

**Specific Plan No.183
(Amended)**

Rancho Nuevo

Riverside County Planning Department

August 1988

DRAFT

SPECIFIC PLAN NO. 183
(Amended)

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August 1988

SPECIFIC PLAN NO. 183

RANCHO NUEVO

TABLE OF CONTENTS

	<u>Page</u>
I. INTRODUCTION AND SUMMARY.....	1
A. Purpose and Scope.....	1
B. Specific Plan Amendment Rationale.....	2
C. Specific Plan Summary.....	3
D. Summary of Environmental Conditions.....	3
II. PROJECT DESCRIPTION.....	11
A. Project Location.....	11
B. Physical Setting.....	11
C. Project Description.....	11
D. Project Objectives.....	14
III. SPECIFIC PLAN COMPONENTS AND STANDARDS.....	15
A. Land Use Development Plan.....	15
1. Description/Approach.....	15
2. Residential.....	16
3. Commercial.....	16
4. Recreation.....	16
5. Open Space.....	16
6. Public Facilities.....	18
7. Roads.....	18
8. Development Standards.....	19
B. Specific Plan Components.....	22
1. Circulation Plan.....	22
a. Approach/Description.....	22
b. Development Standards.....	23
2. Drainage Plan.....	29
a. Approach/Description.....	29
b. Development Standards.....	29
3. Water and Sewer Plan.....	31
a. Approach/Description.....	31
c. Development Standards.....	33
4. Public Facility Sites Phasing Plan.....	33

Table of Contents
(Continued)

	<u>Page</u>
5. Grading Plan.....	34
a. Approach/Description.....	34
b. Development Standards.....	34
6. Landscape Plan.....	37
a. Approach/Description.....	37
b. Development Standards.....	40
7. Phasing Plan.....	40
a. Approach/Description.....	40
b. Development Standards.....	42
C. Zoning Regulations.....	43
D. Planning Area Development Standards.....	44
1. Planning Area 1.....	44
2. Planning Area 2.....	46
3. Planning Area 3.....	47
4. Planning Areas 4 and 6.....	51
5. Planning Area 5.....	53
6. Planning Area 7.....	53
IV. DESIGN GUIDELINES.....	56
A. Purpose and Intent.....	56
B. General Guidelines.....	56
C. Community Elements.....	57
D. Architectural Guidelines.....	66
E. Landscape Guidelines.....	72

LIST OF EXHIBITS

<u>Exhibit</u>		<u>Page</u>
1	Regional Map.....	12
2	Aerial Photograph.....	13
3	Land Use Development Plan.....	17
4	Circulation Plan.....	24
5	Roadway Sections.....	25
5A	Ramona Expressway Typical Section.....	27
6	Conceptual Drainage Plan.....	30
7	Conceptual Water/Sewer Plan.....	32
8	Landscape Concept Plan.....	38
9	Conceptual Phasing Plan.....	41
10	Planning Area 1.....	45
11	Planning Area 2.....	48
12	Planning Area 3.....	50
13	Planning Areas 4 & 6.....	52
14	Planning Area 5.....	54
15	Planning Area 7.....	55
16	Neighborhood Entry.....	75
17	Roadway Landscape Treatment ("B" Street).....	76
18	Roadway Landscape Treatment (9th Avenue).....	77
19	Roadway Landscape Treatment (Interior Residential Collector).....	78
20	Landscape Buffer (Commercial @ "B" Street)...	79
21	Roadway Landscape Treatment (Ramona Expressway).....	80

I. INTRODUCTION AND SUMMARY

A. Purpose and Scope

The Draft Specific Plan has been prepared in response to the requirements established by the County of Riverside. This document proposes an amendment to Specific Plan No. 183 which was previously approved by the County of Riverside in 1985.

Article XVIIa of Riverside County Ordinance No. 348 (Zone Code) was recently adopted by the Board of Supervisors which created a Specific Plan Zone. By adopting that zoning classification, the County recognized the need to encourage specific plans of land use for the development of larger property holdings. Although specific plans were permitted prior to the adoption of the zoning ordinance amendment, specific development regulations and land use criteria applied to development projects were those established by existing zoning district regulations. That is, once the (specific plan) land use designation was approved, a County zoning classification was also determined, based on the type of development proposed. Thus, development proposed within each land use category was subject to the specific development regulations and criteria established for the zoning district applied to that specific land use.

With the adoption of the SP Zone (i.e., Article XVIIa) by the County, the Board determined the need to provide a zoning classification tailored to specific plans of land use, requiring implementing development to comply with design standards contained in the adopted specific plan text. In this way, land use allocations assigned to property through the specific plan process could permit the determination of definitive development standards based on the prevailing environmental and other relevant planning criteria rather than traditional zoning development standards. Specifically, controls relating to land use, density, lot size and shape, siting of buildings, setbacks, circulation, drainage, landscape, architecture, public facilities and service, grading, open space and recreation, and other elements deemed necessary for the property development could be established to create the desired character.

As previously indicated, Rancho Nuevo (SP No. 183) was approved prior to the adoption of Article XVIIa. The County determined that amendments proposed for specific plans approved prior to the adoption of Article XVIIa would be required to revise the original specific plan to conform to the newly adopted specific plan requirements. For this reason, the Rancho Nuevo Specific Plan No. 183 has been revised. The specific project parameters and amendment now

proposed have been described in the summary which follows and the project description (i.e., Chapter II) and the specific plan text (i.e., Chapter III).

B. Specific Plan Amendment Rationale

The proposed amendment to Specific Plan 183 (Rancho Nuevo) reflects the changes which have occurred in the Lakeview-Nuevo Community since that plan was adopted by the Board of Supervisors in 1985. Specifically, the specific plan amendment addresses the issues and conditions which are described below.

Since approval of Specific Plan 183, the County of Riverside has undertaken a planning program to develop a community plan for the Lakeview-Nuevo Community. Residents in the Lakeview-Nuevo Community have been working with County staff to prepare a land use plan which meets the community goals and objectives for future development. These goals and objectives were developed through the lengthy planning process and are reflected in the land uses which have been established identified on the Lakeview-Nuevo Community Plan. That plan shows single family residential on the 248-acre Rancho Nuevo property. As a result, the proposed specific plan amendment reflects the single-family detached residential development rather than the mobile home subdivision previously approved. This change reflects the land use presently identified on the Community Plan for the subject property and is consistent with the general desire of the community regarding land use.

In addition, the community has also identified a need to have neighborhood and support commercial development within the community. The location of the site along the Ramona Expressway and (future) "B" Street makes the Rancho Nuevo Specific Plan ideally suited to accommodate neighborhood commercial development consistent with the needs of the community. The specific plan amendment proposes a 10-acre site at the southwest corner of the Ramona Expressway and "B" Street to serve not only the future residents of the development but also support the Lakeview-Nuevo Community

It is important to note that the development of the 10-acre commercial site is predicated on and made possible by significant flood control improvements which will be constructed prior to the development of that parcel. A benefit assessment district (i.e., San Jacinto River Improvement District 4-2) has been established for the purpose of financing improvements to the San Jacinto River. Once completed, these improvements will eliminate the present flood hazard which extends approximately to the 1424-foot elevation on the subject property. Construction of the channel improvements is expected to be completed by the end of 1989.

C. Specific Plan Summary

Rancho Nuevo is a 248-acre master planned community in the Lakeview-Nuevo sub-area of the Perris Valley. The San Jacinto River bisects the site with the Ramona Expressway providing the northern project boundary. When developed, Rancho Nuevo will provide 450 traditional, single-family detached residential dwelling units with private recreational areas to be provided within the planning areas. In addition to the single-family residential dwelling units, the project will include a neighborhood commercial center, recreational vehicle storage, a sewage treatment plant and natural open space.

The primary purpose for this Specific Plan Amendment is to provide traditional single-family detached dwelling units on 6,000 square foot lots (as opposed to a mobile home subdivision as originally approved by the County of Riverside). In addition, it will provide necessary neighborhood commercial uses to support the residential development in both the existing Lakeview-Nuevo Community and that previously approved for the subject property. The plan proposes 10 acres of neighborhood commercial land use at the southwesterly juncture of the Ramona Expressway and the San Jacinto River (west of "B" Street).

As indicated above, Specific Plan No. 183 (SP 183) will result in the creation of a single-family residential community with support commercial. In addition, the necessary infrastructure, including roads, sewer and water facilities, and open space and recreational land uses have also been included. Table 1 presents a statistical summary of the land uses previously approved and those now proposed by the amendment to SP 183.

D. Summary of Environmental Conditions

An Environmental Impact Report was prepared when Specific Plan No. 183 was prepared. That document was certified when the Specific Plan was approved in 1985. The County required an updated detailed traffic analysis to be prepared to address the changed conditions (i.e., addition of the 10-acre commercial site). The matrix which follows Table 1 presents a summary of the existing conditions, potential project-related environmental consequences of project implementation and the mitigation measures which were required to reduce the impacts to a level of non-significance.

Table 1
Statistical Summary

<u>Land Use</u>	<u>Planning Area</u>	<u>Acres</u>	<u>DUs</u>	<u>Density DU/Acre</u>	<u>Percent</u>
Medium Density	1	70.6	275	4.0	28.5
Medium High Density	2	42.2	225	5.3	17.0
Commercial	3	10.0			4.0
Open Space	4 & 6	93.0			37.5
Borrow Area		(39.3)			(15.8)
Natural Areas		(53.7)			(21.7)
RV Storage	5	3.5			1.4
Public Facilities	6 & 7	50.0			-- ²
Waste Treatment Plant	7	(13.9)			5.6
Disposal and Emer. Storage	6	(36.1) ¹			-- ²
Private Recreation	1 & 2	(10.0) ¹			-- ³
Internal Drainage		(13.5) ¹			-- ⁴
Major Roads		14.8			6.0
TOTALS		248.0	450 ⁵	1.8	100.0

¹ This figure has been accounted within another land use planning area (e.g., open space, residential, etc.).

² Percentage not calculated because the disposal and emergency storage acreage has been accounted for in open space calculations.

³ Percentage not calculated because the private recreational area has been accounted for in Planning Areas 1 and 2.

⁴ Percentage not calculated because the internal drainage area has been accounted for in Planning Area 1.

⁵ Dwelling unit maximums have been established for each residential planning area in order to allow for greater flexibility in site design. However, the total number of dwelling units permitted in both residential planning areas combined shall not exceed 450.

EXECUTIVE SUMMARY

Environmental Impact Report -- Rancho Nuevo

Existing Conditions	Potential Impacts	Mitigation Measures
<p>1. <u>Landform/Topography</u></p> <p>The property is void of significant topographic relief. The westerly portion of the site is within the flood plain of the San Jacinto River at the present time.</p>	<p>Landform alteration on the property will minor but it will be necessary to create building pads for homes and roadways. Without improvements to the San Jacinto River, development would be located in the 100-year flood plain creating more grading and landform alteration.</p>	<p>No mitigation measures will be required. Grading will be balanced on-site.</p> <p>If improvements are not made to the San Jacinto River, building pads must be elevated out of the flood plain.</p>
<p>2. <u>Geology/Seismicity/Soils/Agriculture</u></p> <p>The Site is located on the Perris Block. Casa Loma and San Jacinto Faults are the dominant seismic features in the area. Soils in the area are generally black silty clay on the surface and a clay zone underlain by a zone of interbedded silts and other materials. Only two soils on the site are classified as "prime" by the SCS, comprising only 20 acres of the 248.</p>	<p>Seismic shaking is anticipated from activity in the region. This will not be significant. Some soils may be subject to expansion. Development of Rancho Nuevo will result in the elimination of the existing agricultural and 20 acres of prime agricultural soils. However, it is not considered significant as agricultural is not presently occurring on the site.</p>	<p>A detailed geotechnical/soils foundation analysis will be required. Procedures will be implemented to mitigate the expansive soil conditions and that soils along the southerly boundary are not undermined by leakage from the MWD aqueduct. No mitigation are required for the loss of agricultural soils.</p>
<p>3. <u>Hydrology/Flooding/Drainage</u></p> <p>The westerly portion of the property up to the 1424 foot contour lies within the 100-year flood plain of the San Jacinto River. With the exception of a culvert under the Ramona Expressway, no flood control facilities exist in the area.</p>	<p>Without mitigation, the westerly portion of the property would be inundated by runoff from the 100-year storm flows.</p>	<p>Regional flood control improvements will be constructed from funds derived from the sale of bonds by the Flood Control District. Once improvements are completed the flood hazard will be removed from the site. In-tract facilities will</p>

Existing Conditions	Potential Impacts	Mitigation Measures
<p>3. Hydrology/Flooding/Drainage (Continued)</p> <p>However, an assessment district (4-2) has been established to construct the necessary regional flood control improvements for the San Jacinto River.</p>		<p>be designed to accommodate local drainage.</p>
<p>4. <u>Noise</u></p> <p>The major source of noise at the project site is vehicular traffic utilizing the Ramona Expressway. Noise from aircraft overflights originating at March Air Force Base does not approach the 65 CNEL level on the site.</p>	<p>Future noise levels on the site will increase as a result of increased traffic volumes. Noise along the Ramona Expressway will exceed 70 CNEL 100 feet from the roadway centerline. Noise levels along "B" Street and 9th Street will be between 60 and 65 CNEL 100 feet from their centerlines.</p>	<p>Appropriate mitigation, including the provision of mechanical dwelling ventilation, noise attenuation wall or berm or combination along the Ramona Expressway, and detailed acoustical analysis to determine specific design measures.</p>
<p>5. <u>Biology</u></p> <p>The subject property is presently fallow but includes alkaline scrub, the San Jacinto River riparian corridor and some fresh water ponds and marsh areas created by leaks from the MWD aqueduct to the south. The site is probably utilized by raptors, especially in the winter; however no rare or endangered species exist on the site.</p>	<p>Project implementation will result in the loss of most of the raptor foraging habitat on the site. Introduced landscaping will replace the existing vegetation. Waterfowl inhabiting the site in the marsh areas will relocate to the DFG property to the north.</p>	<p>Natural open space will be provided along the San Jacinto River. This area will have natural vegetation and will be enhanced with indigenous vegetation. The landscape concept plan will replace vegetation lost by development and will provide for greater diversity on-site.</p>

Existing Conditions

Potential Impacts

Mitigation Measures

6. Climate and Air Quality

The project area climate is mediterranean with warm, dry summers and mild winters. Air quality in the Perris Valley is monitored at the Perris station which generally exceed the State oxidant standard of 0.10 ppm/1 hour approximately 40 percent of the days during the year, usually during the summer months.

Short-term, construction related impacts will occur during each phase of the project. Long-term, mobile and stationary emissions will result after completion and occupancy. The most significant pollutant will be carbon monoxide, emitted by mobile sources and oxides of sulphur and nitrogen emitted by stationary sources.

Dust suppression measures will be implemented to reduce construction-related impacts. Mobile source emissions can be reduced by reducing the use of the auto. Bus turnouts will be provided and a trail will also be implemented. In addition, the commercial center will also reduce the number of vehicular trips.

7. Traffic and Circulation

The project site is vacant at the present time and does not generate traffic. Arterial roadways in the project vicinity are only partially improved (e.g., Ramona Expressway) and is incomplete. However, existing roadways in the vicinity are operating well within acceptable levels of service.

The proposed project will generate 11,960 trips per day, 1,090 of which will occur during the PM peak hour. With the extension of roadways (i.e., "B" Street and 9th Street), intersections will operate within acceptable levels of service in the future under future traffic conditions.

Project-related traffic will warrant the installation of a traffic signal at "B" Street and the Ramona Expressway. Access will be restricted along the Ramona Expressway and a 200-foot left turn pocket should be striped for turning movements into "B" Street. The Ramona Expressway will be improved to a 142-foot cross-section as reflected on the County's Master Plan. "B" Street and 9th Street will be fully improved as shown on the Circulation Plan of the Specific Plan. STOP signs shall be placed on site egress roadways to "B" Street and 9th Street.

Existing Conditions	Potential Impacts	Mitigation Measures
<p>8. <u>Sewer Facilities</u></p> <p>The site is within the service area of the Eastern Municipal Water District. No facilities are located in the immediate vicinity of the site. A regional treatment plan is located seven miles west of the property.</p>	<p>The project will generate approximately 150,000 gallons of raw sewage each day at ultimate buildout.</p>	<p>An on-site sewage treatment plan will be constructed on site. EMWD has indicated that 50 acres will be necessary to accommodate the facility which must be designed in accordance with EMWD requirements. Emergency storage will also be provided. Once constructed, EMWD will assume responsibility for maintenance and operation.</p>
<p>9. <u>Water Supply</u></p> <p>The project is in the service area of the Nuevo Mutual Water Company. Supplies are pumped from wells and supplemented with water purchased from MWD. Main facilities exist in Lakeview Avenue while a 1.5 MGD reservoir is located three miles from the site.</p>	<p>The Nuevo Mutual Water Company estimates that the project will create a demand for approximately one million cubic feet of water each month. There are adequate supplies available to serve the project, subject to the approval of a water plan.</p>	<p>Several alternatives are available to providing water service, including the extension of existing mains or drilling a well on-site. A water plan will be prepared which meets the requirements of the Nuevo Mutual Water Company. To reduce water demand, all state-mandated conservation measures will be implemented. Also, low water consuming plant materials are proposed in the landscape concept plan.</p>
<p>10. <u>Solid Waste Disposal</u></p> <p>Solid waste collection in the area is provided by private refuse collectors. The County is responsible for the provision of sanitary landfills. Refuse is deposited in the Mead Valley Disposal site, north of Perris. This facility has a life expectancy of approximately 20 years.</p>	<p>The project will generate approximately 3.3 tons of refuse per day and will add to the cumulative impacts, affecting the expectancy of the Mead Valley Disposal facility.</p>	<p>Implementation of a waste recovery program would reduce the volume of refuse generated by the project. The County will be responsible for ensuring that adequate landfill capacity exists in the future.</p>

Existing Conditions	Potential Impacts	Mitigation Measures
<p>11. <u>Parks and Recreation</u></p>	<p>Regional park facilities are provided by the County. Lake Perris reservoir is the major recreational facility in the area, located one mile northwest of the site.</p>	<p>Adequate recreational facilities will be provided in accordance with the previously approved specific plan. These facilities include both active and passive recreation and open space.</p>
<p>12. <u>Fire and Police Protection</u></p>	<p>Based on a standard of 10 acres/1000 population, the project would require a total of 13.25 acres of parkland on the site. The specific plan proposes 10 acres of active recreational facilities and approximately 70 acres of open space. No significant impacts are anticipated.</p>	<p>The project will be subject to a fee of \$400/dwelling unit and \$0.25/square foot of commercial space to pay for fire mitigation. To offset impacts to police services, such measures as adequate street lighting is proposed, proper street design of internal street patterns, and implementing the concept of defensible space in the plan design.</p>
<p>13. <u>Schools</u></p>	<p>Fire and police protection are provided by the Riverside County Fire and Sheriff Departments. The nearest fire station is located two miles from the site with a response time estimated to be five minutes. Police service is provided out of the Hemet sub-station, east of Rancho Nuevo. Response times will vary.</p>	<p>The project sponsor will be assessed a fee per dwelling unit for all new residential development approved. The fee will be charged by both school districts to offset overcrowding and pay for providing education.</p>
	<p>A total of nearly 500 students will be generated by the project, including 371 elementary school-age children, 69 junior high students and 53 senior high students.</p>	

Existing Conditions	Potential Impacts	Mitigation Measures
<p>14. <u>Energy</u></p> <p>Because of the current, undeveloped nature of the site, existing demands for energy resources are insignificant.</p>	<p>Conversion of the property to urban uses will create a demand for electricity, natural gas, and gasoline for heating, cooling and driving. These demands equate to 58 million cubic feet of natural gas, 3.05 million Kwh of electricity 0.66 million barrels of oil.</p>	<p>Building design and construction will be energy efficient. All state mandated energy conservation construction techniques will be implemented, including insulation, weather stripping, etc. Other energy conservation measures include reducing glass areas, efficient heating and cooling systems, and low energy usage lighting and non-mechanical ventilation.</p>

II. PROJECT DESCRIPTION

A. Project Location

The subject property encompasses approximately 248 acres in unincorporated Riverside County. Exhibit 1 illustrates the relationship of the site to the Southern California region. More specifically, Rancho Nuevo is located within the Perris Valley along the Ramona Expressway, approximately seven miles east of Interstate 215. The Vicinity Map, identified by an aerial photograph (Exhibit 2) presents the local setting as well as the proximity of the site to Lake Perris and the surrounding arterial system.

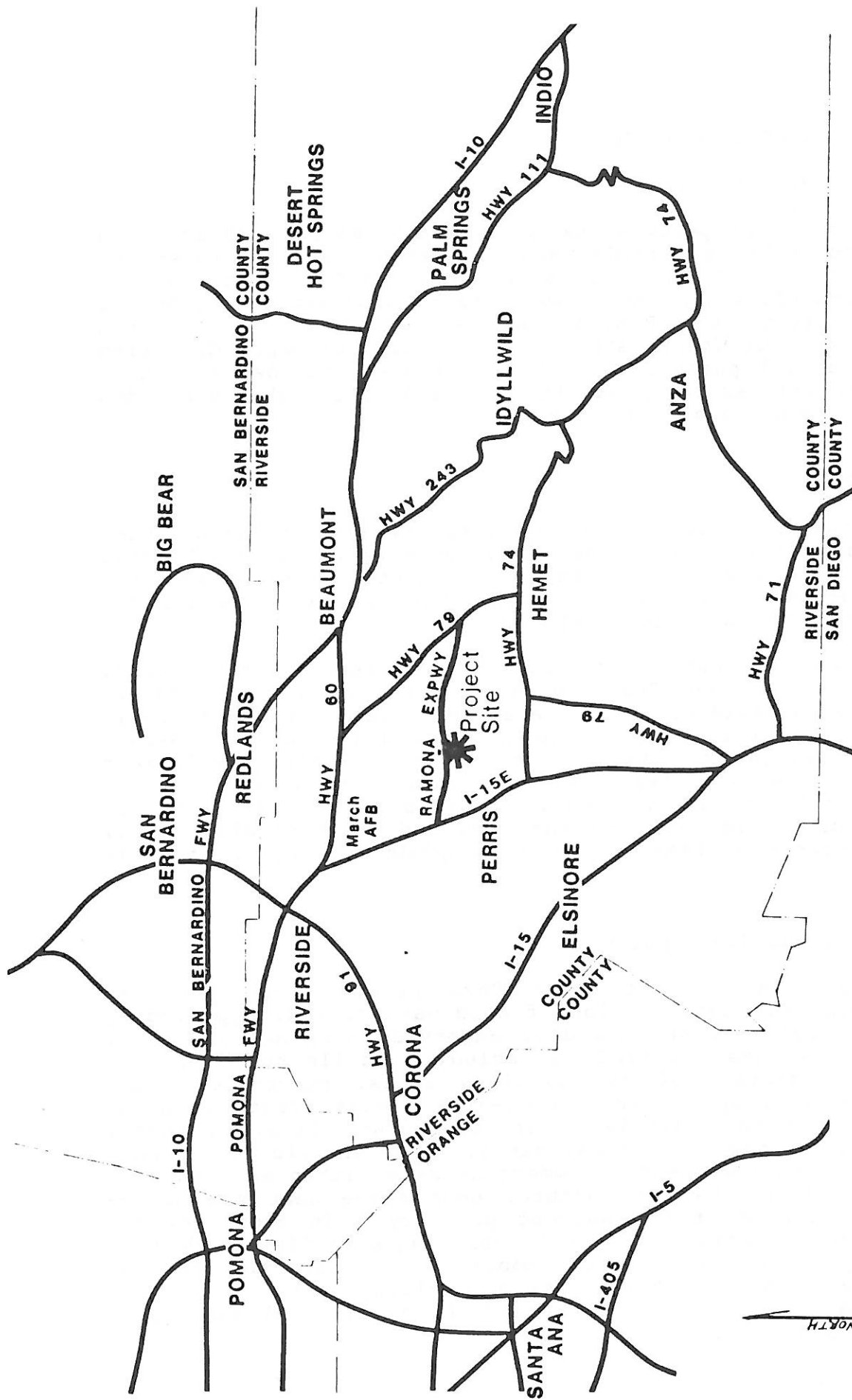
B. Physical Setting

The property is located on the westerly edge of the Lakeview community and north of the Nuevo Community. Topographically the site is essentially flat with a gentle slope towards the San Jacinto River (i.e., southwesterly) which bisects the property into east and west elements.

The lands adjacent to the property are predominantly vacant. Lake Perris and the State Recreation Area are located approximately one mile north of the subject site. This amenity is the principal element in the area, around which the character of the project environs has been created. Development in the vicinity of Rancho Nuevo consists generally of single-family residential land uses. In addition, commercial facilities currently exist in the area and are typically small, family-owned businesses providing goods to local area residents.

C. Project Description

The applicant, Rancho Nuevo Developers, is proposing an amendment to Specific Plan of Land Use No. 183, approved by the Riverside County Board of Supervisors on May 21, 1985. SP No. 183 was approved to include a mobile home subdivision, consisting of 450 dwelling units, recreational and natural open space, and an on-site sewage treatment plant along with the associated infrastructure (i.e., streets, sewer and water facilities, etc.). The Specific Plan Amendment proposes a 10-acre commercial site within an area previously designated for natural open space near the northwestern corner of the subject property. In addition, the applicant is proposing traditional single-family residential development rather than the mobile home subdivision as previously approved. The number of dwelling units will remain fixed at 450. Table 1 presented the statistical summary of the proposed land use plan.



REGIONAL MAP



Exhibit 1



Lake Perris

Bernasconi Hills

Lakeview

Nuevo

Lakeview Mountains

NORTH

AERIAL PHOTO

FEET 0 2000 4000

D. Project Objectives

The proposed Specific Plan was designed with the intention of meeting the following objectives.

1. To provide the necessary neighborhood commercial facilities to support the existing and proposed residential community.
2. To provide a more traditional single-family detached residential housing product in the Lakeview-Nuevo Community, in concert with the proposed single-family residential land use designation presently proposed on the Lakeview Nuevo Community Plan (now being prepared).
3. To provide recreational amenities to serve the needs of future residents of Rancho Nuevo.
4. To provide adequate infrastructure, utilities and public services to meet the needs of the community.
5. To implement the County's Circulation Element goals and objectives by improving the Ramona Expressway and enhancing circulation in the area.
6. To accommodate the County of Riverside General Plan equestrian and bike routes as a part of the improvement plans to adjacent arterials and the San Jacinto River.
7. To provide adequate flood control measures to mitigate potential flood hazards.
8. To utilize treated effluent to irrigate fodder, feed and seed crops located south of the MWD aqueduct.

III. SPECIFIC PLAN COMPONENTS AND STANDARDS

The Rancho Nuevo Specific Plan is being prepared within a framework of a detailed and comprehensive planning program. Development issues such as engineering feasibility, market acceptance, economic viability, County Comprehensive General Plan goals, local community goals and political goals have been fully examined and considered. Based on the evaluation of the existing data from the original specific plan and the new supplemental information, the following goals and objectives have been established for the Rancho Nuevo Specific Plan.

- o To provide development that responds to the needs in the market place by offering traditional housing types in an amenitized master planned community.
- o To create a residential community that integrates the natural open space setting of the San Jacinto River.
- o To create a community that is balanced, providing the necessary support to residential uses.
- o To develop a community that reflects the existing character of the landform while considering hydrologic, topographic and environmental opportunities and constraints.
- o To provide an efficient circulation system that meets the existing and proposed needs within the development.

A. Land Use Development Plan

1. Description/Approach

When completed, Rancho Nuevo will be composed of the following uses: (1) traditional single-family detached residential development, (2) neighborhood/retail commercial, (3) active recreation, (4) natural open space, (5) recreational vehicle storage and (6) a sewage treatment plant. These uses combine to create a balanced planned community.

The residential unit type being provided will meet the market needs in the Perris Valley market place. A maximum of 450 dwelling units will be constructed within the Rancho Nuevo Specific Plan.

Specific information for each of the Planning areas is provided within Section III.D. (Planning Area Development and Design Standards) and in the legend of Exhibit 3, Land Use Development Plan.

2. Residential

The Land Use Development Plan proposes only single-family residential land uses. The medium and medium high densities proposed in Planning Areas 1 and 2 will provide a maximum of 450 lots with a minimum size of 6,000 square feet. This use provides a residential density of approximately 4.0 dwelling units per acre within the residential planning areas which encompass 112.8 acres (45 percent of the site), including internal drainage and circulation and private recreation areas. The gross residential density for the entire project area is 1.8 dwelling units per acre.

This use is located on the east side of the San Jacinto River and the extension of "B" Street, south of the Ramona Expressway. Residential development will occur on both sides of 9th Street as that roadway bisects the property.

3. Commercial

A 10-acre Neighborhood Commercial site is located on the southwest corner of the intersection of "B" Street and the Ramona Expressway, east of the San Jacinto River. This use is primarily intended to serve on-site residents but will also serve a more extensive area of the Lakeview-Nuevo Community due to its location along the Ramona Expressway and the lack of similar support commercial uses in that area. The commercial site comprises approximately four percent of the total site area.

4. Recreation

The Land Use Development Plan and Planning Area Development Standards provide two centrally located areas within the residential planning areas for recreational open space. These sites total 10 acres (4.0 percent) and are intended to serve the recreational needs of the Rancho Nuevo residents. These sites will provide picnic areas, restrooms, pedestrian paths and landscaping.

5. Open Space

Open space consists of approximately 93.0 acres and includes both natural and developed features, emphasizing protective and practical design qualities. This use will comprise 37.5 percent of the total site area.

LAND USE DEVELOPMENT PLAN

STATISTICAL SUMMARY

Land Use	Planning Area	Acres	DUs	Density DU/Acre	Percent
Medium Density	1	70.6	275	4.0	28.5
Medium High Density	2	42.2	225	5.3	17.0
Commercial	3	10.0			4.0
Open Space	4 & 6	93.0			37.5
Borrow Area		(39.3)			(15.8)
Natural Areas		(53.7)			(21.7)
RV Storage	5	3.5			1.4
Public Facilities	6 & 7	50.0			2
Waste Treatment Plant	7	(13.9)			5.6
Disposal and Emer. Storage	6	(36.1) ¹			2
Private Recreation	1 & 2	(10.0) ¹			3
Internal Drainage		(13.5) ¹			4
Major Roads		14.8			6.0
TOTALS		248.0	450⁵	1.8	100.0

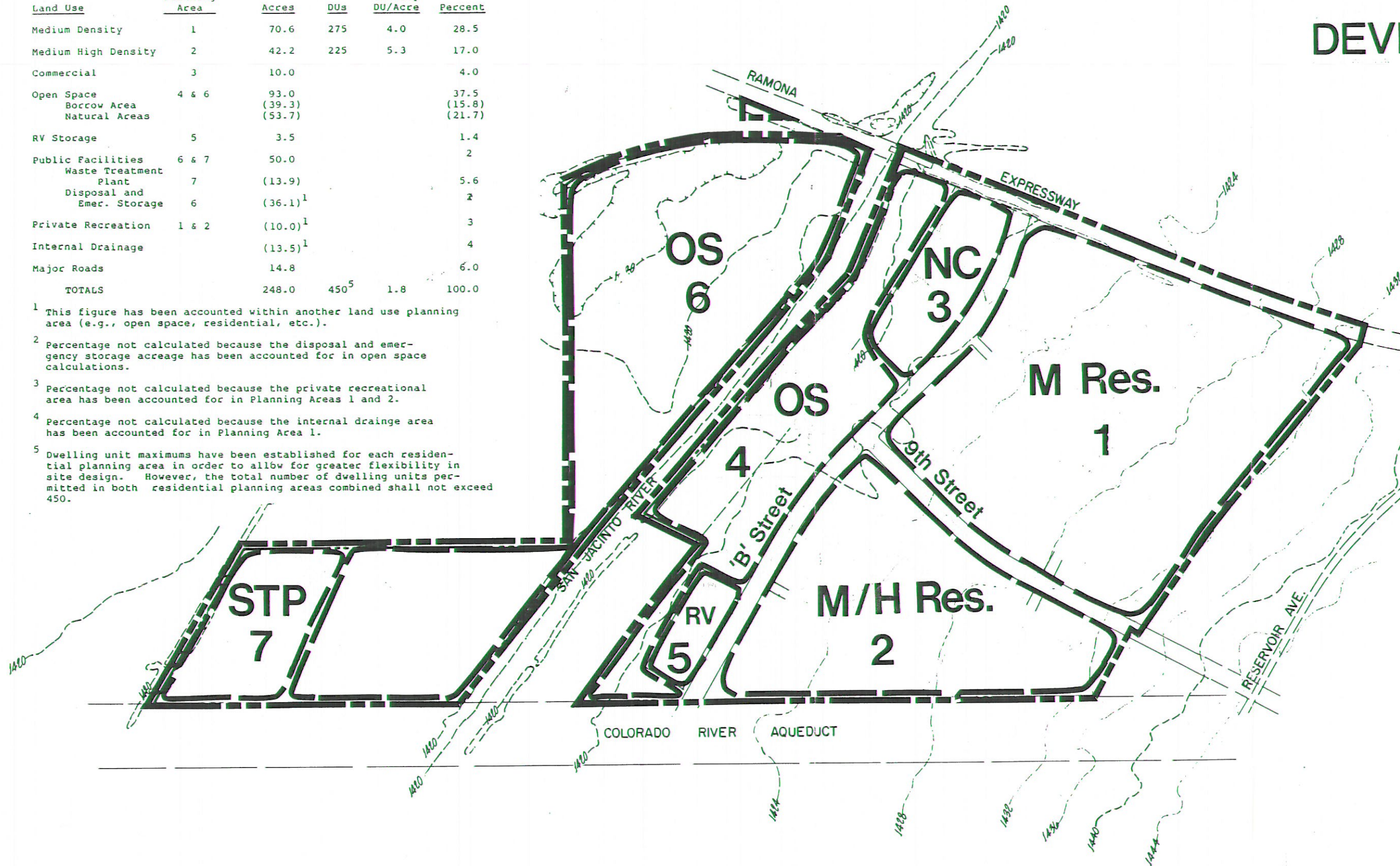
¹ This figure has been accounted within another land use planning area (e.g., open space, residential, etc.).

² Percentage not calculated because the disposal and emergency storage acreage has been accounted for in open space calculations.

³ Percentage not calculated because the private recreational area has been accounted for in Planning Areas 1 and 2.

⁴ Percentage not calculated because the internal drainage area has been accounted for in Planning Area 1.

⁵ Dwelling unit maximums have been established for each residential planning area in order to allow for greater flexibility in site design. However, the total number of dwelling units permitted in both residential planning areas combined shall not exceed 450.



Rancho Nuevo

Natural features consist of land along each side of the San Jacinto River. The areas easterly of the San Jacinto River are intended to remain as natural habitat, where indigenous vegetation will remain undisturbed. This area includes 53.7 acres (21.7 percent) of the common open space. The remaining 39.3 acres (15.8 percent) of open space is located westerly of the River. This area will provide the material necessary to elevate the lower portions of the residential areas of development above the 100-year flood plain limits of the San Jacinto River. Most of this area, approximately 36.1 acres, will be used for disposal and emergency storage of the subdivision's on-site treated effluent.

6. Public Facilities

Provisions for public facilities as identified on the Land Use Development Plan include a waste water treatment plant and a recreational vehicle storage area. The 3.5-acre recreational vehicle storage site is located between the San Jacinto River and "B" Street at the southerly property boundary. This area makes up only 1.4 percent of the subject specific plan area.

Placement of the wastewater treatment plant is proposed on 13.9 acres (5.6 percent) of the most southwesterly portion of the property. This area will be adequately flood-proofed from the 100-year storm. (A total of 50 acres will be necessary to provide on-site treatment and disposal facilities as required by the Eastern Municipal Water District.) The area upon which the plant will exist will be improved in accordance with EMWD standards. This 50-acre treatment facility will be maintained by EMWD and will serve only the Rancho Nuevo Specific Plan area.

7. Roads

The project consists of approximately 14.8 acres (six percent) of major roadways. These circulation routes include "B" Street (100-foot right-of-way), 9th Street (88-foot right-of-way), and the right-of-way required for improvements to the Ramona Expressway. These major roadways will be designed and constructed in accordance with Riverside County Road Department standards. Improvements to the Ramona Expressway will be completed in conjunction with the flood control improvements for the San Jacinto River and are included in Assessment District 4-2. The internal circulation system (not included in the roadway acreage) will consist of 50-foot public streets which will be designed in accordance with County Road Department standards.

8. Development Standards

In order to ensure a logical and orderly development for Rancho Nuevo, special development criteria and standards have been created for each Planning Area. The specific standards are discussed in detail in Section III.D. These will ensure that individual specific mitigation measures occur within transition areas between land uses and that appropriate consideration is given to site specific conditions.

In addition to these specific techniques, project-wide development standards have also been prepared. They are designed to complement the individual requirements within the planning areas. These general standards are:

- a. The total Specific Plan shall be developed with 450 dwelling units on 248 acres, as illustrated on the Land Use Development Plan (refer to Exhibit 3).

General uses permitted will include residential, commercial, recreation and open space, circulation, and public facilities, as delineated on the Land Use Development and in the individual Planning Areas, (Exhibits 10 through 15).

- b. Uses and development standards will be in accordance with the County of Riverside Zoning Code and will be defined by Specific Plan objectives, future detailed plot plans and potential conditional use permits as appropriate.
- c. Standards relating to signage, landscaping, parking and other related design elements will conform to the County of Riverside Zoning Ordinance No. 348. When appropriate and necessary to meet the goals of this Specific Plan, the standards will exceed the zoning code requirements.
- d. All project lighting shall be in accordance with County of Riverside standards.
- e. The development of property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinance Nos. 348 and 460 and State laws; and shall conform substantially with adopted Specific Plan Amendment No 183 as filed in the office of the Riverside County Planning Department, unless otherwise amended.

- f. No portion of the specific plan which purports or proposes to change, waive or modify any ordinance or other legal requirement for the development shall be considered to be part of the adopted specific plan.
- g. Water and sewerage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department and Eastern Municipal Water District.
- h. Drainage and flood control facilities and improvements shall be provided in accordance with Riverside County Flood Control and Water Conservation District requirements.
- i. Prior to issuance of a building permit for construction of any use contemplated by this approval, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent conditions of specific plan approval have been satisfied for the phase of development in question.
- j. An environmental assessment shall be conducted for each tract, plot plan, specific plan amendment or any other discretionary permit required to implement the specific plan.
- k. A master property owners association shall be established by the developer encompassing the entire specific plan for the ownership, maintenance and management of the natural open space, recreational open space, irrigation systems, signing, lighting, and right-of-way landscaping and other responsibilities as necessary and as defined through the specific plan conditions of approval.
- l. A neighborhood owners association shall be established prior to the recordation of the first tract map by the developer and each subsequent tract developer. The neighborhood owners association shall be responsible for parking, recreation areas, signing, entry points, lighting, landscaping and irrigation facilities and other responsibilities as defined through the specific plan conditions of approval.
- m. Prior to recordation of any final land division map, the applicant shall submit to the Planning Department the following documents which shall demonstrate to the satisfaction of the County that

the appropriate owners associations will be established and will operate in accordance with the intent and purpose of the specific plan:

- (1) The document to convey title; and
- (2) Covenants, conditions and restrictions shall be recorded at the same time that each final subdivision map is recorded.

The master property owners association, neighborhood association, shall be charged with the unqualified right to assess their own individual owners who own individual units for reasonable maintenance and management costs which shall be established and continuously maintained. The individual owners association shall have the right to lien the property to any owners who default in payment of their assessment fees. Such lien shall not be subordinate to any encumbrance other than a first deed of trust, provided such deed of trust is made in good faith and for good value and is of record prior to the lien of the individual owners association.

- n. All changes and/or modifications to the specific plan approval determined by the Planning Director to be significant shall be subject to the approval of a specific plan amendment.
- o. Lots created pursuant to this specific plan and any subsequent tentative maps shall be in conformance with the development standards of the specific plan zone herein applied to the property.
- p. Flag lots shall not be permitted.
- q. Final development densities for each Planning Area shall be determined through the appropriate development application up to the maximum density identified based upon but not limited to the following:
 - (1) Adequate availability of services.
 - (2) Adequate access and circulation.
 - (3) Sensitivity to environmental constraints such as resources and hazards.
 - (4) Innovation in housing types, design, conservation, or opportunities.

- (5) Adequate provision of recreational open space within planned residential developments (PRDs).
 - (6) Sensitivity to neighborhood design through appropriate lot and street layouts and architectural sensitivity.
 - (7) Any policies, programs, and goals which shall be established in the future as a part of the Comprehensive General Plan.
- r. Transfer of density between master planned phases shall not be permitted except through the approval of specific plan amendments for each master phase of development as defined within the original specific plan.
 - s. At the time of recordation of any tentative subdivision which contains a common greenbelt, park or open space area, the subdivision shall have those common areas conveyed to the master property owners association.
 - t. All utilities shall be placed underground.
 - u. Prior to the recordation of any final subdivision, plans for developed common park, open space and parkway areas shall be submitted for Planning Department approval for the state of development in question. The improvement plans shall include but not be limited to the following:
 - (1) Final grading plan.
 - (2) Irrigation plans certified by a landscape architect.
 - (3) A landscaping plan with the location, type and size and quantity of plantings.
 - (4) A site plan with the location, type and quantity of recreational amenities/facilities.

B. Specific Plan Components

- 1. Circulation Plan
 - a. Approach/Description

The circulation system is fundamentally based on the provision of a direct and convenient access from all portion of the site, northerly to the

Ramona Expressway. To improve community-wide circulation in the Lakeview-Nuevo area, sufficient right-of-way must be dedicated to complete a major north-south arterial extending northerly from Nuevo Road to the Ramona Expressway, easterly of the San Jacinto River. The circulation system provides a logical connection to adjacent existing and planning major and secondary highways and local roads.

The Circulation Plan (Exhibit 4) illustrates the proposed system and its relationship to the surrounding street and highway system. Roadway cross-sections are shown on Exhibit 5. Heavy through traffic in the residential neighborhoods is avoided by directing it along the major arterials.

Access to the residential areas will be from 9th Avenue and "B" Street, providing two different access points for each planning area. Internal streets within the residential planning areas is suggested on the Circulation Plan. Final alignment and design will be established during the tentative tract phase of processing. Both the neighborhood commercial site and the recreational vehicle storage site will take access from "B" Street.

The circulation system proposed includes provision for a bus turn-out lane along 9th Avenue. It also includes a Class I Bikeway.

b. Development Standards

The proposed Circulation Plan provides an efficient traffic design that meets or exceeds the public safety, security and transportation needs of the project. The streets internal to the residential planning areas are planned to be residential collectors. Roadways will be constructed to the following standards.

Ramona Expressway


The Ramona Expressway is shown on the County's Master Plan of Arterial Highways as an Expressway, having a variable right-of-way. Improvements to this roadway will be constructed in conjunction with the flood control improvements which will be implemented through San Jacinto River Assessment District 4-2. The Ramona Expressway improvements are described below.

• Interior Residential Collector symbol indicates potential location. Final circulation pattern to be determined by tract maps.

CIRCULATION PLAN

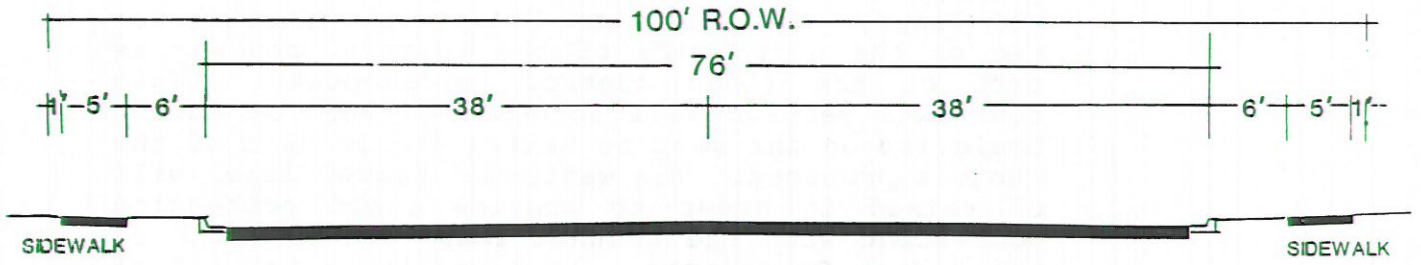


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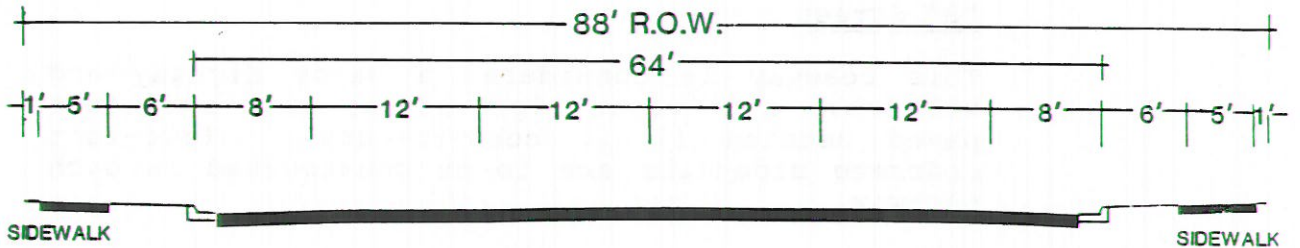
-  Major Highway
-  Secondary Highway
-  Local Street •
-  Class I Bike Trail
-  Bus Turnout

Rancho Nuevo

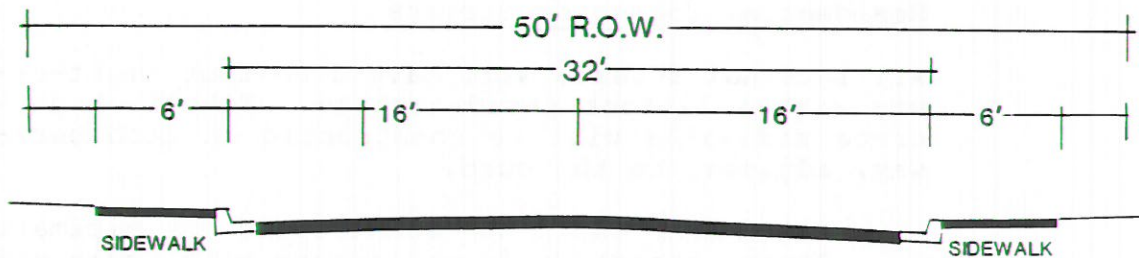
ROADWAY SECTIONS



"B" AVENUE - MAJOR HIGHWAY



9th STREET - SECONDARY HIGHWAY



INTERIOR RESIDENTIAL COLLECTOR

Rancho Nuevo

The existing travel lanes in the vicinity of the project are intended to become the eastbound travel lanes. New westbound lanes will be constructed on the north side of the existing roadway as part of the flood control improvements. This four-lane section will extend from west of Martin Boulevard on the west to Hansen Avenue east of the subject property. The westbound travel lanes will be raised in order to provide flood protection consistent with the channel improvements south of the Ramona Expressway. As a result, a "split" or "grade-separated" section (i.e., east- and westbound travel lanes separated by a slope) will be created. Roadway improvements described above to the Ramona Expressway will be constructed by the County through funding derived from the assessment district. The right-of-way established for this arterial is depicted on Exhibit 5A.

"B" Street

This roadway is considered a major highway and will have a 100-foot right-of-way with a 76-foot paved section (i.e., curb-to-curb). Five-foot concrete sidewalks are to be constructed in each parkway.

9th Avenue

9th Avenue is designed as a secondary highway with an 88-foot right-of-way that provides a 64-foot paved section. Five-foot concrete sidewalks will be constructed in each parkway. 9th Avenue will be extended to provide service to the project.

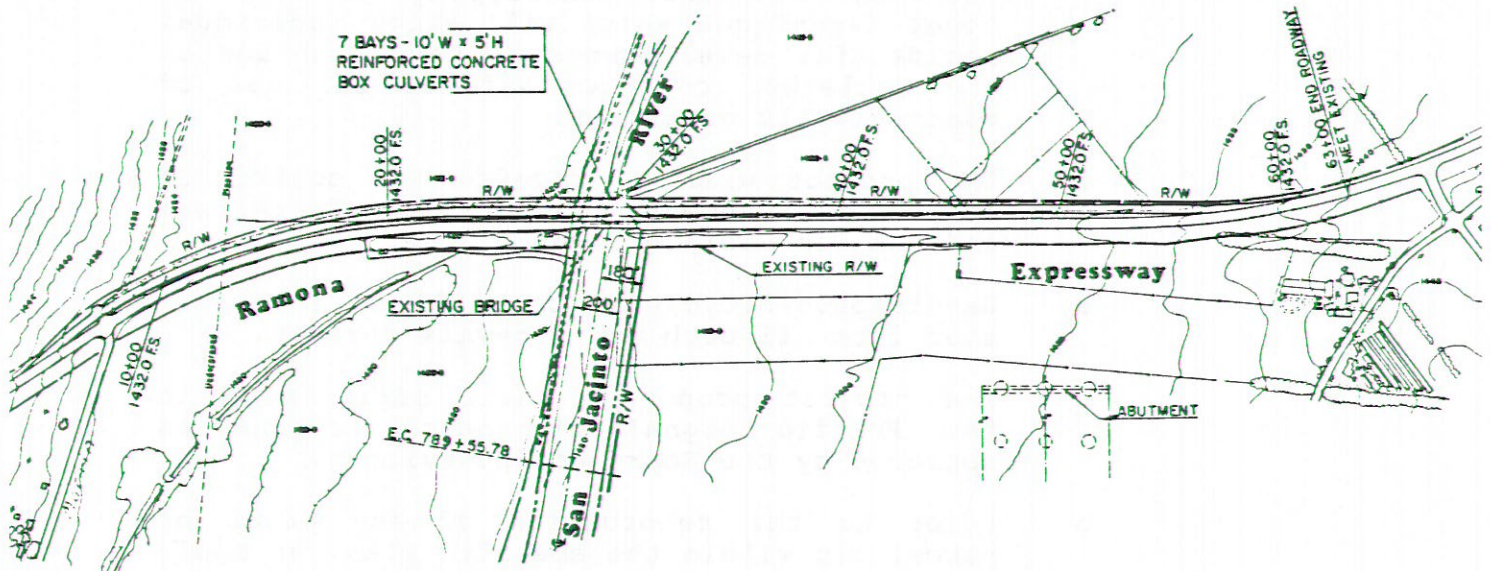
Residential Collector Streets

All internal streets will have a 50-foot right-of-way with a 32-foot paved section. Five-foot concrete sidewalks will be constructed in each parkway, adjacent to the curb.

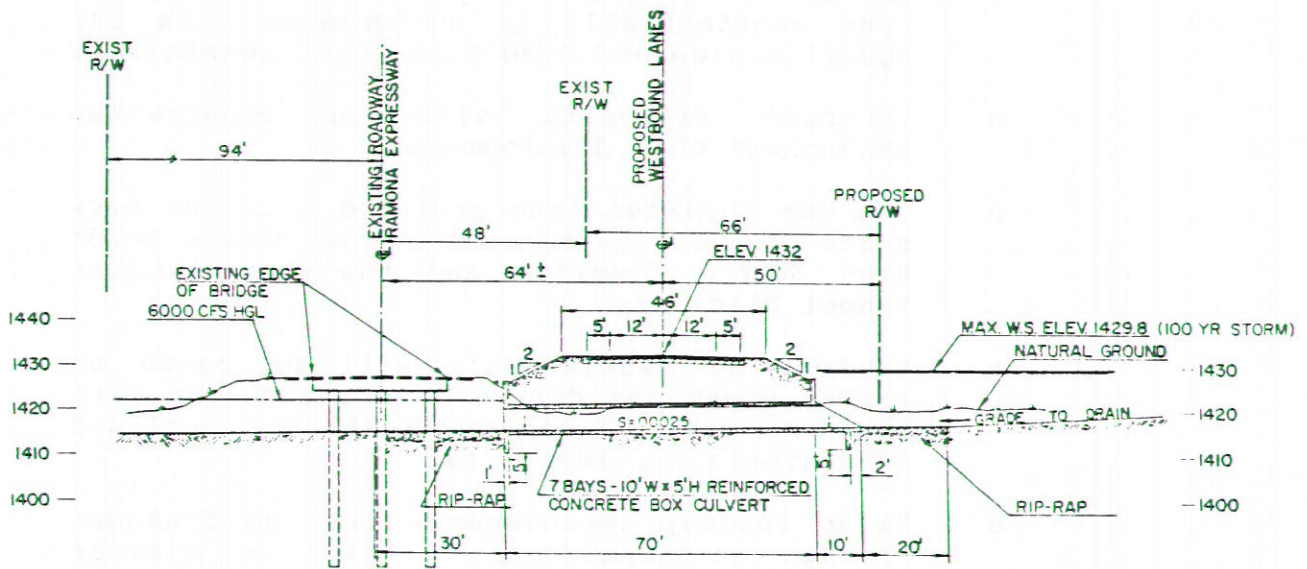
- o All roads shall be constructed to ultimate County standards in accordance with Ordinance No. 460 and 461 as a requirement of the implementing subdivisions for the specific plan, subject to approval by the Road Commissioner.
- o All cul-de-sacs shall be constructed to Riverside County Road Department standards in accordance with Ordinance 460 and 461 and subject to approval by the Road Commissioner.

ROADWAY SECTIONS

Ramona Expressway



Plan



Section A-A



Source: Riverside County Flood Control & Water Conservation District

Rancho Nuevo

- o Collector roadways shall minimize the use of reverse frontage walls by such treatments as increased setbacks, landscaping, berming, or other techniques which will allow individual residential developments to have frontage on the collector roadways without the use of masonry walls or fences.
- o The project will be required to contribute towards improvements to the Ramona Expressway and the San Jacinto River bridge.
- o Handicapped/bicycle ramps shall be incorporated into all curb and sidewalk designs.
- o The project proponent shall participate in the Traffic Signal Mitigation Program as approved by the Board of Supervisors.
- o Prior to the recordation of any tract or parcel map within the specific plan, an application shall be submitted to the Local Agency Formation Commission for the formation of a street lighting district, or for annexation to an existing lighting district. Low sodium street lamps shall be encouraged to minimize glare and electrical consumption.
- o The basic circulation system shall be developed substantially in conformance with the specific plan and Road Department conditions.
- o Concrete sidewalks will be constructed throughout this development.
- o The bus turn-out lane provided shall be pursuant to the requirements of the Perris Union High School District and the Nuviev Union School District.
- o Landscaping requirements will be based on street width and designed in accordance with the Roadway Landscaping Treatments outlined in Exhibits 17, 18 and 19.
- o Major roadway improvements will be financed through an assessment district or similar financing mechanism.

2. Drainage Plan

a. Approach/Description

Rancho Nuevo Specific Plan is under the jurisdiction of the Riverside County Flood Control and Water Conservation District. Much of the project site is located within the 100-year flood plain of the San Jacinto River.

To mitigate the flood hazard, the project proponent is participating in the San Jacinto River Improvement District 4-2. Improvements to be undertaken include raising the finished grade of the westbound lanes of the Ramona Expressway to the 1433 elevation, upgrading flood control facilities under that roadway, and constructing an earthen channel from the Ramona Expressway to Railroad Canyon. The plan provides for a 500-foot easement from the flowline to accommodate construction and maintenance of this channel improvements. The flood control improvements were depicted on Exhibit 5A.

In the event that construction of Rancho Nuevo commences prior to the completion of the channel improvements, the flood plain hazard will be eliminated by elevating the development area above the flood plain in accordance with Flood Control District standards. The elevation will be achieved through an on-site grading operation. The material necessary to elevate the development areas will come from the open space located west of the San Jacinto River.

The plan also proposes the construction of drainage corridors adjacent and parallel to the Ramona Expressway and along the easterly perimeter of the subject property.

Surface drainage will be accepted and disposed of by a combination of surface grading, surface drainage facilities and subsurface drainage facilities. The Conceptual Drainage Plan, Exhibit 6, illustrates the proposed surface facilities.

b. Development Standards

A 100-foot wide drainage corridor will be constructed along the easterly perimeter of the project site, north of 9th street and along the north side of 9th Street, continuous to "B" Avenue. An 80-foot wide drainage corridor is provided parallel to the Ramona Expressway to handle capacity as

CONCEPTUAL DRAINAGE PLAN



Rancho Nuevo

determined by the Riverside County Flood Control and Water Conservation District.

- o The sewage facility, its storage ponds, and access roads shall be protected from the 100-year flood plain pursuant to EMWD, Flood Control District, FEMA and County Health Department Standards.
- o All drainage facilities shall be constructed in accordance with standards and specifications of the Riverside County Flood Control and Water Conservation District and Riverside County Road Department.
- o All drainage and flood control facilities shall be maintained by the Riverside County Flood Control and Water Conservation District.
- o The developer shall construct all flood control improvements pursuant to the requirements of the Riverside County Flood Control and Water Conservation District.
- o Prior to the approval of any tract maps, detailed flood control plans shall be submitted to the Riverside County Flood Control and Water Conservation District for review and approval.
- o The project proponent shall participate in the San Jacinto River Improvement District 4-2.

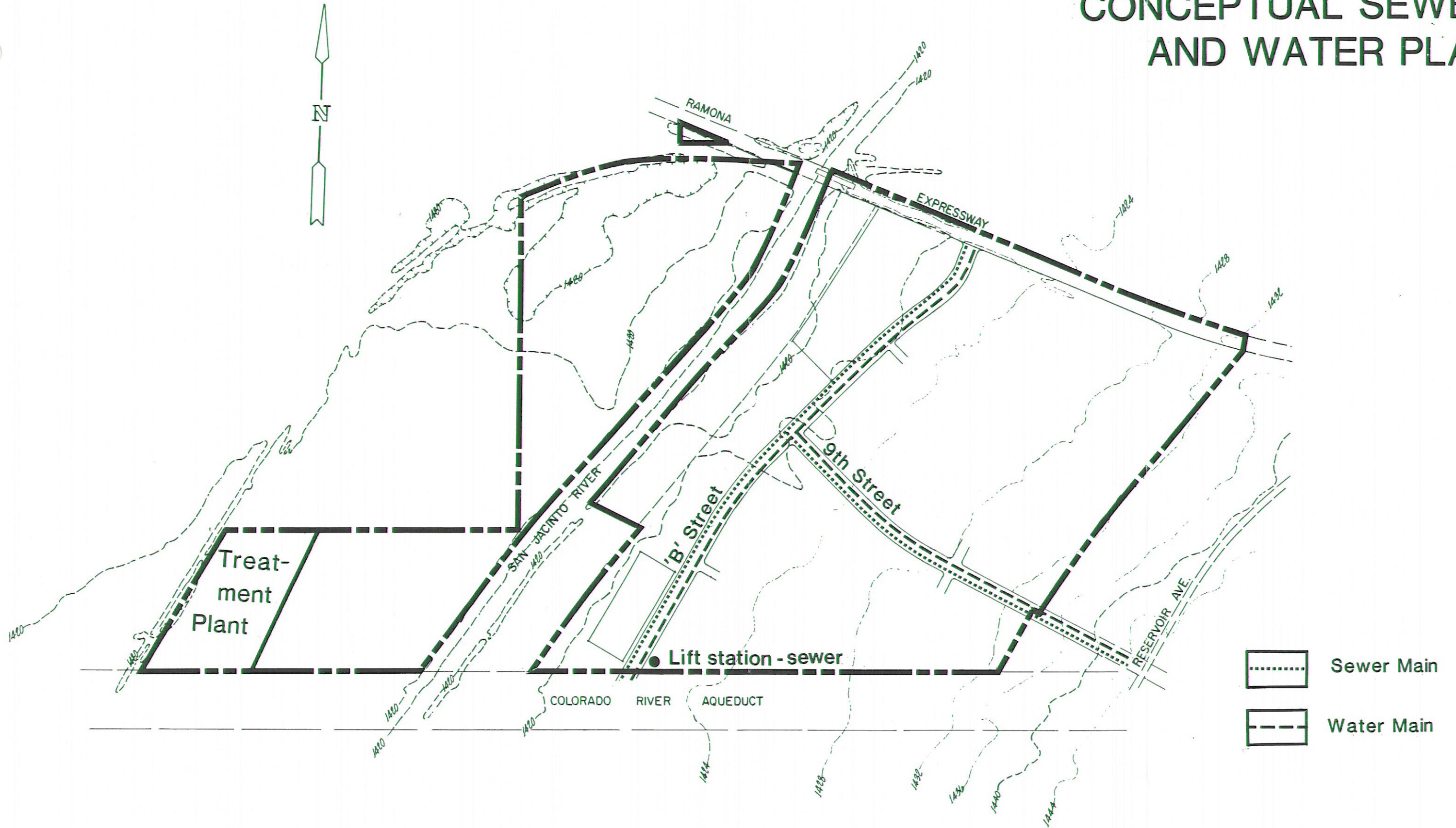
3. Water and Sewer Plan

a. Approach/Description

Rancho Nuevo Specific Plan No. 183 is located within the jurisdiction of the Nuevo Mutual Water Company for water service and within the Eastern Municipal Water District (EMWD) for water and sewer service. The Conceptual Water and Sewer Plan (Exhibit 7) illustrates the location of the proposed water and sewer mains intended to serve Rancho Nuevo.

A temporary sewage treatment plant constructed to EMWD specifications and operated and maintained by that agency will be located in the southwesterly corner of the property to serve the site until sewer transmission facilities are efficiently

CONCEPTUAL SEWER AND WATER PLAN



Rancho Nuevo

extended the nearly seven miles into the project area. A storage area of approximately 50 acres is also required to adequately accommodate wet weather/emergency flows.

Water lines will be extended from existing facilities in the area to provide domestic water service to future project residents.

b. Development Standards

- o All water and sewer lines shall be placed underground.
- o All lines will be designed per EMWD and Nuevo Mutual Water Company requirements.
- o The infrastructure system will be installed to meet the requirements of the Riverside County Engineering Department.
- o An assessment district may be developed to manage development of infrastructure.
- o Water and sewerage disposal facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
- o The temporary sewage treatment plant must be constructed above the limits of the 100-year flood plain prior to the issuance of building permits in Phase I.
- o The applicant shall participate in a domestic water program with either the Nuevo Mutual Water Company or Eastern Municipal Water District to upgrade/extend domestic water to the project site.
- o The developer shall finance the costs of all sewage transmission, treatment and disposal facilities to serve the specific plan area as required by EMWD.

4. Public Facility Sites Phasing Plan

The following table demonstrates the order in which proposed public facilities are to be constructed.

Table 2

Public Facility Phasing

<u>Planning Area</u>	<u>Facility</u>	<u>Site Size (in acres)</u>	<u>Milestone/Requirement</u>
7	Wastewater Treatment Plant	13.9	To be operational prior to granting of occupancy permits to Phase I residential development
4	Natural Open Space (East of River)	23.2	Deeded to Master Homeowners Association following Phase VI of development

5. Grading Plan

a. Approach/Description

The Rancho Nuevo slopes almost imperceptibly south-westerly, towards the San Jacinto River and is essentially flat. The grading for the specific plan is intended to elevate development areas above the limits of the 100-year flood plain if development of the initial phase commences prior to the construction of the channel improvements proposed for the San Jacinto River through Improvement District 4-2.

In the event that channel improvements have not been completed (the channel improvements are scheduled for completion in December 1989), a portion of the natural open space in Planning Area 4 is intended to serve as a borrow area that will provide the material necessary to elevate the development areas over the limits of the 100-year flood plain.

The grading operation for the project will balance on-site, eliminating the need for import or export of site materials.

b. Development Standards

All grading within the specific plant shall be performed in accordance with the County's Hillside Grading Policies, Ordinance 457, and the following conditions:

- o All manufactured slopes shall be contour-graded incorporating the following grading techniques:
 - The angle of the graded slope shall be gradually adjusted to the angle of the natural terrain.
 - Angular forms shall be discouraged. The graded form shall reflect the natural rounded terrain.
- o Excavation of the river channel and 100-year flood plain for flood control or any other purposes will not be permitted below the existing low flow line of the San Jacinto River, as determined by the Riverside County Flood Control and Water Conservation District.
- o Graded slopes shall be oriented to minimize visual impacts from surrounding areas.
 - The overall slope, height and grade of any cut and fill slope shall be developed in concert with the existing natural contours and scale of the natural terrain of a particular site.
 - The toes and tops of all slopes in excess of 10 feet in vertical height shall be rounded with curves with radii designed in proportion to the total height of the slope where drainage and stability permit such rounding.
 - Where cut or fill slopes exceed 100 feet in horizontal length, the horizontal contours of the slope shall be curved in a continuous undulating fashion.
- o Natural features, such as significant rock outcroppings or specimen trees, shall be protected to the greatest extent feasible in the siting of individual lots and building pads and delineated as required on land division environmental constraints sheets.
- o No grading shall be permitted for any development area prior to tentative map or plot plan approval and issuance of grading permits for the area of development in question.

- o All dwellings shall be located a minimum of 10 feet from the toes and tops of all slopes over 10 feet in vertical height unless otherwise approved by the Planning Director.
- o Natural drainage courses shall be retained in their natural state wherever possible other than as provided within the 100-year flood plain of the San Jacinto River.
- o All brow ditches, terrace drains and other minor swales shall be lined with natural erosion control materials or concrete, as approved by the Planning Director.
- o All grading work should be balanced on the site, eliminating any off-site transport of materials. Should off-site materials be necessary, the applicant will conform to the procedures of Ordinance 555.
- o All graded but undeveloped land shall be maintained in a weed-free condition and planted with interim landscaping.
- o The applicant and/or developer shall be responsible for the maintenance and upkeep of all slope planting and irrigation systems until such time as those operations are the responsibility of other parties.
- o All tract map submittals shall include an overall conceptual grading plan for the stage of development in question. The grading plans shall include but not be limited to the following:
 - Preliminary quantity estimates for grading.
 - Areas of temporary borrowing or depositing of material.
 - Techniques which will be utilized to prevent erosion and sedimentation during and after the grading process.
 - Approximate time frames for grading, including identification of areas which may be graded during the higher probability rain months of January through March.
 - Preliminary pad and roadway elevations.

6. Landscape Plan

a. Approach/Description

The intent of the overall landscape plan for Rancho Nuevo is to develop the informal, recreational character of the area while integrating the project into the surrounding area. The recreational character will be emphasized through the informal streetscape treatment and perimeter treatment to the development edge. The landscape concept has been designed to achieve the following goals:

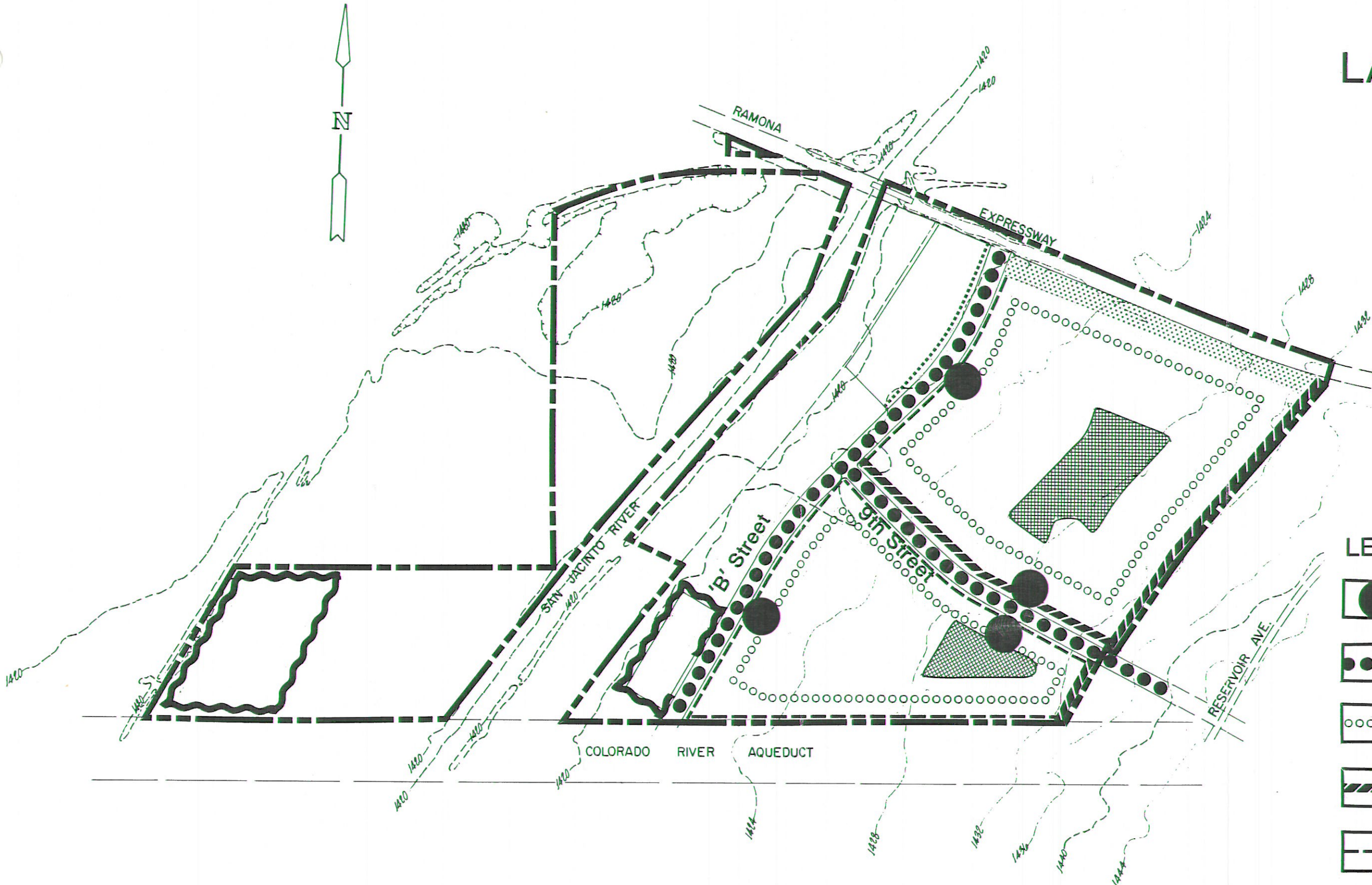
- o Provide an informal landscape character which is well integrated into the environmental setting.
- o Identify project features and treatments (i.e., entries, buffers, expanded parkways, and streetscapes).
- o Develop landscape edge conditions that integrate the project into the surrounding community.
- o Provide a plant palette that will minimize water consumption while offering the maximum aesthetic quality.

The Conceptual Landscape Plan is illustrated on Exhibit 8. The concept consists primarily of four landscape zones. A description of these zones is presented below.

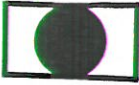




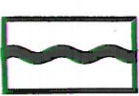
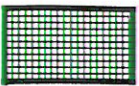


Entries

This category includes project entries to the residential planning areas and any special treatment serving as a focal point in the commercial planning area. This zone is intended to provide the most intensive landscape treatment. The entries will incorporate large specimen trees with flowering shrubs to articulate entrances to the residential development. The use of an intense landscape treatment to enhance the marketing of the commercial site is appropriate and may help enhance the informal character intended for Rancho Nuevo. (Refer to the Design Guidelines, Section IV.C, for a detailed sketch of the intended entry character.)

LANDSCAPE CONCEPT



LEGEND

-  Neighborhood Entry
-  Streetscape - Major
-  Interior Streetscape
-  Drainage/Buffer Area
-  Residential Buffers
-  Sewage Treatment Plant / RV Buffer
-  Recreation Areas
-  Ramona Expressway
-  Commercial Buffer

Rancho Nuevo

Streetscapes

The streetscape zone incorporates two levels of streetscapes: the major roads ("B" Street and 9th Avenue), as well as the interior residential collectors.

It is the intent of the major roadway streetscape to establish a strong identity and character for the development. Informal plantings of large-scale trees with shrubs and groundcovers will begin to define a distinct character for the project. The additional setbacks provided on these streets along the residential edge allows enough room to adequately develop the desired character.

The interior roadway streetscapes are intended to continue the informal statement with plantings of street trees that are scaled to provide an appropriate canopy to the residential street scene. The trees are useful for street identification and will help reduce solar glare and reflection from the roadways. The interior residential street must have a minimum of one (1) tree per lot.

Perimeter Edge Conditions

This zone incorporates four distinct treatments and provides overlap with the established streetscapes for major roads. This zone functions to integrate the project into the surrounding area while providing the appropriate buffering between land uses.

o Ramona Expressway

The plan provides for a landscaped buffer at the northern project edge along the Ramona Expressway. This treatment shall include decorative walls and berming and enhanced landscaping as noise attenuation measures as well as aesthetic considerations. This area will also incorporate a Class I bikeway. The landscape shall be integrated with and enhance the existing character of the highway.

o Sewage Treatment Plant/RV Storage

The concept includes screening of the sewage treatment plant and recreational vehicle storage area. This screening must minimize visual access to these uses while providing a transition between them and the adjacent open space.

- o Commercial Edge

The commercial site requires buffering along the street edge to minimize the visual impact of the necessary parking on the streetscape.

- o Residential Edge/Drainageways

Much of the residential planning area perimeter incorporates drainageways for the development. These areas range from 80 to 100 feet in width. This space provides the necessary area to implement surface drainage while offering ample room to enhance the perimeter landscape treatment. The informal character will be enhanced by random plantings of naturalized and indigenous plant materials. The width of these drainageways further increases the residential setback to the major roadways, creating a feeling of openness.

Recreation Areas/Natural Open Space

The private recreation areas will be landscaped with appropriate materials to facilitate the intended recreational use. The recreational areas are intended to provide a focal point to the residential planning areas and shall incorporate landscape materials that accomplish this. These areas shall include the use of turf and canopy shade trees to enhance picnic and use areas.

The natural open space area east of the San Jacinto Flood Control Channel shall be revegetated with native materials in the areas where existing vegetation has been disturbed. Additional native materials are encouraged to be planted along "B" Street to enhance the streetscape on the west side of that arterial.

- b. Development Standards

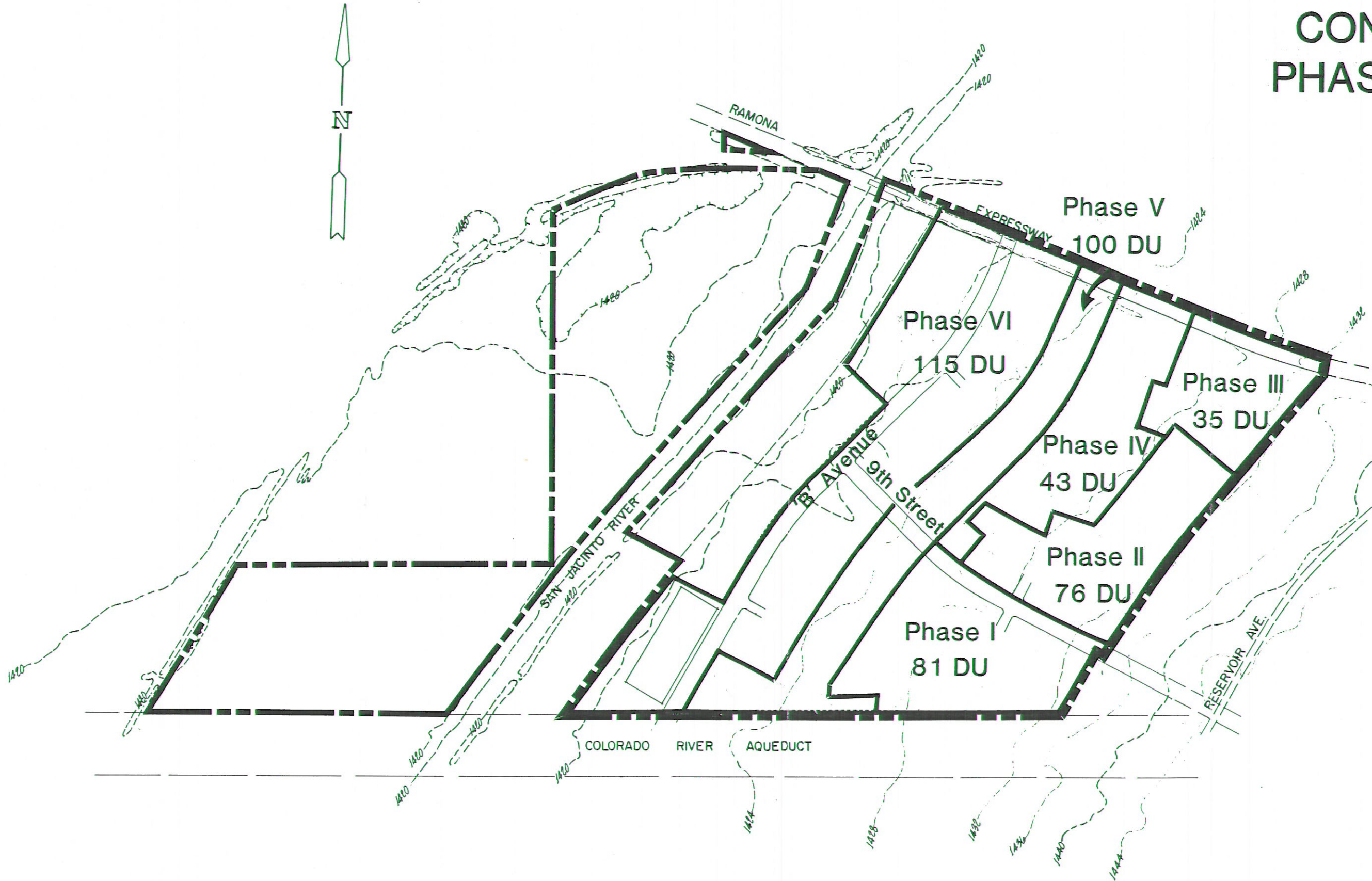
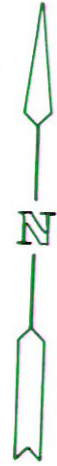
Refer to Section IV.E (Landscape Guidelines).

- 7. Development Phasing Plan

- a. Approach/Description

Rancho Nuevo Specific Plan will be developed in six (6) phases over a multi-year program as defined in the Phasing Plan (Exhibit 9). It is anticipated that the development program will occur within a 10-year time frame in response to

CONCEPTUAL PHASING PLAN



Rancho Nuevo

market demands and the logical and orderly extension of roadways, public utilities and infrastructure.

The proposed phasing of the project will begin in the southeast portion of the project site and will generally proceed towards the north and west. Table 3 presents the proposed development phasing of the Rancho Nuevo Specific Plan.

Table 3

Development Phasing		
<u>Phase</u>	<u>No. of DUs</u>	<u>Other Land Uses</u>
1	81	50% of Recreation in Planning Area 2
2	76	50% of Recreation in Planning Area 1
3	35	
4	46	Remaining Recreation acreage north of 9th
5	99	Remaining Recreation acreage south of 9th
6	113	3.5-acre Recreational Vehicle Storage area 10.0-acre Commercial

b. Development Standards

- o The maximum dwelling unit total for any particular planning area may not be exceeded. A specific plan amendment shall not be required as long as the number of dwelling units in each planning area does not exceed the total allowable. (Refer to Table 3 for a total of dwelling units allowed per phase.)
- o Prior to the first tentative subdivision map approval in each planning area, the applicant shall provide evidence to the Planning Department of substantial progress towards completion of mitigation measures outlined for the planning area in question.
- o Prior to recordation of any final subdivision map, improvement plans for the respective landscaped areas, or plans to mitigate an

provement plans shall include, but not be limited to the following:

- Final grading plan.
 - Irrigation plans certified by a landscape architect.
 - A landscaping plan with seed mixes for mulching and staking methods; locations, type, size and quantity of plantings.
 - A hardscape plan with location, type and quantity of potential recreational amenities and/or facilities.
 - Fence treatment plans.
 - Special treatment/buffer area treatment plans.
- o Each planning area shall include development of common open space areas and infrastructure.
 - o Construction of the development permitted hereby, including recordation of final subdivision maps, may be done progressively in stages, provided adequate vehicular access is constructed for all dwelling units in each stage of development and further provided that such phase of development conforms substantially with the intent of purpose of the Specific Plan phasing program.

C. Zoning Regulations

Zoning regulations have been prescribed for each of the seven planning areas proposed in the Rancho Nuevo Specific Plan. These provisions are included in the following section (III.D, Planning Area Development Standards) and shall be implemented in conjunction with the general land use development standards provided in Section III.A.8 and the design guidelines included in Section IV of the Specific Plan.

D. Planning Area Development Standards

1. Planning Area 1 (Medium Density Residential - 4.0 du/ac)

a. Acreage: 70.6 Acres (includes 12.7 acres of internal drainage and 6.3 acres of recreation))

b. Permitted Uses: Medium Density Residential

o A maximum of 275 single-family residential lots will be permitted. This planning area provides 6.3 acres for a private recreational facility serving residents of the planning area. (The total number of single-family dwelling units in both residential planning areas shall not exceed 450).

o The uses permitted in these planning areas shall be the same as those provided for within ~~Article VI, Section 6.1 of Riverside County Ordinance No. 348 (R-1 Zone), except the following:~~ .2914

~~(1) Nurseries, horticultural~~

c. Development Standards (Refer to Exhibit 10)

The development standards for the Medium Density Residential zone shall be the same as those provided within ~~Article VI, Section 6.2 of Ordinance No. 348, except as follows:~~ .2914

o ~~Minimum Lot Size: 6,000 square feet.~~

o ~~Minimum Frontage: 40 feet~~

o ~~Minimum Front Yard Setback: 20 Feet~~

o ~~Minimum Rear Yard Setback: 15 Feet~~

o ~~Minimum Side Yard Setback: 5 Feet~~

o ~~Maximum Building Height: 30 Feet~~

o ~~Maximum Lot Coverage: 50 Percent~~

o Minimum Recreation Area: 6.3 Acres (providing active and passive recreation)

o Minimum Landscape Buffer: 20 Feet (along "B" Street)

- TYPICAL 6000 SQ. FT. LOT SINGLE FAMILY DETACHED

- SETBACKS
FRONT: 20'(VARY)
REAR: 15'
SIDE: 5'

- ORIENT LOTS INWARD
- RECREATION FACILITY LOCATED TO BE VISUALLY ACCESSIBLE UPON ENTRY FROM 9th STREET
- ORIENT LOTS TO MAXIMIZE VIEWS AND ACCESS TO RECREATION FACILITY

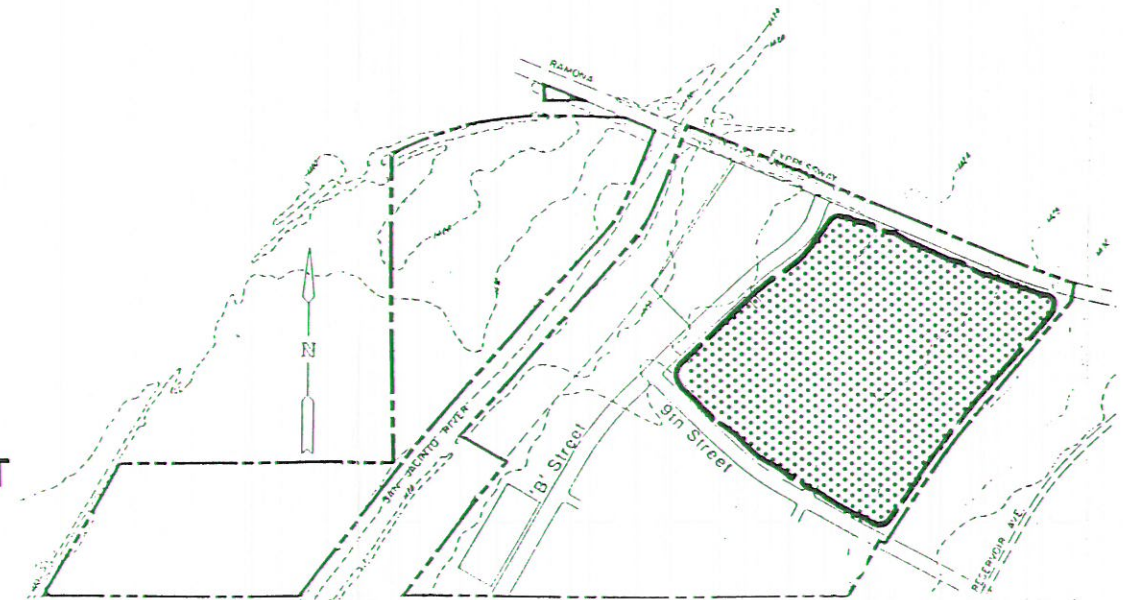
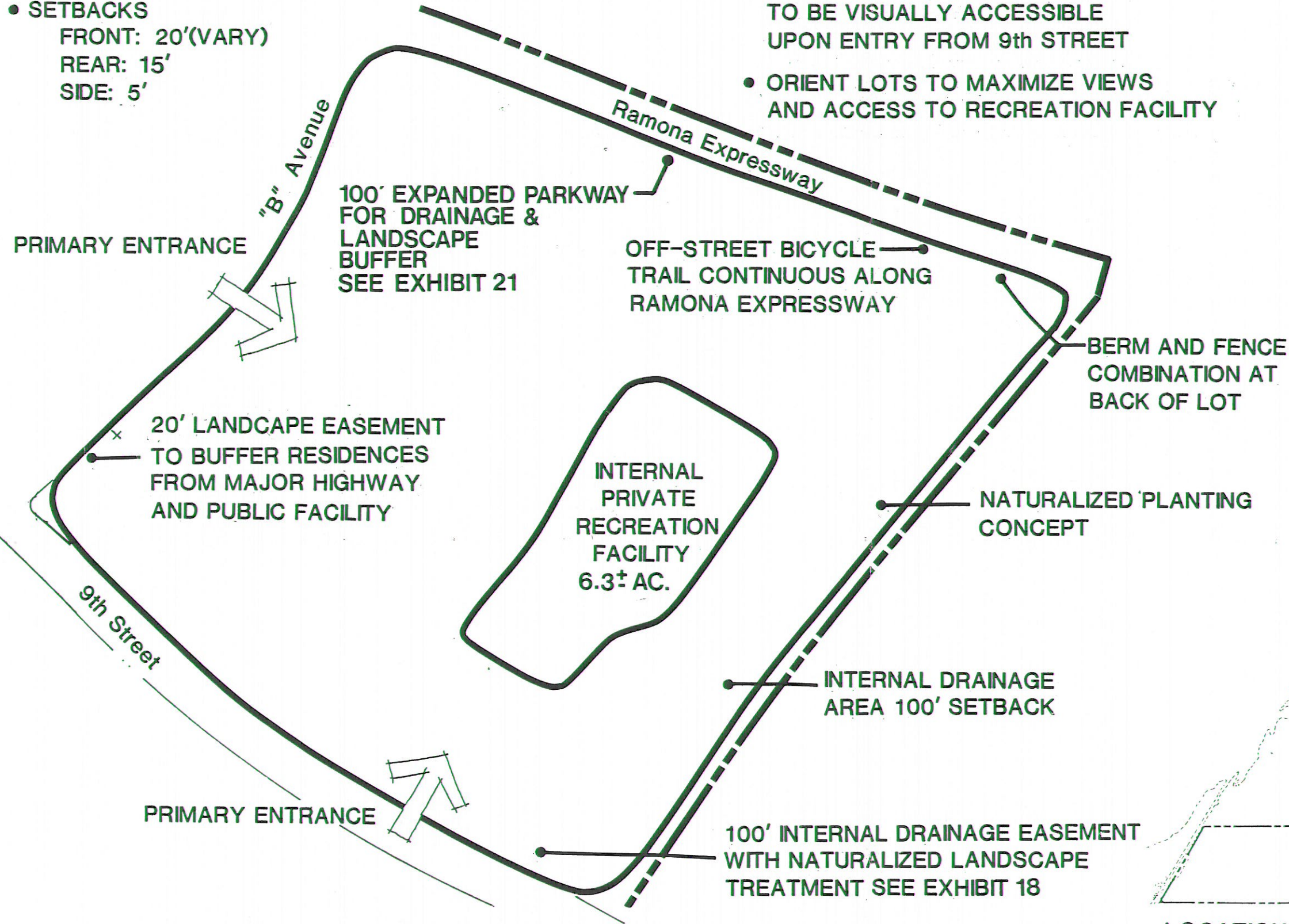
PLANNING AREA 1

USE: MEDIUM DENSITY RESIDENTIAL

DENSITY: 4.0 DU/AC

NUMBER OF UNITS: 275 MAX.

ACREAGE: 70.6 ACRES



LOCATION MAP

Rancho Nuevo

- o Recreational uses shall be private, not public
 - o Neighborhood entry treatments shall be consistent with those depicted on Exhibit 16 for 9th Avenue and "B" Street
 - o A roadway landscape treatment will be incorporated along 9th Avenue, "B" Street, Ramona Expressway and interior streets as illustrated on Exhibits 17, 18 and 19
 - o Surface drainage will be established along the eastern perimeter, Ramona Expressway and 9th Avenue
 - o Class I Bikeway shall be located along Ramona Expressway
 - o Sound attenuation wall and earthen berm will be constructed along the development edge at the Ramona Expressway
 - o Landscape setback expanded to 20 feet along "B" Street
2. Planning Area 2 (Medium High Density Residential - 5.3 du/ac)
- a. Acreage: 42.2 Acres (includes 0.8 acre of internal drainage and 3.7 acres of recreation)
 - b. Permitted Uses: Medium High Density Residential

A maximum of 225 single-family residential dwelling units will be permitted in this planning area. This planning area provides 3.7 acres for a private recreational amenity to serve the residents of the planning area. (The total number of single-family dwelling units in both residential planning areas shall not exceed 450.)

The uses permitted in this planning area shall be the same as those provided for within ~~Article VI, Section 6.1 of Riverside County Ordinance No. 348~~ (R-1 Zone), except the following: 2
2914

- (2) ~~Nurseries, horticultural~~

c. Development Standards (refer to Exhibit 11)

The development standards for the Medium High Density Residential zone shall be the same as those provided within ~~Article VI, Section 6.2 of Ordinance No. 348, with the following exceptions.~~

- ~~o Minimum Lot Size: 6,000 square feet~~
- ~~o Minimum Frontage: 40 Feet~~
- ~~o Minimum Front Yard Setback: 20 Feet~~
- ~~o Minimum Rear Yard Setback: 15 Feet~~
- ~~o Minimum Side Yard Setback: 5 Feet~~
- ~~o Maximum Building Height: 30 Feet~~
- ~~o Maximum Lot Coverage: 50 Percent~~
- o Minimum Private Recreation Area: 3.7 Acres providing passive and active recreation
- o Recreational uses shall be private, not public
- o Neighborhood entry treatments similar to those depicted on Exhibit 16 will be established along 9th Avenue and "B" Street
- o A roadway landscape treatment will be incorporated along 9th Avenue, "B" Street and interior streets as illustrated on Exhibits 17, 18 and 19
- o Surface drainage area shall be established along the eastern perimeter.
- o Landscape buffer at southern project perimeter shall be 20 feet with an expanded landscape setback of 20 feet along "B" Street and the southerly edge of 9th Avenue

3. Planning Area 3 (Commercial)

a. Acreage: 10.0 Acres

b. Permitted Uses: The uses permitted in Planning Area 3 shall be the same as those provided for within ~~Article IX, Section 9.5 (Scenic Highway Commercial) of Ordinance No. 348, except the following:~~

PLANNING AREA 2

USE: MEDIUM/HIGH DENSITY RESIDENTIAL

DENSITY: 5.3 DU/AC

NUMBER OF UNITS: 225 MAX.

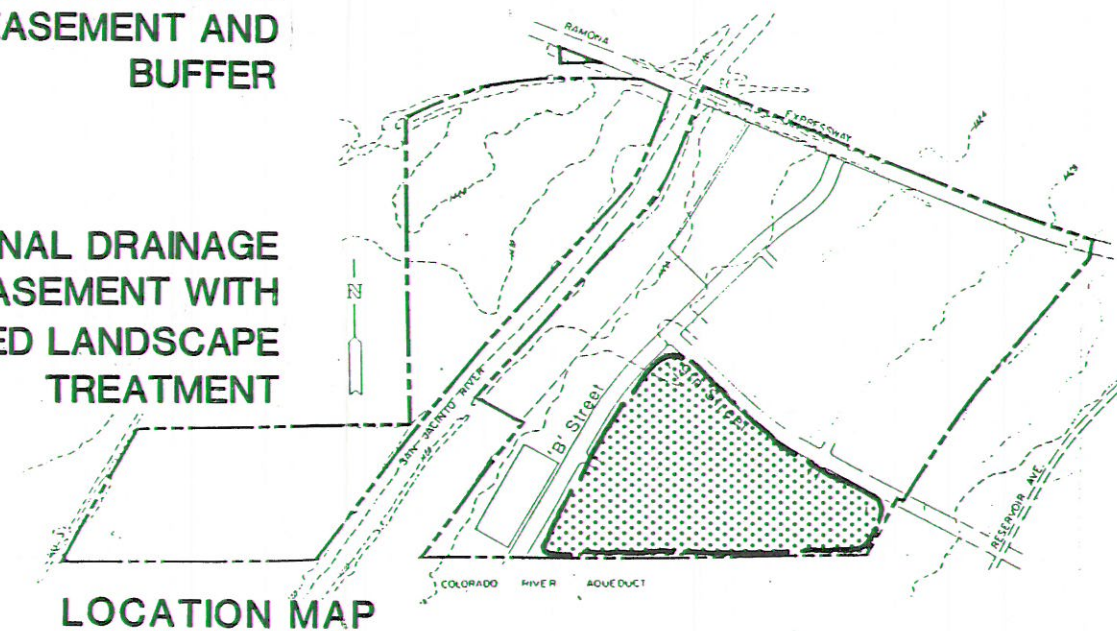
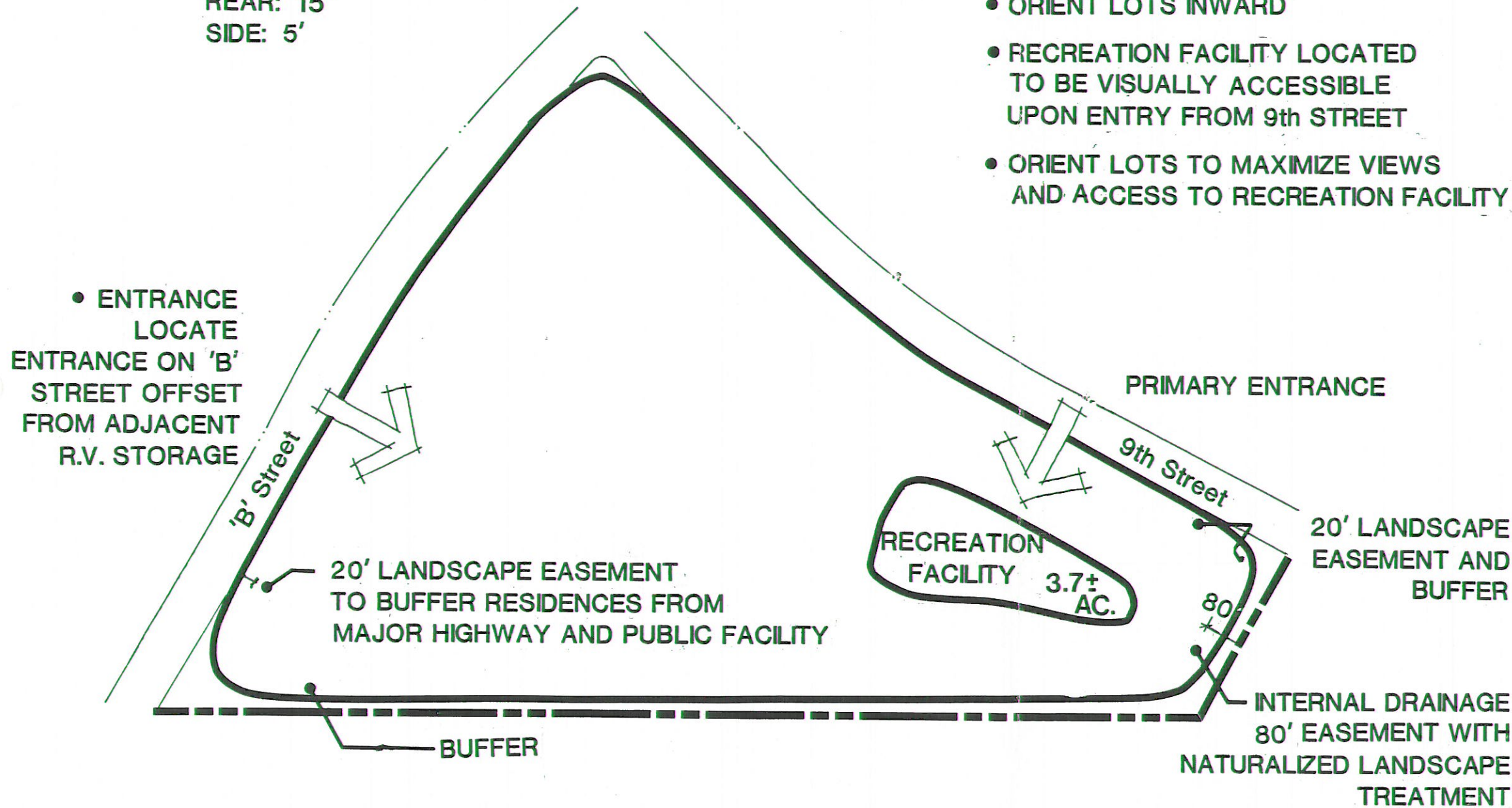
ACREAGE: 42.2

- TYPICAL 6000 SQ. FT. LOT SINGLE FAMILY DETACHED

- SETBACKS:
FRONT: 20'(VARY)
REAR: 15'
SIDE: 5'

- ORIENT LOTS INWARD
- RECREATION FACILITY LOCATED TO BE VISUALLY ACCESSIBLE UPON ENTRY FROM 9th STREET
- ORIENT LOTS TO MAXIMIZE VIEWS AND ACCESS TO RECREATION FACILITY

- ENTRANCE LOCATE ENTRANCE ON 'B' STREET OFFSET FROM ADJACENT R.V. STORAGE



Rancho Nuevo

- (1) All uses permitted in Section 9.5 that have more than 200 square feet of outside storage or materials display
- (2) Body and fender shops and spray painting
- (3) Drive-in theaters
- (4) Heliports
- (5) Mini-warehouse structures
- (6) Mobile homes
- (7) Mobile home sales and storage
- (8) Motorcycle, scooter and motorbike sales, repairs, rentals and demonstrations
- (9) Pawn shops
- (10) Swap meets
- (11) Tire recapping
- (12) Trailer, boat and recreational vehicle storage
- (13) Truck and trailer sales, service and storage
- (14) Underground bulk fuel storage

Deleted

delete

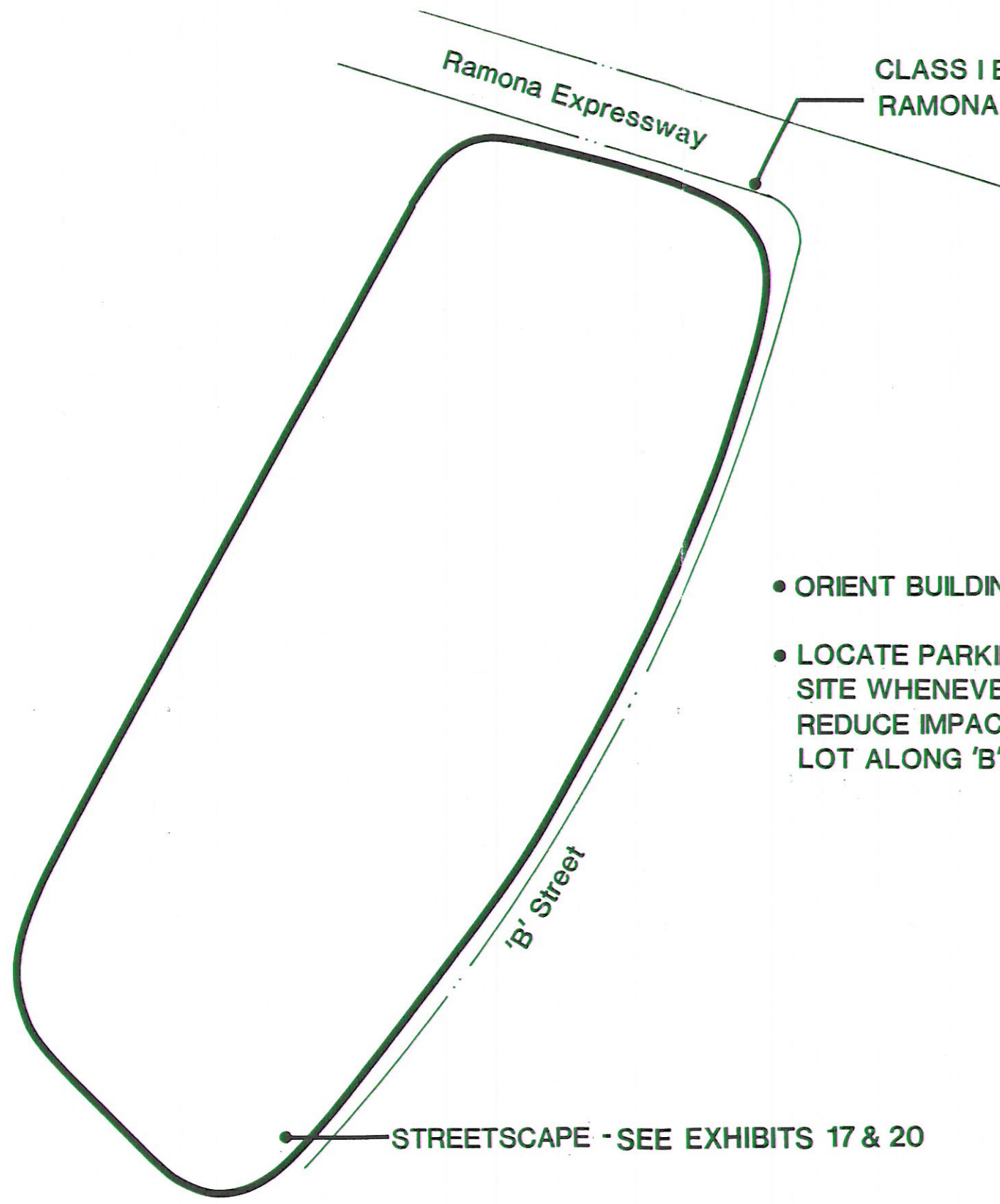
A plot plan by phase or for the entire neighborhood commercial area shall be required for definition, form and uses. Any use allowed herein which requires a Conditional Use or other Special Permit under Section 9.5 also must be developed under such a permit.

c. Development Standards (refer to Exhibit 12)

The development standards for the Neighborhood Commercial Zone shall be the same as those provided within Article IX, Section 9.53 of Ordinance No. 348, ~~except the following:~~

2914

- ~~o Minimum Front Yard Setback: 30 Feet~~
- ~~o Minimum Rear Yard Setback: 30 Feet~~
- ~~o Minimum Side Yard Setback: 10 Feet~~
- ~~o Maximum Building Height: 35 Feet~~

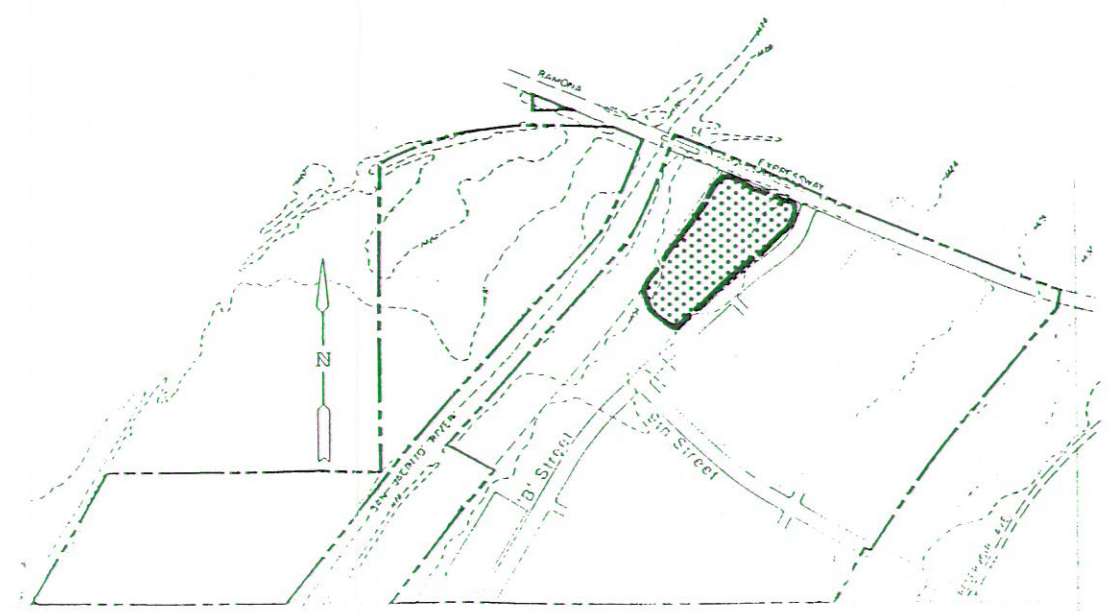


PLANNING AREA 3

USE: NEIGHBORHOOD
COMMERCIAL

ACREAGE: 10 ACRES

- ORIENT BUILDINGS TOWARD 'B' STREET
- LOCATE PARKING TO REAR OF SITE WHENEVER POSSIBLE TO REDUCE IMPACT OF PARKING LOT ALONG 'B' STREET



LOCATION MAP

Rancho Nuevo

- ~~o Maximum Lot Coverage: 30 Percent~~
- o Minimum Landscape Buffer at Rear: 10 Feet
- o Minimum Required Parking: 1 space/300 Square Feet
- o Class I Bikeway to be located along Ramona Expressway
- o Refer to Design Guidelines for additional criteria

4. Planning Areas 4 and 6 (Natural Open Space)

a. Acreage: 93.0 Acres

b. Permitted Uses: *shall be the same as those provided*
~~The following uses are permitted in Planning Areas 4 and 6 per the R-5 zone:~~

for within Ordinance 348.2914

- ~~o Natural open space~~
- ~~o Waste treatment plant disposal and emergency storage~~
- ~~o Borrow site for grading operations~~
- ~~o Field, tree and bush crops, flower and herb gardening~~
- ~~o Waterworks facilities, both public and private~~
- ~~o Utilities, both public and private~~
- ~~o All non-residential uses in the R-1 Zone, Article VI, Section 6.1 (4) of Ordinance No. 348~~

c. Development Standards (refer to Exhibit 13)

- o Transition buffer between development areas and natural open space
- o Revegetation of natural areas disturbed east of the San Jacinto River with native and indigenous plant materials
- o Screening and landscape buffer around the area providing waste treatment disposal and emergency storage

CLASS I BIKEWAY ALONG RAMONA EXPRESSWAY AND SAN JACINTO RIVER

PLANNING AREAS 4 & 6

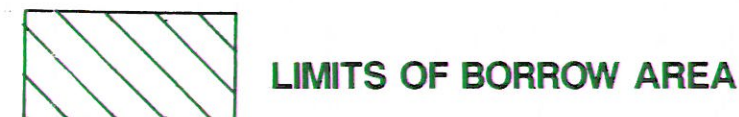
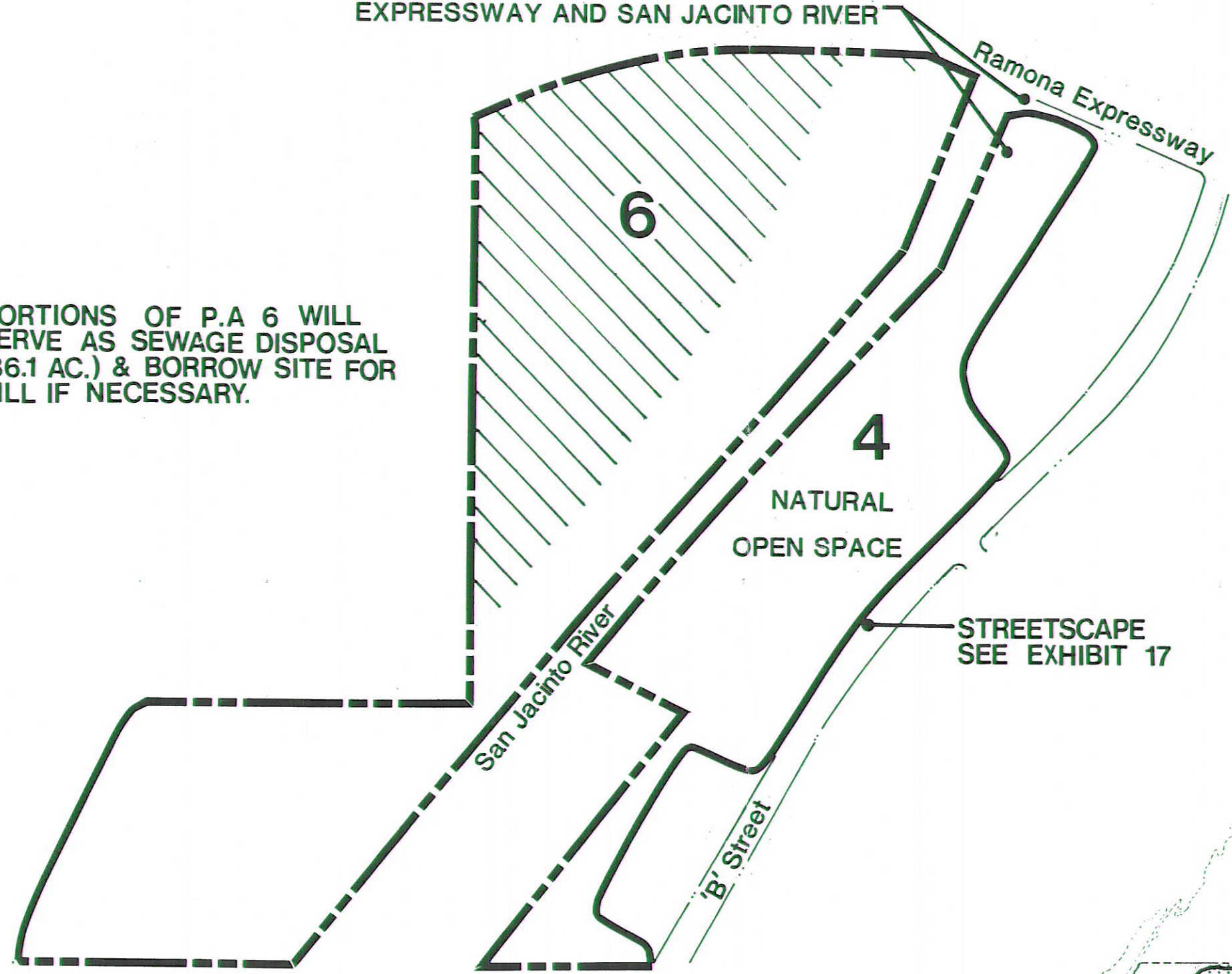
USE: OPEN SPACE

ACREAGE: 93 ACRES

Natural Open Space: 53.7 ACRES

Borrow Area: 39.3 ACRES

- PORTIONS OF P.A 6 WILL SERVE AS SEWAGE DISPOSAL (36.1 AC.) & BORROW SITE FOR FILL IF NECESSARY.



LOCATION MAP

Rancho Nuevo

5. Planning Area 5 (Recreational Vehicle Storage)

a. Acreage: 3.5 Acres

b. Permitted Uses: The uses permitted in Planning Area 5 shall be ~~only boat, trailer, recreational vehicle storage, and mini-warehouses as permitted in the CPS Zone, Article IX, Section 9.5, of Ordinance No. 348.~~ *29 A* *within*

as permitted

c. Development Standards (refer to Exhibit 14)

- o All weather road to provide access to site
- o Locate entrance offset from neighborhood residential entry in Planning Area 2, across "B" Street
- o A buffering/screening landscape treatment will be established around planning area perimeter as illustrated in Exhibit 14

6. Planning Area 7 (Sewage Treatment Plant)

a. Acreage: 13.9 Acres

b. Permitted Uses: *as provided for within Ordinance 348-2914*

~~o Waterworks facilities, both public and private~~

~~o Utilities, both public and private~~

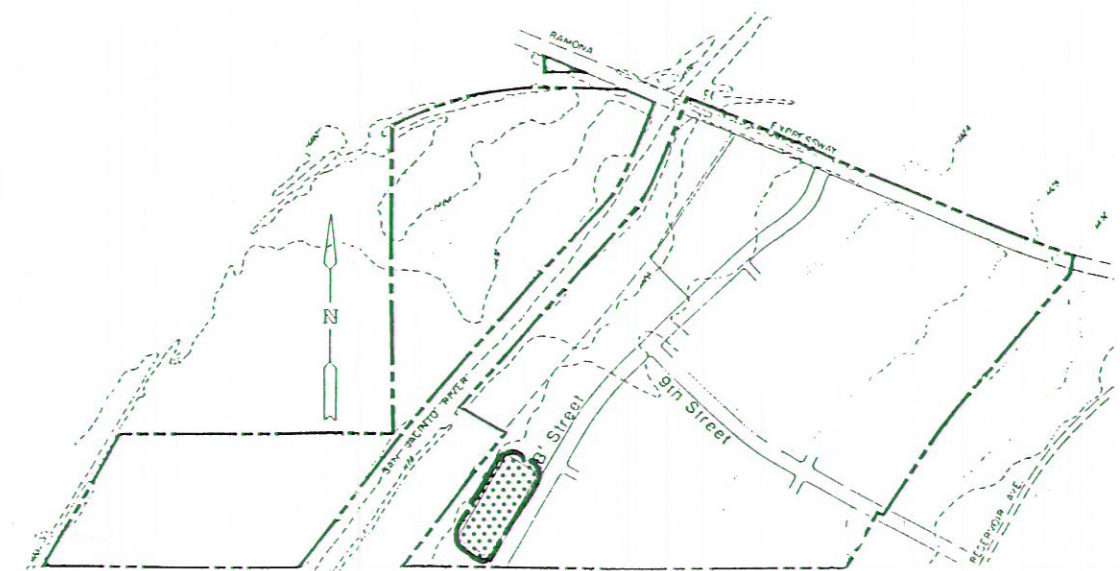
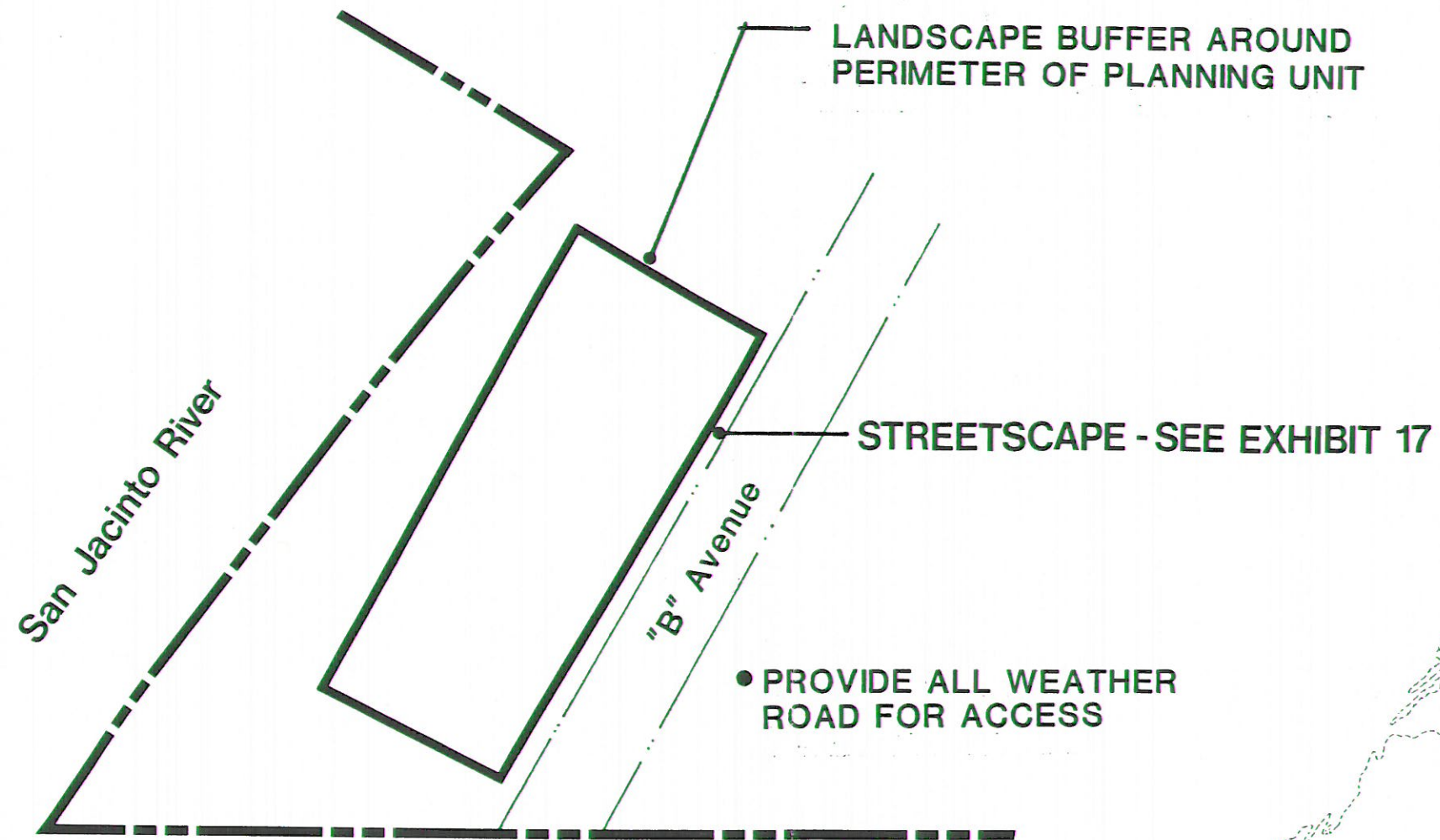
c. Development Standards (refer to Exhibit 15)

- o Perimeter screening in the form of earthen berms, fences, walls and plantings shall be established to restrict views of utility facilities from adjacent roadways and nearby residences
- o Facilities shall be designed and constructed in accordance with EMWD and Riverside County Health Department standards

PLANNING AREA 5

USE: RECREATIONAL VEHICLE STORAGE

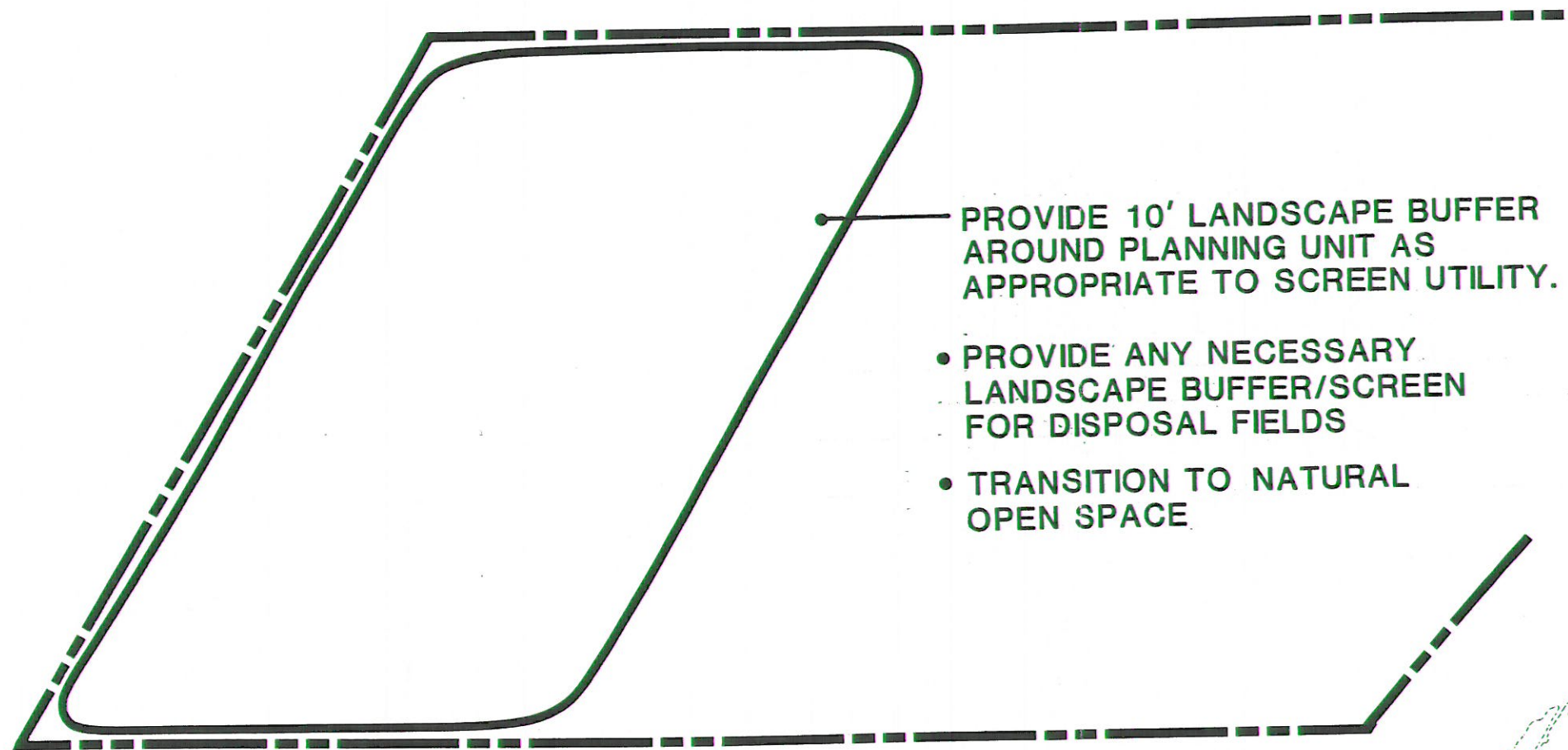
ACREAGE: 3.5 ACRES



PLANNING AREA 7

USE: SEWAGE TREATMENT
PLANT

ACREAGE: 13.9 ACRES



LOCATION MAP

IV. DESIGN GUIDELINES

A. Purpose and Intent

The Design Guidelines have been devised as a method of achieving a high quality design for the community that will develop within Rancho Nuevo.

These guidelines express the desired character of future development for the project area, and address the areas of site planning, streetscapes, signage, lighting, architecture and landscaping.

The Design Guidelines provided herein are intended to be flexible and are therefore illustrative in nature. Over time, they can respond to unanticipated conditions, such as changes in taste, community desires and market place.

These guidelines are also intended to:

- o Provide the County of Riverside with the necessary assurance that the Specific Plan area will develop in accordance within the quality and character proposed herein.
- o Serve as design criteria to developers, builders, engineers, architects, landscape architects, and other professionals in order to maintain the desired design quality.
- o Lend guidance to County staff, the Planning Commission and the Board of Supervisors in the review of future development projects in the Specific Plan area.
- o Provide guidance in the formulation of concise development guidelines for the various planning areas within the Specific Plan boundaries.

B. General Guidelines

The community of Rancho Nuevo is defined by the careful consideration of streetscapes, recreation areas, open space treatment, landscape setbacks, walls and fences, site planning and architecture. These elements will provide continuity to the community. The development should reflect the recreational character of the surrounding area.

1. Project Theme

Rancho Nuevo is located adjacent to the San Jacinto River in the Lakeview-Nuevo area of the Perris Valley. A wildlife preserve, owned by the California Department

of Fish and Game is located on the north side of the Ramona Expressway. The recreational land use within the Lake Perris area provides the basis for an informal character for the Rancho Nuevo Specific Plan, despite its location adjacent to a major circulation corridor.

The informal theme for Rancho Nuevo will be accomplished with the use of strong, yet simple, materials commonly associated with the existing recreational and residential development (e.g., wood, stucco, block stone, etc.). This will provide a continuity between the surrounding uses and Rancho Nuevo. The informal character shall provide the basis for architectural identity. The community theme will also integrate the adjacent natural open space.

C. Community Elements

The components of the community elements include the neighborhood entries, streetscapes, setbacks, land use transitions, recreational areas, natural open space areas, community walls, signage and lighting. The following guidelines establish minimum performance criteria for these elements.

1. Neighborhood Entries

The entries into the two residential planning areas are intended to be similar in character to provide continuity throughout the Specific Plan while allowing separate identity through signage or plant selection. The informal character of the development dictates a simple statement achieved through the combination of walls, planting and signage.

2. Streetscapes

A definitive hierarchy has been selected in order to bring a clear distinction between the relative level of streets and to emphasize certain aspects of each corridor. This recommended hierarchy is depicted in general format terms on the Landscape Plan (Exhibit 9).

Landscaping that reflects the established theme in the area and that provides variety allowing identification of the street system hierarchy has been chosen. Landscape corridors will be established in part by careful consideration of the relationship between street and plant material characteristics such as size, form, texture and color.

Loose groupings of trees are encouraged along major streets, with placement allowing views into open space and recreational areas, or extended landscape setbacks.

a. Ramona Expressway

The Ramona Expressway is the major east-west corridor serving the site and is eligible to be a County scenic highway. The landscape treatment along this highway has two objectives. One is to provide a consistency with other uses in the area along this highway and the other is to provide a buffer to the development occurring within Rancho Nuevo. There will be a noise attenuation wall and berming with the generous setback area provided adjacent to residential Planning Area 1. The plantings should reflect the informal character of the area and assist in buffering the residences while allowing visibility into the commercial site. On the average, one tree for every 25 lineal feet should be provided, with the spacings between groupings never exceeding 100 feet.

The use of the recommended groundcovers and shrubs, once established, will provide a low maintenance, low water consumption design.

b. "B" Street (Major Highway)

"B" Street will serve as a major north-south circulation route within the area and acts as a division between the residential land uses and the commercial and natural open space uses to the west within the Rancho Nuevo Specific Plan.

This road will provide informal groupings of deciduous and evergreen trees. Berming should be employed in the parkway and expanded landscape setback area to provide relief from the virtually flat site and to buffer residences. The berming will also mitigate impacts of parking for the commercial site along the streetscape. One tree for every 35 lineal feet of parkway, with groupings no further apart than 80 feet is recommended. Visibility must be given to the commercial site. Plant density may increase along the recreational vehicle storage site to provide a visual screen. The planting along the natural open space area needs to allow views to this area while integrating some of the native landscape materials.

Again, ground covers and shrubs are recommended which would provide low maintenance and low water consumption. The use of vines on the walls adjacent to the residential uses will soften this edge.

c. 9th Avenue (Secondary Highway)

9th Avenue bisects the residential area of Rancho Nuevo. Its extension to the project provides the initial access to development areas. This roadway streetscape will be enhanced on both sides of the street. A 20-foot expanded landscape area occurs on the south side and a 100-foot internal drainage area exists to the north. This provides a much wider planting corridor to help create the desired character.

Trees should be informally clustered with trees every 30 feet on average. As the streetscape abuts the drainage areas, this treatment should integrate the natural plantings. On this street, sidewalks could meander away from the street right-of-way line to link with the open space and expanded landscape areas.

Behind walkways, low maintenance ground covers are recommended. Along open space areas, non irrigated natural plant materials are acceptable, and allowed to abut the walkway. Vines should be planted on walls to soften the street edge.

d. Residential Streets

The residential roads within Rancho Nuevo are pedestrian oriented with sidewalks adjacent to the curb to allow loading and unloading. The landscape treatment here will also use low maintenance, low water consumption plant materials.

By using different street trees for each neighborhood, separate identities can be provided for each roadway. One tree is required for every 60 lineal feet, averaging one (1) tree per lot. This canopy over sidewalks will create a pleasant pedestrian environment.

4. Setbacks

a. Major Highways and Secondary Highways

Along all major public roads, a 20-foot landscaped setback from the right-of-way line is proposed. This additional setback will provide the area necessary for generous landscaping and tree planting.

This area would be maintained by a maintenance association formed between the various property owners within Rancho Nuevo.

b. Residential

The front yard setbacks to residential structures is a minimum of 20 feet from the street right-of-way line. This will allow off-street parking in the driveway without obstructing the pedestrian walkway. Balconies, roofs, low walls, and non-garage segments of dwelling units are allowed to encroach five feet into this setback requirement.

The side yard setback will be at least five feet when adjacent to other dwelling units. When side yards front on streets (i.e., corner lots) or open space, a 10-foot side yard is required.

The rear yard shall be a minimum of 15 feet in all cases. This includes secondary structures constructed in rear yards.

c. Commercial

The front yard setbacks (i.e., those fronting streets) for commercial structures will be 30 feet from the street right-of-way line (for no more than 25 percent of the square footage for commercial structures). Within this setback, the initial 15 feet (i.e., that beginning from the street right-of-way) will be bermed to three feet in height and landscaped with low maintenance, low water demand plant materials. This will accommodate satellite buildings or restaurants.

The remainder of the commercial structures, or 75 percent of the square footage on the commercial site, shall be setback a minimum of 60 feet from the street right-of-way line. This will allow at least one row of parking in front of the building. Rear yard setbacks for buildings shall be a minimum of 30 feet.

A minimum six-foot wide planting area shall occur on the perimeter of the recreational vehicle storage site to provide visual screening. Visual access will be allowed to accommodate signage and identification.

5. Recreation Areas

The private recreation areas within the residential planning areas will include plantings of trees to provide shade to picnic and use areas while allowing a pleasant buffer zone adjacent to residences. These areas will have landform undulation when possible to relieve the flat topographic character of the site. These areas are to be located so that they provide a visual amenity upon entering the residential neighborhoods. These sites may provide turfed areas to accommodate recreational activities.

6. Natural Open Space

All natural open space areas will be revegetated with native materials as the development progresses and alters natural open space vegetation. The intent is to enhance these areas with additional vegetation to establish the vitality of the areas for wildlife habitat.

7. Community Walls and Fences

The walls and fences of Rancho Nuevo will help set the theme for the project. Where such elements face public streets or view corridors, or are constructed around public facilities, they should appear consistent and act as a unifying element throughout the community. These community walls and fences are located on the accompanying graphic. Interior fences (such as between lots) within residential neighborhoods may vary, but should complement architecture. These fences and walls are not visible from major public rights-of-way, and therefore are left at the discretion of the owner.

8. Signage

The Rancho Nuevo community has a mixture of residential, commercial, public facility and open space uses. The type of signage discussed below will be required and is desirable on a community-wide basis.

a. General Intent

- o Signage shall be attractive and subdued in keeping with the character of the neighborhood environment.
- o Signs shall be limited to community identification, direction and building or company identification only. Signs should not be used for product advertising.

- o All business signs shall be compatible with the architecture of the buildings they identify.
- o Commercial signage will not be allowed above the roofline and must be consistent in color and theme with the architecture. Signs identifying the commercial center at the road shall number no more than two and shall not exceed 20 feet in height.
- o Residential signs should be coordinated and integrated with the neighborhoods in which they are erected.
- o All signs should be well integrated into site landscaping.
- o All signs shall be compatible with the overall theme of the Rancho Nuevo Specific Plan area.
- o All signs shall be of professional quality.
- o No signs shall be painted directly on any building elevation.
- o More specific design standards, including dimensional and locational criteria, should be formulated as part of the implementation of the specific plan, through the CC&Rs and as conditions of approval for the tract maps.
- o Signage design and schematics, showing locations, size, dimensions, type style and colors, shall be submitted with the required plot plan for the commercial site. Residential signage shall be controlled through CC&Rs or through other appropriate mechanisms.

b. Prohibited Signs

The following types of signs are expressly prohibited with the Rancho Nuevo Specific Plan community:

- o Pylon signs or steel pole-mounted signs.
- o Revolving, rotating or moving signs.
- o Signs with flashing or blinking lights.
- o Roof signs.

- o Totem signs displaying the names of each tenant.
- o Portable signs, including vehicles used as billboards.
- o Signs advertising or displaying any unlawful act, business or purpose.
- o Any strings, pennants, banners, streamers, balloons, inflatable objects, flags, twirlers, propellers, noise-emitting and similar attention-getting devices, except the following:
 - National, state, local governmental, institutional or corporate flags should be allowed. Flag pole locations should be shown on the site plan for approval. Only one set of flags should be allowed on each site.
 - Holiday decorations in season, used for an aggregate of 45 days in any one calendar year should be allowed.
 - Pennants, banners or flags used in conjunction with subdivision sales offices and tract entry points should be allowed during the initial sales period.

c. Commercial Monument Signs

Monument signs are the preferred signage type for the specific plan. The following guidelines are presented to establish formal criteria for monument signage.

- o Monument signs should be set back a minimum of 20 feet from the curb face (where no sidewalk is provided) and 15 feet from the in-board edge of a walk where a sidewalk or path is provided. Signs should be set back a minimum of five feet from the property line and 15 feet from any driveway.
- o Only one monument sign shall be allowed on each site for each street frontage, with never more than two signs.

- o Monument signs should have a concrete or natural stone masonry base, and should be compatible with the building architecture.
- o Doubled-sided monument signs are permitted.
- o Monument sign lighting is allowed but internal lighting is prohibited. External lighting is encouraged so long as the lighting source is well concealed and consistent with the plan area designation objectives.

d. Building-Mounted Signs (Commercial Buildings)

- o Multi-tenant commercial buildings within areas zoned for commercial land use should have only one sign for each tenant.
- o Tenant signage should be well integrated into the building design.
- o Multi-tenant commercial facilities shall have a cohesive, well integrated signage program. The combined impact and interrelationship of all tenant signage shall be considered in signage program design.
- o All multi-tenant signs should be constructed of the same materials, have similar dimensions and coordinated colors.
- o Internally illuminated channel letter signs are acceptable, but external, concealed and integrated lighting is preferred.
- o Placement of signs on projecting architectural elements shall be allowed when they are compatible with the building architecture (i.e., awnings or hanging signs).
- o Multi-tenant signage shall be coordinated with the building architecture occurring in a pattern on the building elevation.
- o Multi-tenant signage should be subdued and more restrained than regular commercial signage. All multi-tenant signs should be constructed of the same materials, have similar dimensions and coordinated colors.
- o Signs should be similar in design having the same size, shape and color.

f. Neighborhood Entry Monumentation (Planning Area Entries)

- o Signage for each neighborhood or development is encouraged.
- o Design of such monumentation shall be coordinated with street landscape and street furniture. Monumentation should inform the viewer, through written and symbolic graphics, that they have arrived.
- o Monuments should be compatible with the design theme of the Rancho Nuevo Specific Plan and the developments or neighborhoods they identify.
- o Entry monuments should help identify the neighborhood design theme. Logo, logotype and color schemes shall be consistent throughout the area being identified, and consistent throughout Rancho Nuevo.
- o Entry monuments may be illuminated externally if they are consistent with the Rancho Nuevo Specific Plan theme; glare must be controlled, and lighting sources concealed.
- o Permanent, low maintenance materials, such as natural stone, brick, masonry or stucco should be used.

f. Directional Signage

- o Directional signage, to identify and direct vehicular and pedestrian traffic to various on-site destinations, shall be allowed.
- o Directional signage should be of consistent design throughout the project. Signage should be fabricated from the same materials, with a consistent color palette and a common graphic theme.
- o Directional signs shall be small scale and of consistent dimensions.
- o Directional signage should be compatible with the architectural design of the project and with the design theme of the plan area.

g. Temporary Signage

- o Signage identifying uses or activities temporary in nature, such as real estate sales and leasing, subdivision signage, contractors, design firms and developer signage associated with the development or construction of buildings are allowed if consistent with the plan area design character.
- o Temporary signage shall be located on or in close proximity to uses identified.
- o Concise standards for temporary signage, including dimensional requirements, materials of construction, mounting heights, colors and graphic format should be prepared as part of the implementation of the Specific Plan, such as through CC&Rs.
- o The multitude of signs associated with development, design, construction and leasing should be combined into one design for each project.

9. Lighting

The level of on-site lighting as well as lighting fixtures, shall comply with any and all applicable requirements and policies of the County of Riverside. Energy conservation, safety, and security should be emphasized when designing any lighting system.

D. Architectural Guidelines Criteria

The California Traditional architectural theme will be implemented by Rancho Nuevo. California Traditional is inclusive of and an outgrowth of the Spanish/Mediterranean, Monterey, Santa Fe and California Ranch styles. It is typified by one- and two-story volumes of stucco and wood, simple roof forms and accent features such as bay windows, post and pillars, pop-outs, recessed openings and refined details. The following architectural guidelines are established for Rancho Nuevo to ensure that the integrity of the community is maintained.

1. Single-Family Detached Criteria

Though the architecture of Rancho Nuevo should be read as a community, one particular style should not dominate the entire Specific Plan area. A framework based on common community elements has been created that integrates building designs and project areas while

allowing each area its own character. To this end, the following guidelines and criteria have been established.

- o Each neighborhood is allowed individuality and should convey its own unique blend of building formats and styles.
- o The architectural character of each planning area should be perceivable from the street, and visual interest should be created through the application of architectural elements, such as windows, doors, balconies, roofs and other detail.
- o Roof pitch and form are visible features which can dramatically impact a streetscape. Various site arrangements should be employed to avoid monotony. Flat roofs are discouraged.
- o Roof overhangs are encouraged as a response to climatic conditions (to provide shade), especially when used in combination with porch enclosures, balconies and recesses.
- o Emphasis should be placed on creating units with a strong indoor/outdoor relationship.
- o All mechanical equipment shall be screened from view by walls or fences similar in design to the building architecture or by landscaping adequate in size to provide proper screening.
- o All roofing materials shall be of a fire retardant material, such as clay tile, concrete tile, or composite shingles. Wooden roofs are unacceptable in Riverside County.
- o Light colored stucco walls with wood trim and accent are recommended.

Design Features

Form and Scale

One- and two-story volumes with low pitch roofs (e.g., 4:12 and 5:12). Heavy beams, pillars and eave overhangs define simple forms.

Materials and Color

Stucco with wood siding or shingles as accents. Rock and brick may also be used as accent materials. Roofing materials may be concrete or clay tile shake or shingles. The "signature" color for Rancho Nuevo is

Sand. Other colors used should be in tones found in the natural landscape, with limited use of brighter colors as accent (e.g., pale earth tones predominate with accent colors).

Large glass areas contrasted with french doors and paned windows. Wood panelled doors and specially designed entry areas.

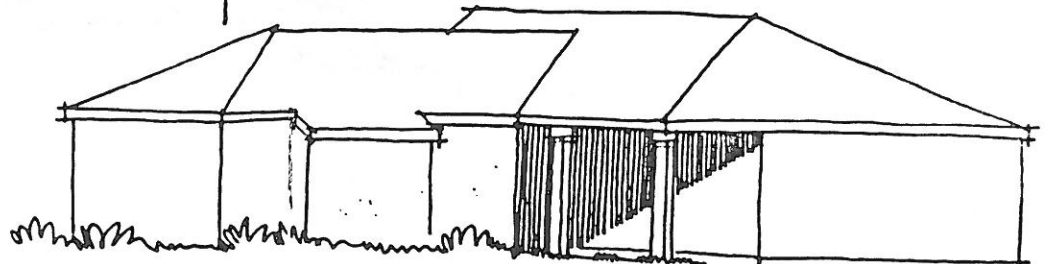
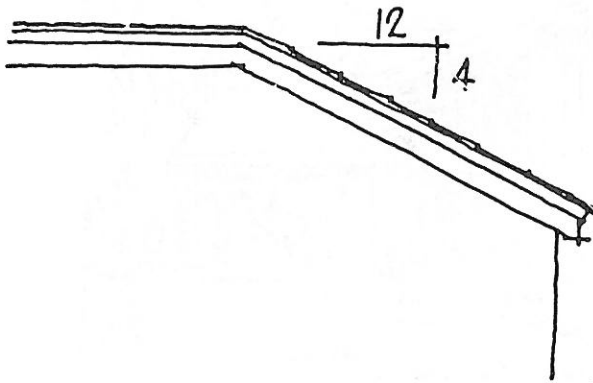
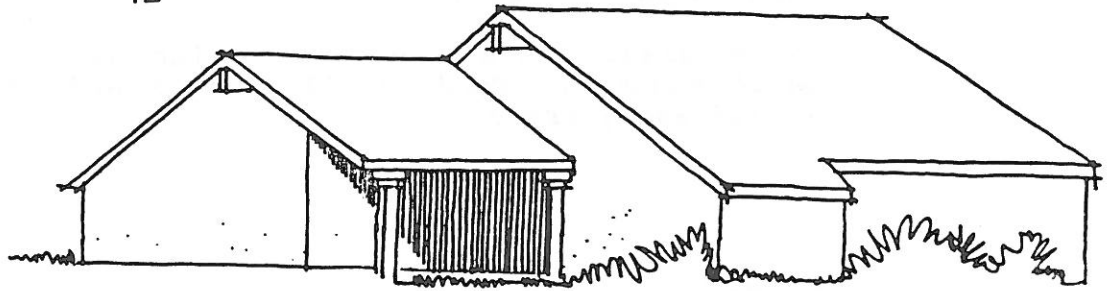
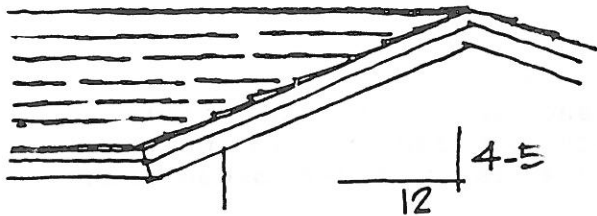


Massing

One- and two-story structures can be used in simple forms accented by the use of expanded structural elements and architectural details. Forms tend to tie together by large roof forms, gables, hipped and shed.

Roof Forms

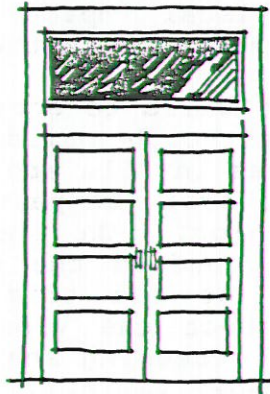
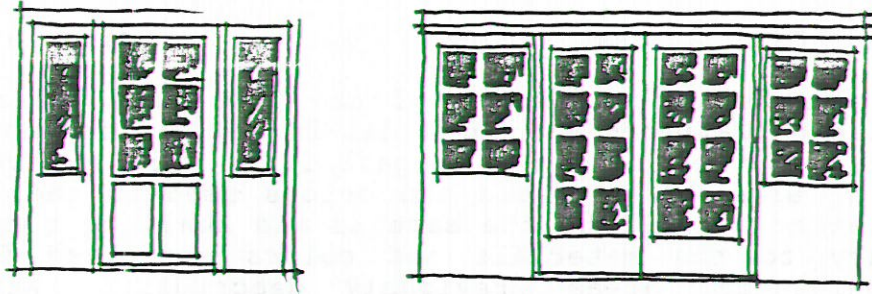
Roof forms are typically gabled at 4 or 5 in 12 with extensions of the roof over windows and door openings. Several roof planes can be incorporated to provide continuity between one- and two-story structures. Materials are tiles, shake or single, in non-wood materials.



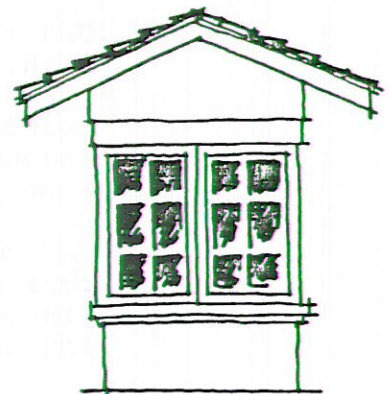
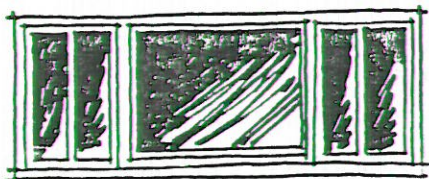
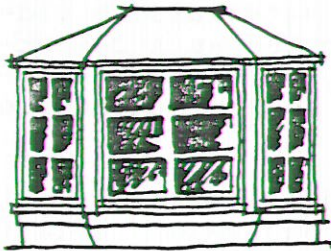
2

Doors and Windows

The entrance is a predominant focal point of the structure, providing individuality to each unit. Design should provide covering for weather protection as an extension of the main roof or as an add-on. Doors are typically panelled or paned and entryways may be recessed, creating shadow relief.



Windows are wood and wood-trimmed aluminum, fixed and casement. Where windows are accented, they should be a component of the architecture, such as clerestory, bay windows, or feature windows such as stained glass.



2. Neighborhood Commercial Guidelines Criteria

The architectural theme of the commercial area shall also be California Traditional in style with particular attention paid to its compatibility with the residential areas. Materials and colors used in the commercial area shall be the same as and shall be complementary to the materials and colors specified for the residential areas previously described. Attention shall be paid to the visual impact of the commercial area, both from within and outside the project.

Flat roofs with parapet walls to screen rooftop equipment are acceptable, although buildings with articulated varying roof planes in tile are encouraged. Roof vents and appurtenances shall be painted a color which will match the roof color. On flat roofs, rock or similar topping shall conform the roof color to the color of the building or the trim of the parapet. Where necessary to protect the visual effect of the building, enclosures or screening shall be used on roof tops in addition to parapet walls.

Roof pitch for attached arcades or colonades shall be a minimum 2:12. Arcades and colonades are permissible provided the total building and its related elements are visually unified to provide an order and coherence, not only with the building itself but also with the surrounding environment.

The commercial area is to be a part of the community with a continuity of styles, colors, materials, building and roof forms, designed and executed as a compatible, integrated whole. The following commercial guidelines and criteria are proposed to provide direction for future commercial development.

- o Architecture should address public areas and shall contain architectural elements and other detail relating to the human scale.
- o Use of varied roof forms is encouraged over monolithic, one-ridgeline roofs.
- o Buildings with facades parallel to the street are encouraged. Long, unarticulated facades and roof forms should be avoided.
- o Use of attractive, durable, high quality, weather resistant materials should be required for all visible and weather exposed surfaces on the building exterior.

- o Integrally colored inorganic materials, such as brick, concrete, stone, copper, core ten steel and anodized aluminum are encouraged. Wood should be used for accent only.
- o Use of bright, vibrant colors and primary colors should not be permitted except as limited accents.
- o Use of reflective glass is prohibited.
- o Temporary modular buildings such as portable buildings or mobile homes and metal system buildings are prohibited. Job-site trailers associated with on-site construction activity are permissible during construction.
- o All parking required for employees, clients, customers or any others related to an enterprise shall be provided on-site, unless otherwise provided by a reciprocal parking arrangement.
- o Loading docks, staging areas and transformers shall be screened from public streets, and located toward the rear yard side of the buildings.
- o Trash enclosures, rubbish bins, transformers, processing equipment and any other unsightly apparatus shall be situated away from the street and located toward rear yard areas, and should be architecturally screened.
- o All roof equipment shall be enclosed in a penthouse or otherwise screened so as not to be visible from a public street or right-of-way.

E. Landscape Guidelines

- 1. Miscellaneous Planting Guidelines
 - a. Planting Time

Because of the climate in the Perris Valley, the installation of plant materials during the coldest winter months (i.e., December through March) or the hottest summer/fall months (i.e., July through September) can be difficult. Container plant materials not acclimated to the area can easily suffer from cold temperatures or sun/heat exposure, resulting in partial or entire foliage loss even though such materials are perfectly suited to the temperature ranges once established. If plant-

ing must be done during these difficult periods, plant establishment may be difficult, and may require a prolonged period of time.

b. Recommended Plant Palette

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the community. The plant material lists have been selected for their appropriateness to the project theme, climatic conditions, soil conditions and concern for maintenance.

A limited selection of materials utilized in simple, significant composition complimentary to adjacent common landscape areas while reinforcing the individual architectural and site setting is encouraged.

Overall plant material selection for given project areas, wherever possible, shall have compatible drought resistant characteristics. Irrigation programming can then be designed to minimize water application for an entire landscape setting.

All areas required to be landscaped shall be planted with turf, groundcover, shrub or tree materials selected from the Plant Palette (refer to Table 4). Table 4 identifies tree uses according to their location within the Rancho Nuevo Specific Plan.

c. Landscape Maintenance Responsibility

Maintenance of the streetscapes, recreation and open space areas within the rights-of-way throughout Rancho Nuevo will be the responsibility of the maintenance association established for this purpose. In addition, landscaping within the required landscape setbacks and with other individually owned areas are to be maintained by the respective property owners or owners association established for this purpose.

d. Irrigation

All areas required to be landscaped shall be watered with an automatic underground irrigation system.

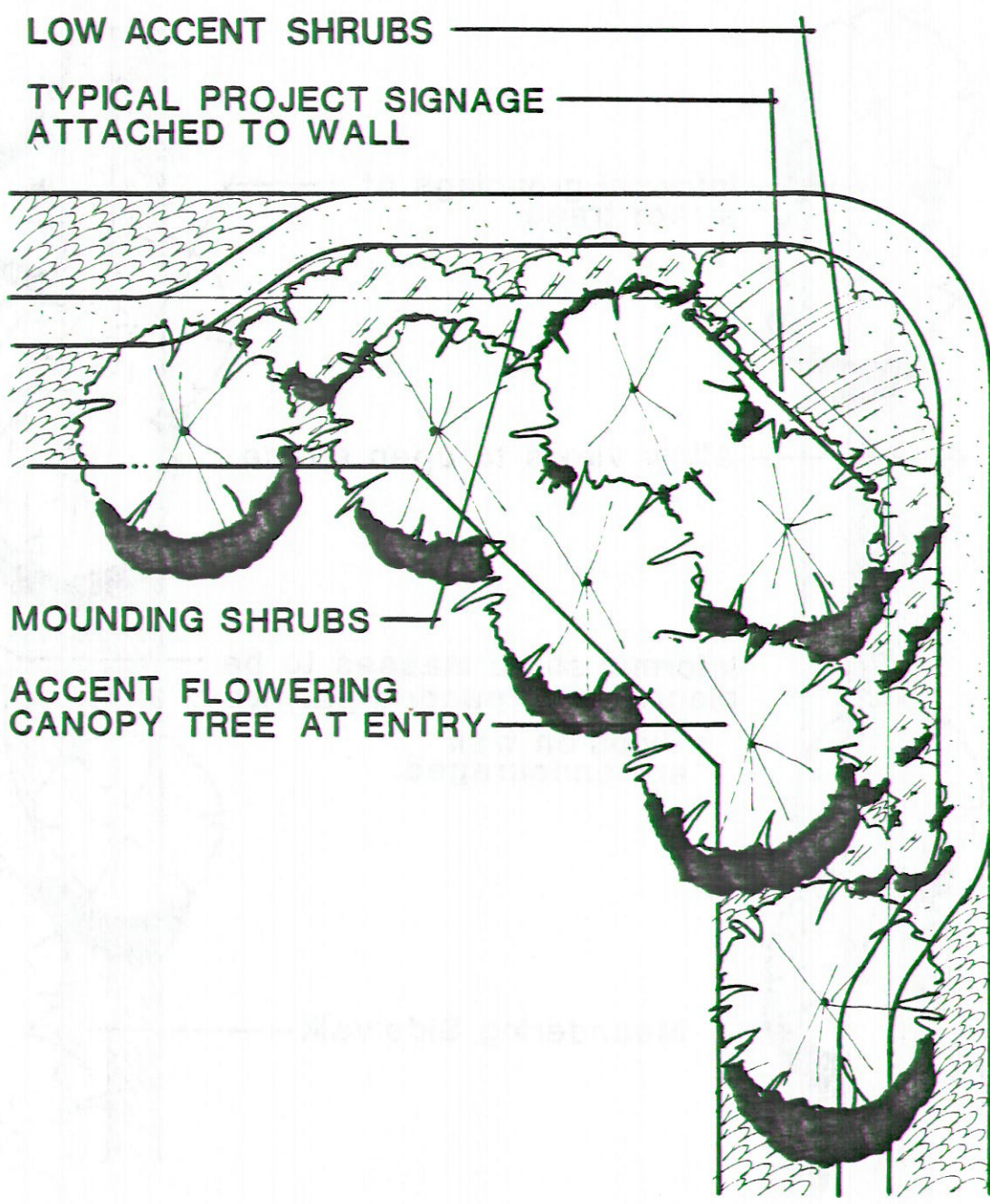
A low precipitation system will be designed to provide deep watering in all parkway areas where groundcover, shrubs and trees are planned. If turf is used in these areas, a dual irrigation system shall be used so that trees and shrubs are deep watered separately from turf areas. All irrigation systems will be controlled by an automatic irrigation controller.

Standards

- o Detailed landscape and irrigation plans prepared by a registered landscape architect shall be required.
 - o Landscape and irrigation plans are to be submitted to the appropriate reviewing agencies.
 - o Irrigation systems shall be designed with head to head, 100 percent double coverage at a minimum time setting of one (1) minute and be capable of providing multiple repeat and start times.
 - o All irrigation heads adjacent to walks, drives, and curbs (car overhangs) shall be of the pop-up type.
 - o Irrigation back flow prevention devices and controllers shall be located and/or screened with appropriate plant material to minimize visibility.
- e. Landscape Maintenance

A Master Homeowners Association will be responsible for landscape maintenance in all common areas. Maintenance will be of high quality in accordance with established horticultural practices. Such maintenance shall include watering, fertilization, mowing, edging, pruning, trimming, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions. Replacement of dead or diseased plant materials originally approved shall be accomplished on a routine basis. Automatic irrigation systems shall be routinely inspected, repaired and maintained in an operating condition at all times. All exterior portions of each parcel, including walks, parking areas and service areas shall be kept routinely free of litter and debris.

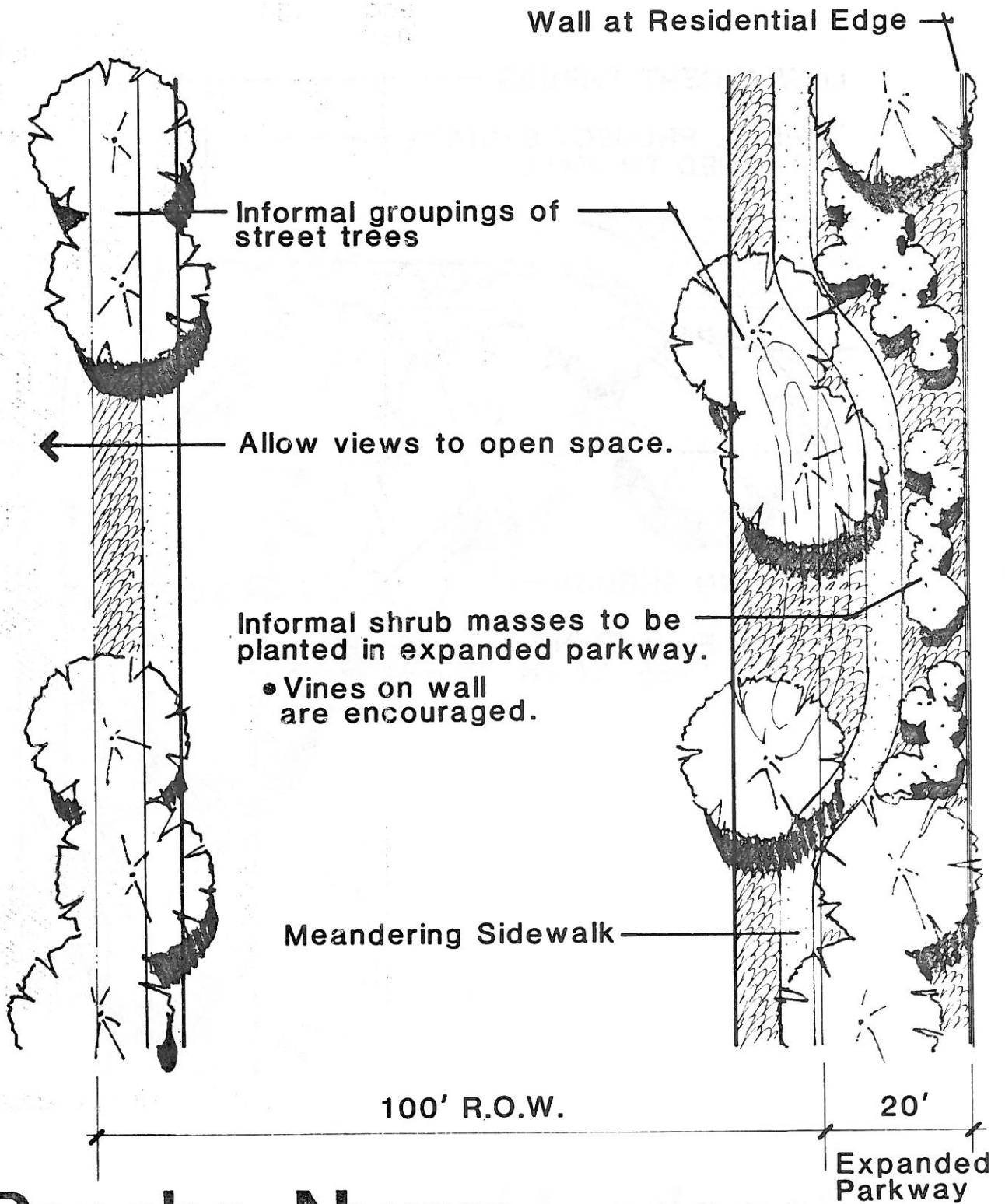
NEIGHBORHOOD ENTRY



Rancho Nuevo

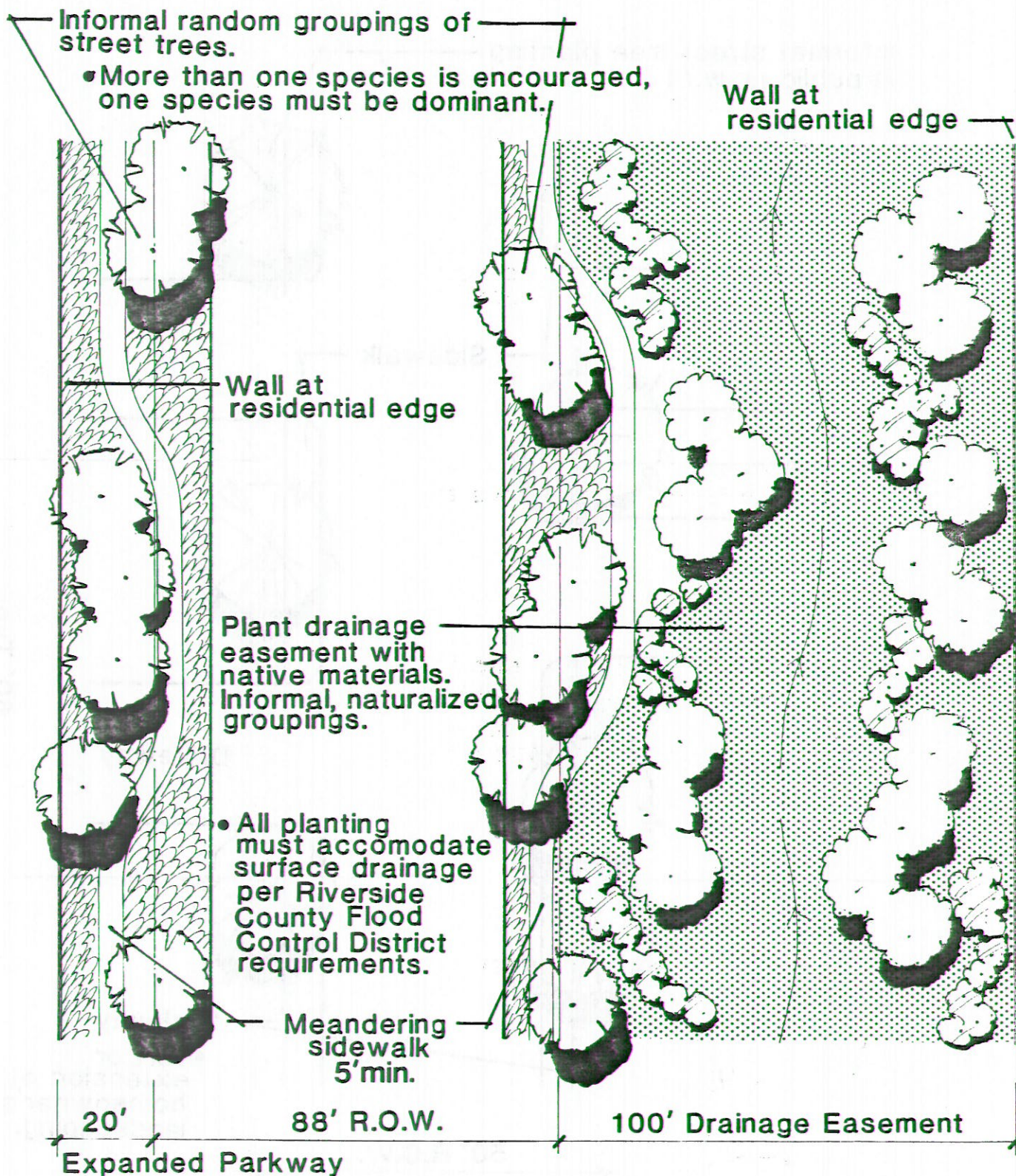
ROADWAY LANDSCAPE TREATMENT

"B" Avenue



Rancho Nuevo

ROADWAY LANDSCAPE TREATMENT 9th STREET

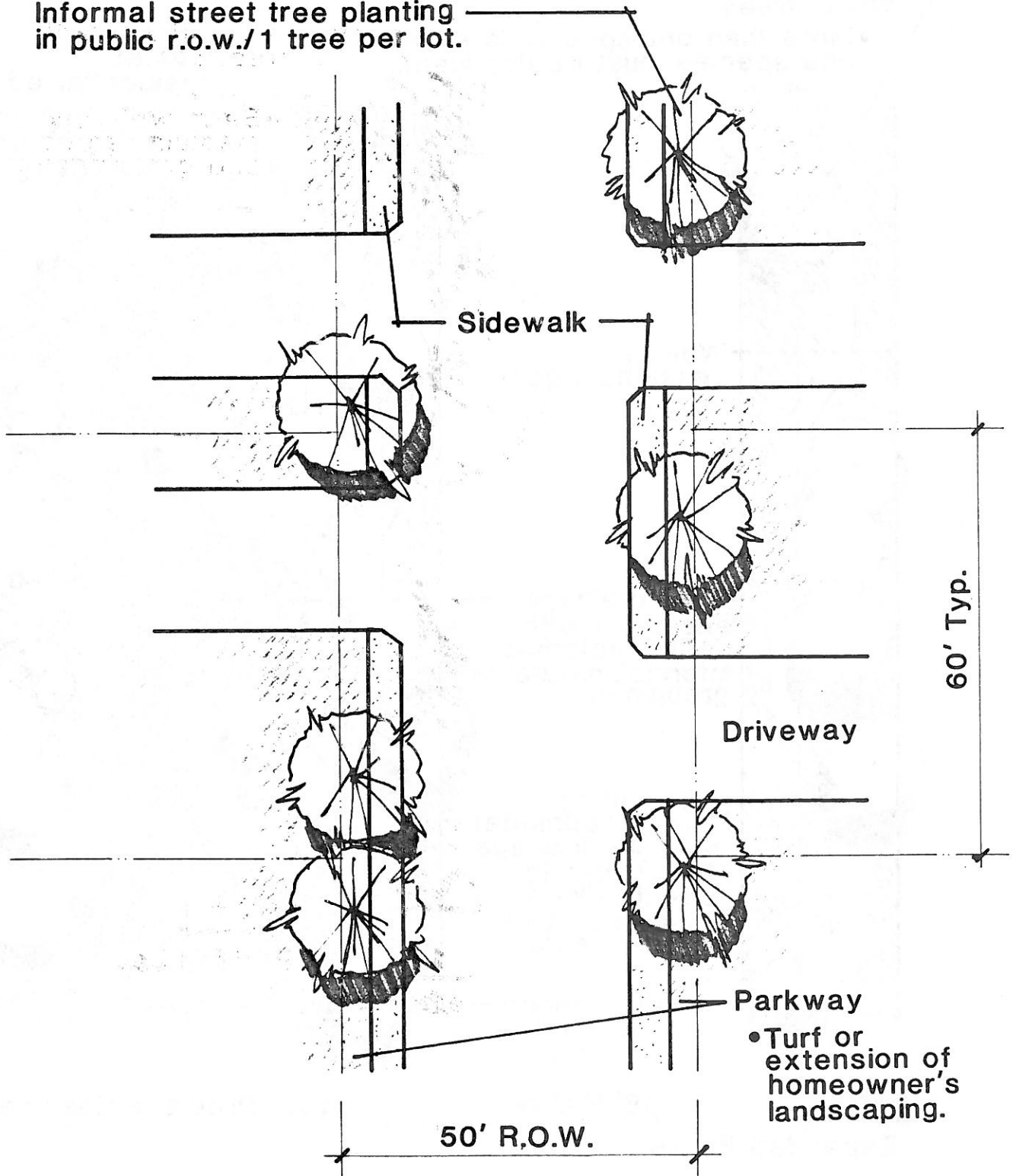


Rancho Nuevo

ROADWAY LANDSCAPE TREATMENT

Interior Residential Collector

Informal street tree planting
in public r.o.w./1 tree per lot.

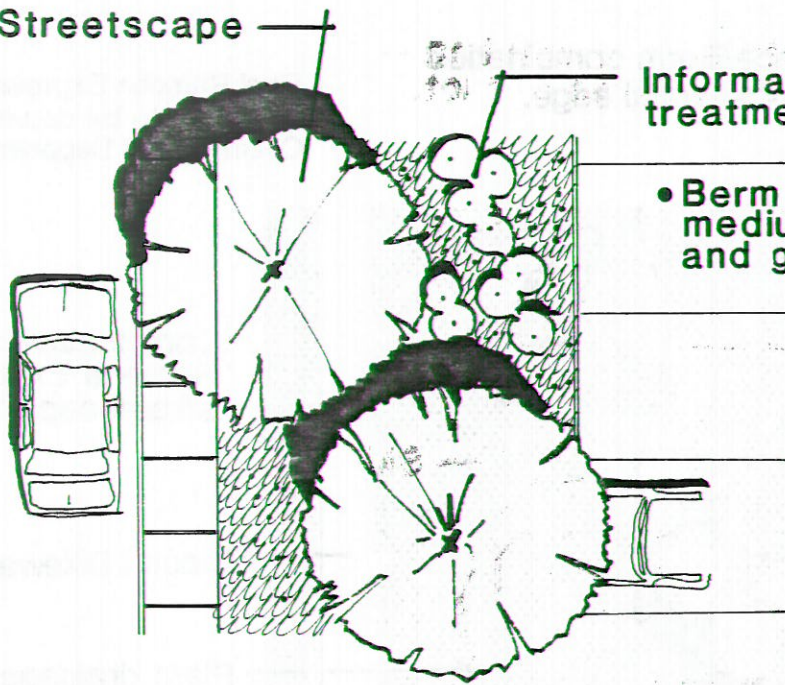


Rancho Nuevo

LANDSCAPE BUFFER

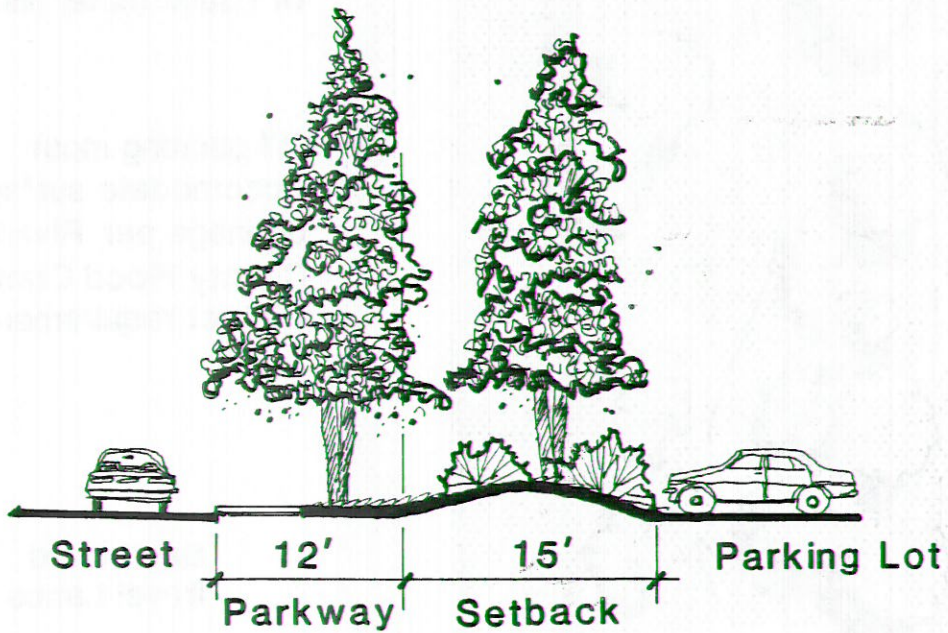
Commercial at "B" Avenue

Informal Streetscape



Informal setback treatment

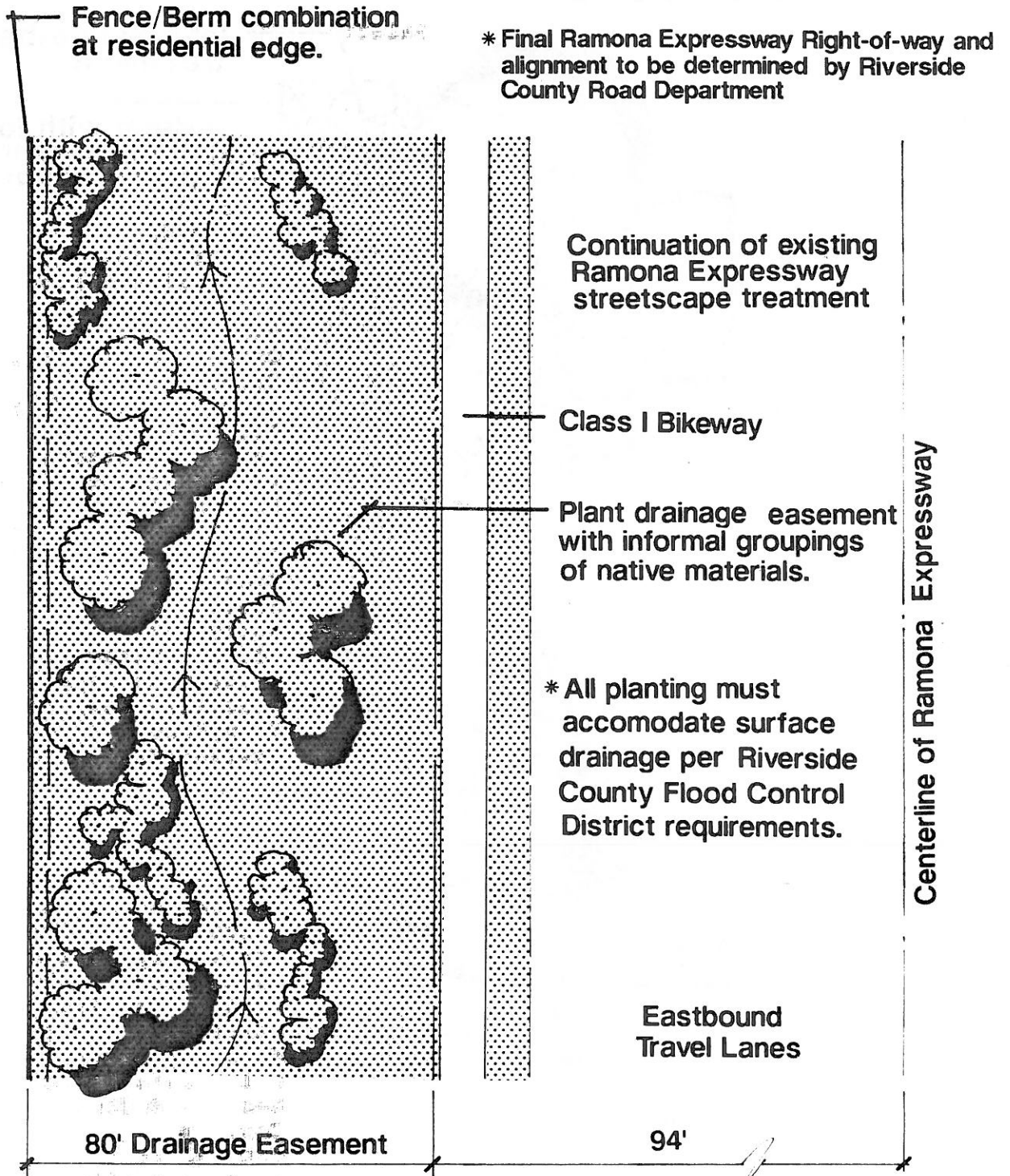
- Berm with low to medium shrub mass and groundcovers



Rancho Nuevo

EXPRESSWAY LANDSCAPE TREATMENT

RAMONA EXPRESSWAY



Rancho Nuevo

Table 4
Plant Palette

TREES

Acer buergeranum	Trident Maple
Alnus cordata	Italian Alder
Alnus rhombifolia	Alder
Brachychiton populneus	Bottle Tree
Cinnamomum camphora	Camphor Tree
Geijera parviflora	Australian Willow
Ginkgo biloba	Ginkgo
Gleditsia triacanthos	Honey Locust
Koelreuteria bipinnata	Chinese Flame Tree
Lagerstoemia indica	Crape Myrtle
Liquidambar styraciflua	American Sweet Gum
Pinus halepensis	Aleppo Pine
Pistacia chinensis	Chinese Pistache
Pittosporum undulatum	Victorian Box
Platanus acerifolia "Bloodgood"	London Plan Tree
Platanus racemosa	California Sycamore
Populus fremonti	Cottonwood
Quercus agrifolia	Coast Live Oak
Quercus coccinea	Scarlet Oak
Quercus ilex	Holly Oak
Rhus lancea	African Sumac
Shinus molle	California Pepper
Schinus terebinthifolius	Brazilian Pepper
Tipuana Tipu	Tipu Tree
Zelkova serrata	Sawleaf Zelkova

SHRUBS

Abelia "Edward Goucher"	Glossy Abelia
Agapanthus species	Agapanthus
Arbutus menziesii	Madrone
Arbutus unedo "Compacta"	Strawberry Tree
Arctostaphylos species	Manzanita
Caesalpinia gilliesii	Bird of Paradise
Camellia species	Camellia
Cassia artemisiodes	Feathery Cassia
Ceanothus species	California Lilac
Cercis occidentalis	Western Redbud
Coprosma species	Coprosma
Cotoneaster species	Cotoneaster
Dietes bicolor	Fortnight Lily
Feijoa sellowiana	Pineapple Guava
Grevillea "Noellii"	Grevillea
Hemerocallis hybrid	Daylily
Heteromeles arbutifolia	Toyon
Jasminum species	Jasmine

Table 4

Plant Palette
(Continued)

SHRUBS (Continued)

Lauris nobilis	Sweet Bay
Leptospermum species	Tea Tree
Ligustrum species	Privet
Magnolia soulangeana	Saucer Magnolia
Mahonia species	Oregon Grape
Myrtus communis	Myrtle
Nandina species	Heavenly Bamboo
Pelargonium species	Geranium
Photinia fraseri	Photinia
Pittosporum species	Mock Orange
Podocarpus macrophyllus	Yew Pine
Prunus lyonii	Catalina Cherry
Pyracantha species	Firethorn
Raphiolepis species	India Hawthorn
Rhamnus californica	Coffeeberry
Rhus ovata	Sugar Bush
Typha latifolia	Cattail
Viburnum tinus	Laurustinus
Xylosma species	Shiny Xylosma
Yucca whipplei	Our Lord's Candle

GROUNDCOVERS

Acacia species	Acacia
Aptenia cordifolia	Aptenia
Ceanothus species	California Lilac
Cotoneaster species	Cotoneaster
Drosanthemum floribundum	Rosea Ice Plant
Gazania species	Gazania
Hedera helix	English Ivy
Heuchera sanguinea	Coral Bells
Lampranthus species	Ice Plant
Lonicera japonica	Honeysuckle
Majonia repens	Creeping Mahonia
Myoporum pacificum	Myoporum
Pennisetum setaceum	Fountain Grass
Ribes viburnifolium	Evergreen Currant
Rosmarinus officinalis	Rosemary
Trachelospermum jasminoides	Star Jasmine
Turfgrass species	Turfgrass
Verbena peruviana	Verbena
Vinca minor	Dwarf Periwinkle

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