



SPECIFIC PLAN NO. 325
AMENDMENT NO. 1

AUGUST 2013



**SPECIFIC PLAN NO. 325
AMENDMENT NO. 1**

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ES. EXECUTIVE SUMMARY

A. Background

On June 29, 2004, the County of Riverside Board of Supervisors approved the LAKE MATHEWS GOLF & COUNTY CLUB Specific Plan (Specific Plan No. 325) and certified the accompanying Environmental Impact Report (EIR No. 433). The approved Specific Plan provided for the development of the approximately 333.8-acre site with 295 homes, a 119.1-acre golf course, a 3.5-acre clubhouse, 3.7 acres of parks, 85.2 acres of open space, and 23.9 acres of internal roadways.

This Amendment No. 1 to Specific Plan No. 325 (SPA No. 1) reflects changes to the approved Specific Plan No. 325 document.

B. Purpose of Specific Plan Amendment No. 1

SPA No. 1 modifies the Specific Plan Land Use Plan to eliminate the golf course and club house land uses and reconfigure planning area boundaries, increase the number of homes permitted within the Specific Plan area, and adjust the range of residential lot sizes to create three distinct planning areas for variation. SPA No. 1 also more than doubles the amount of open space and neighborhood park land provided within the Specific Plan area. In addition, the community has been re-named CITRUS HEIGHTS to more aptly reflect the development concept and community theme of the modified Specific Plan.

Specifically, SPA No. 1 provides the following modifications to the approved Land Use Plan for Specific Plan No. 325:

- Increases residential acreage from 98.4 acres to 134.5 acres;
- Increases the total number of homes within the community from 295 to 343;
- Increases the average residential lot size within the community from approximately 10,237 square feet to approximately 13,482 square feet.
- Increases the community's development intensity from 0.9 to approximately 1.03 dwelling units per acres (du/ac);
- Eliminates the 119.1-acre golf course and 3.5-acre golf course clubhouse land uses from the Land Use Plan, thereby reducing water usage within the community;
- Increases the area within the community reserved for open space from 85.2 acres to 162.8 acres;
- Increases the acreage designated for public parks from three parks on 2.5 acres to eight parks on 7.1 acres;



ES. Executive Summary

Specific Plan No. 325, Amendment No. 1

- Reduces the overall development grading footprint from approximately 290 acres to approximately 208 acres;
- Provides 3.3 acres of drainage and detention facilities to meet current storm water management requirements;
- Provides approximately 6.6 miles of pedestrian trails; and
- Modifies the internal circulation system to accommodate the modified land use plan.

The modifications provided by SPA No. 1 are summarized in Table ES-1, *Summary of Changes: Specific Plan No. 325, Amendment No. 1.*

Table ES-1 Summary of Changes: Specific Plan No. 325, Amendment No. 1

Planning Area	Lake Mathews Golf and Country Club Specific Plan No. 325				Citrus Heights Specific Plan No. 325 Amendment No. 1 (SPA No. 1)			
	Land Use	Acres	Density	Units	Land Use	Acres	Density	Units
1	Medium Density Residential <i>10,000 s.f. minimum lots</i>	10.1	2.2	22	Medium Density Residential <i>8,000 s.f. minimum lots</i>	39.2	2.9	112
2	Medium Density Residential <i>8,500 s.f. minimum lots</i>	5.2	4.8	25	Medium Density Residential <i>10,000 s.f. minimum lots</i>	50.2	2.5	125
3	Medium Density Residential <i>8,500 s.f. minimum lots</i>	6.5	3.7	24	Medium Density Residential <i>12,000 s.f. minimum lots</i>	45.1	2.4	106
4	Medium Density Residential <i>10,000 s.f. minimum lots</i>	4.8	3.1	15	Open Space-Recreation <i>Park</i>	0.6	--	--
5	Medium Density Residential <i>10,000 s.f. minimum lots</i>	8.5	3.4	29	Open Space-Recreation <i>Park</i>	0.7	--	--
6	Low Density Residential <i>20,000 s.f. minimum lots</i>	13.6	1.6	22	Open Space-Recreation <i>Park</i>	0.7	--	--
7	Medium Density Residential <i>10,000 s.f. minimum lots</i>	39.5	2.7	107	Open Space-Recreation <i>Park</i>	1.8	--	--
8	Medium Density Residential <i>8,500 s.f. minimum lots</i>	10.2	5.0	51	Open Space-Recreation <i>Park</i>	0.7	--	--
9	Golf Course & Clubhouse	122.6 ¹	--	--	Open Space-Recreation <i>Park</i>	1.1	--	--
10	Park	3.7 ²	--	--	Open Space-Recreation <i>Park</i>	0.7	--	--
11	Open Space	85.2	--	--	Open Space-Recreation <i>Park</i>	0.8	--	--
12A-G	N/A	--	--	--	Open Space-Recreation <i>Open Space</i>	162.8	--	--
13A-C	N/A	--	--	--	Open Space-Water <i>Detention Basin</i>	3.3	--	--
--	Roadways	23.9	0.0	0	Roadways	26.0	--	--
TOTAL – SPECIFIC PLAN NO. 325		333.8*	0.9	295	TOTAL – SPA NO. 1	333.7*	1.03	343

¹Includes lakes, maintenance facility, and manufactured slopes

²Includes 1.2-acre multi-purpose trail

*Total acreage for the CITRUS HEIGHTS community has been modified to reflect current site surveys.



I. INTRODUCTION

A. Project Summary

The CITRUS HEIGHTS Specific Plan is a master-planned residential community on approximately 333.7 acres in unincorporated Riverside County nestled in the foothills north of Lake Mathews. The area surrounding Lake Mathews has historically been characterized by abundant citrus orchards and rural ranch estates. In recognition of the area’s heritage, the CITRUS HEIGHTS Specific Plan creates a development concept featuring residential neighborhoods comprised of large lot, single family homes and abundant natural open space, and provides unifying architectural and landscape elements to establish the “citrus ranch estate” theme of the community and preserve the character of the Lake Mathews area.

The CITRUS HEIGHTS community blends the natural and built environments by placing three residential neighborhoods around an open space area that preserves natural habitat, drainage courses, and picturesque rolling terrain. A maximum of 343 detached, single-family homes on three different lot sizes and eight (8) complementary architectural styles are provided within the CITRUS HEIGHTS community to offer residents a range of housing options.

The natural open space reserved in the central and northern portions of the CITRUS HEIGHTS community, as well as the open space adjacent to the community boundary, serves as the visual and recreational centerpiece of the community. The 162.8 acres of open space within CITRUS HEIGHTS preserves the native scenic resources of the site, including rolling hills, natural drainage channels, and riparian habitat, that offer residents with scenic vistas that reinforce the relaxed character of the CITRUS HEIGHTS community.

CITRUS HEIGHTS also offers residents a modern southern California outdoor lifestyle by providing eight neighborhood parks throughout the community and an extensive, interconnected system of trails and sidewalks. The neighborhood parks are placed throughout the CITRUS HEIGHTS community to provide residents with a variety of recreational choices, including tot lots, open play areas, and shaded seating and picnic areas with scenic overlooks of the natural open space areas. The CITRUS HEIGHTS community trail system links the residential neighborhoods to each other, the neighborhood parks, and the natural open space area to provide residents with easy pedestrian and bicycle access throughout the community. In addition, the CITRUS HEIGHTS trail system includes connections to a segment of the County of Riverside’s Regional Trail system, which traverses the southeast corner of the community.

CITRUS HEIGHTS also includes a vehicular circulation system to provide access to all residential neighborhoods, and drainage/detention basin land uses to ensure storm water runoff flows are treated and safely conveyed through the site during peak storm events.

A summary of the land uses within the Citrus Heights community can be found in Table I-1, *Citrus Heights Specific Plan – Land Use Summary*.



Table I-1 Citrus Heights Specific Plan – Land Use Summary

LAND USE	ACRES	DENSITY (DU/AC) ¹	DWELLING UNITS
Residential			
Medium Density Residential <i>12,000 s.f. minimum lots</i>	45.1	2.4	106
Medium Density Residential <i>10,000 s.f. minimum lots</i>	50.2	2.5	125
Medium Density Residential <i>8,000 s.f. minimum lots</i>	39.2	2.9	112
<i>Residential Subtotal</i>	<i>134.5</i>	<i>2.6</i>	<i>343</i>
Non Residential			
Open Space-Recreation <i>Parks</i>	7.1	--	--
Open Space-Recreation <i>Open Space</i>	162.8	--	--
Open Space-Water <i>Detention Basin</i>	3.3	--	--
Major Roads	26.0	--	--
<i>Non-Residential Subtotal</i>	<i>199.2</i>	<i>--</i>	<i>--</i>
Citrus Heights Total	333.7	1.03	343

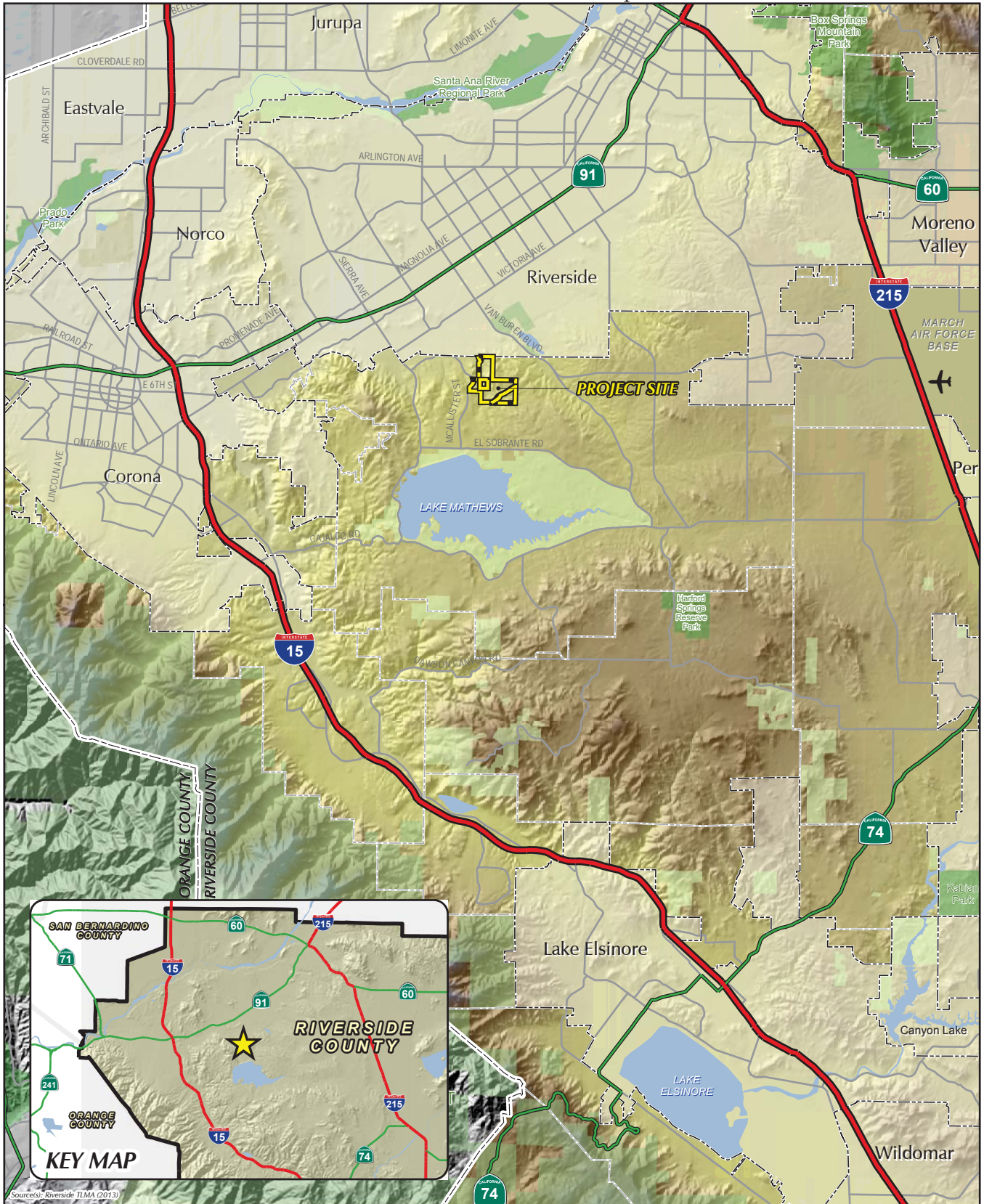
¹du/ac = dwelling units per acre

B. Location and Setting

CITRUS HEIGHTS is located within the Lake Mathews area of unincorporated Riverside County, as shown on Figure I-1, *Regional Map*. The Lake Mathews area has historically been a rural and agricultural enclave separated from the City of Riverside, located to the north, and the City of Corona, located to the west, by rolling foothills and rock outcroppings. The Lake Mathews area includes four unique unincorporated communities, including El Sobrante, Woodcrest, Glen Valley, and Gavilan Hills.

As depicted on Figure I-2, *Vicinity Map*, CITRUS HEIGHTS is located within the rolling El Sobrante foothills, which are characterized by both rural and suburban style residential neighborhoods, along with large pockets of open space and agriculture, located north of Lake Mathews. The El Sobrante community is located directly adjacent to and south of the City of Riverside (and is located within the Sphere of Influence of the City of Riverside), directly adjacent to and east of the City of Corona, approximately six miles north of the City of Lake Elsinore, and approximately five miles west of the City of Perris.

The CITRUS HEIGHTS Specific Plan area is nestled in the foothills east of McAllister Street. As shown on Figure I-3, *Aerial Photograph*, the Specific Plan area is immediately surrounded by rural residences and low-density traditional residential subdivisions to the east and west, agricultural properties to the north, and undeveloped land to the north and south. The Victoria Grove Specific Plan (Specific Plan No. 270), a master-planned residential community comprised of traditional single-family homes ranging from low to



Source: Riverside TLM (2013)

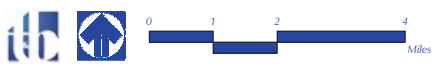


Figure I-1
REGIONAL MAP



I. Introduction

Specific Plan No. 325, Amendment No. 1

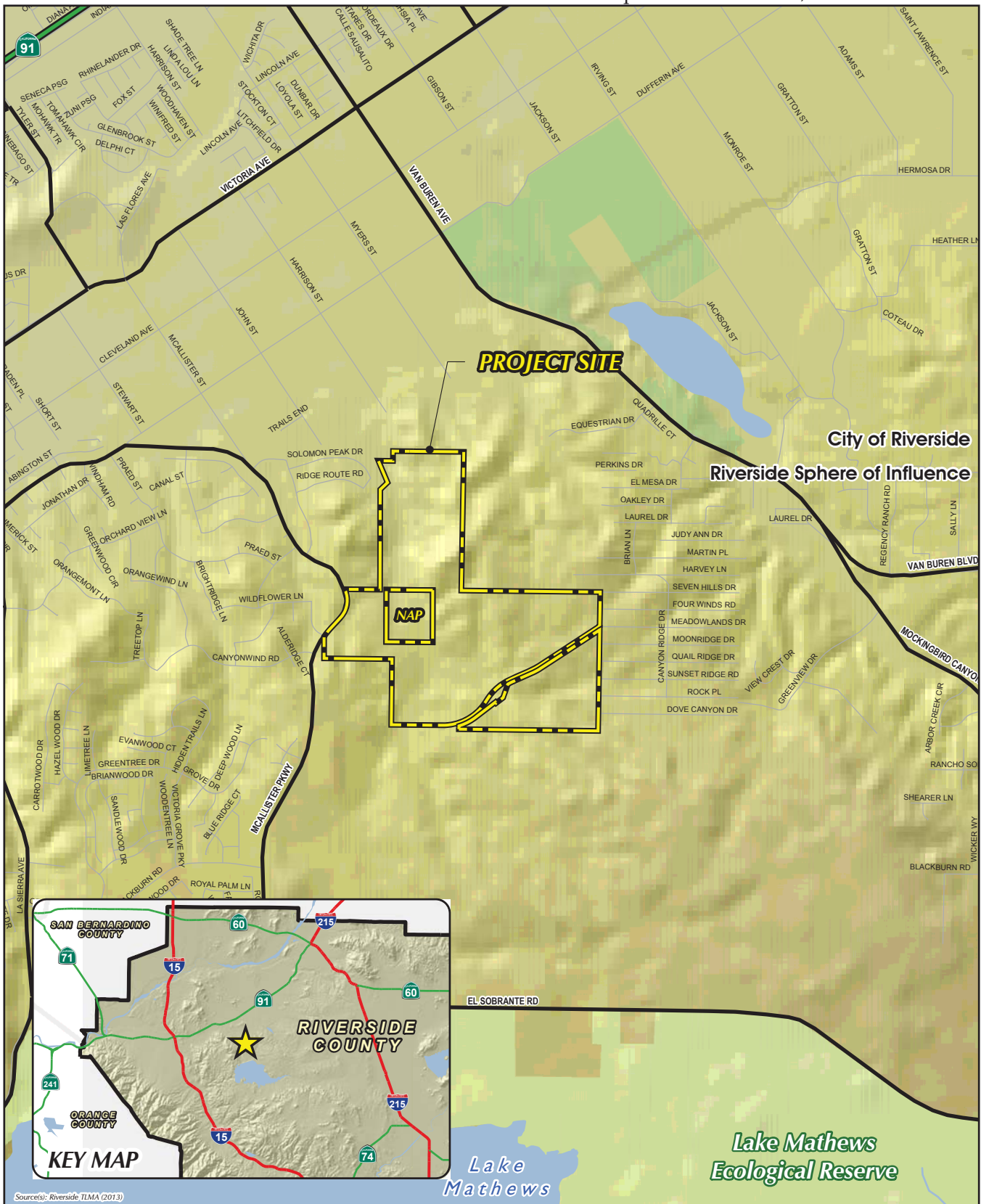


Figure I-2
VICINITY MAP

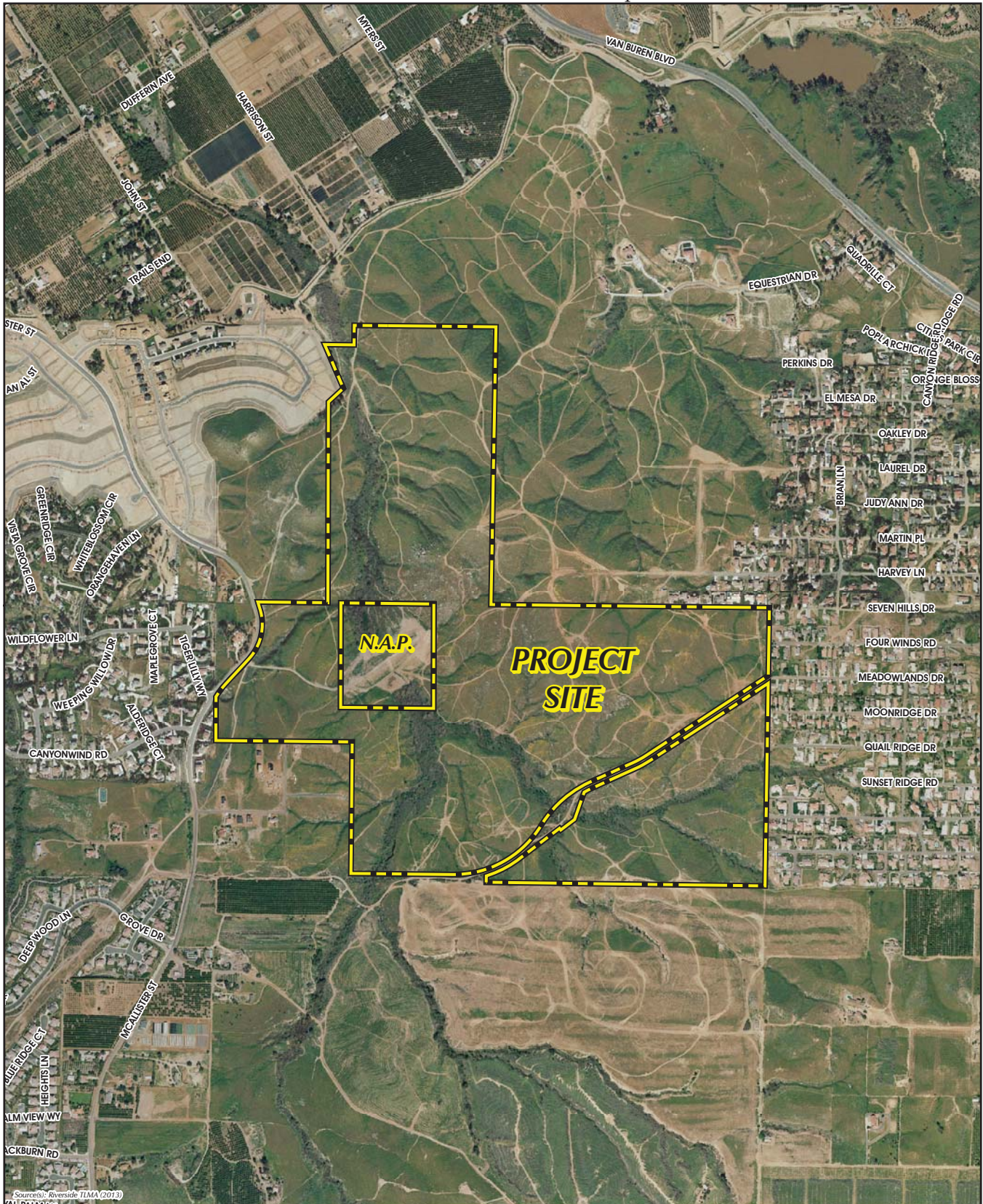


Figure I-3
AERIAL PHOTOGRAPH



medium densities, is located approximately one-half mile southwest of the CITRUS HEIGHTS Specific Plan area. The Harrison Dam, an earthen fill dam owned and maintained by the Riverside County Flood Control and Water Conservation District, occupies a parcel in the central portion of the Specific Plan area that is not a part of the CITRUS HEIGHTS community.

C. Document Purpose

Authorized by California Government Code §65450 *et seq.*, a specific plan is a tool that is used for the systematic implementation of the general plan for all or part of the area covered by the general plan. It effectively establishes a link between implementing policies of the general plan and the individual development proposals in a defined area. As such, this document provides the County of Riverside with policies and regulations to ensure efficient, orderly development of the subject property in accordance with the County's adopted General Plan.

The CITRUS HEIGHTS Specific Plan establishes standards for the development of a master planned community in the El Sobrante area of unincorporated Riverside County. This Specific Plan includes regulations relative to land uses, site planning, and building intensity, as well as design guidelines that are intended to allow for innovation in architecture, landscaping and building arrangements as future tentative maps and site plans are proposed to implement the Specific Plan. All future implementing actions (development plans, tract maps, site plans, and other similar entitlements) for property located within the boundaries of this Specific Plan are required to be consistent with the standards and guidelines set forth in this document and with all applicable County regulations. Furthermore, all regulations, conditions, standards and guidelines contained herein shall be deemed distinct and independent provisions of the Specific Plan. If any section, clause, phrase, or portion of this document is for any reason to be invalid by the decision of any federal or state court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Specific Plan.

D. Specific Plan Format

This CITRUS HEIGHTS Specific Plan has been prepared pursuant to the provisions of California Government Code §65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan for the purpose of establishing systematic methods of implementation of the agency's General Plan. California Government Code §65450 through §65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to §65450, a Specific Plan shall include text and a diagram or diagrams which specify all of the following details:

- The distribution, location, and extent of the uses of land within the area covered within the specific plan area;
- The distribution, location, extent, and intensity of major circulation and utility services to be located within the plan area or that will be needed to service the specific plan area;
- Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;



- A schematic program of implementation measures indicating how public services will be financed; and
- A statement of the specific plan's relationship to the general plan.

California state law also provides for the inclusion of any other subject that, in the judgment of the local planning agency, is deemed necessary or desirable to implement the general plan, such as architectural or landscape design guidelines.

In response to government requirements, this Specific Plan has been prepared to provide the essential link to the policies of the County of Riverside General Plan. By functioning as a regulatory document, the CITRUS HEIGHTS Specific Plan provides a means of implementing and detailing the County's General Plan and tailoring its policies to the subject property. In this regard, all future development plans or other entitlement applications are required to substantially conform to the standards and guidelines set forth in this document, as well as all applicable County regulations. This Specific Plan is designed to address site specific issues such as building setbacks and visual appearance, as well as community-wide concerns such as vehicular and non-vehicular circulation, energy conservation, landscaping, and the provision of utilities. The CITRUS HEIGHTS Specific Plan also ensures that new development meets or exceeds County standards for environmental protection, infrastructure, site planning, and aesthetic quality.

E. Specific Plan Goals

Many important issues were thoroughly examined and considered during the preparation of this Specific Plan. Engineering feasibility, market acceptance, economic viability, County General Plan goals, Lake Mathews/Woodcrest Area Plan policies, including the El Sobrante Policy Area, and local community goals all were considered during the planning process. To ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic impact of this Specific Plan, planning and development goals for the community have been established and supported by extensive analysis. With these specific goals in mind, the following objectives have been established for the CITRUS HEIGHTS Specific Plan:

- To develop a master-planned community that exhibits excellence in design and provides a sense of place that is compatible with the El Sobrante community;
- To provide high-quality housing opportunities designed to be marketable and accessible within the evolving, economically diverse profile of western Riverside County;
- To preserve rolling terrain, natural habitats, and natural drainage courses within open space to provide residents with a visual and recreational amenity;
- To provide neighborhood parks with active and passive recreational amenities, and an extensive trail network for the benefit of residents of the CITRUS HEIGHTS community;
- To establish a "citrus ranch estate" identity for the community through design elements such as architecture, monumentation, theme walls, and landscaping that shall provide for a long-range comprehensive planning approach that cannot be accomplished on a parcel-by-parcel basis;



- ❑ To develop an informal, rural community-wide landscape concept that features drought-tolerant plant materials to provide for an aesthetically pleasing outdoor environment while minimizing the demand for water resources; and
- ❑ To accommodate the construction of a County Circulation Element facility, Fairway Drive, through the Specific Plan area to improve local access to the Lake Mathews area.

F. General Plan Consistency

Land development patterns in the unincorporated areas of Riverside County are guided by the County of Riverside General Plan (herein “General Plan”). The General Plan was adopted by the Riverside County Board of Supervisors on October 7, 2003. The General Plan is organized into eight separate elements, including Land Use, Circulation, Multipurpose Open Space, Safety, Noise, Housing, Air Quality, and Administration. Each General Plan Element is instrumental to achieving the County’s long-term development goals. Each element contains a series of policies that guide the course of action the County must take to achieve the County’s vision for future development.

Riverside County regulations require that a Specific Plan include a discussion of the relationship of the Specific Plan to the goals and policies of the elements of the General Plan. A thorough discussion of the applicable policies is provided in the Final Environmental Impact Report (EIR) No. 433. As discussed in Final EIR No. 433 and its subsequent Addenda, CITRUS HEIGHTS is consistent with, and results in the implementation of, the applicable primary goals and policies of the General Plan.



II. SPECIFIC PLAN

A. Specific Plan Land Use Plan

1. DEVELOPMENT CONCEPT

CITRUS HEIGHTS is a master-planned community featuring residential land uses, active and passive recreational amenities, and abundant open space. The community draws its overall thematic and aesthetic inspiration from the citrus orchards and rural ranch estates that have historically dotted the landscape of the Lake Mathews area. Residential neighborhoods within CITRUS HEIGHTS feature single family homes on a range of lot sizes with historically reminiscent architectural themes and are combined with an informal landscape concept characteristic of rural inland valleys to establish a strong sense of place and reinforce the relaxed character of the Lake Mathews area.

The CITRUS HEIGHTS Specific Plan provides for the development of a maximum of 343 single-family detached homes in three neighborhoods at an overall density of 1.03 dwelling units per acre to complement the rural character of the surrounding area. As depicted on Figure II-1, *Specific Plan Land Use Plan*, the community's residential neighborhoods are situated around 162.8 acres of natural open space that preserves natural habitat, drainage courses, and existing rolling terrain. The open space offers CITRUS HEIGHTS residents natural scenic vistas that reflect and enhance the rural character of the area.

CITRUS HEIGHTS locates eight neighborhood parks throughout the community to ensure that all residential neighborhoods have convenient access to recreational opportunities. These neighborhood parks range in size from 0.6-acre to 1.8 acres in size and can accommodate a variety of neighborhood-oriented recreational amenities, including tot lots, open turf play areas, and shaded seating and picnic areas.

CITRUS HEIGHTS is a highly walkable community that contains a comprehensive network of trails and sidewalks designed and located to ensure that community residents have safe and convenient pedestrian and bicycle connections between neighborhoods, parks, and open space areas. The CITRUS HEIGHTS trail system also provides a connection to the County of Riverside Regional Trail network, a segment of which traverses the southeast corner of the CITRUS HEIGHTS community.

The CITRUS HEIGHTS community also contains 3.3 acres of drainage/detention land uses, which capture, convey, and temporarily detain stormwater runoff during peak storm events. In addition, the drainage/detention land uses have been designed to include water quality treatment capabilities, which allow for the removal of water-borne pollutants from stormwater that is discharged from the CITRUS HEIGHTS community. These areas are also landscaped and provide an aesthetic amenity for the community.

An overview of the land uses within the CITRUS HEIGHTS community is provided on the following pages and also is summarized in Table II-1, *Detailed Land Use Summary*.

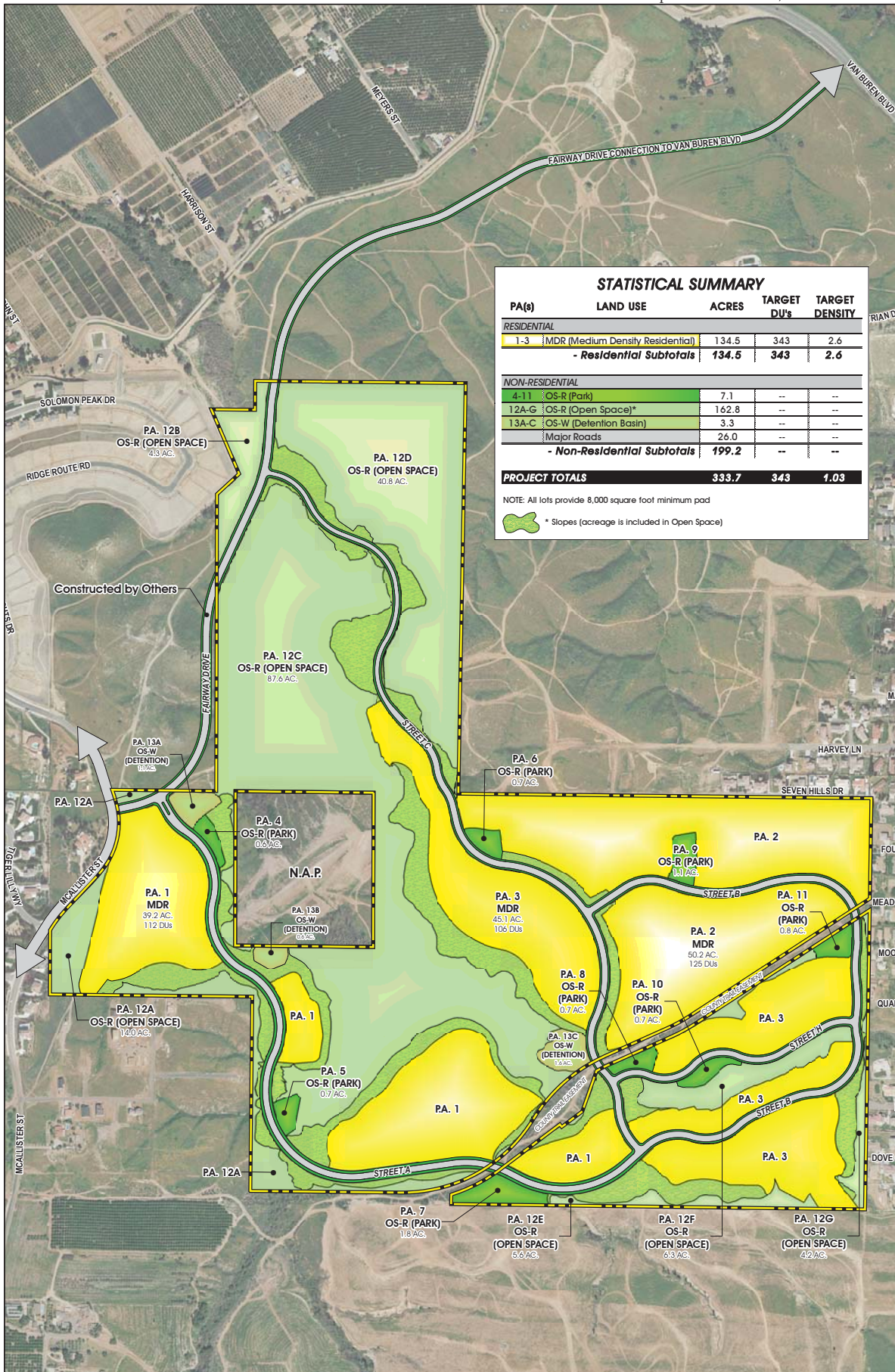


Figure II-1
 SPECIFIC PLAN LAND USE PLAN



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Table II-1 Detailed Land Use Summary

LAND USE	PLANNING AREA	ACRES	DENSITY RANGE	TARGET DENSITY	TARGET DWELLING UNITS
Residential					
Medium Density Residential <i>8,000 s.f. lots</i>	1	39.2	2-5 du/ac	2.9 du/ac	112
Medium Density Residential <i>10,000 s.f. lots</i>	2	50.2	2-5 du/ac	2.5 du/ac	125
Medium Density Residential <i>12,000 s.f. lots</i>	3	45.1	2-5 du/ac	2.4 du/ac	106
<i>Residential Subtotal</i>		<i>134.5</i>	--	<i>2.6 du/ac</i>	<i>343</i>
Non-Residential					
Open Space-Recreation <i>Park</i>	4	0.6	--	--	--
Open Space-Recreation <i>Park</i>	5	0.7	--	--	--
Open Space-Recreation <i>Park</i>	6	0.7	--	--	--
Open Space-Recreation <i>Park</i>	7	1.8	--	--	--
Open Space-Recreation <i>Park</i>	8	0.7	--	--	--
Open Space-Recreation <i>Park</i>	9	1.1	--	--	--
Open Space-Recreation <i>Park</i>	10	0.7	--	--	--
Open Space-Recreation <i>Park</i>	11	0.8	--	--	--
Open Space-Recreation <i>Open Space</i>	12A	14.0	--	--	--
Open Space-Recreation <i>Open Space</i>	12B	4.3	--	--	--
Open Space-Recreation <i>Open Space</i>	12C	87.6	--	--	--
Open Space-Recreation <i>Open Space</i>	12D	40.8	--	--	--
Open Space-Recreation <i>Open Space</i>	12E	5.6	--	--	--
Open Space-Recreation <i>Open Space</i>	12F	6.3	--	--	--
Open Space-Recreation <i>Open Space</i>	12G	4.2	--	--	--
Open Space-Water <i>Detention Basin</i>	13A	1.1	--	--	--
Open Space-Water <i>Detention Basin</i>	13B	0.6	--	--	--
Open Space-Water <i>Detention Basin</i>	13C	1.6	--	--	--
Major Roads (Internal)	--	26.0	--	--	--
<i>Non-Residential Subtotal</i>		<i>199.2</i>	--	--	--
Specific Plan Total		333.7	--	1.03	343

du/ac = dwelling units per acre



b. Medium Density Residential

The CITRUS HEIGHTS community features Medium Density Residential housing opportunities in a range of architectural styles and home sizes to homeowners seeking an elegant rural lifestyle. The residential component of the CITRUS HEIGHTS community includes a maximum of 343 homes on 134.5 acres at a residential density of 2.6 dwelling units per acre (du/ac). Overall, the gross density for the entire CITRUS HEIGHTS community is approximately 1.0 du/ac. Neighborhoods within Planning Area 1 accommodate 112 single-family detached homes on minimum 8,000 square-foot (s.f.) lots. Neighborhoods within Planning Area 2 accommodate 125 single-family detached homes on minimum 10,000 s.f. lots. Neighborhoods within Planning Area 3 accommodate 106 single-family detached homes on minimum 12,000 s.f. lots.

Residential neighborhoods are discussed in detail in Section III, *Planning Area Development Standards*, and Section IV, *Design Guidelines*.

c. Open Space & Recreation

A total of 169.9 acres of the CITRUS HEIGHTS community are reserved for open space and recreation, and a brief description is provided below:

- ❑ **Neighborhood Parks:** To provide residents with recreational opportunities in proximity to their homes, eight neighborhood parks on a total of 7.1 acres are provided throughout the CITRUS HEIGHTS community (Planning Areas 4 through 11). The neighborhood parks range in size from 0.6-acre up to 1.8 acres, accommodate recreational amenities including, but not limited to, shaded tot lots, open play fields, picnic and seating areas, and trails.
- ❑ **Open Space:** Approximately 162.8 acres of natural open space are provided along the community boundary to provide a visual buffer from off-site land uses to the south and west, and are also provided in the central and northern portions of the community to preserve scenic natural resources (Planning Areas 12A through 12G). The open space areas also include manufactured slope areas, which will be graded to respect the natural terrain and revegetated with native and naturalized landscaping.

Recreational facilities, open space, and associated amenities are discussed in greater detail in Section II.F, *Open Space and Recreation Plan*, Section III, *Planning Area Development Standards*, and Section IV, *Design Guidelines*.

d. Drainage/Detention Areas

CITRUS HEIGHTS provides 3.3 acres of drainage and detention facilities (Planning Areas 13A through 13C) dedicated to controlling storm water volumes during peak storm events and maintaining water quality both within the CITRUS HEIGHTS community and downstream. The drainage and detention facilities are buffered from residential land uses in the community by landscaping.

Planned drainage and detention facilities are described in detail in Section II.C, *Master Drainage Plan*, Section III, *Planning Area Development Standards*, and Section IV, *Design Guidelines*.



e. Roads

CITRUS HEIGHTS includes the construction of approximately 26.0 acres of internal collector roadways. The design of the CITRUS HEIGHTS community accommodates the alignment of a County Circulation Element roadway facility, Fairway Drive, which will be constructed by others between McAllister Street and Van Buren Boulevard to improve local access in the Lake Mathews area. A detailed description of the community's on-site and off-site circulation improvements are discussed in Section II.B, *Circulation Plan*, and Section IV, *Design Guidelines*.

2. LAND USE DEVELOPMENT STANDARDS

To ensure the orderly and sensitive development of land uses proposed for CITRUS HEIGHTS, special standards have been created for each planning area. These area-specific standards, which are thoroughly discussed in Section III, *Planning Area Development Standards*, will facilitate the efficient implementation of planned development. In addition to these specific standards, community-wide development standards have also been prepared which complement the diverse conditions within each planning area. The community-wide standards are as follows:

1. The CITRUS HEIGHTS Specific Plan area shall be developed as a residential community containing a maximum of 343 dwelling units on 333.7 acres, as illustrated on Figure II-1, *Specific Plan Land Use Plan*. General uses permitted within the community include Medium Density Residential, Open Space-Recreation, Open Space-Water, and circulation land uses as prescribed on the Specific Land Use Plan and on the individual planning area figures (Figures III-1 through III-4). A target number of dwelling units is specified for each residential planning area. In no case shall the total number of dwelling units exceed 343.
2. Land uses and development standards will be in accordance with Riverside County Ordinance No. 348 and the CITRUS HEIGHTS Zoning Ordinance and will further be defined by Specific Plan objectives, the Specific Plan design guidelines, and future detailed development proposals including subdivisions, plot plans, and/or conditional use permits.
3. As a requirement of the California Solid Waste Reuse and Recycling Act of 1991, CITRUS HEIGHTS shall provide adequate areas for collection and loading recyclable materials in residential areas, where solid waste is collected and loaded in a location which serves five or more dwelling units.
4. Standards relating to signage, landscape, parking and other related design elements shall conform to the Riverside County Ordinance No. 348, the design standards contained within this Specific Plan, and any other applicable Riverside County Ordinance. When appropriate and necessary to meet the goals of this Specific Plan, the standards contained within this document shall take precedence over the requirements within Riverside County Ordinance No. 348.
5. All project lighting shall be in accordance with applicable Riverside County standards, as well as the lighting standards set forth in Section IV, *Design Guidelines*, of this Specific Plan.
6. Development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances, including Ordinance Nos. 348 and 460.
7. Except for the Specific Plan Zoning Ordinance adopted concurrently with the Specific Plan, no portion of the Specific Plan which purports or proposes to change, waive, or modify any ordinance or



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other legal requirement for the development, shall be considered to be part of the adopted Specific Plan.

8. Common areas identified in the Specific Plan shall be owned and maintained as follows:
 - A permanent master maintenance organization shall be established for the Specific Plan area, to assume ownership and maintenance responsibility for all common open space, private streets, trails, drainage/detention areas, and landscaped areas that are not under the maintenance responsibility of Riverside County, a County Service Area, or another public or quasi-public organization. Merger with an area-wide or regional organization shall satisfy this condition provided that such organization is legally and financially capable of assuming the responsibilities for ownership and maintenance. If the organization is a private association, neighborhood associations may be established for each residential development, where required, and such associations may assume ownership and maintenance responsibility for neighborhood common areas.
 - Unless otherwise provided for in these standards, common areas shall be conveyed to the maintenance organization as implementing development is approved or conveyance subdivision is recorded.
 - The maintenance organization shall be established prior to, or concurrent with, the first land division or issuance of any building permit for any approved development permit. The ownership and maintenance responsibility shall be identified for each open space lot at the time tentative subdivision maps are filed.
9. Prior to issuance of a building permit for construction of any use contemplated by this Specific Plan approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of Specific Plan approval have been satisfied for the phase of development in question.
10. An environmental assessment shall be conducted to determine potential environmental impacts resulting from each tract, change of zone, plot plan, specific plan amendment, or any land use application required to implement this Specific Plan, unless said proposal is determined to be exempt from the provisions of the California Environmental Quality Act. The environmental assessments shall be prepared as part of the review process for these implementing projects.
11. Lots created within the Specific Plan area pursuant to any subsequent tentative subdivision map(s) shall be in conformance with the development standards of the Specific Plan zone herein applied to the property.
12. Development applications which incorporate common areas shall be accompanied by design plans for the common areas, specifying location and extent of landscaping, irrigation systems, structures, and circulation (vehicular, pedestrian, and/or bicycle).
13. If necessary, roadways, infrastructure, and open space may be coordinated by and paid for through an assessment or community facilities district or community service area to facilitate construction, maintenance and management.
14. Final development densities for each planning area shall be determined through the appropriate development application up to the maximum density identified in CITRUS HEIGHTS based upon but



not limited to the following: a) adequate availability of services; b) adequate access and circulation; c) innovation in building types and design; d) sensitivity to landforms; e) sensitivity to neighborhood design through lot and street layouts; and f) lot sizes as proposed by this Specific Plan.

15. Areas designated as open space that will be conveyed within parcel boundaries to individual property purchasers shall be deed restricted so as to create open space easements and prohibit grading, construction, or other development activity in such open space.
16. Prior to the approval of a tentative map, improvement plans for adjacent developed common open space areas, including irrigation plans, shall be submitted for Planning Department approval for the stage of development in question. Irrigation plans shall be certified by a landscape architect.
17. For the security and safety of future residents, the applicant and/or developer shall incorporate the following design concepts within each individual tract map:
 - Circulation for pedestrians, vehicles, and police patrols.
 - Lighting of streets, parking areas, and walkways.
 - Visibility of doors and windows from the street and between buildings, where practical.
 - Fencing heights and materials which are developer's responsibility.

The following crime prevention measures shall be considered during site and building layout design, in addition to those above, for the security and safety of future residents:

- Addresses which light automatically at night.
 - Special lighting requirements on any buildings that are grouped in such a way that individual addresses are difficult to read.
 - Front doors into residences that front toward or are visible from the street and allow for easy drive-by surveillance by law enforcement personnel.
18. Development within the project shall conform to Title 24, Chapter 2-71, of the California Administrative Code to ensure accessibility to handicapped individuals.
 19. It is anticipated that maintenance associations, if formed, will be established as follows:

The master property owners' association shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The property owners' association shall be responsible for parking, open space areas, signing, landscaping, irrigation, common areas, and other responsibilities as necessary.
 20. Construction of certain public facilities and infrastructure requirements (such as sewer and water lines, and roadways, among others) may be financed through an assessment district (AD), or a community facilities district (CFD). Financing of these facilities through a CFD may substitute for the payment of fees that would have financed those facilities.



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21. All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance No. 460 and/or No. 787, subject to approval by the Riverside County Fire Department.
22. Homes shall be designed with interior and exterior energy efficiencies that surpass applicable 2008 California Title 24, Part 6 Energy Efficiency Standards by a minimum of 15 percent.
23. To reduce energy demand associated with potable water conveyance, the CITRUS HEIGHTS shall implement the following: 1) Landscape palette emphasizing drought tolerant plants; b) use of water-efficient irrigation techniques; 3) U.S. EPA Certified WaterSense labeled or equivalent faucets, high-efficiency toilets (HETs), and water-conserving shower heads.



B. Circulation Plan

1. VEHICULAR CIRCULATION PLAN

a. Circulation Plan Description

The roadway concept for CITRUS HEIGHTS is illustrated on Figure II-2, *Conceptual Vehicular Circulation Plan*. As shown, the community's roadway network includes a hierarchy of roadways to meet the vehicular needs of residents of the CITRUS HEIGHTS community by providing safe, efficient, and direct access to residential neighborhoods and recreation areas.

Access to CITRUS HEIGHTS is provided via Fairway Drive, which traverses the northwestern portion of the community. Primary access into CITRUS HEIGHTS is provided via Street "A," a collector road which intersects with Fairway Drive at the southwestern boundary of the community, and provides a direct route through the western and southern portions of the community. Secondary access to the community is provided via Street "C," which intersects with Fairway Drive in the northwestern portion of the community, and connects with Street "A" forming a loop through the community.

Access to the central and eastern portions of the community is provided by internal local roads (Streets "B" and "H"), which connect to Streets "A" and "C" to form a loop road that links together the entire CITRUS HEIGHTS community. Other internal, local roads provide access to neighborhoods and recreational amenities throughout the community.

The *Vehicular Circulation Plan* includes the roadway sizes and classifications described below and illustrated on Figure II-3, *Roadway Cross-Sections*.

- ❑ ***McAllister Street –Collector Road (66' ROW):*** McAllister Street is a General Plan Circulation Element facility adjacent to the western frontage of the CITRUS HEIGHTS community. The typical section of this roadway provides 40-feet of pavement to accommodate two vehicular travel lanes and shoulders, and also provides parkways on both sides of the street. The western parkway is 15-foot wide, and the eastern parkway, adjacent to the CITRUS HEIGHTS community, is 11 feet wide and features a six-foot wide curb- adjacent sidewalk. A 10-foot wide meandering trail is provided within a 20-foot wide trail easement located outside and adjacent to the easterly right-of-way.
- ❑ ***Fairway Drive –Collector Road (66' ROW):*** Fairway Drive is a General Plan Circulation Element facility that traverses the northern portion of the CITRUS HEIGHTS community and provides primary and secondary access to the community. The typical section of this future roadway provides two vehicular travel lanes, paved shoulders, and parkways within a 66-foot wide public right-of-way. The County of Riverside is responsible for constructing Fairway Drive. An eight (8)-foot wide trail is provided within the eastern parkway between Street "A" and Street "C."
- ❑ ***Street "A" (At Fairway Drive Intersection)– Primary Entry Road (80' ROW):*** This segment of Street "A" serves as the primary entry to the community, and has been specially designed to strongly establish a sense of arrival to residents, guests, and passersby. This segment of Street "A" features two vehicular travel lanes, paved shoulders, a 10-foot wide raised median (planted with accent

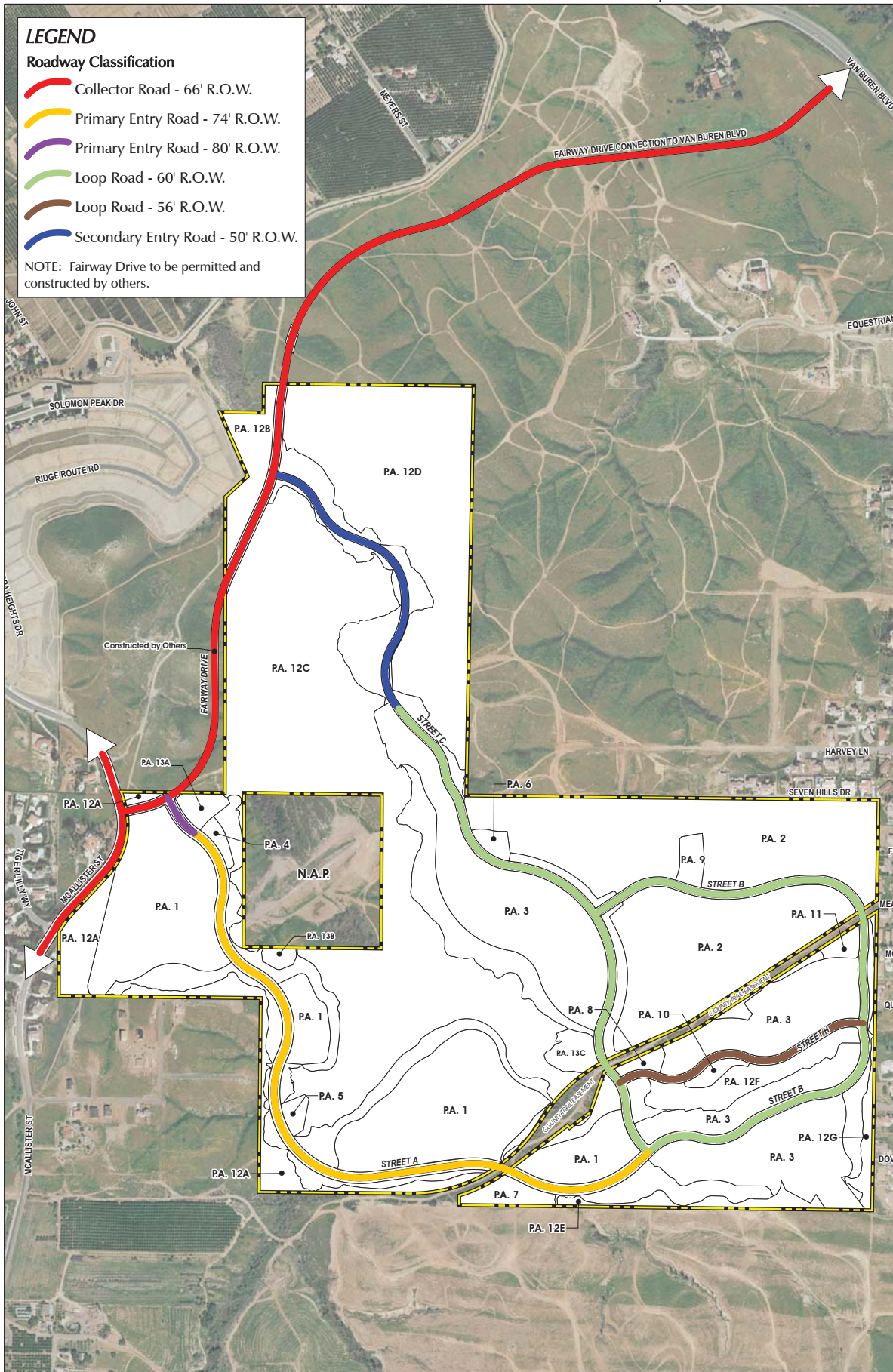
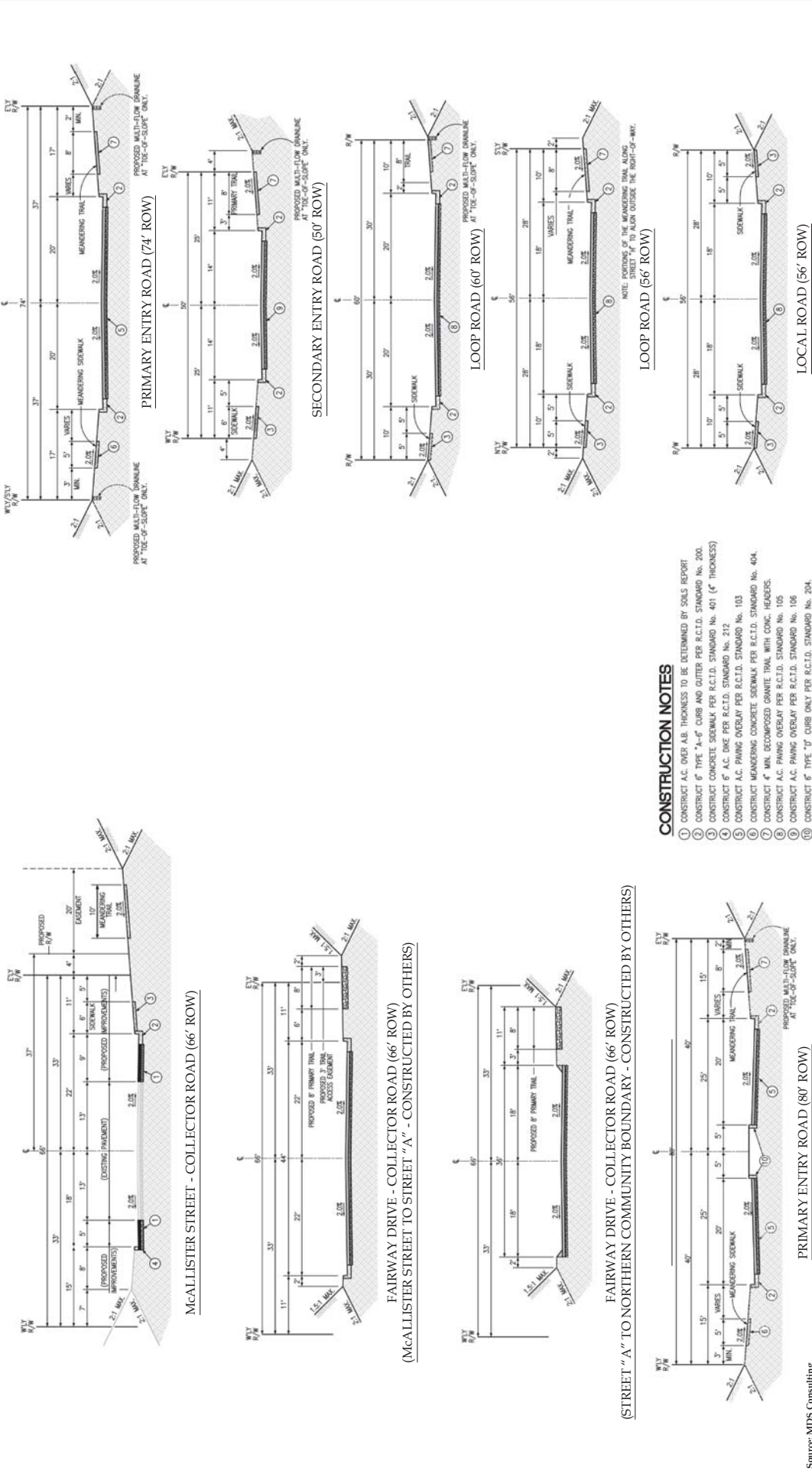


Figure II-2
CONCEPTUAL VEHICULAR CIRCULATION PLAN



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trees), and 15-foot wide landscaped parkways on each side of the street. On the west side of the street, the parkway features a five (5)-foot wide meandering sidewalk, while the eastern parkway features an eight (8)-foot wide meandering decomposed granite trail.

- ❑ **Street “A” – Primary Entry Road (74’ ROW):** This segment of Street “A” provides direct access to residential areas in the western and southern portion of the community, and connects to Streets “B” and “C” to form a loop road and provide access to residential areas in the central and eastern portion of the community. This segment of Street “A” includes two vehicular travel lanes, paved shoulders, and 17-foot wide parkways on both sides of the street. On the west side of the street, the parkway features a five (5)-foot wide meandering sidewalk, while the parkway on the east side of the street provides an eight (8)-foot wide meandering decomposed granite trail.
- ❑ **Street “C” (From Fairway Drive to Planning Area 3) – Secondary Entry Road (50’ ROW):** This segment of Street “C” provides secondary access to the CITRUS HEIGHTS community from Fairway Drive and includes two vehicular travel lanes, paved shoulders, and an 11-foot wide parkway on both sides of the street. On the west side of the street, the parkway features a six (6)-foot wide sidewalk and a five (5)-foot wide landscaped curb-adjacent park strip. The eastern parkway includes an eight (8)-foot decomposed granite trail and a three (3)-foot wide landscaped curb-adjacent park strip.
- ❑ **Streets “B” and “C” – Loop Road (60’ ROW):** Streets “B” and “C” connect to form a loop that provides access to the eastern portion of the CITRUS HEIGHTS community. Streets “B” and “C” provide two vehicular travel lanes and 10-foot wide parkways on both sides of the street. Two different parkway conditions are provided along Streets “B” and “C.” On one side of the street, the parkway features a five (5)-foot wide sidewalk and a five (5)-foot wide landscaped curb-adjacent park strip, while the opposite parkway features an eight (8)-foot wide decomposed granite trail and a two (2)-foot wide landscaped curb-adjacent park strip.
- ❑ **Street “H” – Loop Road (56’ ROW):** Street “H” is an east-west road that connects with Streets “B” and “C” to form a loop within Planning Area 3. Street “H” provides two vehicular travel lanes and 10-foot wide parkways on both sides of the street. Two different parkway conditions are provided along Street “H.” On one side of the street, the parkway features a five (5)-foot sidewalk and a five (5)-foot wide landscaped curb-adjacent park strip, while the parkway on the opposite side of the street provides an eight (8)-foot wide meandering decomposed granite trail and a curb adjacent landscaped park strip.
- ❑ **Local Roads (56’ ROW):** Local roads provide internal circulation within individual residential neighborhoods. This roadway classification provides two vehicular travel lanes and 10-foot wide parkways on both sides of the street. The parkways feature five (5)-foot wide sidewalks and five (5)-foot wide curb-adjacent landscaped park strips.



2. NON-VEHICULAR CIRCULATION PLAN

a. Non-Vehicular Circulation Plan Description

CITRUS HEIGHTS contains a comprehensive sidewalk and trail system, which connects neighborhoods to parks, open space, and off-site regional trails. The hierarchical system of sidewalks and trails offered by CITRUS HEIGHTS is intended to facilitate efficient pedestrian and bicycle activity throughout the community, and is conceptually illustrated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.

The primary and secondary trail systems are composed of eight (8) foot-wide decomposed granite pathways. The primary and secondary trail systems are located within the parkways of on-site roadways and connect to off-site segments of the County Regional Trail system. The community's trail system is discussed in detail in Section IV, *Design Guidelines*.

3. CIRCULATION PLAN DEVELOPMENT STANDARDS

1. The on-site system depicted on Figure II-2, *Conceptual Vehicular Circulation Plan*, shall serve as the preliminary roadway plan for implementing development. The illustrated, on-site roadway improvements and sidewalk and pathway improvements may be phased in accordance with this plan.
2. Heavy through-traffic volumes shall be prohibited within residential neighborhoods. Primary Entry Roads and Secondary Entry Roads will be implemented as non-access roadways, with residential neighborhoods served by smaller residential local roads.
3. Landscape requirements shall be in accordance with the streetscape treatments as depicted in Section IV, *Design Guidelines*.
4. Major roadway improvements may be financed through an assessment district, community facilities district, Road and Bridge Benefit District, or similar financing mechanism.
5. All roads within the Specific Plan boundary shall be constructed to appropriate County full-widths standards in accordance with Ordinance Nos. 460 and 461 as a requirement of the implementing subdivisions for the Specific Plan, subject to approval and modification by the Director of Transportation.
6. The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the Board of Supervisors.
7. The project shall comply with the conditions and requirements set forth by the County Transportation Department.
8. All typical sections shall be per Ordinance No. 461, or as approved by the Transportation Department.
9. All intersection spacing and/or access openings shall be per Standard 114, Ordinance No. 461, or as approved by the Transportation Department.
10. No textured pavement accents will be allowed within public right-of-way.



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11. Mid-block cross-walks are not allowed, with the exception of Primary and Secondary Trail crossings along Streets "A," "B," "C," and "H."
12. Any landscaping within public road rights-of-way will require approval by the Transportation Department and assurance of continuing maintenance through the establishment of a landscape maintenance district or similar mechanism, as approved by the Transportation Department.
13. Any application for any subdivision within this Specific Plan boundary (including a Schedule A Parcel Map) shall cause the design of the Specific Plan master planned infrastructure within the final map boundaries. Specific Plan Schedule A Parcel Maps shall design the street system shown thereon.
14. Sidewalks and pedestrian paths located outside of the public-right-of-way shall require approval by the Riverside County Planning Department to ensure continuing maintenance through the establishment of a property owners' association, landscape maintenance district, or similar mechanism.
15. No tract entry monuments or identification signs shall be permitted within the public right-of-way.
16. All roads within the Specific Plan boundary that include a trail within the public right-of-way located three (3) feet for closer to the vehicular travel way shall provide theme rail fencing between the trail and the vehicular travel way, as illustrated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.



C. Master Drainage Plan

CITRUS HEIGHTS is located within the jurisdiction of the Riverside County Flood Control and Water Conservation District and lies within the District's Southwest Riverside Area Drainage Plan. Historically, storm water runoff flows from six (6) off-site streams flow toward the project site and enter the site's southern and eastern boundaries. Upon entering the project site, the storm water runoff flows toward the center of the site, where the storm water is detained temporarily behind the Harrison Dam, and gradually discharged through a 30-inch diameter outlet structure. From this point, the storm water flows northward through a central, on-site tributary. The Riverside County Flood Control and Water Conservation District owns and operates the Harrison Dam on a 19.4-acre parcel; that parcel is located in the central portion of the CITRUS HEIGHTS community, but is not part of the Specific Plan area.

1. DRAINAGE PLAN DESCRIPTION

The drainage concept for the CITRUS HEIGHTS community has been designed to respect the natural drainage conditions of the site and minimize diversions of flow. Major natural drainage courses that traverse the community are preserved within open space areas, and storm water flows originating off-site are accommodated and conveyed safely through the CITRUS HEIGHTS community to imitate natural drainage conditions.

As shown on Figure II-5, *Conceptual Master Drainage Plan*, storm water flows created within CITRUS HEIGHTS will be captured and conveyed via a system of underground storm drains and conveyed to one of several detention basins located in the central and western portions of the community. The detention basins temporarily store storm water runoff during storm events to minimize flood hazards until it can be safely discharged. The detention basins within CITRUS HEIGHTS have been designed to capture, treat, and convey stormwater runoff so that post-development storm water flows leaving the subject property are less than, or equal to, pre-development conditions. In addition, the detention basin facilities are designed to provide water quality treatment, such as the removal of trash, sediment, and other water-borne pollutants, in order to treat stormwater runoff before it is discharged from the site. From the detention basins, storm water flows are discharged into one of the natural drainage courses that traverse the subject property and flow off-site to the north, maintaining the subject property's natural flow conditions.

2. GENERAL REQUIREMENTS

This Specific Plan has been designed to provide protection against flood hazard risks resulting from 100-Year storm events. Prior to tentative map approval for any implementing subdivision map, detailed drainage/hydrologic studies shall be required for the implementing subdivision map(s) to address drainage conditions and runoff flows associated with proposed development. The detailed studies shall incorporate specific design measures to adequately convey storm water drainage and minimize the risk of flooding. The studies shall demonstrate on a subdivision-level that: (1) proposed development will not be subject to drainage/flooding hazards, and (2) the proposed improvements are integrated and compatible with adjoining drainage facilities and consistent with the *Conceptual Master Drainage Plan* contained in this Specific Plan. The studies and measures shall be submitted for review and approval by the Riverside County Flood Control and Water Conservation District (RCFCWCD).

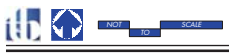
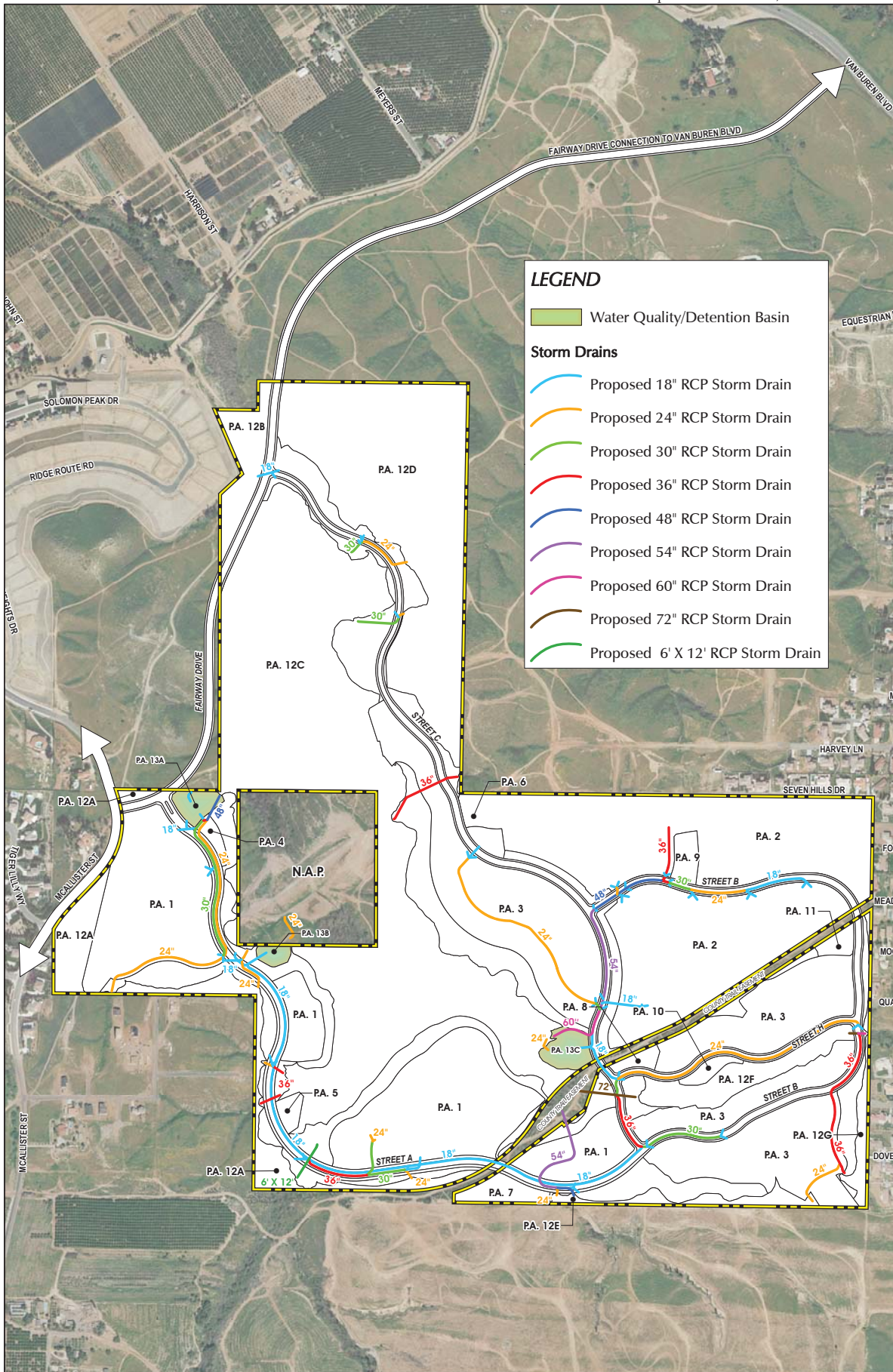


Figure II-5
CONCEPTUAL MASTER DRAINAGE PLAN



Erosion control measures shall be developed and incorporated into final grading plans to minimize potential increases in erosion and sediment transport during construction. Such measures shall include the timely seeding of graded slopes and/or temporary erosion control measures. Construction erosion and sediment control plans shall be submitted to Riverside County for review and approval prior to the issuance of grading permits.

3. DRAINAGE PLAN DEVELOPMENT STANDARDS

1. Drainage and flood control facilities and improvements shall be provided in accordance with the standards and requirements of the Riverside County Flood Control and Water Conservation District (RCFCWCD) and Riverside County Transportation Department.
2. Major drainage facilities within public right-of-ways and drainage easements shall be maintained by the Riverside County Transportation Department or RCFCWCD. Maintenance responsibilities for drainage facilities will be determined upon filing of implementing tract maps.
3. All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least one acre total land area, or activity which is part of a larger common plan of development of five acres or greater, shall comply the appropriate National Pollutant Discharge Elimination System (NPDES) construction permit and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program. Mitigation measures may include, but are not limited to: on-site retention; covered storage of all outside storage facilities; vegetated swales; monitoring programs; etc.
4. Grading and drainage improvements shall conform to the California Building Code. Grading of the site shall be designed so as to protect all building pads from the 100-year storm event and to convey off-site runoff safely through the site.
5. Phasing of the Specific Plan's infrastructure shall conform to Section II.H, *Phasing Plan*. Specifically, construction of drainage infrastructure facilities shall be timed to adequately service the planning areas in each stage of development.



D. Master Water and Sewer Plan

Domestic water and wastewater services are provided to the CITRUS HEIGHTS community by the Western Municipal Water District (WMWD). Precise alignments and sizing of water and wastewater facilities shall be determined prior to final engineering and construction in accordance with WMWD standards. The final location and sizing of water and wastewater facilities are subject to approval of WMWD.

1. WATER PLAN DESCRIPTION

The conceptual water plan for the CITRUS HEIGHTS community is presented on Figure II-6, *Conceptual Master Water Plan*, and provides for the construction of 16-inch waterline beneath McAllister Street, extending from the southwestern boundary of CITRUS HEIGHTS to approximately 2,200 feet south (off-site), where it connects to an existing 16-inch waterline. In addition, the Specific Plan provides for the construction of a water line beneath future Fairway Drive, beginning as a 12-inch facility at the McAllister Street/Fairway Drive intersection and ending as an eight (8)-inch facility at the Fairway Drive/Street "C" intersection. As shown on Figure II-6, the on-site domestic water system is comprised of a backbone system within the larger internal roadways which loops through the community and connects to the planned facilities within Fairway Drive. The on-site facilities are sized and designed to ensure adequate volume and pressure is provided throughout the CITRUS HEIGHTS community.

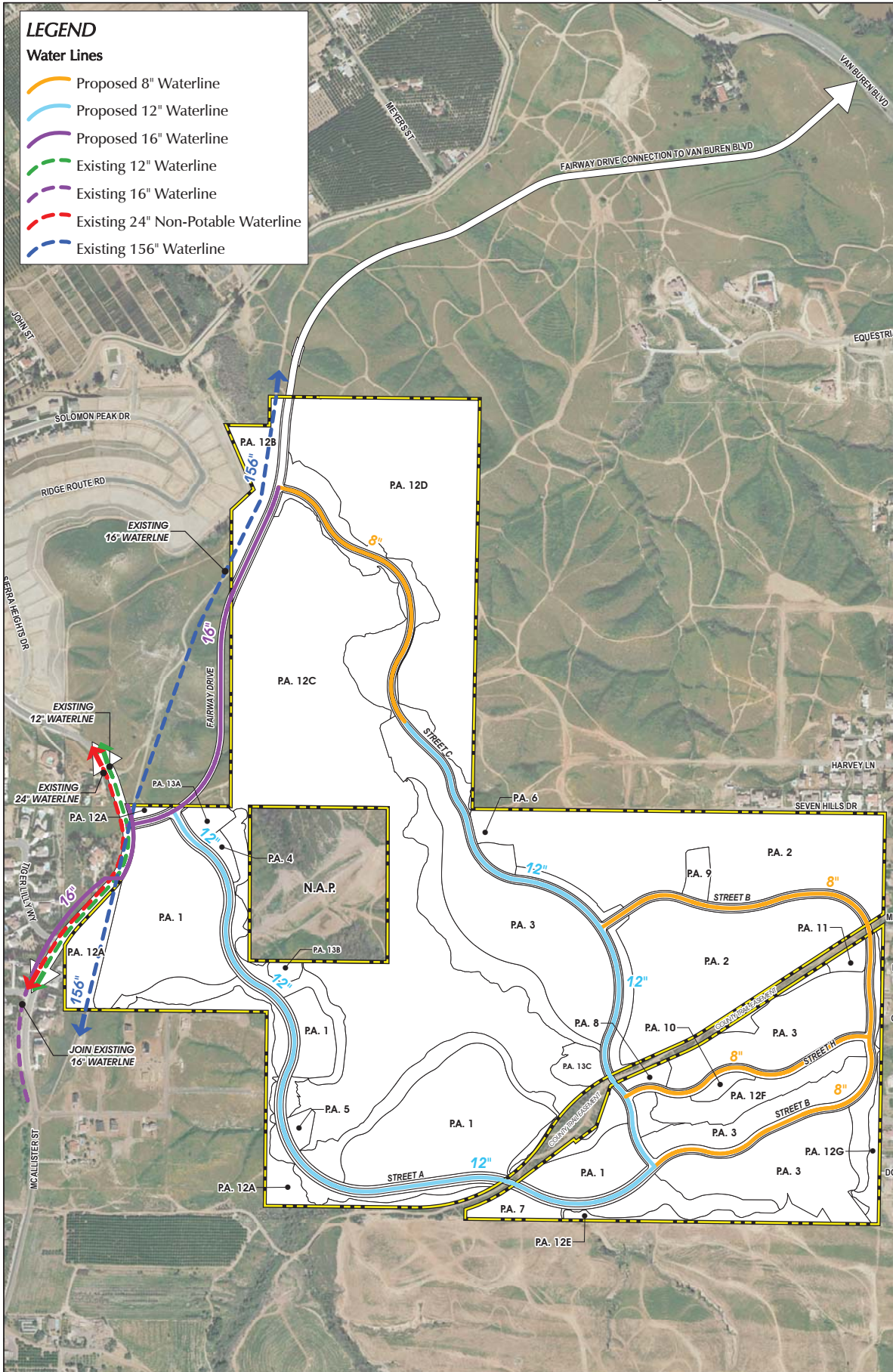
2. SEWER PLAN DESCRIPTION

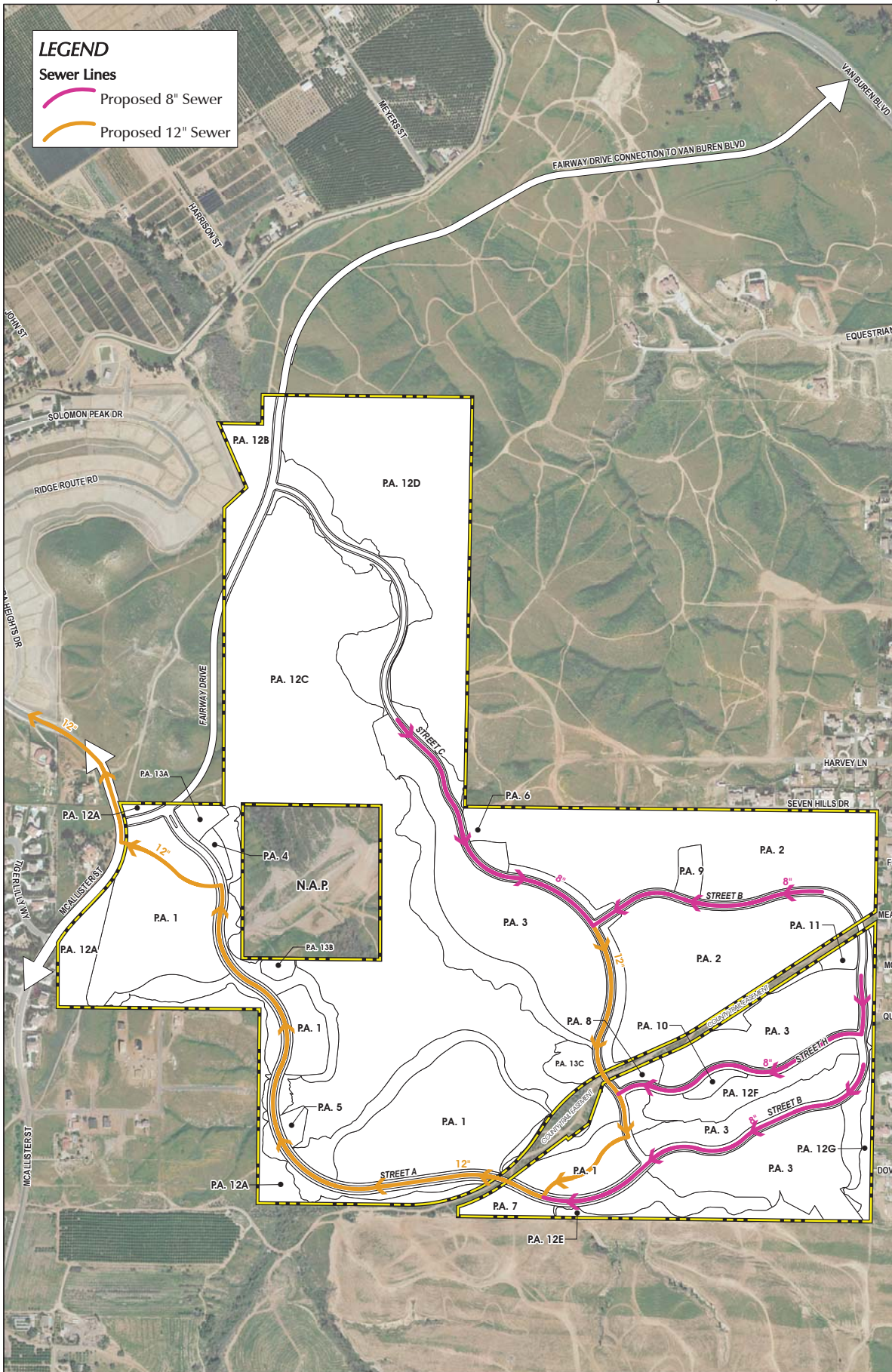
The sewer plan concept for the CITRUS HEIGHTS community is presented on Figure II-7, *Conceptual Master Sewer Plan*. As shown, the community utilizes a gravity flow wastewater system to convey wastewater from the central and eastern portions of the community to the western community boundary. The on-site wastewater lines are located beneath internal roadways, and are adequately sized to convey peak flows generated by the community.

This Specific Plan provides for the community's wastewater flows to be conveyed from the western community boundary via an off-site 12-inch sewer line to be constructed beneath McAllister Street. This off-site sewer line beneath McAllister Street connects to an existing 12-inch sewer line approximately 900 feet northwest of the CITRUS HEIGHTS community.

3. WATER AND SEWER DEVELOPMENT PLAN STANDARDS

1. All water and sewer lines shall be placed underground.
2. All water and sewer facilities shall be designed per the requirements of WMWD. Facility sizes and locations presented in this Specific Plan are conceptual and may be larger or smaller than indicated on Figure II-6, *Conceptual Master Water Plan*, or Figure II-7, *Conceptual Master Sewer Plan*. Additionally, facilities may be installed in different locations than shown on Figure II-6 or Figure II-7 in accordance with WMWD requirements.
3. Water and sewer facilities shall be installed in accordance with the requirements and specifications of the Riverside County Building and Safety Department and the State of California, Department of Public Health.







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4. The project proponent shall obtain updated will-serve letters from the Western Municipal Water District before project implementation.
5. If proposed, the location of pressure regulators will be identified on the Street/Utility Improvement Plans for the project prior to recordation of a Final Map, in accordance with WMWD design criteria.
6. Phasing of the Specific Plan's infrastructure shall conform to Section II.H, *Phasing Plan*. Specifically, construction of water and sewer infrastructure facilities shall be timed to adequately service the planning areas in each stage of development or as needed to ensure public health.



E. Landscaping Plan

1. LANDSCAPING PLAN DESCRIPTION

As illustrated on Figure IV-4, *Conceptual Landscape Plan*, and described in detail in Section IV, *Design Guidelines*, of this Specific Plan, landscaping plays an important role in maintaining the overall community theme, while emphasizing community continuity. This section of the Specific Plan provides general development standards for the landscaping concept. Detailed landscaping information, including landscape guidelines related to entry monumentation, streetscape landscaping, and land use interface conditions, is provided in the *Design Guidelines* section (Section IV) of this Specific Plan.

2. LANDSCAPING PLAN DEVELOPMENT STANDARDS

1. All detailed landscaping programs for planning areas and roadways shall be prepared by a qualified and licensed landscape architect for review by County staff and applicable decision-making agencies.
2. Project entries shall be designed with landscaping and architectural treatments that project a high quality image for the community development.
3. The landscaping design for the project site shall comply with the requirements of applicable County of Riverside ordinances and the Riverside County Multiple Species Habitat Conservation Plan.
4. Entry monumentation and thematic landscaping shall be provided at entries to the CITRUS HEIGHTS to define the community's design concept. The introductory landscape theme shall include elements such as tree clustering to reinforce the project theme and character.
5. Prior to approval of any final subdivision map for implementing development, improvement plans for the respective landscaped areas shall be submitted to the County Planning Department for approval. The improvement plans shall include but not be limited to the following:
 - Final Grading Plan
 - Irrigation Plans certified by a landscape architect
 - A Landscaping Plan with seed mixes for mulching and staking methods, and identifies locations, types, size, and quantity of plants.
 - Fence Treatment Plans
 - Special Treatment/Buffer Area Treatment Plans
6. Conceptual landscaping plans shall be submitted in conjunction with tentative map applications that implement any portion of this Specific Plan. The conceptual landscaping plans shall identify the responsible maintenance entities for all public and common area landscape areas.
7. Prior to approval of any final subdivision map, plans to mitigate an environmental impact for the stage of development shall be submitted to the County Planning Department for approval.
8. The master developer shall be responsible for maintenance and upkeep of all slope planting, common landscaped areas, and irrigation systems until such time as these operations are the responsibility of other parties.



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9. At the time of recordation of any final subdivision map for implementing development which contains a common open space area, the master developer shall convey such areas to the appropriate maintenance agency.
10. The landscaping plan shall reflect the following water conservation methods, whenever feasible: landscape with plant species that require minimal amounts of water; group plants of similar water use to reduce the potential for over-irrigating drought-tolerant plants; apply mulch extensively on top of soil to reduce evaporation and soil compaction and improve the water holding capacity of the soil; and install efficient irrigation systems that minimize runoff and evaporation and maximize the amount of water reaching the plant roots. Drip irrigation, soil moisture sensors, and automatic irrigation systems are a few methods of increasing irrigation efficiency.
11. The master developer shall comply with the planting, irrigation, implementation, and model home requirements set forth by Riverside County Ordinance No. 859, *Water-Efficient Landscape Requirements*.
12. For additional landscape development standards, please refer to Section IV, *Design Guidelines*.



F. Open Space and Recreation Plan

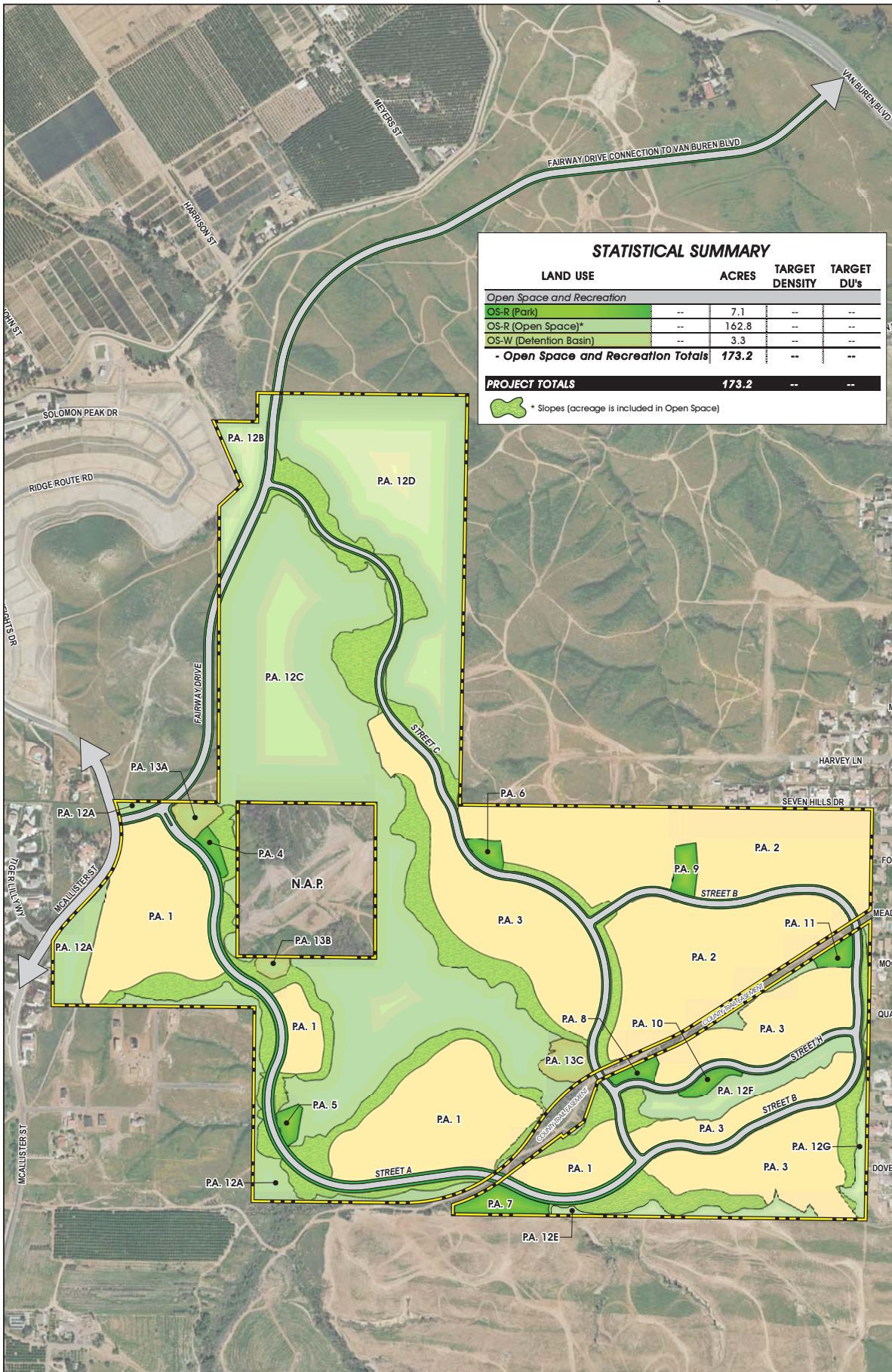
1. OPEN SPACE AND RECREATION PLAN DESCRIPTION

A distinguishing feature of the CITRUS HEIGHTS community is the variety of recreational and open space amenities provided to community residents, including eight (8) neighborhood parks and over 162 acres of natural open space (see Figure II-8, *Conceptual Open Space and Recreation Plan*). The recreational and open space amenities provided within the community also are summarized in II.F.1. Table II-2, *Open Space and Recreation Land Use Summary*.

Table II-2 Open Space and Recreation Land Use Summary

PLANNING AREA	LAND USE	ACRES
<i>Active Recreation</i>		
4	Neighborhood Park	0.6
5	Neighborhood Park	0.7
6	Neighborhood Park	0.7
7	Neighborhood Park	1.8
8	Neighborhood Park	0.7
9	Neighborhood Park	1.1
10	Neighborhood Park	0.7
11	Neighborhood Park	0.8
<i>Active Recreation Subtotal</i>		<i>7.1</i>
<i>Open Space</i>		
12A	Open Space	14.0
12B	Open Space	4.3
12C	Open Space	87.6
12D	Open Space	40.8
12E	Open Space	5.6
12F	Open Space	6.3
12G	Open Space	4.2
13A	Detention Basin	1.1
13B	Detention Basin	0.6
13C	Detention Basin	1.6
<i>Open Space Subtotal</i>		<i>166.1</i>
<i>Open Space and Recreation Total</i>		<i>173.2</i>

Neighborhood parks are placed throughout the CITRUS HEIGHTS community to provide residents with convenient access to a variety of recreational opportunities. These neighborhood parks provide a variety of active recreational amenities, such as tot lots, open play areas, and shaded seating and picnic areas, and are linked to residential areas, recreation, and open space areas within the community by an extensive system of trails.





The visual centerpiece of the CITRUS HEIGHTS community is the natural open space area in the central and northern portions of the community. As shown on Figure II-8, CITRUS HEIGHTS reserves approximately 162.8 acres of the subject property, including rolling terrain, natural drainage channels, and natural habitat areas, as natural open space to provide community residents with an aesthetic amenity.

A detailed description of the specific recreation and open space amenities provided within CITRUS HEIGHTS is provided on the following pages.

a. Neighborhood Parks

As shown on Figure II-8, eight (8) neighborhood parks totaling 7.1 acres are located throughout the CITRUS HEIGHTS community and are intended to provide neighborhood-level recreational amenities within close walking distance to each residential neighborhood. These neighborhood parks, located in Planning Areas 4, 5, 6, 7, 8, 9, 10, and 11, range in size from 0.6-acre to 1.8 acres and provide numerous recreational amenities. Recreational amenities provided within neighborhood parks vary, but generally include one or more of the following: tot lots, open play fields, picnic and seating areas, and trails.

A conceptual plan for each neighborhood park is provided in Section IV, *Design Guidelines*.

b. Open Space

A total of 162.8 acres of the community are reserved for open space (Planning Areas 12A, 12B, 12C, 12D, 12E, 12F, and 12G). Open space areas consist of natural open space, and manufactured, revegetated slopes, and are provided along the community boundary to provide a visual buffer with off-site land uses, and in the central and northern portions of the community to preserve the existing rolling terrain, natural drainage channels, and natural habitat. Manufactured slopes will be graded to respect the natural terrain of the subject property and will be revegetated with native and naturalized landscaping to provide a visual amenity for community residents.

c. Detention Areas

Approximately 3.3 acres of the CITRUS HEIGHTS community are designated as open space for stormwater detention land uses (Planning Areas 13A, 13B, and 13C). These areas are generally located in the western and central portions of the community. Landscaping is provided along the perimeter of the detention areas as a visual buffer, and public access to the detention areas is restricted via fencing.

2. PARK LAND DEDICATION

In accordance with Riverside County Ordinance No. 460 and the State Quimby Act, residential development projects must provide 5.0 acres of active park land per 1,000 residents. As described in Section II.A, *Specific Plan Land Use Plan*, CITRUS HEIGHTS provides for the ultimate development of 343 detached single-family homes. Using population generation rates provided in Ordinance No. 460, CITRUS HEIGHTS may feature up to 888 residents and ultimate build-out (343 homes x 2.59 persons per household = 888 persons), which corresponds to a park land requirement of 4.4 acres ((888 residents/1,000 residents) x 5.0 acres = 4.4 acres).

Per Riverside County Ordinance No. 460 (Section 10.35.I.7.d), active recreation areas are eligible for a 100-percent credit toward fulfilling park land dedication requirements. As depicted on Figure II-8, CITRUS



HEIGHTS provides 7.1 acres of active recreational areas, which, therefore, satisfies the park land dedication requirements of Riverside County and the State Quimby Act.

3. OPEN SPACE AND RECREATION PLAN DEVELOPMENT STANDARDS

1. Ultimate park land dedication requirements for CITRUS HEIGHTS shall be determined by the County of Riverside at the time implementing tentative tract map(s) are submitted to the County of Riverside for review, based on the final number of dwelling units and shall correspond to population generated by the development provided by the implementing tentative tract map.
2. All private recreational facilities, including all trails not located within a public right-of-way or within a public park, shall be privately owned and maintained by a master homeowners' association or similar entity.
3. All recreational facilities and manufactured slopes within the open space areas will be landscaped and, where necessary, irrigated in a manner that is conducive to the type of plant material and landscape setting.
4. Landscaping within recreation and open space areas shall be further governed by Section IV, *Design Guidelines*, of this Specific Plan.
5. Landscaping within recreation and opens space areas shall conform to the standards set forth by Riverside County Ordinance No. 859, *Water-Efficient Landscape Requirements*.
6. Conceptual landscaping plans shall be submitted to the County of Riverside Planning Department for review in conjunction with tentative map applications that implement any portion of this Specific Plan.



G. Grading Plan

1. GRADING PLAN DESCRIPTION

The *Conceptual Grading Plan* for CITRUS HEIGHTS is tailored to address the unique engineering challenges presented by a site characterized by rolling terrain and is traversed by several drainage courses.

The intent of *Conceptual Grading Plan*, which is depicted on Figure II-9, is to establish stable development pads for structures and amenities, facilitate safe drainage of storm water flows through the CITRUS HEIGHTS community, accommodate necessary utility infrastructure, provide manufactured slopes designed to be sensitive to natural landforms and minimize the use of retaining walls, balance cut and fill quantities, and control erosion and pollution during construction activities and at buildout.

Based on the grading concept presented on Figure II-9, grading and earthwork activities necessary to support development of the site is estimated to generate 2,500,000 cubic yards of raw cut and 2,500,000 cubic yards for raw fill. Accordingly, grading and earthwork activities are expected to balance and will not require the import or export of materials to or from the subject property. Earthwork quantities shall be refined during the final engineering process.

Grading and earthwork activities shall conform to the Grading Plan Development Standards provided on the following pages. Due to the subject property's unique topography and geotechnical characteristics, grading and earthwork activities also shall conform to site-specific geotechnical standards included in geotechnical investigations prepared in conjunction with tentative tract map applications that implement any portion of this Specific Plan.

2. GRADING PLAN DEVELOPMENT STANDARDS

1. All grading activities shall conform to Riverside County standards, shall be in substantial conformance with the overall *Conceptual Grading Plan* (Figure II-9), shall implement any grading-related recommendations identified in geotechnical reports prepared in conjunction with tentative map applications that implement any portion of this Specific Plan, and shall implement any grading-related conditions of approval.
2. Grading shall conform to Riverside County regulations. If County requirements conflict with the project's *Conceptual Grading Plan*, the County regulations shall take precedence.
3. Prior to any development within any planning area of the Specific Plan, an overall Conceptual Grading Plan for the related implementing tentative tract map shall be submitted for Planning Department approval. The Grading Plan for each implementing tract map shall be used as a guideline for subsequent detailed grading plans for individual stages of development within that planning area, and shall include: techniques employed to prevent erosion and sedimentation as well as eliminate source pollutants during and after the grading process; approximate time frames for grading; identification of areas which may be graded during high probability rain months (January through March); and preliminary pad and roadway elevations. Grading work shall be balanced on-site whenever possible.
4. All streets shall have a gradient not to exceed 15 percent (15%).



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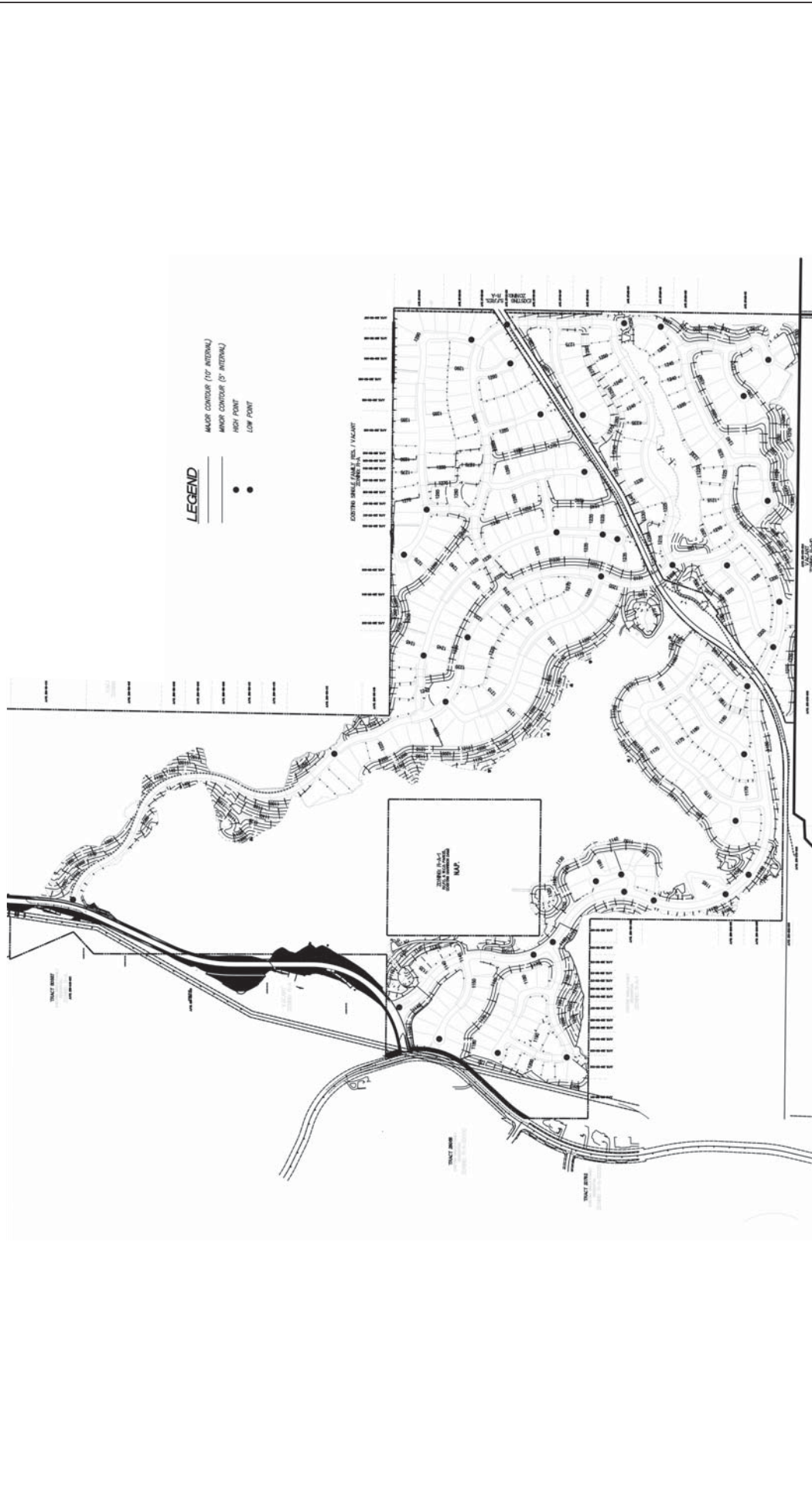


Figure II-9

CONCEPTUAL GRADING PLAN



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5. Prior to initial grading activities, a detailed soils report and geotechnical study shall be prepared for each implementing tentative tract map to analyze on-site soil conditions and slope stability. The soils report and geotechnical study required for implementing development project shall include a list of site-specific earthwork considerations that should be incorporated into site development and constructions plans, and also shall include appropriate measures to control erosion and dust.
6. Manufactured slopes steeper than 2:1 or exceeding ten feet (10') in vertical height are allowed provided they are recommended to be safe in a slope stability report prepared by a soils engineer or an engineering geologist when approved by the Building Official. The slope stability report shall also contain recommendations for landscaping and erosion control. County Ordinance No. 457 will be observed regarding setback and landscaping requirements with regard to slopes.
7. Where cut and fill slopes are created higher than three feet (3'), detailed landscaping and irrigation plans shall be submitted to the Planning Department prior to Grading Plan approval. The plans shall be reviewed for type and density of ground cover, shrubs, and trees.
8. The developer applying for implementing development shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations are the responsibilities of other parties, which may include a homeowners' association, the Riverside County Transportation Department, a County Service Area, or functional equivalent.
9. Potential brow ditches, terrace drains or other minor swales, determined necessary by the County of Riverside at future stages of project review, shall be lined with natural erosion control materials or concrete.
10. Graded lands that are undeveloped shall be landscaped or provided with effective soil cover if not re-disturbed within 14 days. Landscaping of slopes shall occur in conformance with the provisions of Ordinance No. 457, Section 3316.1.
11. A grading permit shall be obtained from the County of Riverside, as required by the County Ordinance No. 457, prior to grading.
12. If any historic or prehistoric remains are discovered during grading, a qualified archaeologist should be consulted to ascertain their significance. If human remains are discovered, work shall halt in that area and procedures set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be followed, including notification to the County Coroner. If Native American remains are present, the County Coroner shall contact the Native American Heritage Commission to designate a Most Likely Descendant, who will arrange for the dignified disposition and treatment of the remains.
13. All projects proposing construction activities including: clearing, grading, or excavation that results in the disturbance of at least one acre total land area, or activity which is part of a larger common plan of development of five acres or greater, shall comply with the appropriate National Pollutant Discharge Elimination System (NPDES) construction permit and pay the appropriate fees. All development within the Specific Plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program. Mitigation measures may include, but are not limited to: on-site retention; covered storage of all outside storage facilities; vegetated swales; monitoring programs; etc.



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14. Prior to issuance of grading permits for off-site grading activities (if required), the project proponent shall obtain an easement from the property owner to allow for any proposed encroachment and improvements and shall provide evidence to the County of Riverside that such easement has been granted.



H. Phasing Plan

1. PHASING PLAN DESCRIPTION

The CITRUS HEIGHTS Specific Plan is designed for development in one phase. Planning Areas may be developed out of the expected sequence described above, or in smaller increments, provided the required infrastructure and services are available at the time of development to provide adequate access to and from the CITRUS HEIGHTS community and ensure public health.

2. SEWER AND WATER PHASING

An agreement with a water and sewer purveyor or other capable service provider shall be made in writing which states that the provision of services to any implementing project shall be available prior to the recordation of any subdivision maps.

3. TRANSPORTATION PHASING

The project phasing shall ensure that the following provisions are met:

1. The phasing of on-site and off-site roadway improvements will be determined at each development phase based upon actual conditions with area-wide growth. Supplemental traffic studies may be required for all tentative tract map(s) that implement any portion of the CITRUS HEIGHTS Specific Plan.
2. Planning Areas which are dependent on adjacent planning areas for access shall be phased in a manner that demonstrates an ability to provide the necessary infrastructure and access prior to tentative map approval.

4. PROJECT PHASING STANDARDS

1. Prior to approval of any tentative subdivision map for implementing development, improvement plans for the respective landscaped areas and/or plans to mitigate an environmental impact for the respective tract, shall be submitted to the County Planning Department for approval. The improvement plans shall include:
 - Final Grading Plan
 - Irrigation Plans (certified by a landscape architect)
 - Fence Treatment Plans
 - Special Treatment/Buffer Area Treatment Plans
 - Landscape Plans (with seed mixes for mulching, staking methods, and locations, type, size, and quantity of plant materials)
2. Each Planning Area, if applicable, shall include development of adjacent common open space areas, landscape development zones, and applicable infrastructure.



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3. Construction of the development permitted herein, including recordation of final subdivision maps, may be done progressively in stages, provided that vehicular access, facilities, and infrastructure are constructed to adequately service the dwelling units or as needed for public health and safety in each stage of development and further provided that such phase of development conforms substantially with the intent and purpose of this project's Phasing Program.



I. Comprehensive Maintenance Plan

Successful operation of maintenance districts and associations are important in maintaining quality in a master planned community such as CITRUS HEIGHTS. It is anticipated that the County of Riverside through the Transportation Department, or functional equivalent, are responsible for maintaining public roadways and associated landscaped parkways. Other common community facilities may be divided among a Master Homeowners' Association, Neighborhood Associations, a County Service Area (CSA), Community Service District (CSD), Landscape Maintenance District (LMD) and/or similar maintenance mechanisms. Maintenance responsibilities shall be identified at the tentative map stage of project design review and in concert with appropriate agencies. See Table II-3, *Maintenance Plan*, for a summary of maintenance responsibilities.

Table II-3 Maintenance Plan

	HOMEOWNERS OR NEIGHBORHOOD ASSOCIATION	CSA, PUBLIC, OR QUASI-PUBLIC AGENCY	RIVERSIDE COUNTY	OTHER SERVICE ENTITY
Common Open Space (Including common area slopes)	✓			
Natural Open Space	✓	✓		
Parks	✓			
Landscape Parkway –Within Public ROW		✓	✓	
Landscape Parkway – Outside Public ROW	✓			
Monumentation and Hardscape Elements	✓			
Public Sewer/Water				✓
Sidewalks and Hardscape		✓	✓	
Storm Drains/Drainage – Within Public ROW			✓	
Storm Drains/Drainage – Outside Public ROW	✓			
Detention Basins	✓	✓		✓
Sidewalks and Trails – Within Public ROW		✓	✓*	
Sidewalks and Trails – Outside Public ROW	✓			
Street Lighting		✓	✓	
Street Sweeping		✓		
Streets (Public)			✓	
Streets (Private)	✓			
Fuel Modification Areas				

*Includes maintenance activities that are performed through a LMD, or functional equivalent.



a. Master Homeowners' Association

A Master Homeowners' Association shall be formed to maintain parkway and slope areas outside of the public right-of-way, as well as open space not directly associated with a particular neighborhood. Common areas identified in the Specific Plan may be owned and maintained by a permanent public or private master maintenance organization, to assume ownership and maintenance responsibility for all open space, park sites, private circulation systems, and landscape areas. Areas of responsibility may include open space, project signage, private recreation facilities, storm drains and drainage structures, and landscape areas located along the project roadways.

b. Open Space

Any open space not directly associated with a particular neighborhood will be the responsibility of a public/quasi-public agency or the Homeowners' Association for maintenance.

c. Project Roadways

All public project roadways will be designed and constructed to standards acceptable to the County. All public roadways will be entered into the Riverside County system of roads for operation and maintenance as approved by the Board of Supervisors.

d. Stormwater Drainage Facilities

Stormwater drainage facilities will be maintained by a variety of maintenance entities. The Riverside County Flood Control and Water Conservation District shall maintain the stormwater detention facilities in Planning Areas 13A, 13B, and 13C, for flood control purposes; however, the landscaping within these areas shall be maintained by the entity that is responsible for maintenance of common open space areas. Stormwater conveyance facilities within on-site public streets shall be maintained by the Riverside County Transportation Department, while stormwater conveyance facilities within on-site private streets shall be maintained by the Homeowners' Association. Stormwater drainage facilities located within parks shall be maintained by the entity that is responsible for maintaining the respective park.



III. PLANNING AREA DEVELOPMENT STANDARDS

Planning Areas within the CITRUS HEIGHTS Specific Plan were formed on the basis of logical separate units of development. Criteria considered in this process included an assessment of the constraints within the Specific Plan boundaries, including the topography of the subject property and the natural drainage courses that traverse the Specific Plan area. In addition, the community's relationship to off-site residential, agricultural, and vacant land uses, as well as circulation facilities, influenced the distribution of land uses within the CITRUS HEIGHTS community; where feasible, open space areas were provided as a buffer around the community's perimeter. As such, specific planning standards have been established for each individual planning area to ensure that development of individual neighborhoods is consistent with and enhances the quality and development concept for the overall CITRUS HEIGHTS community, and ensure that development of the Citrus Heights community respects surrounding off-site land uses.

The Planning Area graphics presented in this section (Figure III-1 through Figure III-4) were derived from the *Specific Land Use Plan* for the CITRUS HEIGHTS community (Figure II-1). This section addresses planning standards for each planning area, such as, but not limited to, minimum lot sizes, acceptable housing product types, and primary and secondary vehicular access points. The planning standards for each planning area also provide references to relevant graphics, including graphics that depict desired architecture and landscaping elements contained throughout this Specific Plan.

A Specific Plan Zoning Ordinance has been prepared and is contained in Section V, *Specific Plan Zoning Ordinance*, of this Specific Plan document. The zoning provisions within that ordinance formally establish use restrictions and development standards for each Planning Area. The zoning provisions should be used in conjunction with the planning standards for each respective Planning Area. A summary of the land uses, densities, and lot sizes provided for each Planning Area within the CITRUS HEIGHTS Specific Plan is summarized in Table II-1, *Detailed Land Use Summary*.



A. Planning Area 1: Medium Density Residential

1. DESCRIPTION

As shown on Figure III-1, Planning Area 1 provides for the development of 39.2 acres with up to 112 homes at a target density of 2.9 dwelling units per acre (du/ac). Planning Area 1 consists of traditional, detached single-family homes on minimum 8,000 square-foot lots (average 10,900 square-foot lots). Homes within Planning Area 1 may be one-story (with or without lofts) or two stories in height, and each home includes a minimum two-car garage.

Vehicular access to Planning Area 1 is provided from Street "A" via local roads. Pedestrian access is provided via sidewalks and trails adjacent to Streets "A" and "C." Planning Area 1 is also connected to the off-site regional trail via the Primary Trail segment adjacent to Street "A." The residential neighborhoods within Planning Area 1 are within close walking distance to the neighborhood parks within Planning Areas 4, 5, and 7.

Standards relating to architecture and landscaping within Planning Area 1 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
2. Roadway landscape treatments, as shown on Figure IV-11, *Collector Road Streetscape – McAllister Street*, shall be provided along McAllister Street.
3. Roadway landscape treatments, as shown on Figure IV-12, *Primary Entry Road Streetscape – Street "A"*, shall be provided along Street "A."
4. Roadway landscape treatments, as shown on Figure IV-16, *Local Road Streetscape*, shall be provided along local roads.
5. A Primary Entry Monument, as conceptually depicted on Figures IV-5A and IV-5B, *Primary Entry Monumentation - Elevation*, and Figure IV-6, *Primary Entry Monumentation – Plan View*, shall be provided at the intersection of Street "A" and Fairway Drive, as shown on Figure III-1.
6. A Theme Intersection, as conceptually depicted on Figure IV-9, *Theme Intersection – Elevation*, and Figure IV-10, *Theme Intersection – Plan View*, shall be provided at the intersection of Street "A" and Street "C," as shown on Figure III-1.
7. A Trail Crossing, as conceptually depicted on Figure IV-28, *Conceptual Trail Crossing Plan*, shall be provided at the intersections of Street "A" with Fairway Drive and Street "C," as shown on Figure IV-4. In addition, a Trail Crossing shall be provided at the intersection of Street "A" and the off-site regional multi-purpose trail, as shown on Figure IV-4.



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8. A landscaped transition shall be provided along the portion of Planning Area 1 that abuts McAllister Street, as shown in Figure IV-29, *Interface Condition: McAllister Street/Residential*.
9. A landscaped transition, as conceptually depicted on Figure IV-34, *Interface Condition: Residential/Slope/Off-Site Residential*, shall be provided at the locations shown on Figure III-1.
10. A landscaped transition, as conceptually depicted on Figure IV-30, *Interface Condition: Residential/Slope/Open Space*, shall be provided at the locations shown on Figure III-1.
11. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
12. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
13. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
14. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 - II.A: Specific Land Use Plan
 - II.B: Circulation Plan
 - II.C: Master Drainage Plan
 - II.D: Master Water and Sewer Plans
 - II.E: Landscaping Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Phasing Plan
 - II.I: Comprehensive Maintenance Plan

III. Planning Area Development Standards

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LAND USE SUMMARY			
LAND USE	ACRES	TARGET DUs	TARGET DENSITY
RESIDENTIAL			
PA. 1 - Medium Density Residential	39.2	112	2.9
- Residential Subtotals			
39.2	112	2.9	
NON-RESIDENTIAL			
PA. 4 - Open Space - Recreation (Park)	0.6	---	---
PA. 5 - Open Space - Recreation (Park)	0.7	---	---
PA. 7 - Open Space - Recreation (Park)	1.8	---	---
PA. 13A - Open Space - Water (Detention Basin)	1.1	---	---
PA. 13B - Open Space - Water (Detention Basin)	0.6	---	---
PA. 13C - Open Space - Water (Detention Basin)	1.6	---	---
- Non-Residential Subtotals			
6.4	---	---	---
PLANNING AREA TOTALS			
45.6	112	2.5	

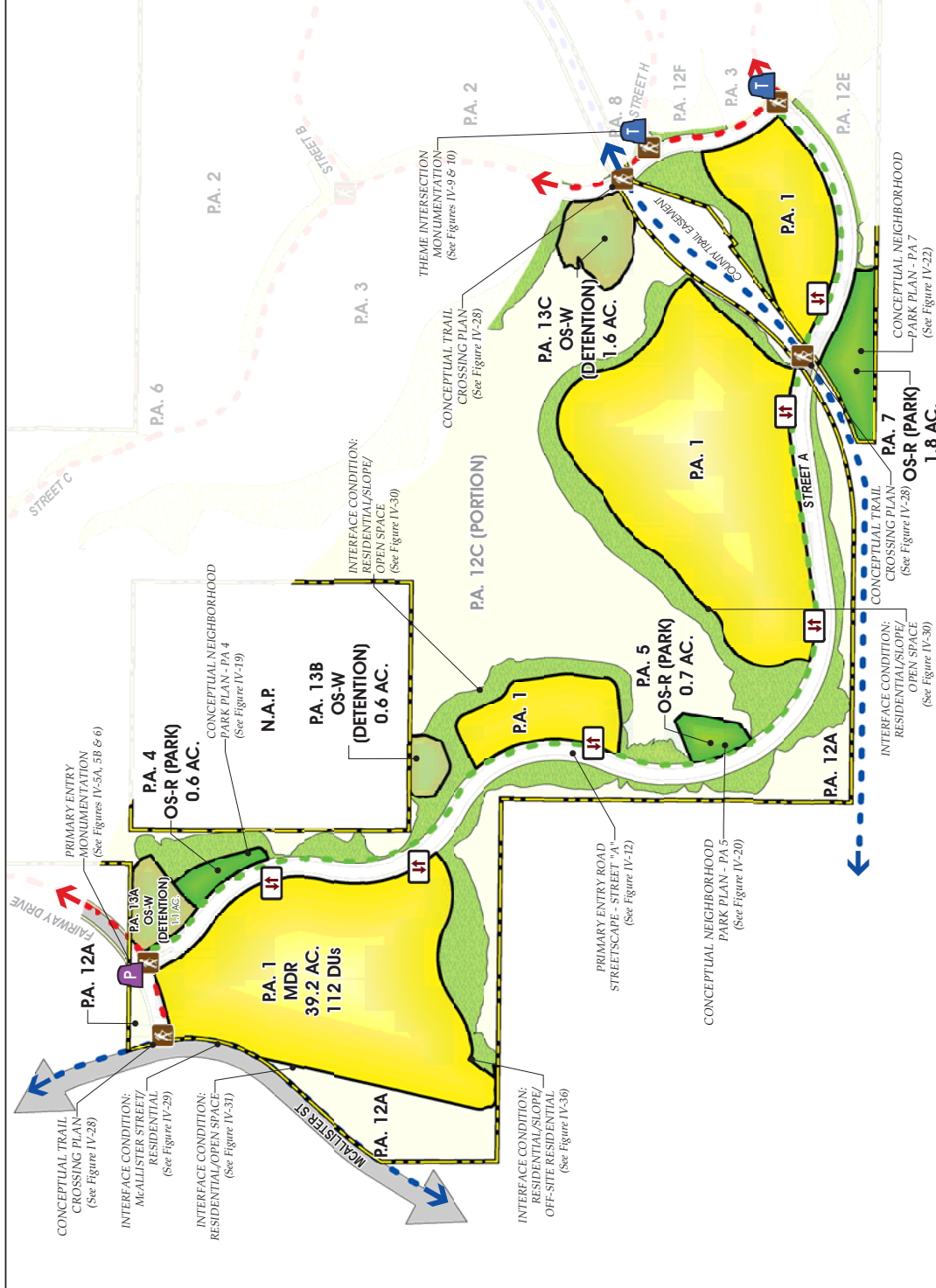


Figure III-1
PLANNING AREAS 1, 4, 5, 7, 13A, 13B AND 13C





B. Planning Area 2: Medium Density Residential

1. DESCRIPTION

As shown on Figure III-2, Planning Area 2 provides for the development of 50.2 acres with up to 125 homes at a target density of 2.5 dwelling units per acre (du/ac). Planning Area 2 consists of traditional, detached single-family homes on minimum 10,000 square-foot lots (average 14,350 square-foot lots). Homes within Planning Area 2 may be one-story (with or without lofts) or two stories in height, and each home includes a minimum two-car garage.

Vehicular access to Planning Area 2 is provided from Street “B” via local roads. Pedestrian access is provided via sidewalks and trails adjacent to Street “B.” The residential neighborhoods within Planning Area 2 are within close walking distance to the neighborhood parks in Planning Areas 6, 8, 9, and 11.

Standards relating to architecture and landscaping within Planning Area 2 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.__. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
2. Roadway landscape treatments, as shown on Figure IV-14, *Loop Road Streetscape – Streets “B” and “C,”* shall be provided along Street “B.”
3. Roadway landscape treatments, as shown on Figure IV-16, *Local Road Streetscape*, shall be provided along local roads.
4. A Theme Intersection, as conceptually depicted on Figure IV-9, *Theme Intersection – Elevation*, and Figure IV-10, *Theme Intersection – Plan View*, shall be provided at the intersection of Street “B” and Street “C,” as shown on Figure III-2.
5. A Trail Crossing, as conceptually depicted on Figure IV-28, *Conceptual Trail Crossing Plan*, shall be provided at the intersection of Street “B” and Street “C,” as shown on Figure IV-4.
6. A landscaped transition, as conceptually illustrated on Figure IV-32, *Interface Condition: Residential/Park*, shall be provided between the residential land uses in Planning Area 2 and the neighborhood parks in Planning Areas 6 and 9.
7. A landscaped transition, as conceptually illustrated on Figure IV-35, *Interface Condition: Residential/Slope/Off-Site Open Space*, shall be provided at the locations shown on Figure III-2.
8. A landscaped transition, as conceptually illustrated on Figure IV-36, *Interface Condition: Residential/Off-Site Residential (North)*, shall be provided at the locations shown on Figure III-2.
9. A landscaped transition, as conceptually illustrated on Figure IV-37, *Interface Condition: Residential/Off-Site Residential (East)*, shall be provided at the locations shown on Figure III-2.



III. Development Standards

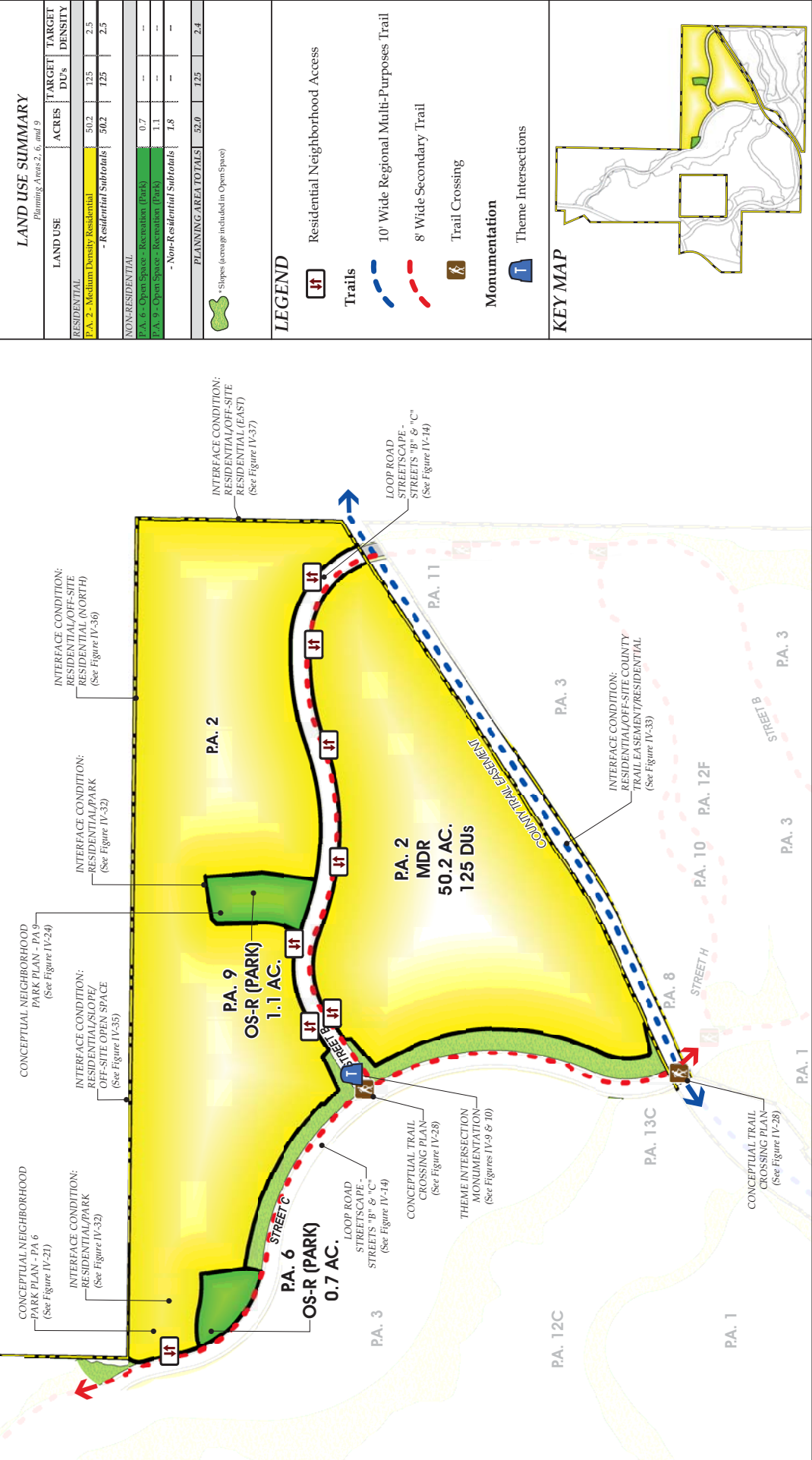
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10. A landscaped transition, as conceptually illustrated on Figure IV-33, *Interface Condition: Residential/Off-Site County Trail Easement/Residential*, shall be provided between the residential land uses in Planning Area 2 and the off-site regional trail.
11. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
12. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
13. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
14. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 - II.A: Specific Land Use Plan
 - II.B: Circulation Plan
 - II.C: Master Drainage Plan
 - II.D: Master Water and Sewer Plans
 - II.E: Landscaping Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Phasing Plan
 - II.I: Comprehensive Maintenance Plan



III. Planning Area Development Standards

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LAND USE SUMMARY

LAND USE	ACRES	TARGET DU'S	TARGET DENSITY
RESIDENTIAL			
PA. 2 - Medium Density Residential	50.2	125	2.5
- Residential Subtotals	50.2	125	2.5
NON-RESIDENTIAL			
PA. 6 - Open Space - Recreation (Park)	0.7	--	--
PA. 9 - Open Space - Recreation (Park)	1.1	--	--
- Non-Residential Subtotals	1.8	--	--
PLANNING AREA TOTALS	52.0	125	2.4

*Slashes (average included in Open Space)

LEGEND

- Residential Neighborhood Access
- Trails**
- 10' Wide Regional Multi-Purposes Trail
- 8' Wide Secondary Trail
- Trail Crossing
- Monumentation**
- Theme Intersections

KEY MAP

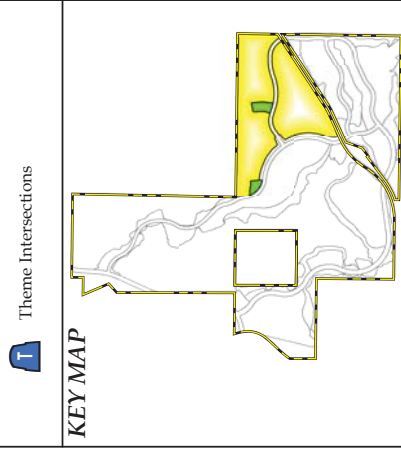


Figure III-2
PLANNING AREAS 2, 6 AND 9



C. Planning Area 3: Medium Density Residential

1. DESCRIPTION

As shown on Figure III-3, Planning Area 3 provides for the development of 45.1 acres with up to 106 homes at a target density of 2.4 dwelling units per acre (du/ac). Planning Area 3 consists of traditional, detached single-family homes on minimum 12,000 square-foot lots (average 15,170 square-foot lots). Homes within Planning Area 3 may be one-story (with or without lofts) or two stories in height, and each home includes a minimum two-car garage.

Vehicular access to Planning Area 3 is provided from Streets "B," "C," and "H." Access to Planning Area 3 is also provided via local roads. Pedestrian access to Planning Area 3 is provided via sidewalks and trails adjacent to Streets "B," "C," and "H." Planning Area 3 is also connected to the off-site regional trail via the primary trail segment adjacent to Streets "B" and "C." The residential neighborhoods in Planning Area 3 are within close walking distance to the neighborhood parks in Planning Areas 6, 8, 10, and 11.

Standards relating to architecture and landscaping within Planning Area 3 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.__. (See Specific Plan Zone Ordinance Tab.)

3. PLANNING STANDARDS

1. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
2. Roadway landscape treatments, as shown on Figure IV-14, *Loop Road Streetscape – Streets "B" and "C,"* shall be provided along Streets "B" and "C."
3. Roadway landscape treatments, as shown on Figure IV-15, *Local Road Streetscape – Street "H,"* shall be provided along Street "H."
4. Roadway landscape treatments, as shown on Figure IV-16, *Local Road Streetscape,* shall be provided along local roads.
5. A Theme Intersection, as conceptually depicted on Figure IV-9, *Theme Intersection – Elevation,* and Figure IV-10, *Theme Intersection – Plan View,* shall be provided at the intersection of Street "B" and Street "C" and at the intersection of Street "C" and Street "H," as shown on Figure III-3.
6. A Trail Crossing, as conceptually depicted on Figure IV-28, *Conceptual Trail Crossing Plan,* shall be provided at the intersections of Street "C" with Street "A" and Street "H," as shown on Figure IV-4. In addition, a Trail Crossing shall be provided at Street "B" adjacent to the eastern boundary of Planning Area 3, as shown on Figure IV-4.
7. A landscaped transition, as conceptually illustrated on Figure IV-32, *Interface Condition: Residential/Park,* shall be provided between the residential land uses in Planning Area 3 and the neighborhood parks in Planning Areas 8 and 11.



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8. A landscaped transition, as conceptually depicted on Figure IV-34, *Interface Condition: Residential/Slope/Off-Site Residential*, shall be provided at the locations shown on Figure III-3.
9. A landscaped transition, as conceptually depicted on Figure IV-30, *Interface Condition: Residential/Slope/Open Space*, shall be provided at the locations shown on Figure III-3.
10. A landscaped transition, as conceptually depicted on Figure IV-35, *Interface Condition: Residential/Slope/Off-Site Open Space*, shall be provided at the locations shown on Figure III-3.
11. A landscaped transition, as conceptually illustrated on Figure IV-33, *Interface Condition: Residential/Off-Site County Trail Easement/Residential*, shall be provided between the residential land uses in Planning Area 3 and the off-site regional trail.
12. A landscaped transition, as conceptually illustrated on Figure IV-31, *Interface Condition: Residential/Open Space*, shall be provided at the locations shown on Figure III-3.
13. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
14. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
15. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
16. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 - II.A: Specific Land Use Plan
 - II.B: Circulation Plan
 - II.C: Master Drainage Plan
 - II.D: Master Water and Sewer Plans
 - II.E: Landscaping Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Phasing Plan
 - II.I: Comprehensive Maintenance Plan



III. Planning Area Development Standards

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LAND USE SUMMARY
Planning Areas 3, 8, 10, and 11

LAND USE	ACRES	TARGET DU's	TARGET DENSITY
RESIDENTIAL			
PA 3 - Medium Density Residential	45.1	106	2.4
- Residential Subtotals	45.1	106	2.4
NON-RESIDENTIAL			
PA 8 - Open Space - Recreation (Park)	0.7	--	--
PA 10 - Open Space - Recreation (Park)	0.7	--	--
PA 11 - Open Space - Recreation (Park)	0.8	--	--
- Non-Residential Subtotals	2.2	--	--
PLANNING AREA TOTALS	47.3	106	2.2

** Slopes (average) included in Open Space*

LEGEND

- Residential Neighborhood Access
- Trails
- 10' Wide Regional Multi-Purposes Trail
- 8' Wide Secondary Trail
- Trail Crossing
- Monumentation
- Theme Intersections

KEY MAP

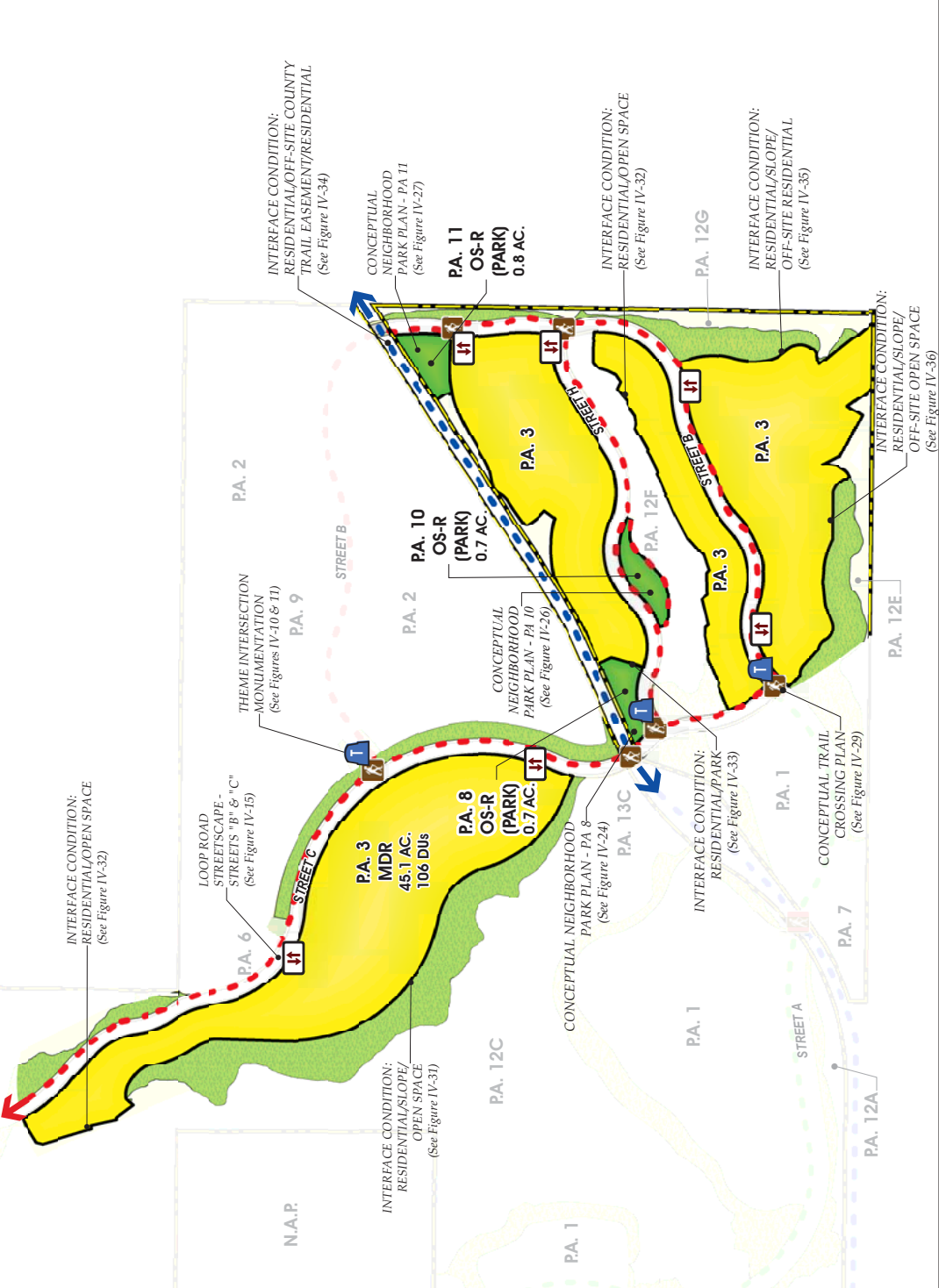


Figure III-3
PLANNING AREAS 3, 8, 10 AND 11





D. Planning Area 4: Neighborhood Park

1. DESCRIPTION

As shown on Figure III-1, a 0.6-acre neighborhood park is provided in Planning Area 4, located adjacent to residential neighborhoods in Planning Area 1, and is easily accessible from other neighborhoods via the community's trail and sidewalk system. Planning Area 4 features a combination of active recreational amenities, including an open turf play area, trails, and a picnic area with scenic overlook into the natural open space area.

Standards related to site design and landscaping of the neighborhood park in Planning Area 4 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. A site plan concept for Planning Area 4 is depicted on Figure IV-19, *Conceptual Neighborhood Park Plan – PA 4*.
2. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
3. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
4. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
5. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
6. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:

- II.A: Specific Land Use Plan
- II.B: Circulation Plan
- II.C: Master Drainage Plan
- II.D: Master Water and Sewer Plans
- II.E: Landscaping Plan
- II.F: Open Space and Recreation Plan
- II.G: Grading Plan
- II.H: Phasing Plan
- II.I: Comprehensive Maintenance Plan



E. Planning Area 5: Neighborhood Park

1. DESCRIPTION

A 0.7-acre neighborhood park is provided in Planning Area 5, as shown on Figure III-1, located in close walking distance to the residential neighborhoods in Planning Area 1, and is easily accessible from other neighborhoods via the community's trail and sidewalk system. Recreational amenities provided in Planning Area 5 include an open turf play area, trails, and a picnic area with scenic overlook of the natural open space area.

Standards related to site design and landscaping of the neighborhood park in Planning Area 5 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. A site plan concept for Planning Area 5 is depicted on Figure IV-20, *Conceptual Neighborhood Park Plan – PA 5*.
2. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
3. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
4. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
5. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
6. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:

- II.A: Specific Land Use Plan
- II.B: Circulation Plan
- II.C: Master Drainage Plan
- II.D: Master Water and Sewer Plans
- II.E: Landscaping Plan
- II.F: Open Space and Recreation Plan
- II.G: Grading Plan
- II.H: Phasing Plan
- II.I: Comprehensive Maintenance Plan



F. Planning Area 6: Neighborhood Park

1. DESCRIPTION

As shown on Figure III-2, a 0.7-acre neighborhood park is provided in Planning Area 6 located adjacent to residential neighborhoods in Planning Areas 2 and 3, and is easily accessible from other neighborhoods via the community's trail and sidewalk system. Planning Area 6 features a combination of active recreational amenities, including an open turf play area, trails, and a picnic grove.

Standards related to site design and landscaping of the neighborhood park in Planning Area 6 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. A site plan concept for Planning Area 6 is conceptually depicted on Figure IV-21, *Conceptual Neighborhood Park Plan – PA 6*.
2. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
3. A landscaped transition, as conceptually illustrated on Figure IV-32, *Interface Condition: Residential/Park*, shall be provided between the neighborhood park in Planning Area 6 and residential land uses in Planning Area 2.
4. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
5. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
6. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
7. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 - II.A: Specific Land Use Plan
 - II.B: Circulation Plan
 - II.C: Master Drainage Plan
 - II.D: Master Water and Sewer Plans
 - II.E: Landscaping Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Phasing Plan
 - II.I: Comprehensive Maintenance Plan



G. Planning Area 7: Neighborhood Park

1. DESCRIPTION

A 1.8-acre neighborhood park is provided in Planning Area 7, as shown on Figure III-1, in close walking distance to the residential neighborhoods in Planning Area 1, and is easily accessible from other neighborhoods via the community's trail and sidewalk system. Recreational amenities provided in Planning Area 7 include a shaded tot lot, open turf play area, trails, and a picnic area.

Standards related to site design and landscaping of the neighborhood park in Planning Area 7 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. A site plan concept for Planning Area 7 is conceptually depicted on Figure IV-22, *Conceptual Neighborhood Park Plan – PA 7*.
2. The tot lot in Planning Area 7 shall be shaded via landscaping or man-made structures (such as fabric shade canopies).
3. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
4. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
5. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
6. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
7. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 - II.A: Specific Land Use Plan
 - II.B: Circulation Plan
 - II.C: Master Drainage Plan
 - II.D: Master Water and Sewer Plans
 - II.E: Landscaping Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Phasing Plan
 - II.I: Comprehensive Maintenance Plan



H. Planning Area 8: Neighborhood Park

1. DESCRIPTION

As shown on Figure III-3, a 0.7-acre neighborhood park is provided in Planning Area 8, located adjacent to residential neighborhoods in Planning Areas 2 and 3, and is easily accessible from other neighborhoods via the community's trail and sidewalk system. Planning Area 8 features a combination of active recreational amenities, including an open turf play area, trails, and a picnic area.

Standards related to site design and landscaping of the neighborhood park in Planning Area 8 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.__. (See Specific Plan Zone Ordinance Tab.)

3. PLANNING STANDARDS

1. A site plan concept for Planning Area 8 is depicted on Figure IV-23, *Conceptual Neighborhood Park Plan – PA 8*.
2. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
3. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
4. A landscaped transition, as conceptually illustrated on Figure IV-32, *Interface Condition: Residential/Park*, shall be provided between the neighborhood park in Planning Area 8 and residential land uses in Planning Area 3.
5. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
6. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
7. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 - II.A: Specific Land Use Plan
 - II.B: Circulation Plan
 - II.C: Master Drainage Plan
 - II.D: Master Water and Sewer Plans
 - II.E: Landscaping Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Phasing Plan
 - II.I: Comprehensive Maintenance Plan



I. Planning Area 9: Neighborhood Park

1. DESCRIPTION

A 1.1-acre neighborhood park is provided in Planning Area 9, as shown on Figure III-2 is located in close walking distance to the residential neighborhoods in Planning Area 2, and is easily accessible from other neighborhoods via the community's trail and sidewalk system. Recreational amenities provided in Planning Area 9 include a shaded tot lot, an open turf area for informal play and picnic area.

Standards related to site design and landscaping of the neighborhood park in Planning Area 9 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. A site plan concept for Planning Area 9 is depicted on Figure IV-24, *Conceptual Neighborhood Park Plan – PA 9*.
2. The tot lot in Planning Area 9 shall be shaded via landscaping or man-made structures (such as fabric shade canopies).
3. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
4. A landscaped transition, as conceptually illustrated on Figure IV-32, *Interface Condition: Residential/Park*, shall be provided between the neighborhood park in Planning Area 9 and residential land uses in Planning Area 2.
5. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
6. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
7. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
8. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 - II.A: Specific Land Use Plan
 - II.B: Circulation Plan
 - II.C: Master Drainage Plan
 - II.D: Master Water and Sewer Plans
 - II.E: Landscaping Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Phasing Plan
 - II.I: Comprehensive Maintenance Plan



J. Planning Area 10: Neighborhood Park

1. DESCRIPTION

As shown on Figure III-3, a 0.7-acre neighborhood park is provided in Planning Area 10, is conveniently located adjacent to residential neighborhoods in Planning Area 3, and is easily accessible from other neighborhoods via the community's trail and sidewalk system. Planning Area 3 features a combination of active recreational amenities, including an open turf play area, trails, a picnic area with scenic overlook, and shaded seating areas overlooking natural open space.

Standards related to site design and landscaping of the neighborhood park in Planning Area 10 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. A site plan concept for Planning Area 10 is depicted on Figure IV-25, *Conceptual Neighborhood Park Plan – PA 10*.
2. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
3. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
4. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
5. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
6. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:

- II.A: Specific Land Use Plan
- II.B: Circulation Plan
- II.C: Master Drainage Plan
- II.D: Master Water and Sewer Plans
- II.E: Landscaping Plan
- II.F: Open Space and Recreation Plan
- II.G: Grading Plan
- II.H: Phasing Plan
- II.I: Comprehensive Maintenance Plan



K. Planning Area 11: Neighborhood Park

1. DESCRIPTION

A 0.8-acre neighborhood park is provided in Planning Area 11, as shown on Figure III-3, is located in close walking distance to the residential neighborhoods in Planning Areas 2 and 3, and is easily accessible from other neighborhoods via the community's trail and sidewalk system. Recreational amenities provided in Planning Area 11 include an open turf play area and a picnic area.

Standards related to site design and landscaping of the neighborhood park in Planning Area 11 are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. A site plan concept for Planning Area 11 is depicted on Figure IV-26, *Conceptual Neighborhood Park Plan – PA 11*.
2. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
3. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
4. A landscaped transition, as conceptually illustrated on Figure IV-32, *Interface Condition: Residential/Park*, shall be provided between the neighborhood park in Planning Area 11 and residential land uses in Planning Area 3.
5. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
6. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
7. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:
 - II.A: Specific Land Use Plan
 - II.B: Circulation Plan
 - II.C: Master Drainage Plan
 - II.D: Master Water and Sewer Plans
 - II.E: Landscaping Plan
 - II.F: Open Space and Recreation Plan
 - II.G: Grading Plan
 - II.H: Phasing Plan
 - II.I: Comprehensive Maintenance Plan



L. Planning Areas 12A-12G: Open Space

1. DESCRIPTION

A total of 162.8 acres of the community are reserved for a combination of natural open space and revegetated manufactured slopes in Planning Areas 12A through 12G (see Figure III-4). Open space areas are provided along the community boundary to provide a visual buffer with off-site land uses, and are also provided in the central and northern portions of the community to preserve the existing rolling terrain, natural drainage channels, and natural habitat. Manufactured slopes will be graded to respect the natural terrain of the subject property and revegetated with native and naturalized landscaping to soften the view of the slope areas for community residents and passersby.

Additional standards related to landscaping of Planning Areas 12A through 12G are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
2. A landscaped transition, as conceptually depicted on Figure IV-30, *Interface Condition: Residential/Slope/Open Space*, shall be provided at the locations shown on Figure III-4.
3. A landscaped transition, as conceptually illustrated on Figure IV-32, *Interface Condition: Residential/Open Space*, shall be provided shall be provided at the locations shown on Figure III-4.
4. Trails and sidewalks within CITRUS HEIGHTS shall be constructed as delineated on Figure II-4, *Conceptual Non-Vehicular Circulation Plan*.
5. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
6. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
7. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:

- II.A: Specific Land Use Plan
- II.B: Circulation Plan
- II.C: Master Drainage Plan
- II.D: Master Water and Sewer Plans
- II.E: Landscaping Plan
- II.F: Open Space and Recreation Plan
- II.G: Grading Plan
- II.H: Phasing Plan
- II.I: Comprehensive Maintenance Plan



III. Planning Area Development Standards
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LAND USE SUMMARY			
LAND USE	ACRES	TARGET DUS	TARGET DENSITY
NON-RESIDENTIAL			
P.A. 12A - Open Space - Recreation (Open Space)	14.0	---	---
P.A. 12B - Open Space - Recreation (Open Space)	4.3	---	---
P.A. 12C - Open Space - Recreation (Open Space)	87.6	---	---
P.A. 12D - Open Space - Recreation (Open Space)	40.8	---	---
P.A. 12E - Open Space - Recreation (Open Space)	5.6	---	---
P.A. 12F - Open Space - Recreation (Open Space)	6.3	---	---
P.A. 12G - Open Space - Recreation (Open Space)	4.2	---	---
- Non-Residential Subtotals 162.8			
PLANNING AREA TOTALS		162.8	---

* Steps (average) included in Open Space



LEGEND

- Trails**
 - 10' Wide Regional Multi-Purpose Trail
 - 8' Wide Primary Trail
 - 8' Wide Secondary Trail
 - Trail Crossing
- Monumentation**
 - Primary Entry
 - Secondary Entry
 - Theme Intersections

KEY MAP

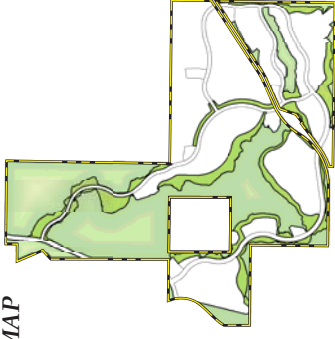


Figure III-4
 PLANNING AREAS 12A-12G
 Page III-20



M. Planning Areas 13A-13C: Detention Basins

1. DESCRIPTION

As shown on Figure III-1, this Specific Plan provides for the development of detention basins in Planning Areas 13A (1.1-acre), 13B (0.6-acre), and 13C (1.6-acre). Stormwater flows generated from within the community are conveyed to Planning Areas 13A through 13C via the community's storm drain system and are temporarily detained during peak storm events before being discharged into natural drainage courses on-site. The detention basins also are designed to improve the quality of stormwater runoff leaving the community by providing design features to allow for the removal of trash, sediment and other water-borne pollutants. Landscaping is provided along the perimeter of Planning Areas 13A through 13C to visually buffer the detention basins from residential neighborhoods within CITRUS HEIGHTS.

Planning Areas 13A through 13C will not be accessible to community residents; therefore, no vehicular or pedestrian access is provided to this area. Maintenance roads provide access to Planning Areas 13A through 13C for routine maintenance activities.

Additional standards related to landscaping of Planning Areas 13A through 13C are provided below.

2. LAND USE AND DEVELOPMENT STANDARDS

Please refer to Ordinance No. 348.____. (See Specific Plan Zoning Ordinance Tab.)

3. PLANNING STANDARDS

1. Landscaping shall occur as depicted on Figure IV-4, *Conceptual Landscape Plan*.
2. Walls and fencing within CITRUS HEIGHTS shall be constructed as delineated on Figure IV-17, *Conceptual Wall and Fence Plan*, and Figure IV-18, *Conceptual Wall and Fence Details*.
3. Please refer to Section IV, *Design Guidelines*, for other applicable design criteria.
4. Please refer to Section II, *Specific Plan*, for the following standards that apply community-wide:

- II.A: Specific Land Use Plan
- II.B: Circulation Plan
- II.C: Master Drainage Plan
- II.D: Master Water and Sewer Plans
- II.E: Landscaping Plan
- II.F: Open Space and Recreation Plan
- II.G: Grading Plan
- II.H: Phasing Plan
- II.I: Comprehensive Maintenance Plan