking spaces within commercial areas in off-peak hours. Mechanisms shall be instituted in the residential and business owners' CC&R's that clearly define this relationship and how the parking will be managed throughout the project.
3. Parking management in the Specific Plan will entail a combination of providing physical spaces for parking and managing those spaces so that they are properly allocated to and used by residents, visitors, and businesses. Parking management can help prevent situations such as permanent residents using guest parking spaces instead of the enclosed parking spaces allocated to them.
4. Commercial uses shall be designed and operated, and hours of operation limited, where appropriate, so that adjacent residents are not exposed to offensive noise, especially from traffic, routine deliveries, trash pick-up, or late night activity. No use shall produce continual loading or unloading of heavy trucks at the site between the hours of 8 p.m. and 6 a.m., where adjacent to residential.
5. Where residential uses are potentially exposed to interior or exterior noise levels greater than those permitted by the Riverside County Zoning Code, certification from a licensed acoustical engineer shall be obtained to document attenuation to those maximum levels. Noise mitigation may include, but is not be limited to, building orientation, double or extra-strength windows, wall and ceiling insulation, and orientation and insulation of vents.
6. No use, activity, or process shall produce continual vibrations or noxious odors that are perceptible without instruments by the average person at the property lines of the site.
7. Outdoor lighting associated with the commercial uses shall not adversely impact surrounding residential uses, but shall provide sufficient illumination for access and security purposes. Such lighting shall not blink, flash, oscillate, or be of unusually high intensity or brightness.
8. Parking lot and site lighting shall be uniform in appearance and should be used to carry out the theme of the site with color and accent banners.
9. A mechanism must be established for the permanent maintenance of common open space and improvements therein, in accordance with the Riverside County Zoning Code.

#### **4.2.8 Specific/Special Architectural/Design Guidelines**

The purpose of this section is to create unique development standards and design guidelines for each area within Mirasera and to reinforce the principles of walkability and pedestrian friendly community design. Requirements guiding the urban design of the Planning Areas are outlined below.

##### *Planning Area No. 1 (Very High Density Residential)*

As mentioned above, Planning Area No. 1 is characterized by very high density development that accommodates a mix of residential uses, including multi-family apartments, duplexes, condominiums, attached small lot single-family homes and other compatible uses. Building elevations will be oriented towards the street to create pedestrian friendly streetscapes.

The following provides a general overview of the design guidelines specific to all parcels within Planning Area No. 1:

1. Each parcel shall reflect a different elevation character.
2. Building color shall vary between parcels.
3. Pedestrian connections shall be provided within Planning Area No. 1 and between parcels and adjacent uses.
4. Garage doors, rear lanes, or alleys shall not be visible to the adjoining properties.

The following provides a general overview of the design guidelines specific to parcels within Planning Area No. 1 adjacent to the Village Green:

1. Building and site design shall support a pedestrian oriented streetscape along the Village Green.
2. Buildings along the Village Green shall front onto the Green and shall be oriented to define the street edge and create an active pedestrian experience.
3. All first floor residential units facing onto the Village Green must connect to the sidewalk and street by way of porches, stoops, and private paths.
4. Open parking areas are not permitted to front onto the Village Green.
5. Pedestrian connections to the Village Green shall be oriented to allow views of the icon feature located in the Village Green.

The following provides a general overview of the design guidelines specific to parcels within Planning Area No. 1 that are adjacent to Avenue 38:

1. Buildings should be sited along Avenue 38 to create an attractive visual project edge.

2. Buildings shall create an attractive visual project edge along Avenue 38 and the local residential street bordering the planning area to the west.
3. The northern edge of the parcels shall create an attractive project edge and minimize the impact of the project on the Preserve and Avenue 38.
4. Buildings with gateway/entryway frontages along Avenue 38 shall be designed to create a memorable arrival.
5. Building fenestration along the Avenue 38 edge shall articulate the following:
  - Emphasize human scale and floor proportions.
  - Occur at all levels/floors.
  - Include widow trim and recesses appropriate the chosen architectural style.
6. Pedestrian connections shall be provided within Planning Area No. 1, to adjacent uses, and to the regional trail running along Avenue 38.
7. Buildings located adjacent to the Coachella Valley Ecological Preserve shall be limited to two stories and provide measures to reduce the probability of bird landings.

*Planning Area No. 2 (High Density Residential)*

Planning Area No. 2 will be developed as multi-family and single family detached residential uses. Both parcels comprising Planning Area No. 2 lie along the eastern property edge. One of the parcels faces onto Avenue 38, the proposed drainage channel and the Coachella Valley Ecological Preserve.

1. A six (6) foot high continuous wall must be installed along the eastern edge of Planning Area No. 2. This wall shall be screened with landscaping where visible from the adjacent property and from public areas within the sub-areas.
2. Garage doors, rear lanes, or alleys shall not be visible to the adjoining properties.
3. Buildings in the portion of Planning Area No. 2 (which face Avenue 38) shall create an attractive visual project edge along Avenue 38 and the local residential street bordering the property to the west.
4. Buildings should be sited along Avenue 38.
5. Buildings with gateway/entryway frontages along Avenue 38 shall be designed to create a memorable arrival.
6. Each parcel shall reflect a different elevation character.
7. Building color shall vary between parcels.
8. Building stories shall be clearly delineated.

9. Building fenestration along the Avenue 38 edge shall articulate the following:
  - Emphasize human scale and floor proportions.
  - Occur at all levels/floors.
  - Include widow trim and recesses appropriate the chosen architectural styles
10. Pedestrian connections shall be provided within the Planning Area No. 2, to adjacent uses, and to the regional trail running along Avenue 38.
  - Emphasize human scale and floor proportions.
  - Occur at all levels/floors.
  - Include widow trim and recesses appropriate the chosen architectural style.
11. Buildings located adjacent to the Coachella Valley Ecological Preserve shall be limited to two stories and provide measures to reduce the probability of bird landings.

*Planning Area No. 3 (Business Park/Office)*

Planning Area No. 3 will be developed for business park/office uses. All three parcels comprising Planning Area No. 3 front onto I-10 and Varner Road.

1. An attractive and visually appealing edge along Varner Road and the I-10 freeway shall be created by incorporating varied architectural design, detailing, massing, and colors into the design of buildings in Planning Area No. 3.
2. 360 degree architectural detailing shall be used to ensure an attractive edge along I-10, Varner Road and internal roads.
3. Buildings with entryway frontages shall be designed to create a memorable arrival.
4. Each parcel shall reflect a different elevation character.
5. Building color shall vary between parcels.
6. Building mass and color shall vary within each parcel.
7. Building stories shall be clearly delineated.
8. Building fenestration along the freeway edge shall articulate the following:
  - Emphasize human scale and floor proportions.
  - Occur at all levels/floors.
  - Include widow trim and recesses appropriate the chosen architectural style.
9. The noise impact of the I-10 freeway and Varner Road shall be mitigated. Each parcel shall provide sound attenuation pursuant to the requirements in the Uniform Building Code.
10. The primary noise barrier shall be addressed by way of a "wall building form" where the building walls fronting Varner Road and I-10 shall function as the noise barrier.

11. Pedestrian connections shall be provided within the planning area, to adjacent uses, and to the regional trail running along the northern edge of Varner Road.
12. Areas within the above sub-areas that fall within ALUC Zone C are subject to development conditions, such as:
  - aviation easement dedications
  - deed notices
  - real estate disclosures
  - noise level reductions
  - airspace review

*Planning Area No. 4 (Mixed Use)*

Planning Area No. 4 will be developed as the mixed-use core of the Mirasera project. Two parcels comprising Planning Area No. 4 are located along the I-10 freeway and Varner Road while two parcels face on the Village Green. The parcels are divided by the Promenade and frame the primary entry to the Mirasera community.

1. Pedestrian friendly environments shall be created along the Promenade and in areas adjacent to the Village Green.
2. Buildings shall front onto the Main and East Promenade and the Village Green and shall be oriented to define the street edge and create an active pedestrian experience.
3. Open parking areas shall not front the Promenade or Village Green.
4. An attractive and visually interesting edge along Varner Road and the I-10 freeway shall be created by incorporating varied architectural design, detailing, massing, and colors into the design of buildings in Planning Area No. 4.
5. Buildings with gateway frontages along Varner Road shall be designed to create a memorable arrival.
6. Each parcel shall reflect a different elevation character.
7. Building color shall vary between parcels.
8. Building mass and color shall vary within each parcel.
9. Building fenestration along the freeway edge shall articulate the following:
  - Emphasize human scale and floor proportions.
  - Occur at all levels/floors.
  - Include widow trim and recesses appropriate the chosen architectural style.
10. The noise impact of the I-10 freeway and Varner Road shall be mitigated. Each parcel shall provide sound attenuation pursuant to the requirements in the Uniform Building Code.

11. The primary noise barrier shall be addressed by way of a “wall building form” where the building walls fronting Varner Road and I-10 shall function as the noise barrier.
12. Pedestrian connections shall be provided within the planning area and to adjacent uses, the Village Green, and the regional trail running along Varner Road.
13. The above sub-areas fall within ALUC Zone C and therefore are subject to development conditions, such as:
  - aviation easement dedications
  - deed notices
  - real estate disclosures
  - noise level reductions
  - airspace review

*Planning Area No. 5 (Community Retail Center)*

Planning Area No. 5 will be developed as a community retail center. The planning area fronts onto the I-10 freeway and Varner Road. The eastern edge abuts the Thousand Trails RV Park.

1. An attractive and visually interesting edge along Varner Road and the I-10 freeway shall be created by incorporating varied architectural design, detailing, massing, and colors into the design of buildings in Planning Area No. 5.
2. 360 degree architectural detailing shall be used to ensure an attractive and interesting edge along I-10, Varner Road and internal roads.
3. Buildings with entryway frontages shall be designed to create a memorable arrival.
4. Each parcel shall reflect a different elevation character.
5. Building color shall vary between parcels.
6. Building mass and color shall vary within Planning Area No 5.
7. Building stories shall be clearly delineated.
8. Building fenestration along the freeway edge shall articulate the following:
  - Emphasize human scale and floor proportions.
  - Occur at all levels/floors.
  - Include widow trim and recesses appropriate the chosen architectural style.
9. The noise impact of the I-10 freeway and Varner Road shall be mitigated. Planning Area No. 5 shall provide sound attenuation pursuant to the requirements in the Uniform Building Code.
10. The primary noise barrier shall be addressed by way of a “wall building form” where the building walls fronting Varner Road and I-10 shall function as the noise barrier.
11. The project’s exposure to the adjacent property to the east shall be minimized.

12. A six (6) foot high continuous wall must be installed along the eastern edge of Planning Area No. 5. This wall shall be screened with landscape where visible from the adjacent property and from public areas within the planning area.
13. Storage and loading areas shall not be visible to the adjoining property.
14. Pedestrian connections shall be provided to adjacent residential and office uses, the Thousand Trails RV Park, and the regional trail running along the northern edge of Varner Road.
15. Planning Area No. 5 falls within ALUC Zone C and therefore is subject to development conditions, such as:
  - aviation easement dedications
  - deed notices
  - real estate disclosures
  - noise level reductions
  - airspace review

*Planning Area No. 6 (Village Green)*

Planning Area No. 6 will be developed as a community park called the Village Green. It will provide recreation opportunities and serve as a gathering place for the Mirasera community.

1. An icon feature should be placed where it will be visible from the Promenade and pedestrian connections from adjacent residential uses. An icon feature serves as a focal point of the community.
2. A pleasant and attractive community open space will be created through the incorporation of various facilities within the sub-area.
3. Ample shade structures and shade trees shall be provided.
4. A mix of active and passive recreation areas (such as picnic areas, an amphitheater, a tot lot, etc.) shall be incorporated into the design of the Village Green.
5. The Village Green falls within ALUC Zones C and D and therefore is subject to development conditions, such as:
  - aviation easement dedications
  - deed notices
  - real estate disclosures
  - noise level reductions
  - airspace review