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## II. SUMMARY

### A. PROJECT SUMMARY

#### 1. Project Site Location

The site of the proposed project is located in the Western Coachella Valley within an unincorporated portion of Riverside County. **Figure II-1** depicts the location of NorthStar in a regional context. **Figure II-2** depicts the exterior boundary of the project site, displays the general on and off-site topography and presents the location of the proposed project in relation to key elements of the surrounding street system. As shown, the project site is located north of Interstate 10 and east of the Cook Street Interchange. Access into the site is provided via Varner Road which is situated parallel to the southern boundary of the project site.

#### 2. Project Site Boundaries and Surrounding Land Uses

The 455.75 acre project site incorporates portions of Sections 27, 34 and 35 of Township 4 South, Range 6 East, San Bernardino Base and Meridian. The assessor's parcel numbers comprising the site include 653-300-048; 653-410-041, 042, 043, 045, 046; 653-420-026, 027, 028; 653-430-007; and 653-440-023, 025, 026.

**Figure II-3** (Plan View and Oblique Aerial of the Project Site) displays the current distribution of land uses within the project site boundaries and around the project vicinity. **This figure shows a plan view of the project site prior to grading, as well as an oblique aerial view of the project site during grading activities. As shown in the figure, the Classic Club golf course is an existing land use in both views. currently exists, Club House facility and parking lot is located south of the course on Classic Club Drive. a majority of the site has been mass graded<sup>4</sup>.**

Surrounding land uses include the Coachella Valley Preserve (*which is situated within the Open Space – Conservation Habitat land use designation in the Riverside County General Plan and will remain in a vacant/natural state*) to both the east and northeast, Cook Street to the west and Varner Road to the south. Interstate 10 (a 140-foot wide six lane major arterial with special Caltrans right-of-way requirements) is located immediately south of Varner Road. The City of Palm Desert, the Cal State University San Bernardino Desert Campus and additional commercial and industrial uses are situated across Interstate 10, further south of the project site.

#### 3. Project Site History

- 1981** The County of Riverside approved the "Oasis" project (Specific Plan No. 151). The project was a mixed-use residential (1522 mobile home lots) and commercial development (12 acres) that included a 27-hole golf course and maintenance facility
- 1988** A name change occurred and the "NorthStar" Specific Plan was amended to facilitate a similar mixed-use concept as the "Oasis", but modified to include single-family detached residential dwellings instead of mobile homes. The commercial area was also changed to accommodate a business park.

<sup>4</sup>-It should also be noted that the golf course is scheduled to be open for play in late 2005, early 2006.

- 1989** A land trade with the U.S. Fish and Wildlife Service was completed realigning the property line between the site and the Coachella Valley Preserve to the north. The transaction served, in part, to meet the project’s biological resource mitigation and fee requirements.
- 1998** The County of Riverside approved a 2<sup>nd</sup> amendment to Specific Plan No. 151, referred to as the “NorthStar Commerce Center and Golf Club”. The mixed-use development concept remained, but the plan was modified to include additional business park, commercial and recreational oriented land uses. Amendment No. 2 also resulted in the elimination of all permanent dwelling units.
- 2003** The County of Riverside approved a mass grading permit (~~BGR-03-197~~)BGR031397, consistent with Specific Plan 151 Amendment No. 2 and on the environmental clearances associated with the action.
- 2005** The County of Riverside approved a Golf Course Plot Plan (PP19242), consistent with prior approvals associated with Specific Plan No. 151 Amendment No. 2.
- 2005** The County of Riverside approved two additional Plot Plans (PP19740 and PP 20512) which allowed for the construction of an 81,000 square foot golf clubhouse, and two comfort stations. Each plot plan is consistent with Specific Plan No. 151 Amendment No. 2.

*Concurrent with Amendment No. 2 and subsequent plot plans was the approval of several related discretionary actions. Most of those actions (in one way or another) brought the project into conformity and consistency with relevant documents related to law, land use and policy. Among the related approvals were Comprehensive General Plan Amendment No. 443, Zone Change No. 6346. and associated plot plans (19242, 20512, 19740).*

- 2006** The County of Riverside approved General Plan Amendment No. 707, Specific Plan No. 343 (replacing Specific Plan 151), and Change of Zone No. 7002. The amendment increased the number of acres and the number of square feet for office commercial uses; decreased the number of acres, but increased the number of square feet for industrial uses, decreased the number of acres dedicated to recreational uses and added a residential component to the plan.

#### ***4. Project Description***

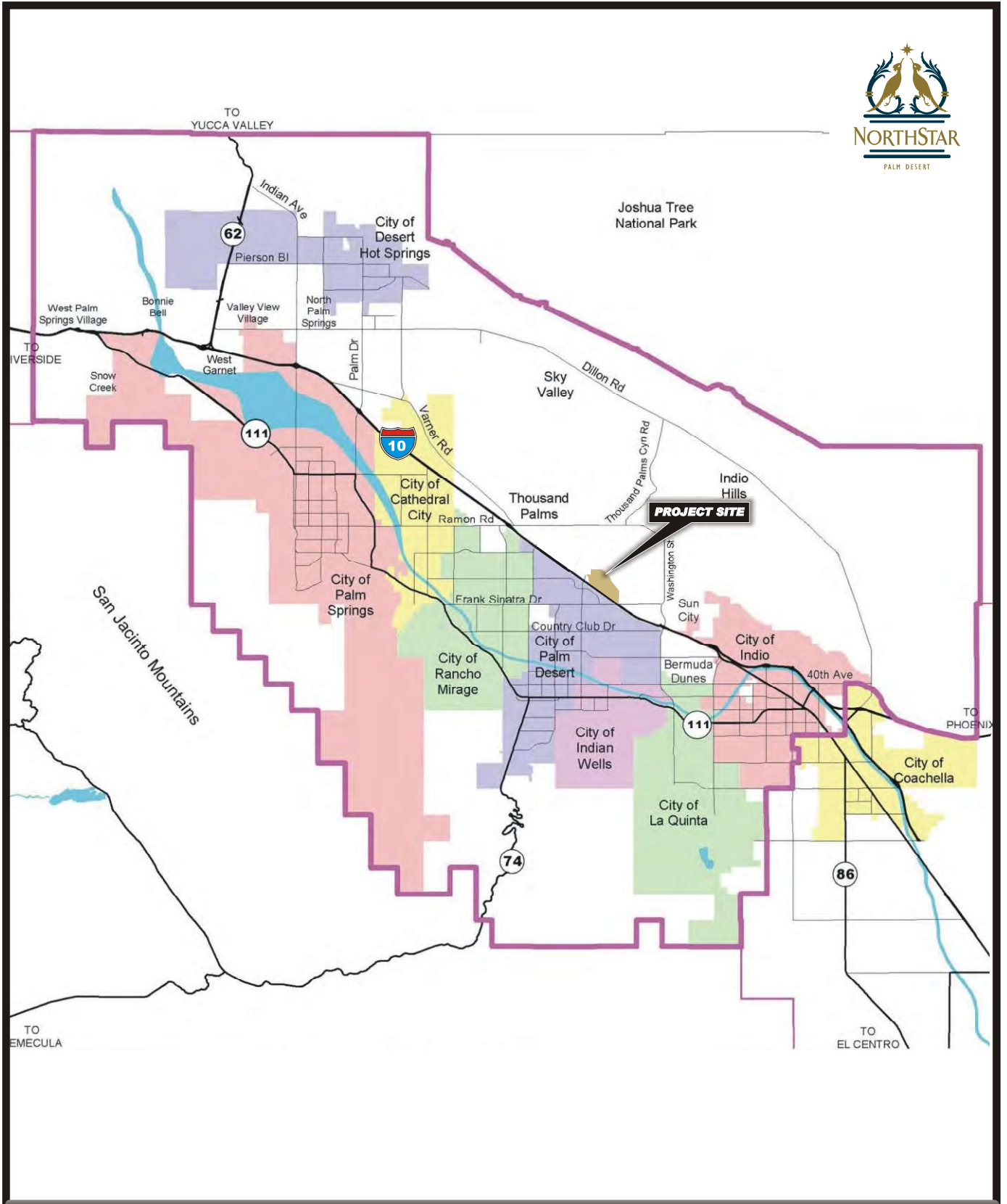
The “NorthStar” Specific Plan No. 343 **Amendment No. 42**, reflects current and projected market conditions, facilitates a greater diversity of land uses and enables the integration of land use types into a cohesive “upscale” mixed use community. The NorthStar project proposes 455.75 gross acres of multi-phased development with a unique blend of the following land uses:

- 18-hole Golf Course
- Golf Clubhouse
- Golf View Hotel
- Golf View Villas
- Resort Timeshare Units
- **Arena and Event Center**
- Golf View Condominiums
- Mixed Use Retail Village
- Industrial Park (Research & Development)
- Executive Office
- Community Commercial

**Table II-1** provides a statistical summary of the aforementioned land uses within the proposed NorthStar Specific Plan. See **Figure IV-1** for land uses and **Figure IV-2** for a conceptual illustration.

**TABLE IV-1  
LAND USE SUMMARY  
NORTHSTAR SPECIFIC PLAN**

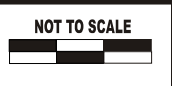
PLANNING AREA	LAND USE DESCRIPTION	LAND AREA (ACRES)	D.U. /ACRE	DWELLING UNIT TOTAL	MAXIMUM FLOOR AREA (SQ. FT.)
1	18-hole Golf Course	240.00	NIA	NIA	NIA
2	Golf Clubhouse	5.90	NIA	NIA	81,000
3	Golf View Hotel	17.60	NIA	NIA	350 (key), 25,000 square foot spa, 32,000 square feet of meeting rooms
4	Golf View Villas	7.30	7.4	54	NIA
5	Resort Timeshare Units	9.95	21.7	216	NIA
6	Golf View Condominiums	<del>33.20</del> 30.68	16.6	550	NIA
7	Mixed Use Retail Village	36.20	NIA*	150	400,000
8	Industrial Park (Research & Development)	<del>69.60</del> 30.72	NIA	NIA	<del>1,200,000</del> 381,035
9	Executive Office	16.00	NIA	NIA	230,000
10	Community Commercial	20.00	NIA	NIA	100,000
11	Arena & Event Center Hockey Training Facility	41.4	NIA	NIA	260,000 35,000
TOTAL	NIA	455.75	NIA	970	<del>2,068,000</del> 1,544,035 sq. ft. and 350 Key Hotel



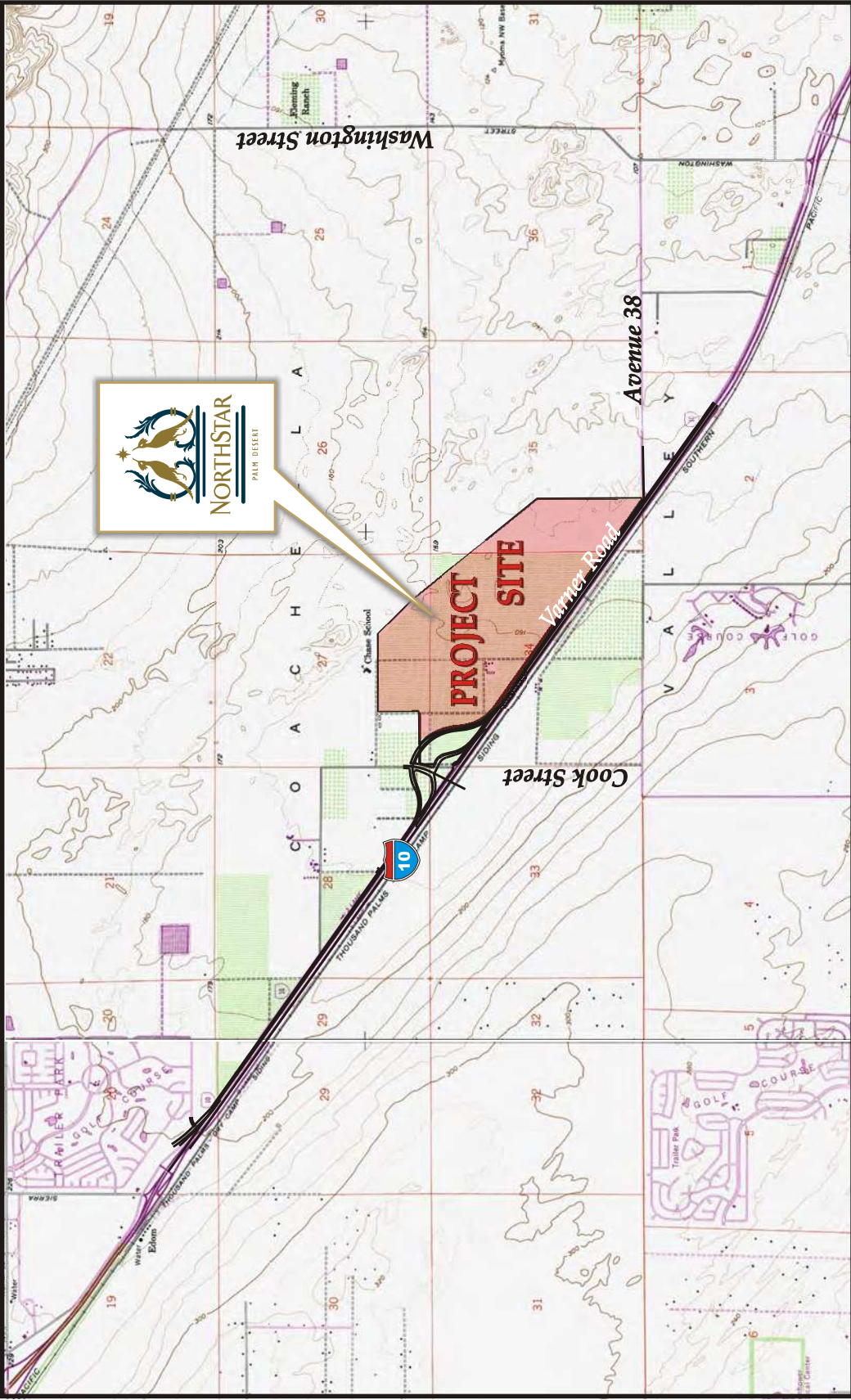
**REGIONAL LOCATION MAP**



**NORTHSTAR**  
40421.03.000 SPECIFIC PLAN



**Figure II-1**



**PROJECT VICINITY LOCATION MAP**

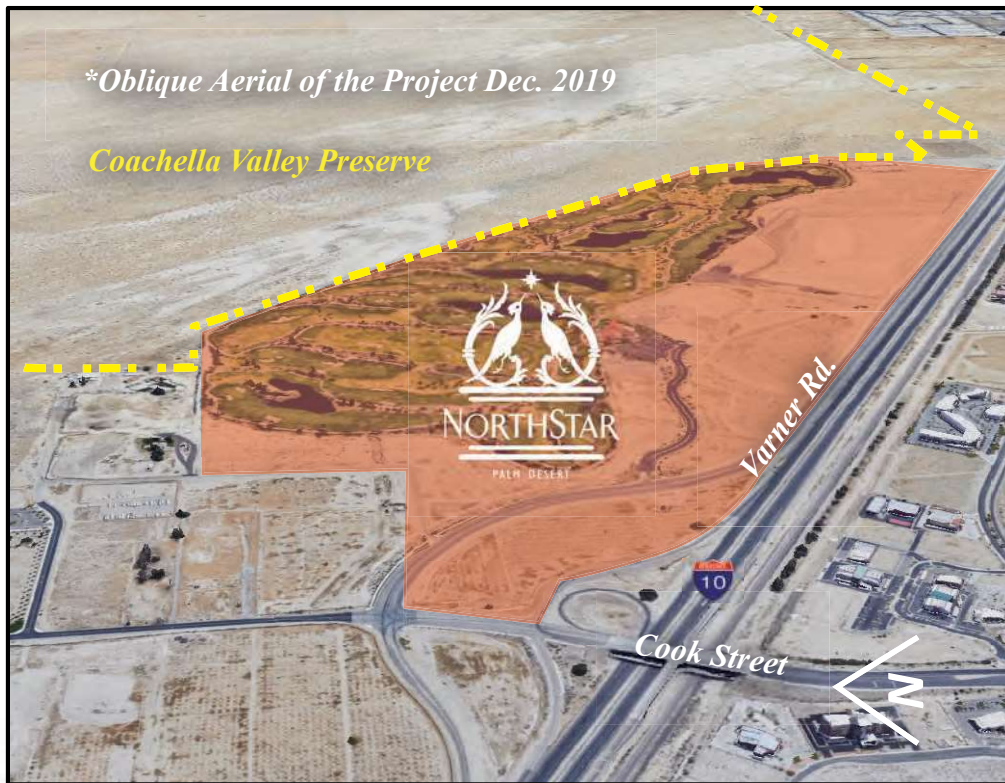
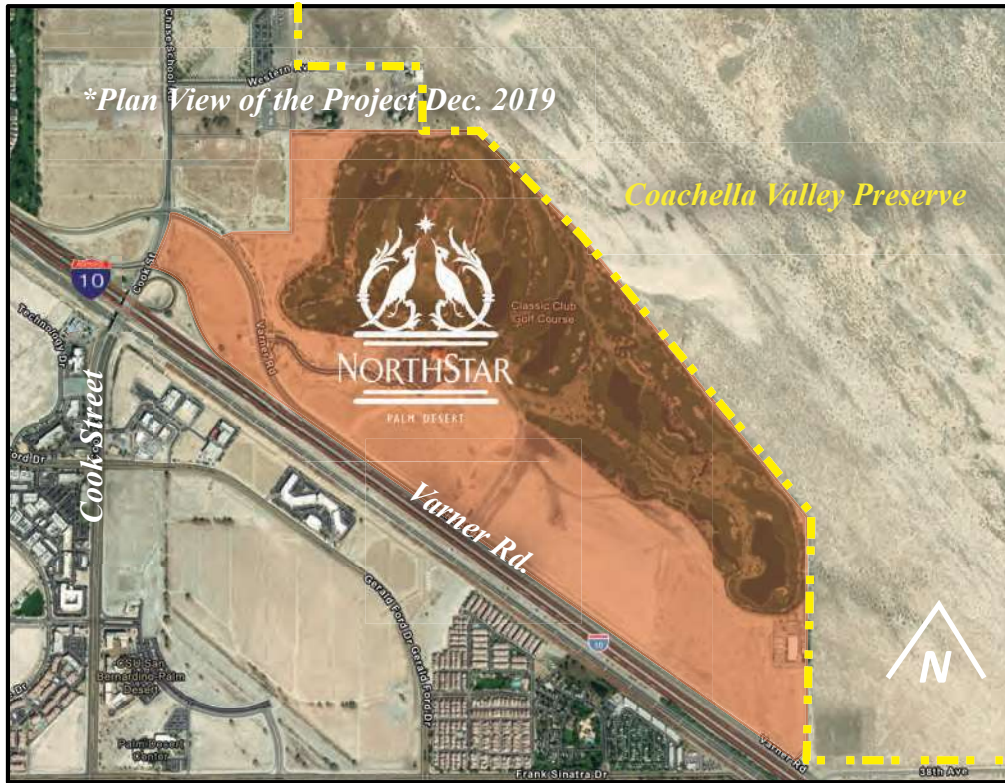
**NORTHSTAR**  
40421.03.000 SPECIFIC PLAN

The Kelth Companies



**Figure II-2**





**PLAN VIEW AND OBLIQUE AERIAL OF THE PROJECT SITE**

*Super*  
H.N. AND FRANCIS C.  
LESTER FOUNDATION

NORTHSTAR  
40421.03.000 SPECIFIC PLAN



NOT TO SCALE



**Figure II-3**



## Chapter IV Appendix A

### COMPREHENSIVE SIGN PROGRAM

#### A. GENERAL GUIDELINES

The following general design guidelines should be considered prior to developing signs for the NorthStar project site. Sections 1-16 of this Comprehensive Sign Program are in reference to Planning Areas 1-10, Sections 17-33 are in reference to the Arena & Event Center located in Planning Area 10.

##### (1) Color

Color is one of the most important aspects of visual communication. It can be used to catch the eye or to communicate ideas or feelings. Too many colors used simultaneously can confuse and negate the message of a sign. Even the most carefully planned sign may look unattractive due to poor color selection.

- (a) Contrast is an important influence on the legibility of signs. Light letters on a dark background or dark letters on a light background are most legible.
- (b) Limit the total number of colors used in any one sign. Small accents of several colors may make a sign unique and attractive, but the competition of large areas of many different colors decreases readability.
- (c) Colors or color combinations that interfere with legibility of the sign copy or that interfere with viewer identification of other signs should be avoided. Bright day-glow (fluorescent) colors should be avoided as they are distracting and do not usually blend well with other background colors.
- (d) Sign colors should complement the colors used on the structures and the project as a whole.

##### (2) Materials

- (a) The following materials are recommended for signs:
  - Wood (carved, sandblasted, etched, and properly sealed, primed and painted, or stained).
  - Metal (formed, etched, cast, engraved, and properly primed and painted or factory coated to protect against corrosion).
  - High density pre-formed foam or similar material. New materials may be very appropriate if properly designed in a manner consistent with these guidelines, and painted or otherwise finished to compliment the architecture.



- Custom neon tubing, in the form of graphics or lettering, may be incorporated into several of the above permitted sign types.
  - (b) Sign materials should be compatible with the design of the façade where they are placed.
  - (c) The selected materials should contribute to the legibility of the sign. For example, glossy finishes are often difficult to read because of the glare and reflections.
  - (d) Paper and cloth signs are generally not suitable for exterior use (except on awnings) because they deteriorate quickly. Paper and cloth signs are appropriate for interior temporary use only. The use of signs should be the result of careful thinking about readability and the image of the business.
- (3) Sign Legibility
- (a) An effective sign should do more than attract attention, it should communicate its message. Usually this is a question of the readability of words and phrases. The most significant influence on legibility is lettering.
  - (b) Use a brief message whenever possible. The fewer words used, the more effective the sign. A sign with a brief succinct message is easier to read and looks more attractive. Evaluate each word. If the word does not contribute directly to the basic message of the sign, it detracts from it and probably should be deleted.
  - (c) Avoid spacing letters and words to close together. Crowding of letters, words or lines will make any sign more difficult to read. Conversely, over-spacing these elements causes the viewer to read each item individually, again obscuring the message. As a general rule, letters should not occupy more than 75% of the sign panel area.
  - (d) Avoid hard-to-read, overly intricate typefaces and symbols. Typefaces and symbols that are difficult to read reduce the sign's ability to communicate.
  - (e) Limit the number of lettering styles in order to increase legibility. A general rule to follow is to limit the number of different letter types to no more than two for small sign and three for larger signs.
  - (f) Avoid faddish or unusual typefaces if they are difficult to read. These typefaces may be in vogue and look good today, but soon may go out of style. The image conveyed by the sign may quickly become that of a dated and unfashionable business.
  - (g) Use symbols and logos in the place of words whenever appropriate. Pictographic images will usually register more quickly in the viewer's mind than a written message.

#### (4) Sign Illumination

The way in which a sign is to be illuminated should be considered carefully. Like color, illumination has considerable value for visual communication.

First, consider if the sign needs to be lighted at all. Lights in the window display may be sufficient to identify the business. This is particularly true if good window graphics are used. Often, nearby street lights provide ample illumination of a sign after dark.

- (a) If the sign can be illuminated by an indirect source of light, this is usually the best arrangement because the sign will appear to be better integrated with the building's architecture. Light fixtures supported in front of the structure cast light on the sign and generally a portion of the face of the structure as well. Indirect lighting emphasizes the continuity of the structure's surface and signs become an integral part of the façade.
- (b) Whenever indirect lighting fixtures are used (fluorescent or incandescent), care should be taken to properly shield and place the light source to prevent glare from spilling over into mixed use or residential areas, any public right-of-way and into the "Night Sky". Signs should be lighted only to the minimum level required for nighttime readability.
- (c) Individually illuminated letters, either internally illuminated or back-lighted solid letters (reverse channel), are a preferred alternative to internally illuminated plastic cabinet signs. Signs comprised of individual letters mounted directly on a structure can often use a distinctive element of the structure's façade as a backdrop, thereby providing a better integration of the sign with the structure.
- (d) The most appropriate type of sign illumination is indirect lighting. Indirect lighting helps the sign to appear as an integral part of the façade, not something that was added later. In addition, indirect lighting produces a more intimate ambience on the street.

#### (5) Awning Signs

- (a) Only permanent signs that are an integral part of the awning or canopy should be allowed.
- (b) Sign of logo should not occupy more than 60% of the awning valance or the bottom 10 inches of the awning if a variance is not present.
- (c) Awnings should not be internally illuminated except as part of a permitted creative sign. Lighting directed downwards that does not illuminate the awning is allowed.
- (d) No structural element of an awning or canopy should be located less than eight feet above finished grade. An awning valance may be located up to seven feet

above finished grade. No structural element of an awning or canopy should be located more than four feet above the window it is meant to shade.

- (e) Awning signs should be regularly cleaned and kept free of dust and visible defects.
  - (f) Signs on awnings should only be located on first-and second-story building frontages, including those fronting a parking lot or pedestrian way.
- (6) Projecting Signs
- (a) Projecting signs should be at least 12 feet above finished grade and be placed only on a ground-floor façade, except as part of a creative sign.
  - (b) Sign supports and brackets should be compatible with the design and scale of the sign.
  - (c) The maximum allowable sign area should be 10 square feet.
  - (d) Internal illumination of a projecting sign of a projecting sign is discouraged, except as part of a creative sign.
  - (e) External illumination of projecting signs is encouraged.
  - (f) Projecting signs should be constructed of metal, wood or fiberglass made to look like metal or wood. Plastic projecting signs are strongly discourages, except as part of a creative sign.
  - (g) The text, copy, or logo face should not exceed 75% of the sign face of a projecting signs.
  - (h) The sign should be hung at a 90 degree angle from the face of the building.
- (7) Wall Signs
- (a) Wall signs should not project from the surface upon which they are attached more than required for construction purposes and in no case more than 12 inches.
  - (b) Indirect lighting is preferred over internal illumination. Internally illuminated can signs are discouraged. Internally illuminated, individually cut channel letters are encouraged.
  - (c) Reverse channel letter signs are encouraged.
  - (d) Wall signs should not project above the edge of the roof or outside the walls of a structure.
  - (e) Signs should not be placed to obstruct any portion of a window, doorway, transom, or other architectural detail.

- (f) Lettering should not occupy more than 75% of the area where the sign is placed to avoid a cluttered look.
  - (g) A wall sign should be located where architectural details suggest a location size or shape for the sign. The best location for a wall sign is generally a band or blank area between the first and second floor of a building.
  - (h) New wall signs in commercial center should be placed consistent with sign location on adjacent buildings. This can establish visual continuity among storefronts. As changes to the remaining center tenants occur, it is recommended, that a comprehensive sign program be established for the center. It is not necessarily meant to create sameness, but some thread of consistency be established.
- (8) Window Signs
- (a) Window signs (permanent) should not cover more than 20 percent of the area of each window.
  - (b) Window signs should be limited to individual letters placed on the interior surface of the window and intended to be viewed from outside. White, black or gold leaf paint are the recommended colors. Glass-mounted graphic logos may be applied by silk screening or pre-spaced vinyl die-cut forms.
  - (c) The text or sign copy of a window sign should be limited to the business name and brief messages identifying the type of product or service or pertinent information.
- (9) Changeable Copy Signs
- (a) Changeable copy signs should employ a field or background color which is darker than the letter (copy) logo on the sign. No white translucent backgrounds are recommended.
- (10) Figurative Signs
- (a) Signs which advertise the occupant business through the use of graphic or crafted symbols, are encouraged.
- (11) Freestanding Signs
- (a) Monument signs are the preferred freestanding sign type. Pole signs are discouraged.
- (12) Roof Signs
- (a) Roof Signs are discouraged.

- (13) Sign Type A (Directional Signage) **(Figure IV-27)**
- (a) Painted plate aluminum sign with faux parchment finish painted graphics to match themed style;
  - (b) Tubular aluminum frame with powder coat finish, verdi-gris color;
  - (c) Aluminum post and base with powder coat finish verdi-gris color; and
  - (d) Concrete base with natural or manufactured stone veneer and cast stone cap;
- (14) Sign Type B (Traffic Control Signage) **(Figure IV-28)**
- (a) Painted plate aluminum sign;
  - (b) Aluminum post with powder coat finish verdi-gris color with bronzed accent; and
  - (c) Concrete base with natural or manufactured stone veneer and cast stone cap;
- (15) Sign Type C (Additional Signage) **(Figure IV-29)**
- (a) Aluminum bracket, arm with powder coat finish, verdi-gris color with bronzed accents (optional double armed);
  - (b) Painted plate aluminum sign with faux parchment finish and painted graphics to match themed style;
  - (c) Aluminum post with powder coat finish, verdi-gris color with bronzed accents;
  - (d) Concrete base with natural or manufactured stone veneer and cast stone cap;
- (16) Monument Signage
- Monument signs identifying the project entries and other significant project features will be strategically located throughout the NorthStar project site. Monument signs will have indirect or backlit lighting and will be constructed with quality materials similar to **Figure IV-30** (Project Identification Monument Sign) detailed below.
- Project Identification Monument Sign **(Figure IV-30)**
- (a) Terra cotta planters;
  - (b) Octagonal wall pier;
  - (c) Painted plate aluminum signage;
  - (d) Sign wall with integral color plaster finish;

- (e) Cast stone trim; and
  - (f) Natural or manufactured stone veneer;
- (17) Arena and Event Center

A sign program for Planning Area No. 11, Arena and Event Center, will be developed and submitted for approval with the plot plan submittal. See section IV, 11, b., (3) for further discussion.

#### APPLICATION AND OBJECTIVES

- (18) Application

This Sign Program is applicable to Planning Area 11: Arena & Event Center as defined in County of Riverside Specific Plan No. 343 – NorthStar and illustrated in Figure 1, Riverside County Arena Sign Program Area Map.

- (19) Objectives

- (a) Enable the regulation of signs within Planning Area 11.
- (b) Support and enhance the land uses and urban design objectives in the Specific Plan.
- (c) Encourage vibrant, clear, attractive signage that enhances the mixed use development allowed by the NorthStar Specific Plan while complimenting and protecting the character of the surrounding areas by **limiting visual clutter**.
- (d) Ensure that new signs are responsive to and integrated with the aesthetic character of the area, and are positioned in a manner that is compatible both architecturally and relative to other signs within PlanningArea 11.
- (e) Encourage creative, well-designed signs that are part of an integrated development that contribute in a positive way to the visual environment of the NorthStar Specific Plan Area in a manner that accentuates and reinforces the Arena & Event Center as an entertainment, cultural and visitor destination, with an exciting pedestrian experience and visually attractive character.
- (f) Ensure consistency with the goals and objectives of the Riverside County General Plan and NorthStar Specific Plan while preventing visual blight and proliferation of unnecessary signs.

- (20) Sign Zones

This Program is subdivided into four Sign Zones as shown in Figure 2, Riverside County Arena Sign Program Zones. Sign Zones are established to set regulatory standards for the Sign Type, Sign Function, and Sign Orientation allowed within specific areas of the development to integrate the Arena & Event Center into the NorthStar Specific Plan Area and achieve the Objectives of the Sign Program.

Figure 1: Riverside County Arena Sign Program Area Map



Figure 2: Riverside County Arena Sign Program Zones



## DEFINITIONS

## (21) Generally.

Whenever the following terms are used in this Program, they shall be construed as defined in this Section. The definitions set forth in this Section are intended to encompass future technologies and materials which may be utilized in the construction and implementation of the permitted Signs.

## (22) Sign Type.

- (a) **Banner Sign.** A non-illuminated, non-digital, sign that is made of fabric or vinyl material, attached to a freestanding pole or building façade designed to cantilever from attachment point. May be single or doublesided.
- (b) **Channel Letter Sign.** A non-digital display comprised of multidimensional individual letters, numbers, figures, and/or an image or images that is attached to or suspended from a building or structure.
- (c) **Digital Display.** A display that exhibits still images or moving images, including video and animation, through the use of grid lights, cathode ray projections, light emitting diode displays, plasma screens, liquidcrystal displays, fiber optics, or other electronic media or technology, that may be changed remotely through electronic means.
- (d) **Facade Sign.** Any sign attached to, painted on, erected against, suspended from, or projected onto any facade or projection from a facade of a building or structure, which may project from or be parallel to the facade.
- (e) **Free-standing Sign.** A sign that is not attached to, supported by, or projected onto a building or structure, which may include a Freeway Sign, or Monument Sign.
- (f) **Freeway Sign.** A Sign intended to be viewed primarily from a freeway, highway or interstate which may include Freestanding Sign or Monument Sign.
- (g) **Illuminated Signs.** Signs producing lighting emissions, comprised of luminous Channel Letter Signs, front-lit Signs and Digital Displays.
- (h) **Monument Sign.** A Sign that is intended to be viewed by pedestrian and vehicular traffic that may be comprised of Digital Displays and luminous Channel Letter Signs, and which may include Free-standing Sign.
- (i) **Perimeter Sign.** A free-standing Monument or Freeway sign located near a site access point from the public right-of-way.
- (j) **Permitted Sign.** A Sign defined in this Sign Program, or any Sign that is not expressly prohibited by this Sign Program, that conforms to the regulations set forth herein, which may be deemed in conformance through a minor modification by the Director of Planning.
- (k) **Prohibited Sign.** A Sign not defined in this Sign Program that also does not conform to the regulations set forth herein.



- (l) **Scoreboard Sign.** Signs intended for viewing by the seats of the Arena, located in the interior of the Arena, used to display content related to Arena activity, including but not limited to, content from businesses, Sponsors, and Teams that are involved with, or in, the Arena. Scoreboard Signs may be incidentally visible from adjoining streets, public right-of ways, or any publicly accessible plaza adjacent to a public right-of- way.
- (23) Sign Function.
- (a) **Building Identification Sign.** A sign that displays the name or function of a building within the Specific Plan, including the Mark of any Team and/or Sponsor or affiliate.
- (b) **Business Identification Sign.** A sign that identifies or directs attention to a business, product, service, profession, commodity, activity, sponsor, event, person, institution, or any other commercial message which is generally conducted, sold, manufactured, produced, offered, or occurs within the Specific Plan.
- (c) **Entertainment Sign.** A sign that displays live, recorded, full-motion, or broadcast content or static images for purposes of directing attention to or related to an activity, event, business, product, service, profession, commodity, Sponsor, Team, person, institution, or any other message. An Entertainment Sign may be an on-site or off-site sign.
- (d) **Informational Sign.** A sign that displays directional, wayfinding, safety and security, scheduling, and similar types of information to visitors, employees, patrons, or the public.
- (e) **Interior Sign.** Any Sign (a) within an interior courtyard, interior concourse or interior plaza of a building or structure or (b) within or immediately adjacent to the seating or use areas of the Arena intended to be viewed primarily from the seats within the Arena. Interior Signs may be incidentally visible from adjoining streets, public right-of ways, or any publicly accessible plaza adjacent to a public right-of-way. Interior Signs may include, without limitation, Scoreboards, and Digital Displays.
- (f) **Logo.** A graphic mark, emblem, representation or symbol of a name, trademark or abbreviation used by a commercial enterprise, organization and/or individual to aid and promote instant public recognition.
- (g) **Mark.** The trade name, trademark, service mark, logo, symbol of, and/or slogan or brand tag line synonymous or closely identified with, a Sponsor or Team.
- (h) **Message Sign.** A sign that displays a static image or message for purposes of directing attention to an activity, event, business, product, service, profession, commodity, Sponsor, Team, person, institution, or any other message. A Message Sign may be an on-site or off-site sign.
- (i) **Off-Site Sign.** A Sign that displays any message directing attention to a business, product, service, profession, commodity, activity, event, person, institution or any other commercial or noncommercial message, which is generally conducted, sold, manufactured, produced, offered, or occurs elsewhere than within the Specific Plan.

- (j) **On-Site Sign.** A Sign that is other than an Off-Site Sign.
  - (k) **Sponsor.** Those entities (commercial or non-commercial) or persons for which the Arena is/are named or identified, and/or those entities (commercial or non-commercial) or persons for which facilities, uses, activities, products, or services associated with the Arena, or other tenants of Arena are named or identified.
  - (l) **Team.** Any professional sports team or franchise that plays the majority of its home games at the Arena on an annual basis.
- (24) Sign Orientation.
- (a) **External Primary.** A sign oriented towards and intended to be viewed from Interstate 10, or Varner Road, and public rights-of way, which may be incidentally viewed from other adjacent streets or properties.
  - (b) **External Secondary.** A sign oriented towards and intended to be viewed from a public street other than Interstate 10 and Varner Road, which may be incidentally viewed from adjacent properties.
  - (c) **Internal.** A sign oriented towards and intended to be viewed primarily from outdoor pedestrian circulation areas within the Arena site or adjacent public rights-of-way, which may be incidentally viewed from adjoining streets or adjacent properties.
- (25) Sign Technology.
- (a) **Refresh Rate.** The refresh rate of a Sign, inclusive of any change in whole or in part of the Sign image.

#### GENERAL REQUIREMENTS.

- (26) Hours of Operation.
- (a) Non-digital displays shall not be subject to restriction of hours of operation.  
The hours of operation for Digital Displays shall be subject to the hours set forth in Table 1 according to Sign Zone.

**Table 1**  
**Sign Hours of Operation Per Zone**

<b>Sign Zone</b>	<b>Digital Sign</b>	<b>Static Sign</b>	<b>Special Event</b>
Arena Zone	Sunrise - Midnight	24 Hours Per Day	Sunrise – 2 Hours After Event EndIf Later Than Midnight
Freeway Zone	5am – 1am	24 Hours Per Day	5am – 2 Hours After Event End IfLater Than 1am
East Ancillary Zone	Sunrise - Midnight	24 Hours Per Day	Sunrise – 2 Hours After Event EndIf Later Than Midnight
West Ancillary Zone	Sunrise - Midnight	24 Hours Per Day	Sunrise – 2 Hours After Event EndIf Later Than Midnight

(27) Illumination.

- (a) Any Sign within the Sign Program may be illuminated by internal or external means unless expressly prohibited by their definition.
- (b) All Digital Display Signs shall be controllable by the combination of a photocell that measures available daylight and remote adjustment capabilities that control the luminance levels of the Sign, and utilize automatic dimming technology, include a default mechanism that causes the Sign to revert immediately to a black screen if the Sign malfunctions in a way that causes the display to wholly or partly flash.
- (c) All Digital Display Signs shall comply with the relevant maximum daytime and nighttime luminance levels set forth in Table 4-2 according to Sign Zone.
- (d) The luminance of any Digital Display Sign shall transition smoothly at a consistent rate of speed from the Daytime Luminance Level to the Nighttime Luminance Level, beginning at sunset and concluding the transition to nighttime intensity level no less than 15 minutes after sunset.
- (e) All External Primary Digital Displays must comply with the Controlled Refresh Rate.
- (f) All External Primary Digital Displays shall comply with the following requirements:
  1. Displays will have non-reflective, black, consistent, linear louvers, from end to end, above and below each individual row of light emitting diodes or similar light producing element.
  2. Digital Displays to have a black, ribbed background to prevent light refraction, reflection, and diffusion.

3. Digital Displays will have a consistently maintained photocell with brightness keyed to an astronomical calendar and capabilities to slowly brighten throughout morning twilight to dawn for a period of 20-30 minutes and to slowly dim throughout evening twilight after dusk to sunset for a period of 20-30 minutes.
4. Brightening and dimming will be at a rate of 1% dimming increments performed approximately every 12 seconds at the fastest speed.
5. Digital Display dimming capabilities will be able to be enacted automatically, in a pre-scheduled fashion or manually (minimum of 64 levels).
6. Dimming capabilities will be able to be controlled physically on-site as well as with software which can be accessed remotely from operator’s location and updated instantly.
7. Digital Displays will be able to reach 1% of dimming while maintaining the full range of the color spectrum.

**Table 2**

**Sign Illuminance Maximum Levels Per Zone**

<b>Sign Zone</b>	<b>Day Time</b>	<b>Night Time</b>	<b>Special Event</b>
Arena Zone	1 Footcandle Above Ambient Illuminance	0.6 Footcandles Above Ambient Illuminance	1 Footcandle Above Ambient Illuminance
Freeway Zone	0.7 Footcandles Above Ambient Illuminance	0.3 Footcandles Above Ambient Illuminance	0.7 Footcandles Above Ambient Illuminance
East Ancillary Zone	3 Footcandles Above Ambient Illuminance	2 Footcandles Above Ambient Illuminance	3 Footcandles Above Ambient Illuminance
West Ancillary Zone	2 Footcandles Above Ambient Illuminance	1 Footcandle Above Ambient Illuminance	2 Footcandles Above Ambient Illuminance

(28) **Materials.**

The materials, construction, application, location, and installation of any Sign shall be in conformity with the County of Riverside Building Code and the County of Riverside Fire Code and shall be subject to the following requirements:

- (a) Signs shall not use highly reflective materials such as mirrored glass.
- (b) All application and installation methods shall be done in conformance to the Fire Department and County of Riverside Building Department regulations.
- (c) All new Signs and Sign Support Structures shall be made of noncombustible materials or plastics approved by both the Fire Department and County of Riverside Building

Department. In the case of new or untested materials, the applicant shall submit a sample of a Sign's material to both the Fire Department and County of Riverside Building Department for approval.

(29) Minor Alterations.

Any minor modifications to the regulations and specifications contained herein may be approved by the Director of Planning if the minor modification is deemed in conformance with the Application and Objective of this Sign Program and does not provide for a variation over 10% from original standards as described herein. Director approval of minor modification will serve as conformance approval to this Sign Program.

(30) Outdoor Advertising Act.

Signs that are both visible from and located within 660 feet from the edge of the right-of-way of interstate highways or primary highways are subject to the Outdoor Advertising Act, as applicable or later amended.

(31) Refresh Rate.

The refresh rate of a Digital Display Sign, inclusive of any change in whole or in part of the Sign image, which is no more frequent than one refresh event every six seconds, with an instant transition between images. The Sign image must remain static between refreshes.

(32) Sign Zones.

1. Arena Zone.

(a) Allowed Signs. All Signs which are allowed by this Program shall be allowed in the Arena Zone, except for the following Signs which shall be prohibited:

- i. Freeway Sign.
- ii. Monument Signs
- iii. External Primary

(b) Standards. No Free-standing Sign in the Arena Zone shall be over 25 feet in height.

2. Freeway Zone

(a) Allowed Signs. All Signs which are allowed by this Program shall be allowed in the Freeway Zone, except for the following Signs which shall be prohibited:

- i. Banner Sign.
- ii. Entertainment Sign.
- iii. External Secondary.
- iv. Façade Sign.

- v. Interior Sign.
  - vi. Internal Sign.
  - vii. Prohibited Sign.
  - viii. Scoreboard Sign.
- (b) Quantity. The Freeway Zone shall have no more than one (1) Freeway Sign and no more than three (3) Monument Signs.
- (c) Standards. Signs in the Freeway Zone shall not have an overall height above 70 feet or an overall width above 45 feet
- (d) Spacing. Signs in the Freeway Zone shall not overhang any public right-of-way without an air space clearance from the County of Riverside.

1. West Ancillary Zone.

- (a) Allowed Signs. All Signs which are allowed by this Program shall be allowed in the Arena Zone, except for the following Signs which shall be prohibited:
- i. Interior Sign.
  - ii. Freeway Sign.
  - iii. Prohibited Sign.
  - iv. Scoreboard Sign.
- (b) Standards. No Free-standing Sign in the Arena Zone shall be over 25 feet in height.

2. East Ancillary Zone

- (a) Allowed Signs. All Signs which are allowed by this Program shall be allowed in the Arena Zone, except for the following Signs which shall be prohibited:
- i. Interior Sign.
  - ii. Freeway Sign.
  - iii. Prohibited Sign.
  - iv. Scoreboard Sign.
- (b) Standards. No Free-standing Sign in the Arena Zone shall be over 25 feet in height.

(33) Visual Maintenance.

All Signs shall be maintained to meet the following criteria at all times:

- (a) The building and ground area around all Signs shall be properly maintained. All unused mounting structures, hardware, and structure perforation from any abandoned Sign shall be removed and building surfaces shall be restored to their original condition.

- (b) All Sign copy shall be properly maintained and kept free from damage and other unsightly conditions, including graffiti.
- (c) All Sign Support Structures shall be kept in good repair and maintained in a safe and sound condition and in conformity with all applicable codes.
- (d) Razor wire, barbed wire, concertina wire, or other barriers preventing unauthorized access to any Sign, if any, shall be hidden from public view.
- (e) The Sign copy must be repaired or replaced immediately upon tearing, ripping, or peeling, or when marred or damaged by graffiti.
- (f) No access platform, ladder, or other service appurtenance, visible from the sidewalk, street, or public right-of-way, shall be installed or attached to any sign support structure.

#### STANDARDS FOR SPECIFIC TYPES OF SIGNS

##### (a) Digital Displays

1. General. Digital Displays shall be subject to the refresh rate and illumination regulations set forth in Section 4 of this Program.
2. Location. Digital Displays shall be allowed in all Zones under this Program.
3. Illumination. Digital Displays that are not Interior Signs shall comply with the illumination requirements in Section 4.B. and Table 4-2 of this Program.

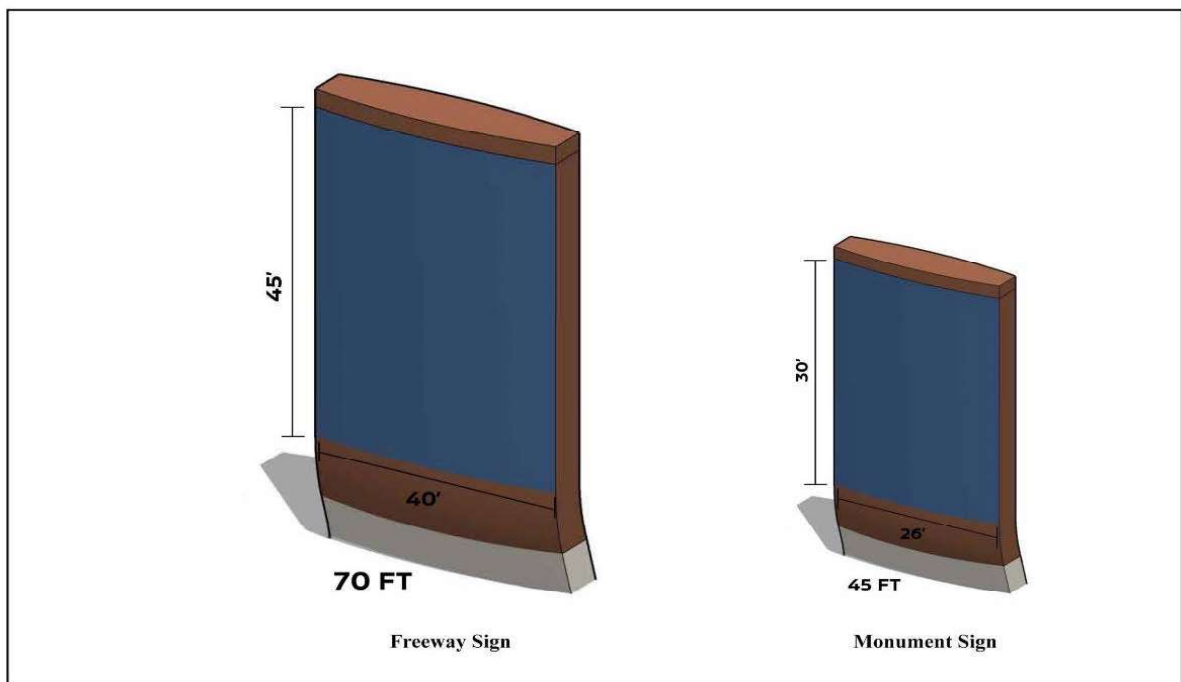
##### (b) Freeway Sign.

1. General. One (1) Freeway Sign is allowed by this Program in the location shown in Figure 3, Freeway Zone Allowed Sign Locations. This sign shall be consistent in design with Figure 4, Conceptual Designs - Freeway Zone Signs.
2. Elements. The specific design of the Freeway Sign shall be considered during the Project Permit review for the sign. The Freeway Signs may incorporate other types of Sign elements allowed by this Program, including, but not limited to, Digital Display and Channel Letters.
3. Architectural Continuity. Freeway Signs must have visual continuity with the architecture of the Arena and Ancillary Structures for a cohesive representation to the Freeway.

Figure 3: Riverside County Arena Freeway Zone Established Sign Locations



Figure 4: Riverside County Arena Freeway Zone Conceptual Designs





(c) Identification Signs.

1. General. An Identification Sign may take the form of any type of Sign permitted by this Program.
2. Location. Identification Signs may be located in all Sign Zones unless restricted by regulations in this Program applicable to the particular type of Sign.
3. Identification Signs are permitted to break the plane of a roof. Any portion of an Identification Sign that reaches above the plane of a roof shall consist of freestanding letters or characters that are not applied or attached to any background structure, building, or material, except as necessary for support.

(d) Information Signs.

1. Location. Information Signs shall not be limited as to location, except that Information Signs that are Free-standing Signs shall not interfere or present a hazard to pedestrian or vehicular traffic.

(e) Interior Signs.

1. General. Interior Signs shall not be regulated by this Program except that prior to County of Riverside issuance of a final certificate of occupancy for the Arena, the Applicant shall submit to the Director an Interior Sign plan for the Director's review and approval indicating the size, placement, and lighting methods of all Interior Signs to confirm:
  - a. That all Interior Signs are consistent with the definition of Interior Sign provided in this Program; and
  - b. That no Interior Sign conflicts with any other applicable regulations in this Program.

(f) Monument Signs.

1. Height. Monument Signs will be limited to a maximum overall height of 45 feet above the natural or finished grade as measured vertically unless otherwise prohibited by another clause of this Program.
2. Location. There shall be no limitation on the location of a Monument Sign relative to any another Sign, except that the location of any Monument Sign shall not interfere or present a hazard to pedestrian or vehicular traffic.
3. Quantity. There shall be a maximum of three (3) Monument Signs permitted in the Freeway Zone. Monument Signs quantity shall not be limited in the Arena Zone, West Ancillary Zone or East Ancillary Zone as long as they are in conformance with the other clauses of this section and Sign Program.

INTERPRETATION.

Whenever any ambiguity or uncertainty exists related to this Program or the application of this Program so that it is difficult to determine the precise application of these provisions, the Director shall, upon application by an owner, operator or lessee, issue written interpretations on the requirements of this Program consistent with the purpose and intent of this Program.

SEVERABILITY.

If any provision of this Program or its application to any person or circumstance is held to be unconstitutional or otherwise invalid by any court of competent jurisdiction, the invalidity shall not affect other provisions, clauses, or applications of said Program, which can be implemented without the invalid provision, clause, or application, and to this end, the provisions and clauses of this Sign Program are declared to be severable.



## IV. SPECIFIC PLAN

### A. PROJECT-WIDE DEVELOPMENT PLANS AND STANDARDS

This chapter of the document (Chapter IV, Section A) presents the NorthStar design philosophy and master development concept, and provides planning standards for application to the overall project. This chapter begins with the land use plan and a brief description of each major land use element is included. In support of the land use plan, associated master plans and standards are then discussed relating to the circulation, landscaping, drainage, water/sewer, phasing, grading, maintenance, and special events components.

This portion of the document is augmented by Section B (Chapter IV) which provides a more focused and detailed analysis (descriptive summary) of each individual planning area within the project in terms of planning standards and design standards/guidelines.

#### 1. Conceptual Land Use Plan

##### a) *Project Objectives*

The Land Use Plan has been developed to achieve the following goals: 1) provide a comprehensive land use plan that identifies development scenarios which designate the distribution, location, and extent of land uses; 2) address the land use issues associated with development of the NorthStar Specific Plan in sufficient detail to ensure that the subject site develops in a manner consistent with the intent of the General Plan; protects the public health, safety and general welfare; complements zoning and land uses on adjacent properties and is suitable and appropriate for the subject property; 3) incorporate project design standards which encourage creativity and excellence; 4) develop a mixed-use project with world class residential, commercial, **sports and entertainment, industrial**, and resort components; and 5) develop a project that ensures the public's health, safety and welfare;

##### b) *Project Description*

The proposed project is intended to facilitate development of the site and implement the County of Riverside General Plan. The land use plan of the proposed project defines the general location of each type of development allowed on the site, and the conceptual site illustration within the various planning areas. The maximum intensity allowed for development of the site is intended to achieve a functional integration of the proposed uses. In addition, the location and designation of development allowed within the different planning areas are intended to create **an integrated** design concept which will promote a unique identity and prominence for the site.

In order to present the project in a comprehensive manner, the site **is** divided into ~~10~~ **11** areas of development (Planning Areas). This ~~process~~ **framework** allows for a precise discussion of the planning and design approach, taking into consideration constraints on and surrounding each planning area. Planning Areas are discussed in detail in Section B (Land Use Planning and Design Standards by Planning Area) of this chapter.

The land use descriptions which follow are illustrated in **Figure IV-1**, Conceptual land Use Plan and **Figure IV-2**, Conceptual Master Plan while **Table IV-1**, Land Use Summary, shows the various land use designations, acreages, and number of dwelling units as appropriate. The proposed project includes the following land uses:

**TABLE IV-1  
LAND USE SUMMARY  
NORTHSTAR SPECIFIC PLAN**

PLANNING AREA	LAND USE DESCRIPTION	LAND AREA (ACRES)	D.U. /ACRE	DWELLING UNIT TOTAL	MAXIMUM FLOOR AREA (SQ. FT.)
1	18-hole Golf Course	240.00	NIA	NIA	NIA
2	Golf Clubhouse	5.90	NIA	NIA	81,000
3	Golf View Hotel	17.60	NIA	NIA	350 (key), 25,000 square foot spa, 32,000 square feet of meeting rooms
4	Golf View Villas	7.30	7.4	54	NIA
5	Resort Timeshare Units	9.95	21.7	216	NIA
6	Golf View Condominiums	<del>33.20</del> 30.68	16.6	550	NIA
7	Mixed Use Retail Village	36.20	NIA*	150	400,000
8	Industrial Park (Research & Development)	<del>69.60</del> 30.72	NIA	NIA	<del>1,200,000</del> 381,035
9	Executive Office	16.00	NIA	NIA	230,000
10	Community Commercial	20.00	NIA	NIA	100,000
11	Arena & Event Center Hockey Training Facility	41.4	NIA	NIA	260,000 35,000
TOTAL	NIA	455.75	NIA	970	<del>2,068,000</del> 1,544,035 sq. ft. and 350 Key Hotel

\* Due to the integration of residential uses into this mixed use planning area, a density per acre is not applicable.

**c) Project Wide Development Standards**

Project-wide development standards shall be applied to ensure overall design coordination of the various planning areas within the NorthStar Specific Plan. The standards outlined below serve to ensure the orderly development of the land use plan on a community wide basis. The discussion following in Section B (Chapter IV) provides a detailed discussion of standards that apply specifically to each of the individual planning areas.

- 1) The NorthStar Resort will develop with a maximum of 970 dwelling units; 500,000 square feet of commercial retail space (Mixed Use Retail Village and Community Commercial); 18 holes of golf with 81,000 square foot clubhouse, golf practice facilities; a 260,000 square foot Arena and Event Center with a 35,000 square foot hockey training facility, 350-key resort hotel with 25,000 square feet of spa area and 20,000 square feet of meeting rooms; 230,000 square feet of executive office space; and 381,035 square feet of research and development space within the industrial park.



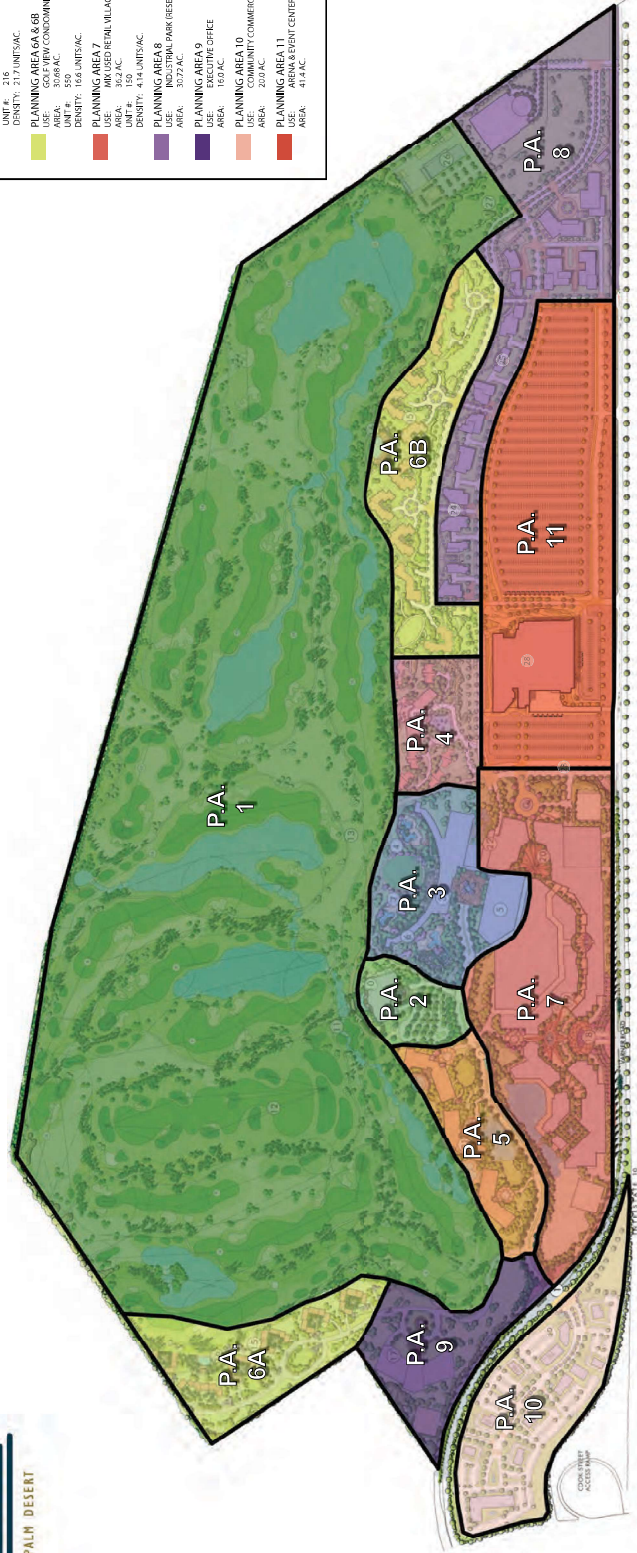
**APNs**

695-100-001	*695-100-008
695-100-002	*695-100-009
695-100-004	*695-100-010
695-100-005	*695-100-012
695-100-006	*695-100-014
695-100-007	*695-100-015
695-100-011	
695-100-017	
695-070-001	

\*APNs associated with Specific Plan Amendment

**LAND USE SUMMARY**

PLANNING AREA 1	CHAMPIONSHIP GOLF COURSE
AREA: 240 AC.	
PLANNING AREA 2	CLUBHOUSE FACILITIES
AREA: 5.2 AC.	
PLANNING AREA 3	DELUXE GOLF-VIEW HOTEL
AREA: 17.6 AC.	
PLANNING AREA 4	RESORT CO.-VIEW VILLAS
AREA: 2.4 AC.	
UNIT #. 54	
PLANNING AREA 5	UNITS/AC.
AREA: 9.5 AC.	
UNIT #. 216	
PLANNING AREA 6A & 6B	RESORT CONDOMINIUMS
AREA: 30.68 AC.	
UNIT #. 550	
PLANNING AREA 7	UNITS/AC.
AREA: 35.2 AC.	
UNIT #. 474	
PLANNING AREA 8	INDUSTRIAL PARK (RESEARCH & DEVELOPMENT)
AREA: 30.72 AC.	
PLANNING AREA 9	MANUFACTURING OFFICE
AREA: 14.24 AC.	
PLANNING AREA 10	COMMUNITY COMMERCIAL
AREA: 23.0 AC.	
PLANNING AREA 11	RETAIL & RESTAURANT CENTER
AREA: 41.4 AC.	



# CONCEPTUAL LAND USE PLAN

NORTHSTAR  
40421 03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



**Figure IV-1**



**KEY TO THE PLAN**

1. RESORT ENTRY GATEWAY
2. RESORT ENTRY DRIVE AND GARDENS
3. RESORT HOTEL
4. HOTEL POOLS AND GARDENS
5. HOTEL PARKING STRUCTURE
6. RESORT SPA
7. SPA, POOL, SUNDECK, AND TREATMENT GARDENS
8. GRAND ESTATE VILLA
9. GOLF VILLAS
10. GOLF CLUBHOUSE
11. PRACTICE PUTTING GREENS
12. TEACHING AND PRACTICE DRIVING RANGE
13. FINISHING HOLES VIEWING STANDS AND SKYBOXES
14. TOURNAMENT ENTRY AREA FROM OFF-SITE PARKING
15. LUXURY GOLF-VIEW CONDOMINIUMS
16. CONDOMINIUM POOL AREA
17. OFFICE RETAIL VILLAGE AUTOMOBILE ENTRY PLAZA
18. PLAZA
19. RETAIL VILLAGE SHOPPING PROMENADE
20. VILLAGE GRAN PLAZA
21. TIMSHARE
22. HOTEL MEETING ROOMS AND BREAK-OUT COURTYARD
23. CEREMONIAL ENTRY
24. RESEARCH & DEVELOPMENT PARK
25. SHARED FACILITY
26. GOLF MAINTENANCE FACILITY
27. DRAINAGE SWALE
28. SPORTS AND ENTERTAINMENT ARENA



**CONCEPTUAL MASTER PLAN**

NORTHSTAR  
40424.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



**Figure IV-2**

- 2) Land uses and development standards will be in accordance with the County of Riverside development codes except as specifically modified by this Specific Plan.
- 3) All development within the project site boundaries will be consistent with this Specific Plan and subsequent amendments on file with the County of Riverside Planning Department.
- 4) Prior to the issuance of a building permit for any land use associated with the NorthStar project, the applicant shall first obtain clearance from the County of Riverside Planning Department verifying that all pertinent sections of this Specific Plan have been satisfied.
- 5) Lots created pursuant to this Specific Plan shall be in conformance with the development regulations contained in Chapter IV.
- 6) Mitigation measures for environmental resources shall be implemented as identified in the certified Environmental Impact Report Mitigation Monitoring Program.
- 7) Development area boundaries shall follow the land use plan. Minor adjustments to these boundaries resulting from final road alignments, site specific development plans and/or technical or engineering refinements will not require a Specific Plan Amendment.
- 8) For the security and safety of future guests and residents, the applicant and/or developer shall incorporate the following design concepts within each individual development proposal:
  - a. Adequate circulation for pedestrians, vehicles, police patrols and other emergency vehicles.
  - b. Lighting of streets, walkways and bikeways.
  - c. Appropriate fencing including location, height and materials.
- 9) As final design occurs, planning areas may be built out at less than the density allocated, creating a remainder of un-built dwelling units. The developer may, subject to the approval of the Planning Director, draw upon the accumulated pool of residual dwelling units for use in other residential planning areas.
- 10) The Planning Director shall have both the authority to determine substantial conformance with the provisions of this Specific Plan and the authority to allow changes of 10% or less.
- 11) Unless modified by the NorthStar Specific Plan, development of the property shall be in accordance with the mandatory requirements of all Riverside County ordinances including Ordinance Nos. 348 and 460; and shall conform substantially to the adopted Specific Plan as filed in the office of the Riverside County Planning Department, unless otherwise amended.
- 12) Construction of this project may be done progressively in phases provided a plan is submitted with appropriate fees to the Riverside County Planning Department and approved prior to issuance of any building permits.
- 13) The project proponent will work with the County and others to explore the possibility of providing affordable housing.



## 2. Circulation Plan

### a) *Circulation Plan Description*

The Circulation Plan for the NorthStar project is multimodal and includes vehicular, pedestrian, and bicycle systems. The plan is designed to provide optimal circulation efficiency as well as safety for guests and residents. Project roadways will be constructed according to the specifications and standards set forth in this document. The internal circulation system has been designed to serve the various project areas, parking structures and multiple building pads. The championship golf course and resort hotel setting and the Arena and Event center will also necessitate bus accommodation. The last section of the circulation plan will discuss methods of dealing with tours (especially in relationship to special events).






#### ❖ *Vehicular*

The vehicular circulation plan has been developed to achieve the following: 1) provide appropriate vehicular access to all development areas within the project site; 2) create optimally sized streets which accommodate project traffic volumes while minimizing paved areas; 3) provide sufficient access for firefighting and other emergency vehicles; and 4) enhance the visual character of the site by providing well-designed, landscaped boulevards and streets; and 5) provide a functional on-site roadway system which provides for the safe and efficient movement of traffic.

**Figure IV-3**, Conceptual Vehicular Plan, illustrates the street system for the proposed project. Access into the site is provided via Varner Road which is situated parallel to both the southern boundary of the project site and the northern boundary of Interstate 10. Varner Road intersects Cook Street (immediately west of the property) and Washington Street (approximately three miles to the east). The County of Riverside designates Varner Road as a Major Highway (118' right of way). Although depicted in the Riverside County General Plan as a Secondary Highway (100' right of way), the Varner Road cross section parallel to I-10 (**Figure IV-4**) has been modified by the Riverside County Transportation department staff to accommodate projected growth associated with the project site and surrounding area. Said portion of Varner Road will consist of the following:

- 118' Right of Way.
- 10' landscaped buffer parallel to I-10.
- 76' of travel way (curb to curb) with two travel lanes in each direction and a painted median.
- 32' landscaped area (including a 5' sidewalk and a 10' bike path) between the travel way and the NorthStar property. The sidewalk will be 5' from curb and the bike path will abut the property.
- The bike path will be included in the right-of-way rather than in the easement.

In areas where Varner Road abuts Planning Area No. 10 (Community Commercial at NorthStar), a sidewalk and landscaped buffer will be incorporated on both sides, more typical of a standard street cross section.

- LEGEND**
-  POTENTIAL SIGNALIZED INTERSECTION
  -  MAJOR HIGHWAY
  -  PRIMARY CIRCULATION ROAD
  -  SECONDARY CIRCULATION ROAD
  -  DRIVING ACCESS TO PARKING

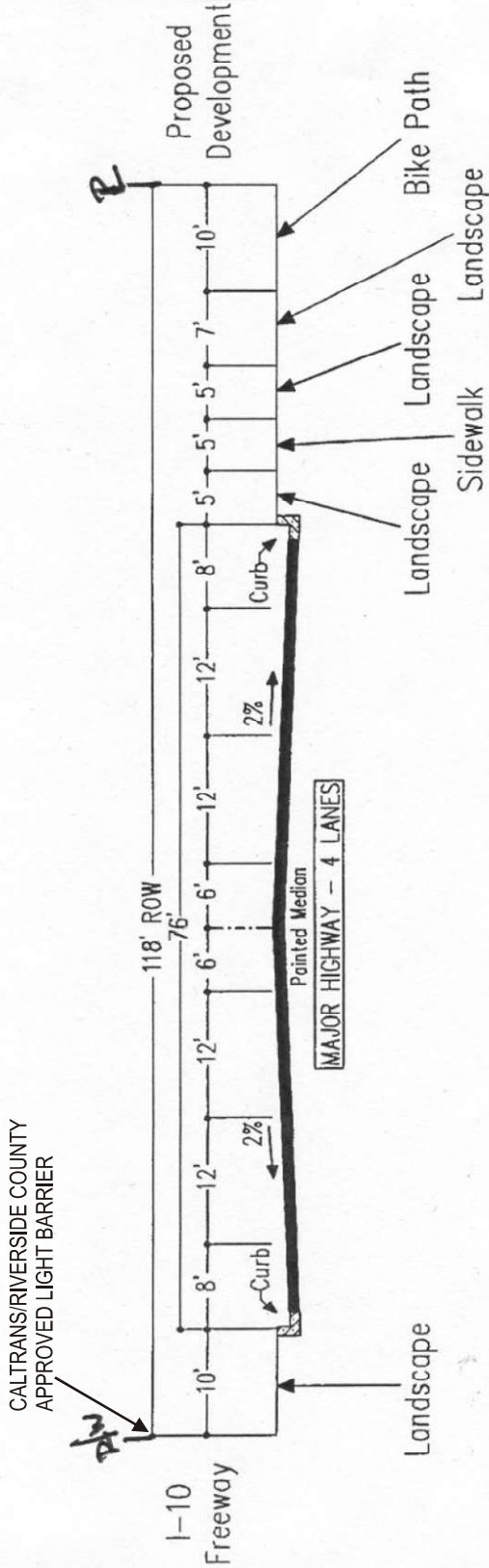


# CONCEPTUAL VEHICULAR DIAGRAM

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



**Figure IV-3**



Kunzman Associates

Source: County of Riverside

2971B/201

**PROPOSED VARNER ROAD CROSS SECTION**

NORTHSTAR  
40421.03.000 SPECIFIC PLAN



The Keith Companies **TKC**



**Figure IV-4**

As shown on **Figure IV-3** (Conceptual Vehicular Diagram), access into Planning Area No. 1 through Planning Area No. 9 and Planning Area No. 11 of the NorthStar project site will be provided via signalized intersections along Varner Road. **Seven signalized intersections along Varner Road are allowed as warranted.** Access points will be internally linked to offer multiple options for entering or leaving the site. **These seven primary** access points have been strategically placed along the southern boundary of the project site (from west to east). The internal circulation pattern is predominantly east/west with primary streets servicing the major development components and secondary roads serving specific uses and individual properties. Primary access into the commercial area (Planning Area 10) will align with the golf course/clubhouse entry and provide one major signalized entry into both properties. Additional access points into the commercial area might be established as the project develops, but will be limited to right in/right out only.

#### ❖ *Pedestrian*

The proposed pedestrian oriented circulation plan is intended to create a unified system that encourages pedestrian use. Pedestrian circulation is accomplished by a system of sidewalks and walkways which provide connectivity throughout the entire project site. They are incorporated into the design because the proximity between on-site land uses make walking a feasible and desirable transportation mode. **Figure IV-5** (Conceptual Pedestrian Circulation Diagram) depicts conceptual pedestrian circulation for the entire site.

The pedestrian circulation system has been developed to achieve the following: 1) provide a system of **ADA compliant** sidewalks and walkways which link together the entire NorthStar project site; 2) maximize safety and functionality by separating vehicular routes from pedestrian paths; 3) create a pleasant walking environment by providing elements of visual interest (i.e. vistas, rest stops, fountains, etc.); and 4) accommodate the needs of all pedestrians (including special needs groups such as children or the handicapped).

#### ❖ *Bicycle*

Bicycling is increasingly being seen as an integral component of urban multi-modal trips. A seamless transportation system with convenient and reliable opportunities to use more than one mode in a single trip provides a wider range of cost effective travel options. **Figure IV-5** shows the conceptual bicycle circulation system for the proposed project. Bicycle circulation will accommodate and encourage alternative modes of transportation for patrons, residents and employees of the NorthStar project. In addition to internal NorthStar project site bike paths, the County has required a 10-foot wide softscape Class I bike path to be constructed along Varner Road.

The bicycle circulation system has been developed to achieve the following: 1) assure safe and convenient bicycle access to specified areas within the NorthStar project site; 2) promote the use of bicycles as a viable and attractive alternative to cars; 3) compliance with Riverside County bikeway policies and standards; 4) provide adequate parking facilities for bicycles; 5) provide access to regional bicycle trails/paths; 6) maximize safety and functionality by separating (where possible) vehicular routes from bike paths; and 7) provide an enjoyable experience for the cyclist by creating an aesthetically pleasing bike way system.

**LEGEND**

- SHOPPING PROMENADE
- PEDESTRIAN SIDEWALK
- PRIMARY PARK WALKWAY
- SECONDARY PARK WALKWAY
- PUBLIC PEDESTRIAN SIDEWALK AND CLASS 1 BIKE PATH
- BIKE PATH
- PUBLIC PEDESTRIAN SIDEWALK

*\*The Conceptual Pedestrian Circulation Diagram depicts major pedestrian circulation systems. Minor pedestrian paths/sidewalks are not shown. They will be refined as part of the Plot Plan submitted.*



**CONCEPTUAL PEDESTRIAN CIRCULATION DIAGRAM**

NORTHSTAR  
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**Figure IV-5**

LEGEND

- PRIMARY EMERGENCY ROUTE
- SECONDARY EMERGENCY SPUR



Proposed Gated Secondary  
Emergency Access

# CONCEPTUAL EMERGENCY DIAGRAM

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



Figure IV-6

### ❖ *Emergency Access*

The circulation system as a whole has been designed in accordance with Riverside County Fire Department access requirements. The fire department was consulted during the initial design stages to obtain criterion for minimum street width (24 feet/two travel lanes) to accommodate fire equipment during emergency response conditions. As shown in **Figure IV-6** (Conceptual Emergency Access Diagram), emergency access is provided by all proposed project roadways as well as gated emergency access roads not accessible to the general public. The roadway system will provide a means of ingress for emergency vehicles while also allowing escape routes for use by project residents and guests. The proposed project will enhance emergency access to the site of the proposed project through multiple access points and the construction of all-weather paved roadways. The Emergency Access Plan has been designed to: 1) provide suitable access for fire fighting and other emergency vehicles; and 2) provide a minimum of two emergency access points to all areas within the development.

### ❖ *Transit*

As the population of the Coachella Valley grows, the traffic volumes are likely to increase. To help reduce vehicular trips and congestion, alternative modes of transportation to and from the site are necessary. Utilization of the public transportation system will potentially reduce the amount of traffic associated with the NorthStar project. Bus stops will be strategically planned at key locations to provide sufficient accessibility to local and regional transit systems. Sunline Transit currently provides no service along Varner Road. When service becomes available, plot plans will be coordinated with Sunline Transit.

The transit component of the circulation plan has been developed to accomplish the following: 1) locate bus stops and shelters at strategic locations to maximize use and consistency with local transit system location criterion; 2) integrate the system into the Coachella Valley Sunline Transit Agency System; and 3) design bus stops/shelters which are safe, provide adequate shelter from the elements and are aesthetically consistent with the overall project design theme.

### ❖ *Tour and Shuttle Buses*

The NorthStar project is designed to attract tourists and accommodate **not only multi-day golf tournaments but also allow for indoor (Arena) and outdoor entertainment and sporting uses.** Given the foregoing, project implementation will necessitate tour/shuttle bus usage **between the Indian Wells Tennis Garden, CSUSB/UCR and Xavier College Preparatory High School (Xavier HS) campuses and the NorthStar project site.** Section 9 (Special Events Plan) of this document, includes a Special Event Plan that describes the availability of temporary and permanent on-site parking and off-site overflow parking opportunities. ~~strategy, that e-how a program containing three circulation/parking scenarios intended—and manage offsite overflow parking—~~In addition, ~~c~~Circulation plans for the Arena and overall project site ~~have been formulated to~~can accommodate tour/shuttle bus needs.

The tour/shuttle bus system has been developed to accomplish the following: 1) accommodate tour/shuttle buses for special events and typical day-to-day operations; 2) locate centralized parking areas for special events and identify pick-up and circulation components; and 3) ensure the safe transport of individuals between parking areas and destinations within the project.

**b) Circulation Plan Development Standards**

The following general standards shall be applied in the implementation of the NorthStar Circulation Plan

- 1) The Conceptual Circulation Plan provides an efficient traffic design which meets the needs of the project and is complimentary to the regional circulation system. The on-site systems depicted in **Figure IV-3** thru **IV-6**, will serve as the composite circulation network of the NorthStar project. All roadway improvements will be phased in accordance with this plan and any other County requirements.
- 2) Circulation and infrastructure improvements described in this document are conceptual in nature. Final alignments and sizing will be determined at the time of final submittal when detailed engineering analysis will be performed.
- 3) The NorthStar project shall comply with the on-site street improvement recommendations and mitigation measures outlined in the traffic analysis prepared for the NorthStar EIR.
- 4) The Circulation plans shall provide for bicycle and pedestrian paths that encourage the use of non-vehicular modes of transportation.
- 5) All landscaping treatments associated with the NorthStar circulation network shall be consistent with the NorthStar landscape plan, based on the Streetscape Treatments illustrated by **Figures IV-17** and **IV-21** located in the Landscape Plan section of this document.
- 6) In accordance with the western Coachella Valley Area Plan, Trails and Bikeway System, a 10-foot-wide softscape Class I bike path shall be constructed along Varner Road as approved by the Transportation Department, Planning Department and the Parks and Recreation Department. The project shall annex to the landscaping and bike Maintenance District No. 89-1 Consolidated.
- 7) The proposed project is within the boundaries of the Coachella Valley Transportation Uniform Mitigation Fee District. Prior to the issuance of any building permits, the project proponent shall pay the mitigation fees in effect at the time building permits are issued.
- 8) The proposed project will be a substantial traffic attractor. As such, the project proponents may incorporate demand management programs (as may be appropriate) to comply with the goals and objectives of the County, including:
  - a. Design provisions to accommodate transit service.
  - b. The provision of on-site park-and-ride facilities.
  - c. The provision of a Transportation Management District.
- 9) Bicycle racks shall be provided in convenient locations to facilitate bicycle access to the project area. The bicycle rack shall be shown on project landscaping and improvement plans, and shall be installed in accordance with those plans.



### 3. Drainage Plan

#### a) Drainage Plan Description

The Drainage Plan has been developed to achieve the following goals: 1) protect all structures and other physical improvements from 100-year flood damage; 2) result in no net increase in runoff volumes and no net increase in storm flowrate to downstream drainage areas; 3) provide all-weather thoroughfares through public and private streets; and 4) design golf course areas to accommodate existing drainage patterns and provide basins for pollution abatement;

The entire NorthStar project site is within a designated 100-year flood plain. The applicable Flood Insurance Rate Map (FIRM) ~~September August 28 30, 2008 1988~~ August 28, 2008 published by the Federal Emergency Management Agency (~~September August 28 30, 2008 1988~~) identifies the site as within "Zone AO." Zone AO is defined as properties subject to flows from 2-3 ~~1-3~~ feet in depth. The velocities are considered non-erosive from ~~6-8 5-to-8~~ feet per second. Drainage areas and key flood control features for the project are identified in **Figure IV-7**, Conceptual Drainage Plan. The project will implement features to assure that the 100-year storm is safely managed to meet the Riverside County Flood Control District, Regional Water Quality Control District (RWQCD), National Pollutant Discharge Elimination System (NPDES) and Federal Emergency Management Agency (FEMA) Standards. The regional direction of flow is generally from the northwest to the southeast, with ~~some main riverine flows~~ water entering the site from the west. To address the flood conditions, the ~~existing proposed~~ golf course (Planning Area 1) has been designed with a series of meandering basins/channels to both retain and convey flows entering the site from the North and West. The riverine flows are the flows entering the golf course from the west. The ~~entire~~ riverine flow would be collected at the westerly edge of the site and conveyed via a channel to the golf course. Runoff collected from Varner Road will be retained on-site. Flows exceeding the capacity of the retention area will be conveyed toward the golf course. The water will be released at its historical ~~point-of discharge along near~~ the eastern ~~end~~ boundary ~~end~~ of the property (~~Classic Club & south of the Golf Maintenance Building~~).

On-site drainage originating from development will be directed to retention basins within the golf course and/or various planning areas.

#### b) Drainage Plan Development Standards

- 1) The drainage concept is illustrated in **Figure IV-7**, but is subject to refinement during final engineering design. The precise system layout, hydrology, and hydraulics will be determined during the final engineering phase of the improvement plan approval process.
- 2) Drainage, flood control facilities and improvements shall be provided in accordance with Riverside County Flood Control and Water Conservation District (RCFCWCD) ~~and CVWD~~.
- 3) In conjunction with future development approvals, design will be coordinated to ensure that there are no major diversions between drainage areas.
- 4) Best Management Practices (BMP) will be implemented to enhance pollutant removal during storms, and to improve the quality of storm water runoff. BMP refers to structural or non-structural (procedural, educational or maintenance techniques not involving construction) pollution control measures which reduce the amount of non-point source pollution entering natural surface waters. The former group includes those BMP's in which pollutants are

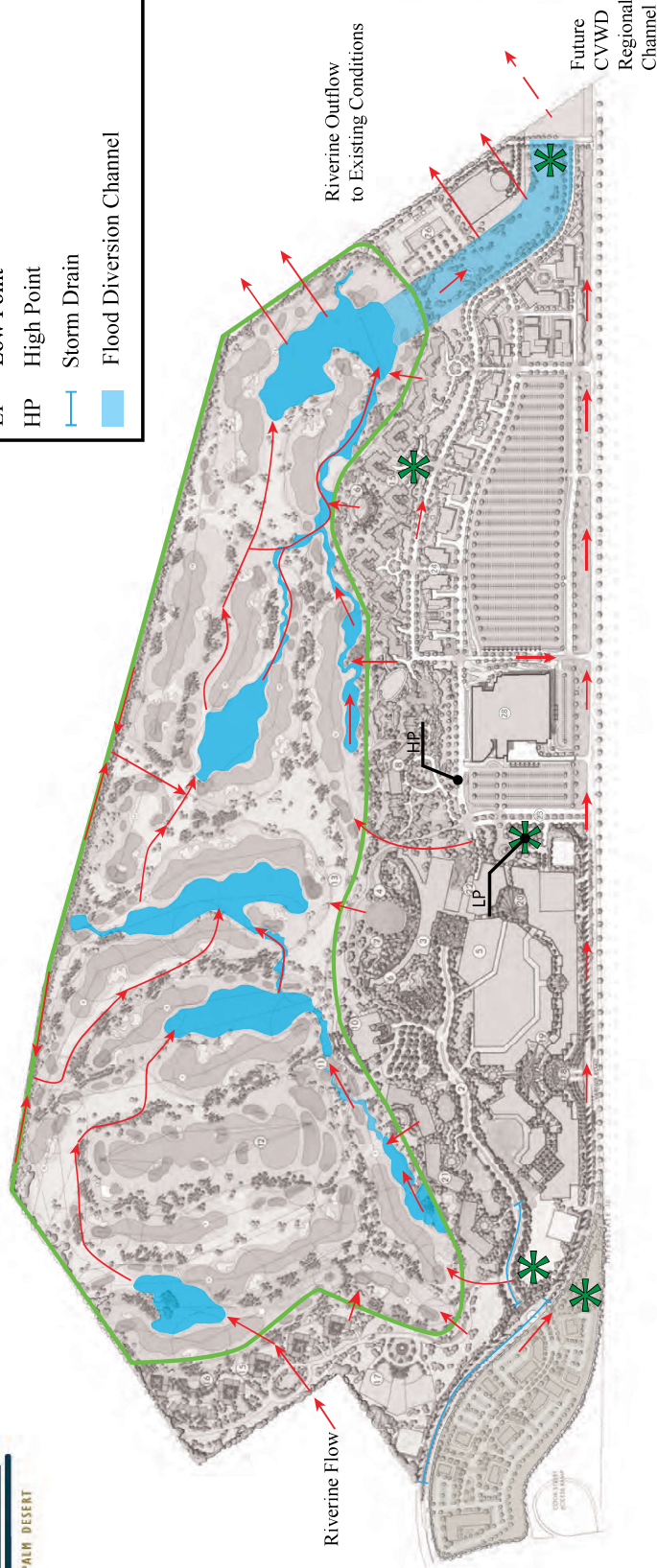
prevented from ever coming in contact with the storm water; the latter group consists of various methods of treating storm water.

- 5) The following non-structural BMP's are recommended:
  - a. Routine inspection of catch basins before and after the storm seasons, including cleaning to remove sediment and debris containing absorbed pollutants.
  - b. Definition and adherence to guidelines for fertilizer and pesticide usage, including proper application rates for the local area and soil type.
- 6) When structural BMP's are required, the following mitigation measures will be used depending upon site conditions and ultimate discharge requirements:
  - a. Control of hazardous waste during grading/construction (i.e. waste oil & grease) including confining the wastes to designated areas until they can be disposed of properly.
  - b. Control of all sediment transport through desilting basins during grading/construction operations.
- 7) All projects proposing construction activities including cleaning, grading, or excavation that results in the disturbance of at least five acres, or activity which is part of a larger common plan of development of five acres or greater, shall obtain the appropriate NPDES construction permit and pay the appropriate fees. All development within the specific plan boundaries shall be subject to future requirements adopted by the County to implement the NPDES program. Mitigation measures may include, but are not limited to: on-site retention; covered storage of all outside storage facilities; vegetated swales; and monitoring programs.
- 8) Berms, channels and swales shall be graded in a way as to be integrated into the graded or paved surfaces, and will be designed with smooth sides.
- 9) Swales shall not interfere with pedestrian walkways.
- 10) All on-site grading and paving shall be constructed to drain to the adjacent street and/or adequate drainage facilities.
- 11) Drainage Master Plan for project is coordinated with potential regional drainage master plan by CVWD.



**LEGEND**

- Golf Course Lake
- Retention Basin
- Golf Course Conveyance & Retention
- Direction of Flow
- Low Point
- High Point
- Storm Drain
- Flood Diversion Channel



**CONCEPTUAL DRAINAGE PLAN**

NORTHSTAR  
40424 03 000 SPECIFIC PLAN  
AMENDMENT NO. 2



**Figure IV-7**

#### 4. Conceptual Landscape Plan

##### a) *Conceptual Landscape Plan Description*

Master planned landscape treatments will play a pivotal role in establishing an overall theme for the NorthStar project. Landscaping will provide unification and continuity among the various land uses. Landscape treatments are designed to reflect and enhance the character of the proposed development. The intent of the Conceptual Landscape Plan is to describe and illustrate how community unification can be achieved. The project will introduce thematic elements into the manmade environment and complement the natural beauty of the surrounding desert landscape. The landscape concept for the project is shown on **Figures IV-8 thru IV-10** and the proposed plant palette is listed in **Table IV-2**. Planting plans shall consider existing landscaping on adjacent and nearby properties and provide a logical transition to the on-site landscaping concepts with designs to prevent abrupt contrasts between properties.

##### ❖ *Plant Palette*

It is the intent of the Specific Plan to allow flexibility and diversity in planting design while defining an acceptable palette in order to reinforce the thematic identity of the proposed project. A limited selection of plant materials used in simple significant compositions is encouraged. Planting designs should be compatible with and complement adjacent plantings and should reinforce and enhance the individual architecture and design of each site. The plant palettes were developed with emphasis placed on plants which are suitable to the Coachella Valley and the Specific Plan design concept. Selections were made with respect to growth factors such as water, climate, soils, fire resistance, and maintenance concerns. Plants were selected to promote and compliment the project and provide it with its own resort identity. **The use of plant varieties, cultivars and subspecies of the master plant list are allowed for use in the landscape zones.**

TABLE IV-2  
PLANT PALETTE

BOTANICAL NAME	COMMON NAME	LZ 1	LZ 2	LZ 3	LZ 4	LZ 5	LZ 6	LZ 7	LZ 8	LZ 9	LZ 10	LZ 11
<b>TREES</b>												
<i>Acacia stenophylla</i>	Shoestring Acacia	•									•	
<i>Cercidium floridum</i>	Blue Palo Verde		•					•	•		•	
<i>Cercidium x 'Desert Museum'</i>	Thornless Palo Verde											•
<i>Chilopsis linearis</i>	Desert Willow											•
<i>Chilopsis linearis Burgundy</i>	Burgundy Desert Willow		•	•	•	•						
<i>Chitalpa t. "Morning cloud"</i>	Morning Cloud Chitapla		•	•		•						
<i>Cupressus sempervirens</i>	Italian Cypress		•		•	•		•		•		
<i>Dalea spinosa</i>	Desert Smoke Tree											•
<i>Grevillea robusta</i>	Silk Oak	•						•	•	•	•	
<i>Geijera parviflora</i>	Australian Willow		•		•	•			•			
<i>Lagerstroemia indica</i>	Crape Myrtle		•		•							
<i>Olea europaea</i>	European Olive	•	•	•	•	•	•	•	•	•	•	
<i>Olnea tesota</i>	Desert Ironwood				•	•	•		•			
<i>Pinus eldarica</i>	Afghan Pine (Mondell Pine)	•	•	•	•	•	•	•	•	•	•	
<i>Pinus pinea</i>	Italian Stone Pine	•	•	•	•	•	•	•	•	•	•	
<i>Pithecellobium flexicaule</i>	Texas Ebony											•
<i>Populus nigra italica</i>												
<i>Quercus emoryi</i>	Emory Oak								•	•		
<i>Robina 'Purple Robe'</i>	Locust Tree	•	•	•	•	•	•	•	•	•	•	
<i>Rhus lancea</i>	African Sumac	•				•	•			•	•	
<i>Schinus molle</i>	California Pepper	•	•			•	•	•				
<i>Sophora secundiflora</i>	Texas Mountain Laurel											•
<b>PALM TREES</b>												
<i>Brahea armata</i>	Mexican Blue Palm											•
<i>Phonix canariensis</i>	Canary Island Date Palm											•
<i>Washingtonia robusta</i>	Mexican Fan Palm											•
<b>SHRUBS</b>												
<i>Acacia r. 'Desert Carpet'</i>	Trailing Acacia	•								•		
<i>Agave american</i>	Centry Plant											•

TABLE IV-2  
PLANT PALETTE

BOTANICAL NAME	COMMON NAME	LZ	LZ	LZ	LZ	LZ	LZ	LZ	LZ	LZ	LZ	LZ
		1	2	3	4	5	6	7	8	9	10	11
<i>Agave deserti</i>	Desert Agave											•
<i>Bougainvillea</i> 'Abearl'	Pink Pearl Bougainvillea		•	•	•	•	•	•	•	•	•	•
<i>Bougainvillea</i> 'La Jolla'	Bougainvillea											•
<i>Buxus koreana</i>	Korean Boxwood		•		•		•				•	
<i>Buddleia marrubifolia</i>	Wooly Butterfly Bush		•	•	•					•		•
<i>Caesalpinia</i> <i>pulcherrima</i>	Red Bird of Paradise	•	•	•	•	•	•	•				•
<i>Calliandra eriophylla</i>	Fairy Duster		•	•	•	•			•		•	•
<i>Cassia artemisioides</i>	Feathery Cassia	•	•	•	•		•			•		•
<i>Cassia nemophila</i>	Bushy Senna	•					•			•		
<i>Cortaderia selloana</i> 'Dwarf'	Dwarf Pampas Grass	•								•		
<i>Dalea</i> f. 'Sierra Negra'	Black Dalea	•		•	•		•			•		•
<i>Dasylirion wheelerii</i>	Grey Desert Spoon		•									
<i>Euryops</i> p. 'Viridis'	Green Leaf Euryops	•					•			•	•	
<i>Lavandula x</i> <i>intermedia</i> 'Provence'	Lavender		•		•			•				
<i>Leucophyllum</i> <i>frutescens</i>	Texas Sage		•	•	•	•		•				•
<i>Leucophyllum</i> <i>frutescens</i> 'Compacta'	Compact Texas Ranger											•
<i>Muhlenbergia</i> c. 'Regal Mist'	Regal Mist Muhly	•	•	•	•	•	•			•		•
<i>Nerium oleander</i> 'Petite Pink'	Petite Pink Oleander	•			•	•	•				•	
<i>Nerium oleander</i> 'Turner's Carnival'	Turner's Carnival Oleander		•	•	•	•	•	•	•	•		•
<i>Nerium oleander</i> 'Turner's Shari-D'	Shari-D Oleander		•	•					•	•	•	•
<i>Plumbago auriculata</i>	Cape Plumbago		•				•					
<i>Pyracantha</i> 'Graberii'	Firethorn	•		•	•		•			•	•	•
<i>Rosmarinus</i> o. 'Lockwood de Forest'	Dwarf Rosemary	•		•	•			•	•	•		•
<i>Rosmarinus</i> o. 'Prostratus'	Creeping Rosemary		•	•	•							•

**TABLE IV-2  
PLANT PALETTE**

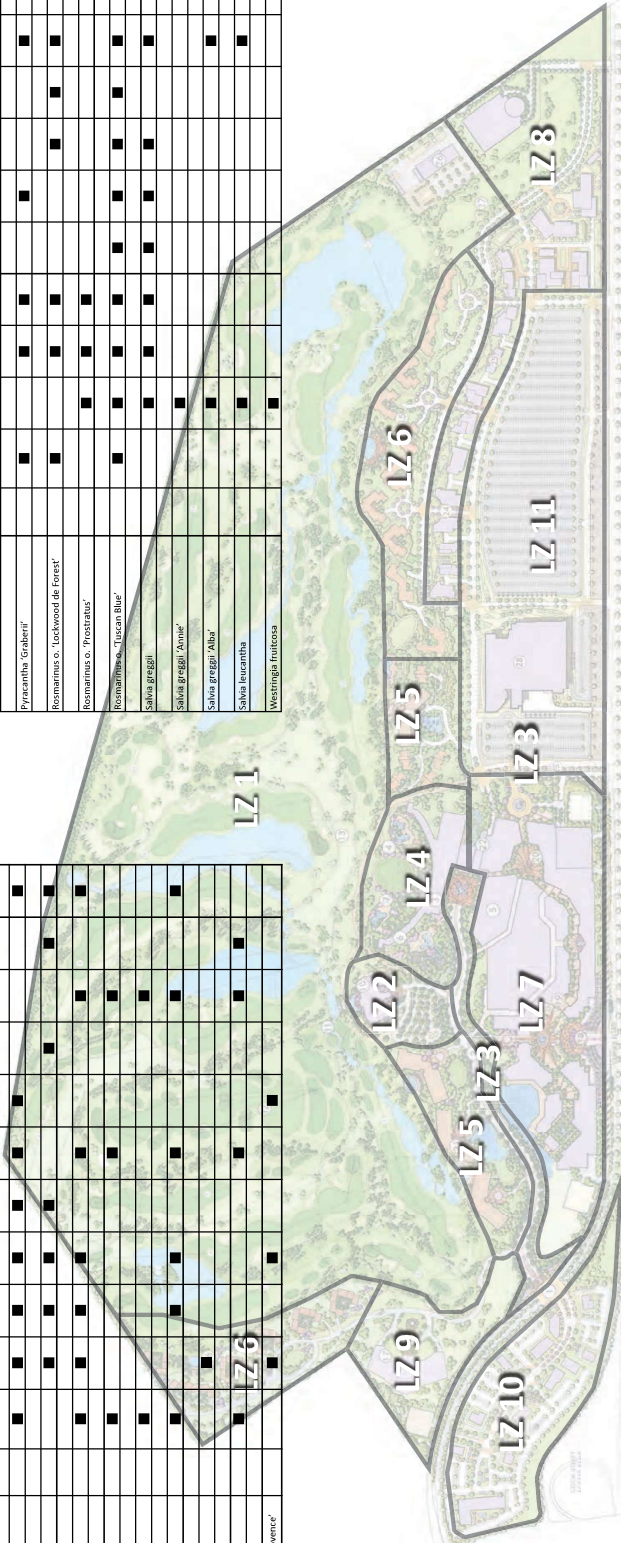
BOTANICAL NAME	COMMON NAME	LZ 1	LZ 2	LZ 3	LZ 4	LZ 5	LZ 6	LZ 7	LZ 8	LZ 9	LZ 10	LZ 11
<i>Rosmarinus o.</i> 'Tuscan Blue'	Tuscan Blue Rosemary	•	•	•	•	•	•	•	•	•	•	•
<i>Salvia greggii</i>	Autumn Sage		•	•	•	•	•	•		•	•	•
<i>Salvia greggii</i> 'Annie'	Red Texas Sage		•								•	
<i>Salvia greggii</i> 'Alba'	White Texas Sage		•							•		
<i>Salvia leucantha</i>	Mexican Bush Sage		•							•		
<i>Westringia fruitcosa</i>			•								•	
<b>PERENIALS, GRASSES &amp; GROWDCOVERS</b>												
<i>Aloe</i> 'Blue Elf'	Aloe											•
<i>Asclepias subulata</i>	Desert Milkweed											•
<i>Asclepias linearis</i>	Threadleaf Milkweed											•
<i>Bouteloua curtipendula</i>	Blue Grama Gass											•
<i>Chrysactinia mexicana</i>	Damianita											•
<i>Lantana sellowiana</i>	Trailing Lantana											•
<i>Muhlenbergia lindheimeri</i> 'Leni'	Autumn Glow Muhl											•
<i>Rosmarinus officinalis</i>	Trailing Rosemary											•





LANDSCAPE ZONES	LZ1	LZ2	LZ3	LZ4	LZ5	LZ6	LZ7	LZ8	LZ9	LZ10	LZ11
<b>SHRUBS</b>											
<i>Acacia F. 'Forest Carpet'</i>	■										
<i>Agave american</i>			■								
<i>Agave deserti</i>											
<i>Bougainvillea 'Abacost'</i>			■	■	■	■	■	■	■	■	■
<i>Bougainvillea 'La Julia'</i>			■	■	■	■	■	■	■	■	■
<i>Buxus koronana</i>											
<i>Buddleia maurandifolia</i>											
<i>Casalpinia pulcherrima</i>											
<i>Calliandra eriophylla</i>											
<i>Cassia artemisoides</i>											
<i>Cassia nemophila</i>											
<i>Conradina selbiana 'Dwarf'</i>											
<i>Dalea F. 'Sierra Negra'</i>											
<i>Dryiflora wisneteri</i>											
<i>Europa p. 'Viridic'</i>											
<i>Lavandula x intermedia 'Provence'</i>											

LANDSCAPE ZONES	LZ1	LZ2	LZ3	LZ4	LZ5	LZ6	LZ7	LZ8	LZ9	LZ10	LZ11
<b>SHRUBS</b>											
<i>Leucophyllum frutescens</i>											
<i>Leucophyllum frutescens 'Compacta'</i>											
<i>Muhlenbergia c. 'Regal Blue'</i>											
<i>Meriania obanensis 'Petite Pink'</i>											
<i>Meriania obanensis 'Turner's Carnival'</i>											
<i>Meriania obanensis 'Turner's Shantiz'</i>											
<i>Plumbago auriculata</i>											
<i>Procrisantha 'Graben'</i>											
<i>Roussimouos c. 'Lockwood de Forest'</i>											
<i>Roussimouos c. 'Prostratus'</i>											
<i>Roussimouos c. 'Tussock Blue'</i>											
<i>Salvia greggii</i>											
<i>Salvia greggii 'Amie'</i>											
<i>Salvia greggii 'Alba'</i>											
<i>Salvia leucantha</i>											
<i>Westringia frutescens</i>											



**CONCEPTUAL LANDSCAPE PLAN - SHRUB MATRIX**

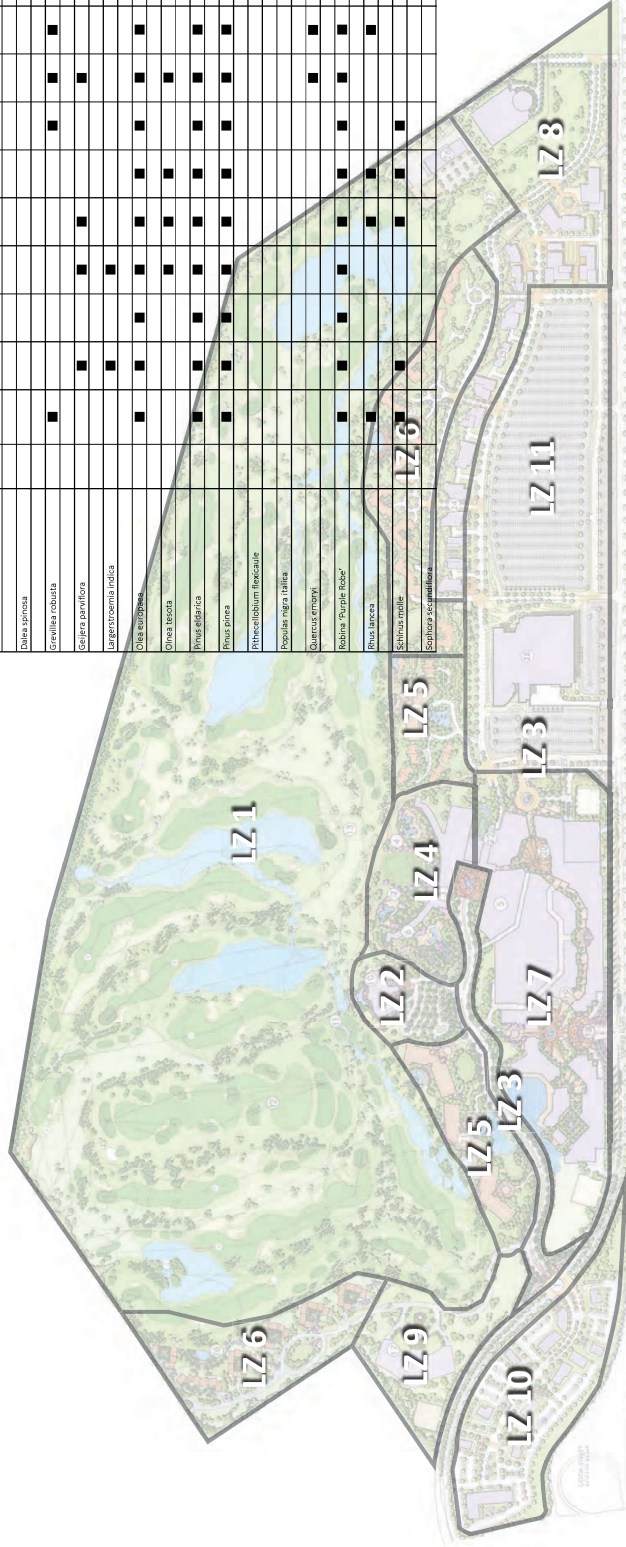
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Figure IV-9

LANDSCAPE ZONES	LZ1	LZ2	LZ3	LZ4	LZ5	LZ6	LZ7	LZ8	LZ9	LZ10	LZ11
<b>PALM TREES</b>											
<i>Borlea armata</i>											
<i>Phoenix carolinensis</i>											
<i>Washingtonia robusta</i>											

LANDSCAPE ZONES	LZ1	LZ2	LZ3	LZ4	LZ5	LZ6	LZ7	LZ8	LZ9	LZ10	LZ11
<b>TREES</b>											
<i>Acacia tremulifolia</i>											
<i>Coccoloba foetida</i>											
<i>Cercidium x Desert Museum</i>											
<i>Chilopsis linearis</i>											
<i>Chilopsis linearis Burgundy</i>											
<i>Chilopsis "Morning Colour"</i>											
<i>Cupressus sempervirens</i>											
<i>Dalmania pinnosa</i>											
<i>Grevillea robusta</i>											
<i>Salix parviflora</i>											
<i>Quercus laevis</i>											
<i>Quercus agrifolia</i>											
<i>Pinus taeda</i>											
<i>Pinus edulis</i>											
<i>Pinus pinea</i>											
<i>Pinus strobus</i>											
<i>Pinus ponderosa</i>											
<i>Pinus resinosa</i>											
<i>Populus nigra italica</i>											
<i>Quercus emoryi</i>											
<i>Robinia "Purple Race"</i>											
<i>Robinia pseudo-acacia</i>											
<i>Schinus molle</i>											
<i>Sporobolus vaginiflorus</i>											



# CONCEPTUAL LANDSCAPE PLAN - TREE MATRIX

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Figure IV-10

### ❖ *Community Elements*

The Conceptual Landscape Plan consists of community elements that form the basic structure of the plan. The objective is to reinforce the community identity through the control of master planned design elements. Collectively all elements will be coordinated with the selection of building and plant materials and will provide reinforcement of the overall project theme. These features will consist of project entries, streetscapes, walls and fences, monuments, signs and lighting.

### ❖ *Project Entries*

~~Six~~ **Eight** entries are proposed along Varner Road leading into the NorthStar project site. **Entry monuments shall be located within the project boundary outside the road ROW.** Each entry will be similar in design and will reinforce project continuity and project identification. As shown on **Figure IV-11** (Site Section Key Plan), the ~~six~~ **four main** -entries have been strategically placed along the southern boundary of the project site (from west to east) and are briefly described below:

#### NorthStar Main Resort Entry **(Figure IV-12)**

The Main Resort Entry is located at the western end of the project where NorthStar Resort Parkway intersects the project's main collector road (i.e. Varner Road). It flows through the "heart" of the project, terminating at the hotel. This primary project entry will provide the initial opportunity for identification of the project's "Resort" components. The structure, form, and character of the entry will be established by the following design elements:

- A project theme wall with plaster finish, cast stone cap and stone base;
  - Gateway pavilion features;
  - Median with project signage;
  - Two 12-foot lanes entering the project site;
  - Three 12-foot lanes exiting the project site;
  - Parkway and sidewalk on both sides of the street;
  - Canopy trees planted to reinforce the formal structure of the entry;
  - Accent trees to provide character and interest; and
  - Drought tolerant shrubs, groundcovers, and annuals to provide color and interest.
- The arrangement of these materials will reinforce and enhance the Project theme.

#### Retail Village Entry **(Figure IV-13)**

The next entry (as one travels east) is the retail village automobile entry plaza. This entry provides access to the mixed-use retail village and associated parking. The structure, form, and character of the entry will be established by the following design elements:

- A project theme wall with plaster finish, cast stone cap and stone base;
- Gateway pavilion features;
- Median with project signage;
- Two 12-foot lanes entering the project site;
- Three 12-foot lanes exiting the project site;
- Parkway and sidewalk on both sides of the street;
- Canopy trees planted to reinforce the formal structure of the entry;

- Accent trees to provide character and interest; and
- Drought tolerant shrubs, groundcovers, and annuals to provide color and interest. The arrangement of these materials will reinforce and enhance the Project theme.

### Central Project Entry

### (Figure IV-14)

The Central Project Entry is located at the midpoint of the project site and will potentially serve as a drop-off point for spectators of indoor and outdoor entertainment and sporting events. ~~the Bob Hope Chrysler Classic.~~ The structure, form, and character of the entry will be established by the following design elements:

- A project theme wall with plaster finish, cast stone cap and stone base;
- Gateway pavilion features;
- Entry signage wall and/or water feature wall;
- ~~Three-Two 12-footingres/egress traffic lanes providing access into the project; one outer 14-foot lane and one 12-foot lane entering the project site;~~
- ~~A landscape -median 12-foot lanes exiting the project site;~~
- Parkway and sidewalk on both sides of the street;
- Canopy trees planted to reinforce the formal structure of the entry;
- Accent trees to provide character and interest; and
- Desert tolerant shrubs, groundcovers, and annuals to provide color and interest. The arrangement of these materials will reinforce and enhance the Project theme.

### Industrial Park Entry (21)

### (Figure IV-15)

Access into the Industrial Park (at the eastern end of the project) will be provided through various entry points off Varner Road through approved ~~via two~~ signalized intersections. One primary access entry is located on the eastern corner of the planning area 8, along the southern boundary of Varner Road. Continuing in a westward direction, various entry points are established along Varner Road, including two roadways that will allow access to the northern portion of the planning area 8 through Planning Area 11. Another entry point is located between Planning Area 11 and Planning Area 7. ~~at two one separate locations off of Varner Road.~~ The concept ~~s for of the entries~~ ~~this entry are~~ is similar in design and will reinforce project continuity and project identification. The structure, form, and character of the entries will be established by the following design elements:

- Entry Pavilion and signage wall features;
- Landscaped Median;
- Two 12-foot lanes entering the project site;
- Two 12-foot lanes exiting the project site;
- Parkway and sidewalk on both sides of the street;
- Canopy trees planted to reinforce the formal structure of the entry;
- Accent trees to provide character and interest; and
- Desert tolerant shrubs, groundcovers, and annuals to provide color and interest. The arrangement of these materials will reinforce and enhance the Project theme.

Service Access Entry

~~The final entry point (at the eastern end of the project) will provide access to the maintenance facility and provide connectivity with the primary circulation road. For continuity, the Service access entry will maintain similar characteristics of the NorthStar project site but on a reduced, less dramatic scale.~~

Elevations from Varner Road are depicted on **Figure IV-16** illustrating the locations of all entry points previously discussed above.

❖ **Streetscapes**

The street landscape concept has been developed in response to the circulation hierarchy of the NorthStar project. **All development of roads and streets within the project are private.** The concept seeks to illustrate community characteristics and unify surrounding elements. As shown on **Figure IV-11**, (Site Section Key Plan) landscape design concepts and dimensions representing the typical roadway cross sections were prepared for the following areas of the NorthStar project:

NorthStar Resort Parkway Streetscape (Figure IV-17)

- A landscape buffer with pines and flowering accent trees on both sides of the street;
- Two 12-foot lanes entering the project;
- Two 12-foot lanes exiting the project;
- A median with olive theme trees in the center of the roadway; and
- A parkway and sidewalk on both sides of the street.

NorthStar Center Entry Streetscape (Figure IV-18)

- A landscape buffer with pines and flowering accent trees on both sides of the street;
- ~~Three~~Two ingress/egress traffic 12-foot lanes entering providing access to the project;
- ~~Three~~A landscaped median 12-foot lanes exiting the project; and
- ~~Multi-event staging area and parkway;~~ and
- A parkway and sidewalk on both sides of the street.

Industrial Park Streetscape (A) (Figure IV-19)

- A landscape buffer with pines and flowering accent trees on both sides of the street;
- Two 12-foot lanes entering the project;
- Two 12-foot lanes exiting the project;
- A landscaped Median; and
- A parkway and sidewalk on both sides of the street.

Industrial Park Streetscape (B)

(Figure IV-20)

- A landscape buffer with shade trees;
- Two 12-foot lanes going opposite directions (ingress/egress);
- A landscaped Median;
- A 5-foot sidewalk on both sides of the street; and
- Industrial Park warehouse buildings with vines growing on walls.

Industrial Park Streetscape (C)

(Figure IV-20)

- Three 12-foot lanes going opposite directions (ingress/egress), includes a -12-foot center turn lane; and
- A 10-foot meandering walk and parkway on both sides of the street.

General Residential Streetscapes

(Figure IV-21)

- A landscape buffer (width varies / 15-foot minimum) on both sides of the street;
- ~~Two~~ Three 12-foot lanes going opposite directions (ingress/egress) and a 12-foot center turn lane; and
- A meandering walk and parkway on both sides of the street.



# SITE SECTION KEY PLAN

NORTHSTAR  
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AMENDMENT NO. 2

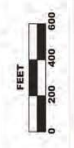


Figure IV-11



PROJECT THEME WALL WITH PLASTER FINISH,  
CAST STONE CAP, AND STONE BASE

GATEWAY PAVILION

PARKWAY & WALK

3-12 LANES EXITING

MEDIAN WITH PROJECT SIGNAGE

2-12 LANES ENTERING

PARKWAY & WALK

GATEWAY PAVILION

PROJECT THEME WALL WITH PLASTER FINISH,  
CAST STONE CAP, AND STONE BASE

# NORTHSTAR MAIN RESORT ENTRY

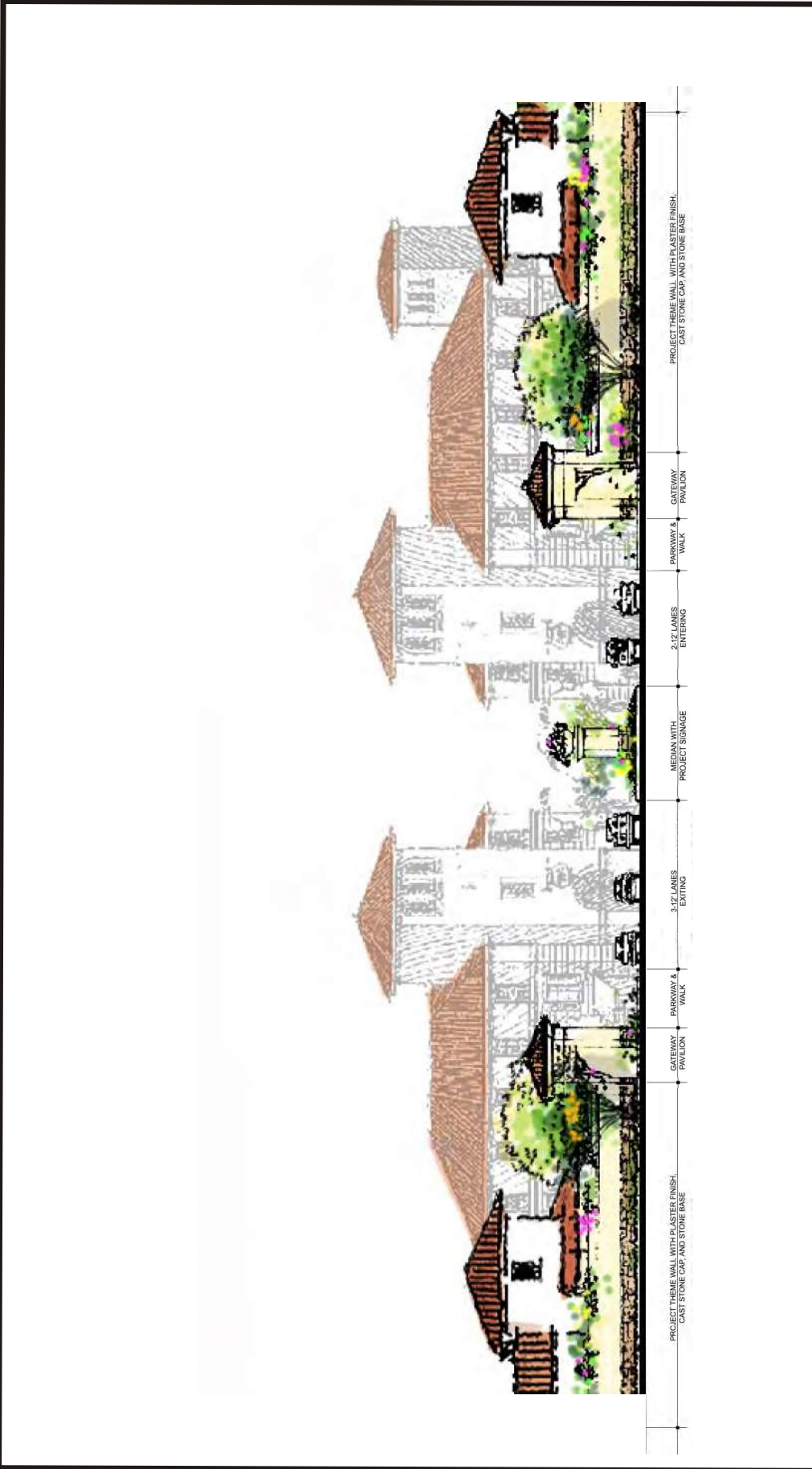


NORTHSTAR  
40421.03.000 SPECIFIC PLAN



Figure IV-12





PROJECT THEME WALL WITH PLASTER FINISH,  
CAST STONE CAP AND STONE BASE

GATEWAY  
PAVILION

PARSAWAY &  
WALK

5-7 LINES  
ENTERING

MEAN WITH  
PROJECT SIGNAGE

5-6 LINES  
EXITING

PARSAWAY &  
WALK

GATEWAY  
PAVILION

PROJECT THEME WALL WITH PLASTER FINISH,  
CAST STONE CAP AND STONE BASE

# RETAIL VILLAGE ENTRY

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**Figure IV-13**



**Central Project Entry**

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**Central Project Entry**

Northstar  
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Amendment No. 2

**Central Project Entry**

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**Central Project Entry**

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**Figure IV-14**

**Central Project Entry**

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**Central Project Entry**

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Amendment No. 2

**Central Project Entry**

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**Central Project Entry**

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**Central Project Entry**



# INDUSTRIAL PARK ENTRY

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**Figure IV-15**



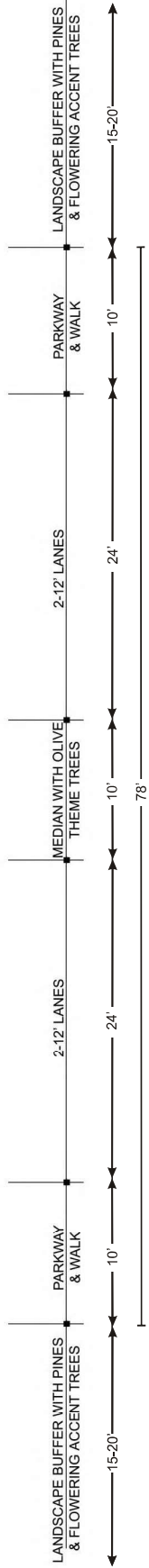
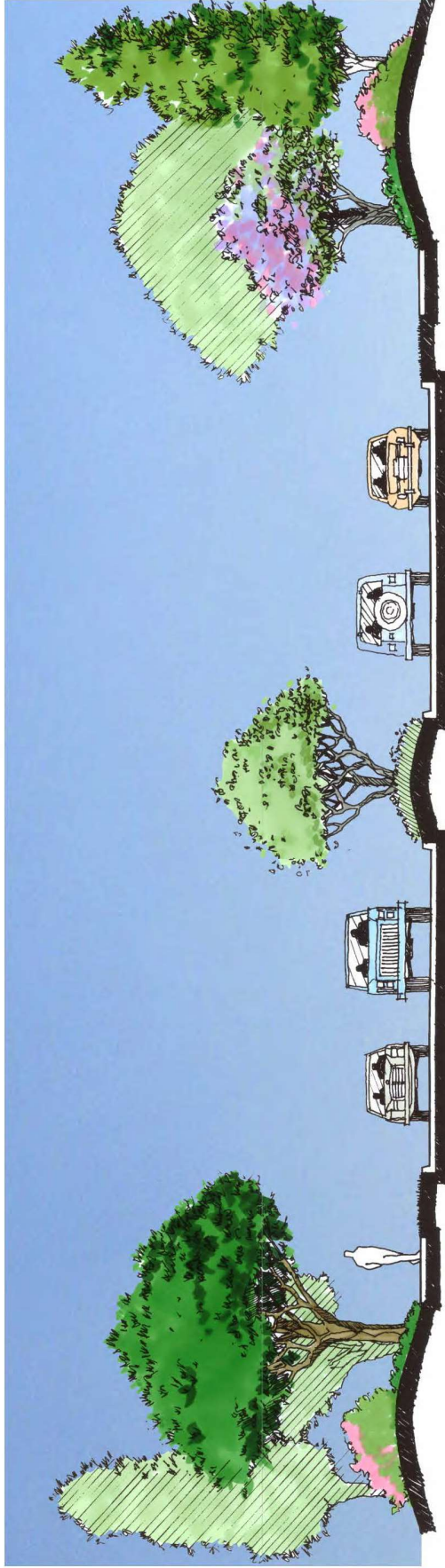
# VARNER ROAD ELEVATIONS

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AMENDMENT NO. 2



**Figure IV-16**





## NORTHSTAR RESORT PARKWAY STREETSCAPE

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NOT TO SCALE



**Figure IV-17**



LANDSCAPE BUFFER    PARKWAY & SIDEWALK    2 LANES    MEDIAN    2 LANES    PARKWAY & SIDEWALK    LANDSCAPE BUFFER

# NORTHSTAR CENTER ENTRY STREETSCAPE



Figure IV-18



NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2

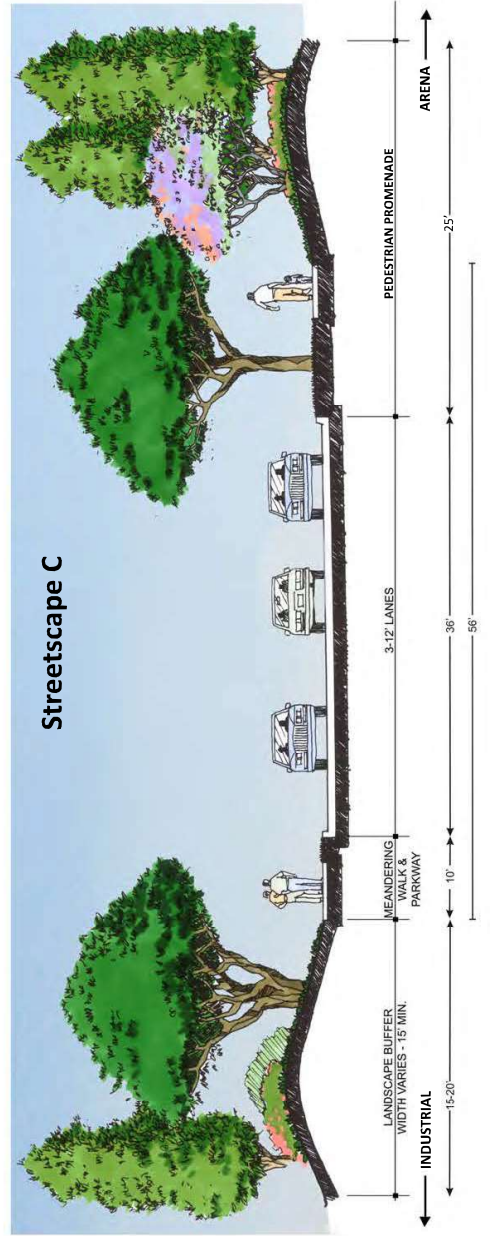


# INDUSTRIAL PARK STREETScape (A)



Figure IV-19

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40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



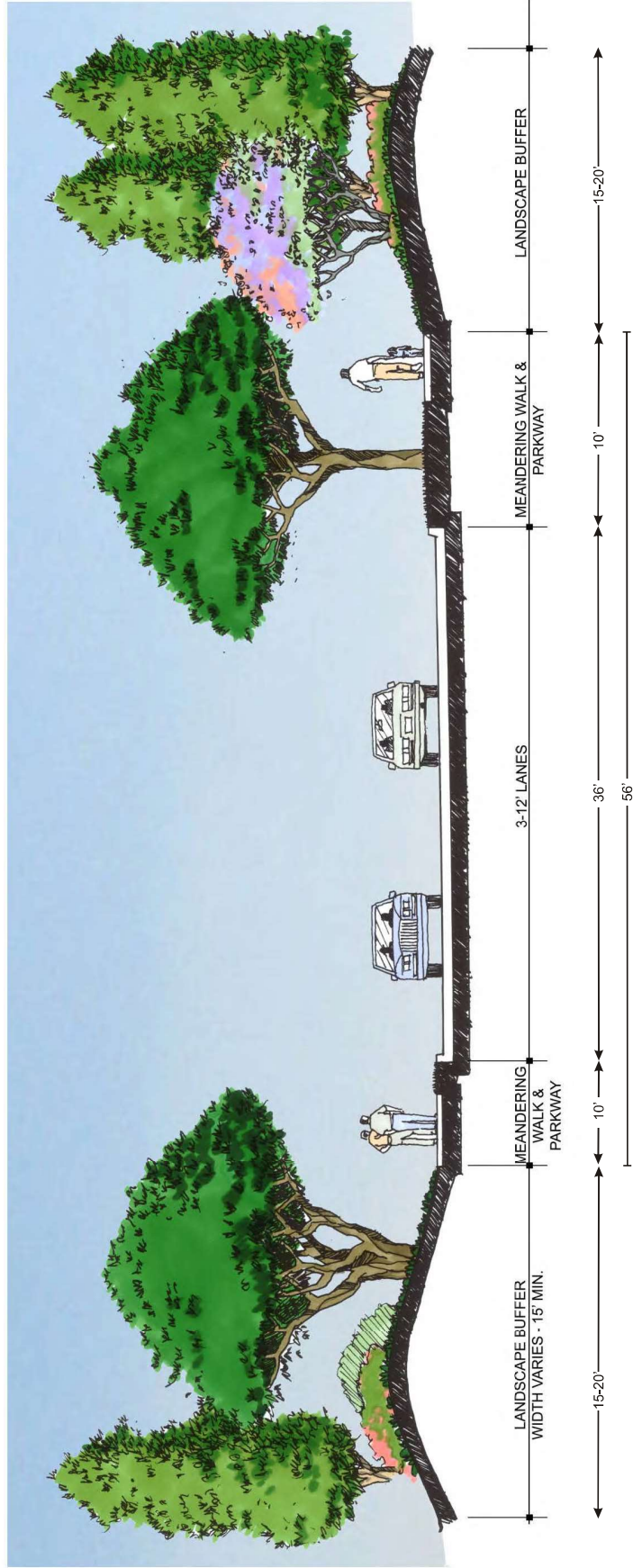
# INDUSTRIAL PARK STREETScape (B & C)

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Figure IV-20





# GENERAL RESIDENTIAL STREETSCAPE



NORTHSTAR  
40421.03.000 SPECIFIC PLAN

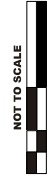


Figure IV-21

### Cook Street and Varner Road Streetscapes

The streetscapes along Varner Road and Cook Street will conform with County Design Guidelines while maintaining a plant palette and design concept compatible with surrounding finished street frontages.

### Golf Course Cart Path

As shown on **Figure IV-22**, a landscape design concept representing the typical golf course cart path was prepared for the NorthStar project.

## ❖ *Walls and Fences*

### Community Frontage Wall

The purpose of walls and fences are to assist in the establishment of project identity and complement the architectural character of the development. The proposed community frontage wall is designed to reduce noise and provide privacy from Varner Road and Interstate 10. The community frontage wall will be constructed similar to one of three wall types described below. The scale and features of the community frontage wall will create a sense of distinguished elegance and set the theme for the unique mixed use development.

### Internal Walls

Internal walls should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural environment in color and texture. Walls may consist of the materials detailed below and may be used to provide private outdoor spaces or as a device to screen private landscaping, parking and service areas from public view.

Three representative wall types have been prepared and will be utilized throughout the entire NorthStar project site.

### Wall Type A

### **(Figure IV-23)**

- Cast stone wall cap
- Integral color plaster finish over CMU wall;
- Cast stone molding; and
- Natural stone or manufactured stone veneer;

### Wall Type B

### **(Figure IV-24)**

- Cast stone wall cap; and
- Integral color plaster finish over CMU wall; and

Wall Type C(Figure IV-25)

- Cast stone wall cap;
- Natural stone or manufactured stone veneer over CMU wall;

Golf Course/Coachella Valley Preserve

**Figure IV-26** is a cross-section depicting the design parameters of the buffer between the NorthStar Golf Course and the Coachella Valley Ecological Preserve. The purpose of the buffer is to protect the biological integrity and function of the Coachella Valley Ecological Preserve.

An existing barbed wire fence on the NorthStar property line (maintained by the Coachella Valley Preserve) will remain in place and continue to serve as the border between the Coachella Valley Preserve and the Golf Course. In addition, a 4- or 5-foot high snow fence (maintained by the golf course operator) will be constructed 7-feet from the NorthStar property Line/Coachella Valley Preserve. The fence will be designed to prevent sand from blowing onto the Golf Course.

❖ *Signage*

Street, directional and traffic control signs are considered an integral component of the project and should reflect the overall project design theme. Three representative sign types have been prepared and will be utilized throughout the entire NorthStar project site. **The use of freeway adjacent digital signs shall require a separate approval.**

Sign Type A (Directional Signage)(Figure IV-27)

- Painted plate aluminum sign with faux parchment finish painted graphics to match themed style;
- Tubular aluminum frame with powder coat finish, verdi-gris color;
- Aluminum post and base with powder coat finish verdi-gris color;
- Concrete base with natural or manufactured stone veneer and cast stone cap;

Sign Type B (Traffic Control Signage) (Figure IV-28)

- Painted plate aluminum sign;
- Aluminum post with powder coat finish verdi-gris color with bronzed accent; and
- Concrete base with natural or manufactured stone veneer and cast stone cap;

Sign Type C (Additional Signage)(Figure IV-29)

- Aluminum bracket, arm with powder coat finish, verdi-gris color with bronzed accents (optional double armed)
- Painted plate aluminum sign with faux parchment finish and painted graphics to match themed style;
- Aluminum post with powder coat finish, verdi-gris color with bronzed accents;
- Concrete base with natural or manufactured stone veneer and cast stone cap;

### ❖ *Monument Signage*

Monument signs identifying the project entries and other significant project features will be strategically located throughout the NorthStar project site. Monument signs will have indirect or backlit lighting and will be constructed with quality materials similar to **Figure IV-30** (Project Identification Monument Sign) detailed below.

#### Project Identification Monument Sign (Figure IV-30)

- Terra cotta planters;
- Octagonal wall pier;
- Painted plate aluminum signage;
- Sign wall with integral color plaster finish;
- Cast stone trim; and
- Natural or manufactured stone veneer;

### ❖ *Comprehensive Sign Program*

In addition to the signage detailed above, a variety of building signs will be utilized throughout the NorthStar project site. A comprehensive signage program has been prepared for building signs within the commercial, office, retail and industrial park portions of the project site. The Comprehensive Sign Program has been attached to the Specific Plan document as Appendix A to Chapter IV.

### ❖ *Lighting*

A hierarchy of lighting will be developed that will be aesthetically pleasing while also providing necessary safety and security for residents. Exterior lighting should be designed to minimize glare and light spillage to other properties. Flood lighting and improperly shielded lighting is prohibited. Illumination of activity areas and walkways should be subtle, directed downward, and of the minimum brightness necessary for safe movement along paths, stairways and courtyards. Illuminated street address lighting fixtures shall be installed on the front yard side of each dwelling to facilitate location of the street address numbers for safety and public convenience and to compensate for dark sky lighting considerations. "Night skies" provisions such as lower lighting levels, backlit addresses and street signs, and other indirect lighting methods shall be required.

Landscape lighting shall be low level and shielded to prevent glare. Uplighting of some trees may be allowed subject to approval by the County during plot plan review. Lighting fixtures should be base down. The preferred fixture should have a 50W metal-halide lamp or equivalent unless it can be shown that a higher wattage or different bulb (e.g. high pressure sodium) is appropriate and meets the intent of the "Night skies" provisions of the County.

Themed light poles will be utilized throughout the NorthStar project site and will follow the design parameters below:

Themed Light Pole(Figure IV-31)

- Light fixture model #ALN-445 with verdi-gris powder coat finish by architectural area lighting;
- Light pole #DB 6-12' HT. with verdi-gris powder coat finish by architectural area lighting; and
- Concrete base with natural or manufactured stone veneer and cast stone cap;

❖ *Transition/Special Treatment Areas*

Transitions or special treatment areas within the project limits will be landscaped to accommodate the various land use types. These areas will be established based on location, adjacent land uses types and the amount of landscape needed to provide adequate screening and/or buffering. **Figure IV-32** is a generic representation of the typical interface between the edge of the Golf Course (PA 1) and the planning area in which it abuts. **Figure IV-33** and **IV-34** depict both the interface between the Golf View Condominiums (PA 6) and the Golf Course (PA 1) and the interface between the Golf View Condominiums (PA 6) and the Industrial Park (PA 8).

❖ *Special Project-Preserve Interface Parameters*

As depicted on **Figure IV-26** and previously mentioned above, special implementation strategies and design parameters have been developed to protect the biological integrity of the Coachella Valley Ecological Preserve which borders the northern portion of the project site. Some of the strategies were established with the approval of Specific Plan No. 151 (North Star Commerce Center and Golf Club) and will be utilized during implementation of the NorthStar Specific Plan No. 343.

The following design parameters shall apply to the project-preserve boundary:

- The 50 foot zone adjacent to the Coachella Valley Preserve shall be kept free of sprinkler type irrigation. An arid zone adjacent to the Coachella Valley Preserve with native shrubs (like mesquite) and watered only by drip irrigation, shall be established.
- The proposed edge treatment plant palette will be provided to the management at the Coachella Valley Ecological Preserve for review and comment at least 120 days prior to the anticipated date of planting.
- No trees greater than 15 feet in height shall be planted within 100 feet of the preserve boundary.
- Boundary fencing, using landscaping when necessary, shall block human access into the Preserve but provide for the movement of animals.
- Small signs identifying the Preserve and its significance shall be posted at 50-foot intervals along the boundary.
- Project lighting shall be directed downward and away from the Preserve.



LANDSCAPE BUFFER WITH PINES  
& FLOWERING ACCENT TREES

GOLF CART PATH

LANDSCAPE BUFFER

**TYPICAL GOLF COURSE CART PATH**

**NORTHSTAR**  
40421.03.000 SPECIFIC PLAN

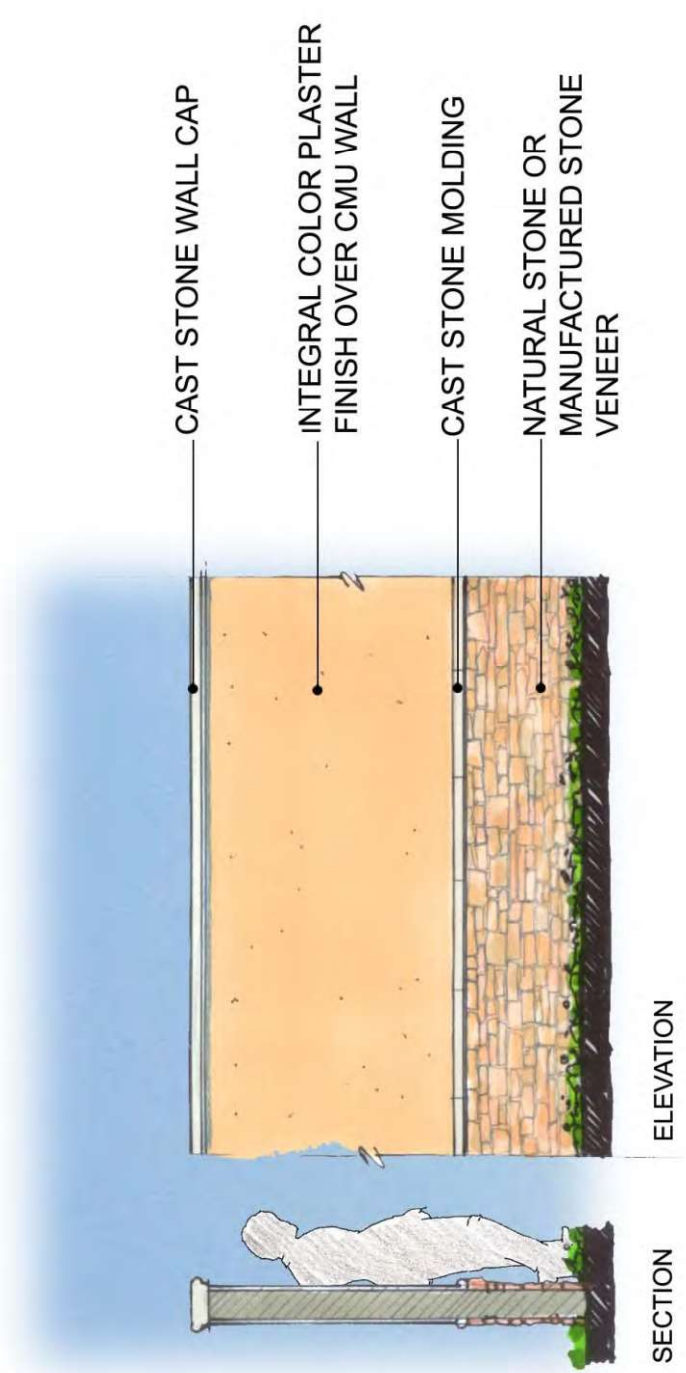
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**Figure IV-22**

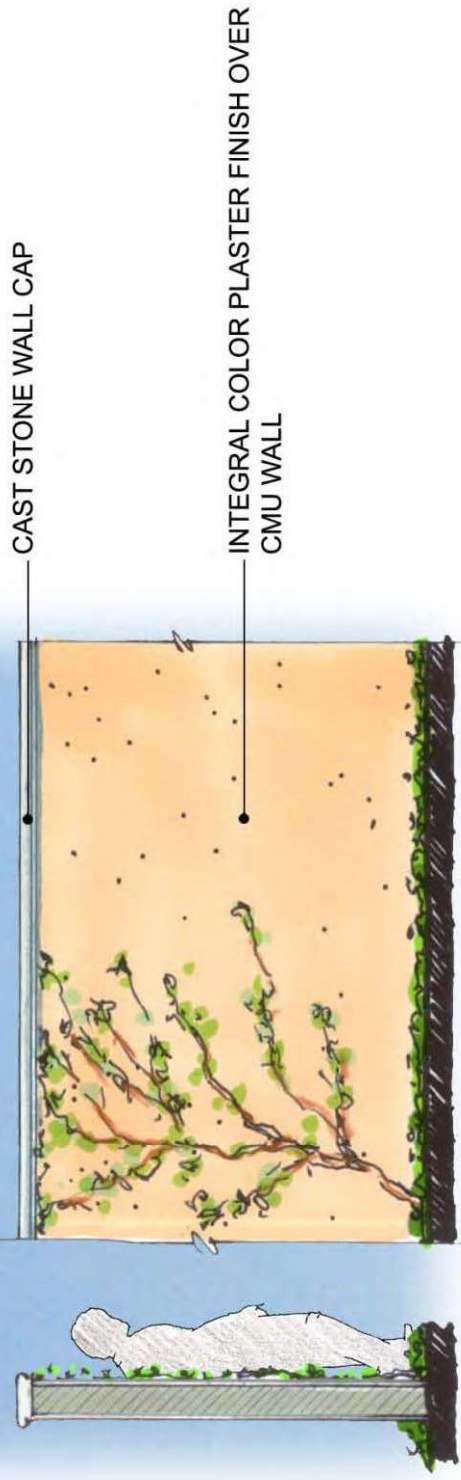


WALL TYPE - A

**WALL TYPE A**

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WALL TYPE - B

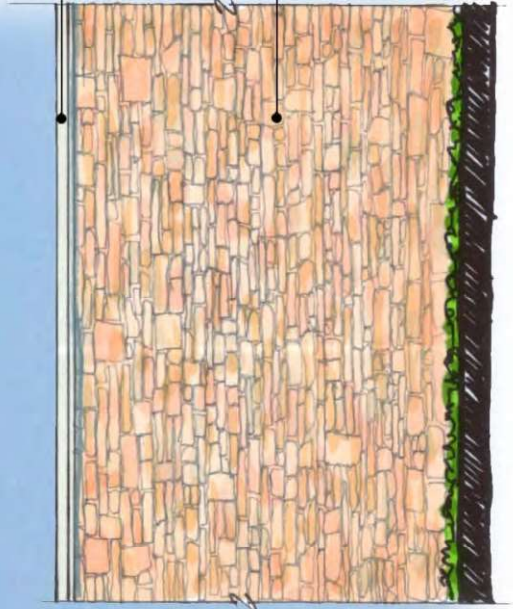
**WALL TYPE B**

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CAST STONE WALL CAP

NATURAL STONE OR  
MANUFACTURED STONE  
VENEER OVER CMU WALL



ELEVATION

SECTION

WALL TYPE - C

### WALL TYPE C

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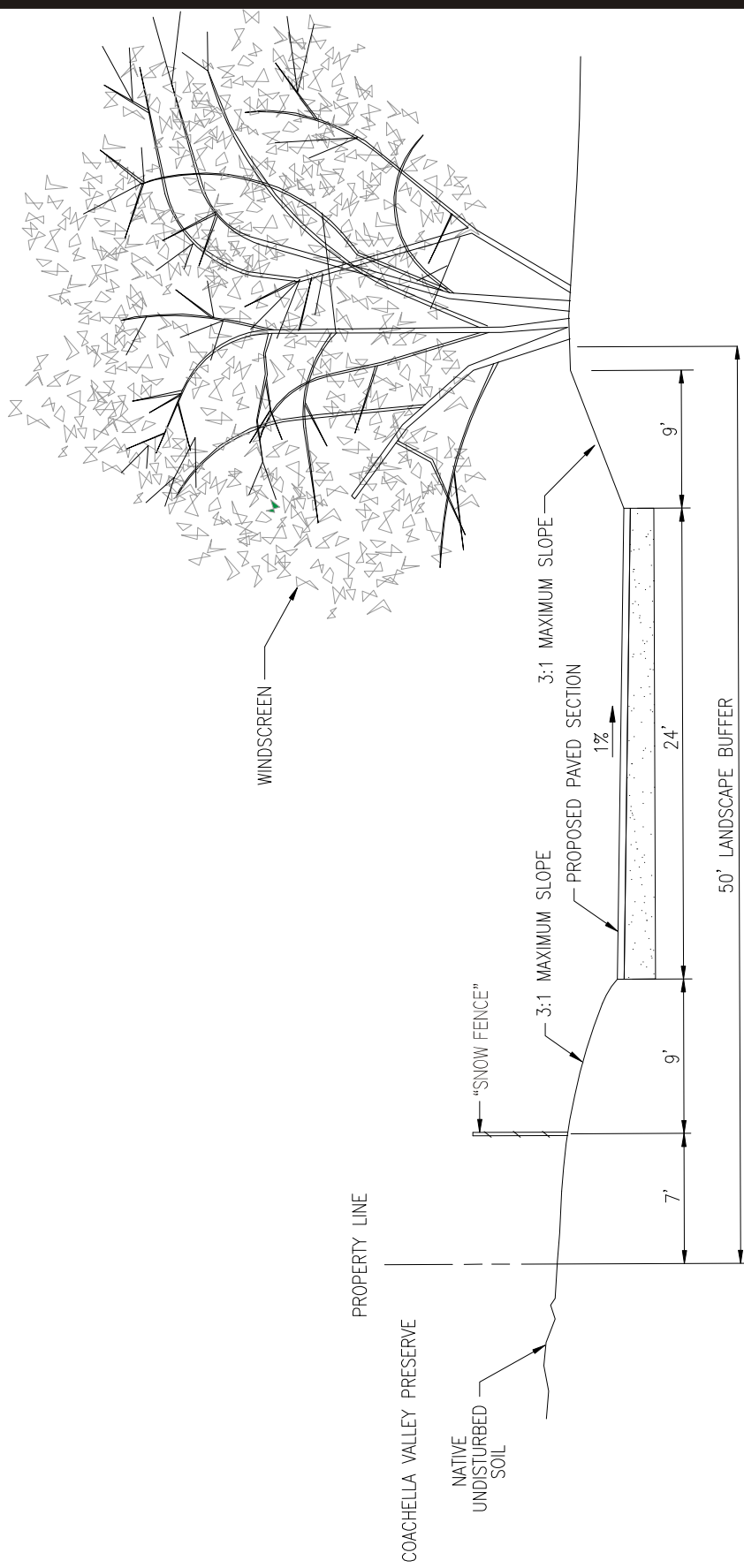
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NOT TO SCALE



Figure IV-25



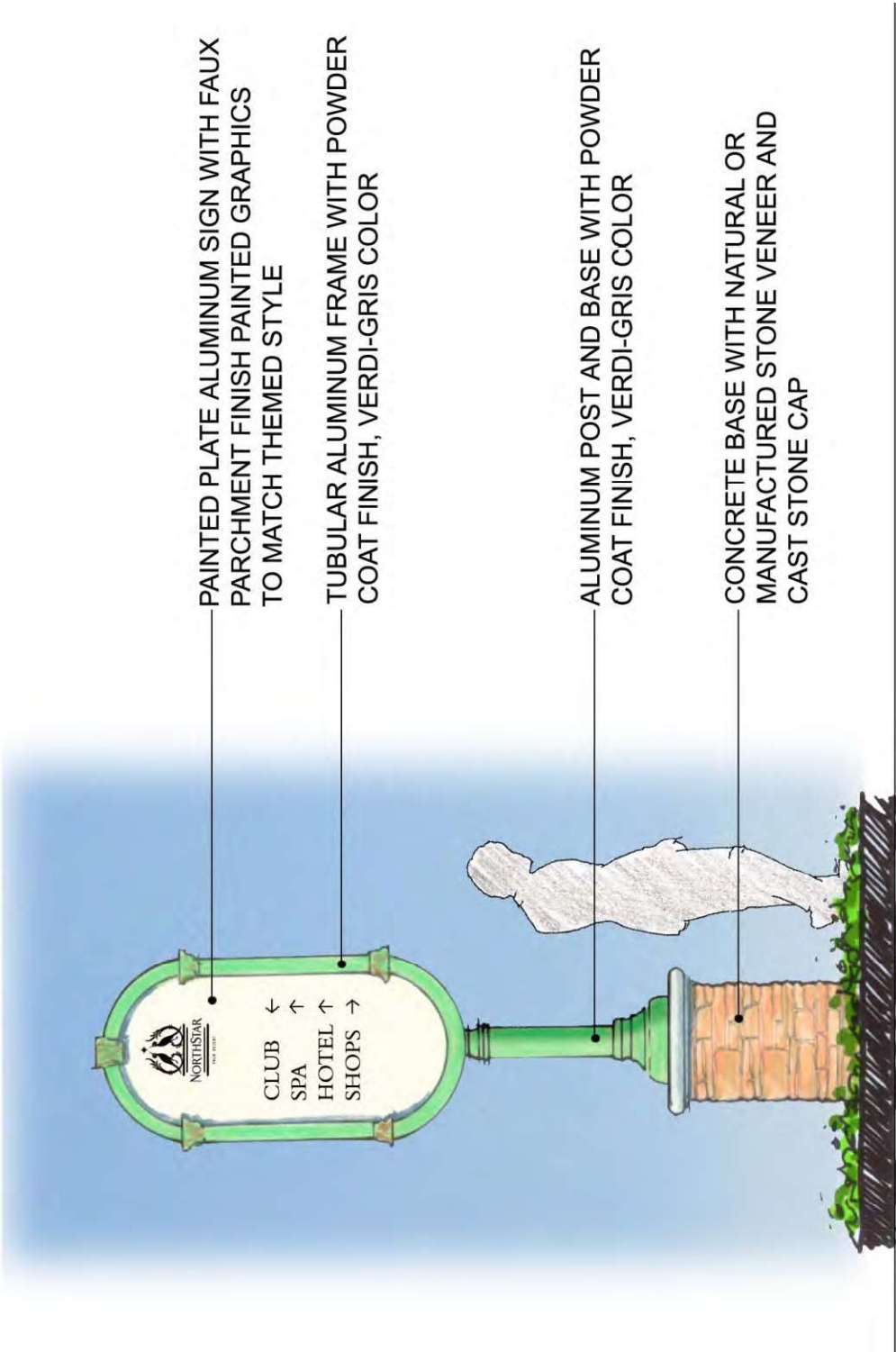
**BUFFER BETWEEN GOLF COURSE AND COACHELLA VALLEY PRESERVE**

**NORTHSTAR**  
40421.03.000 SPECIFIC PLAN

The Keith Companies **TKC**



**Figure IV-26**



PAINTED PLATE ALUMINUM SIGN WITH FAUX PARCHMENT FINISH PAINTED GRAPHICS TO MATCH THEMED STYLE

TUBULAR ALUMINUM FRAME WITH POWDER COAT FINISH, VERDI-GRIS COLOR

ALUMINUM POST AND BASE WITH POWDER COAT FINISH, VERDI-GRIS COLOR

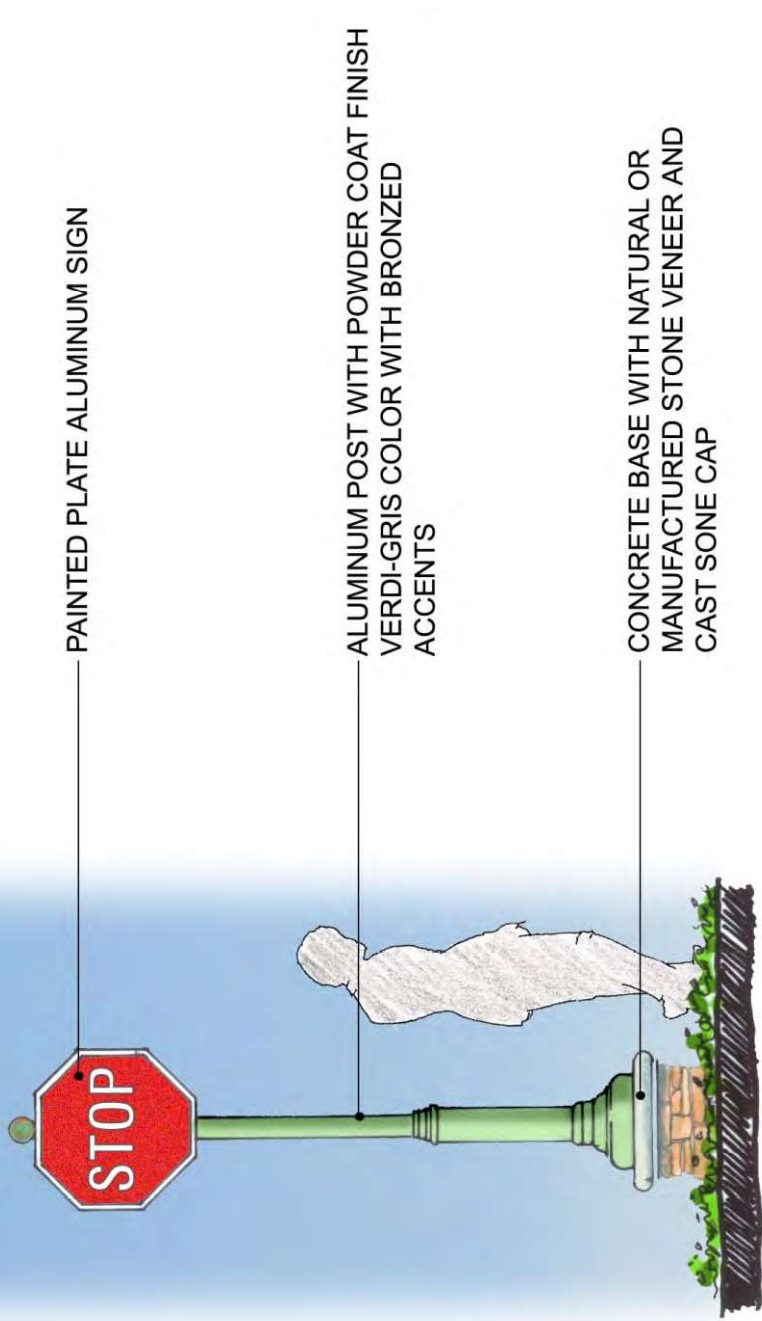
CONCRETE BASE WITH NATURAL OR MANUFACTURED STONE VENEER AND CAST STONE CAP

SIGN TYPE - A

**SIGN TYPE A (DIRECTIONAL SIGNAGE)**

NORTHSTAR  
40421.03.000 SPECIFIC PLAN



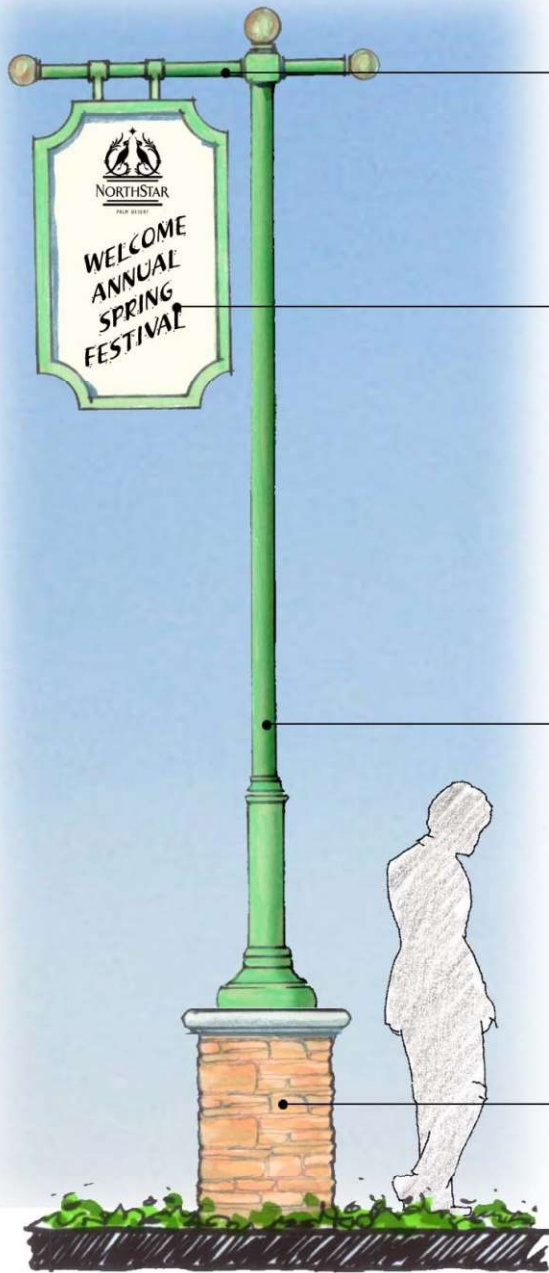


SIGN TYPE - B

**SIGN TYPE B (TRAFFIC CONTROL SIGNAGE)**

NORTHSTAR  
40421.03.000 SPECIFIC PLAN

EDSA  
 TDKC  
 OLIPHANT  
 ENTERPRISES  
 INC.  
 G  
 NOT TO SCALE



ALUMINUM BRACKET ARM WITH POWDER COAT FINISH, VERDI-GRIS COLOR WITH BRONZED ACCENTS (OPTIONAL DOUBLE ARMED)

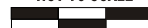
PAINTED PLATE ALUMINUM SIGN WITH FAUX PARCHMENT FINISH & PAINTED GRAPHICS TO MATCH THEMED STYLE

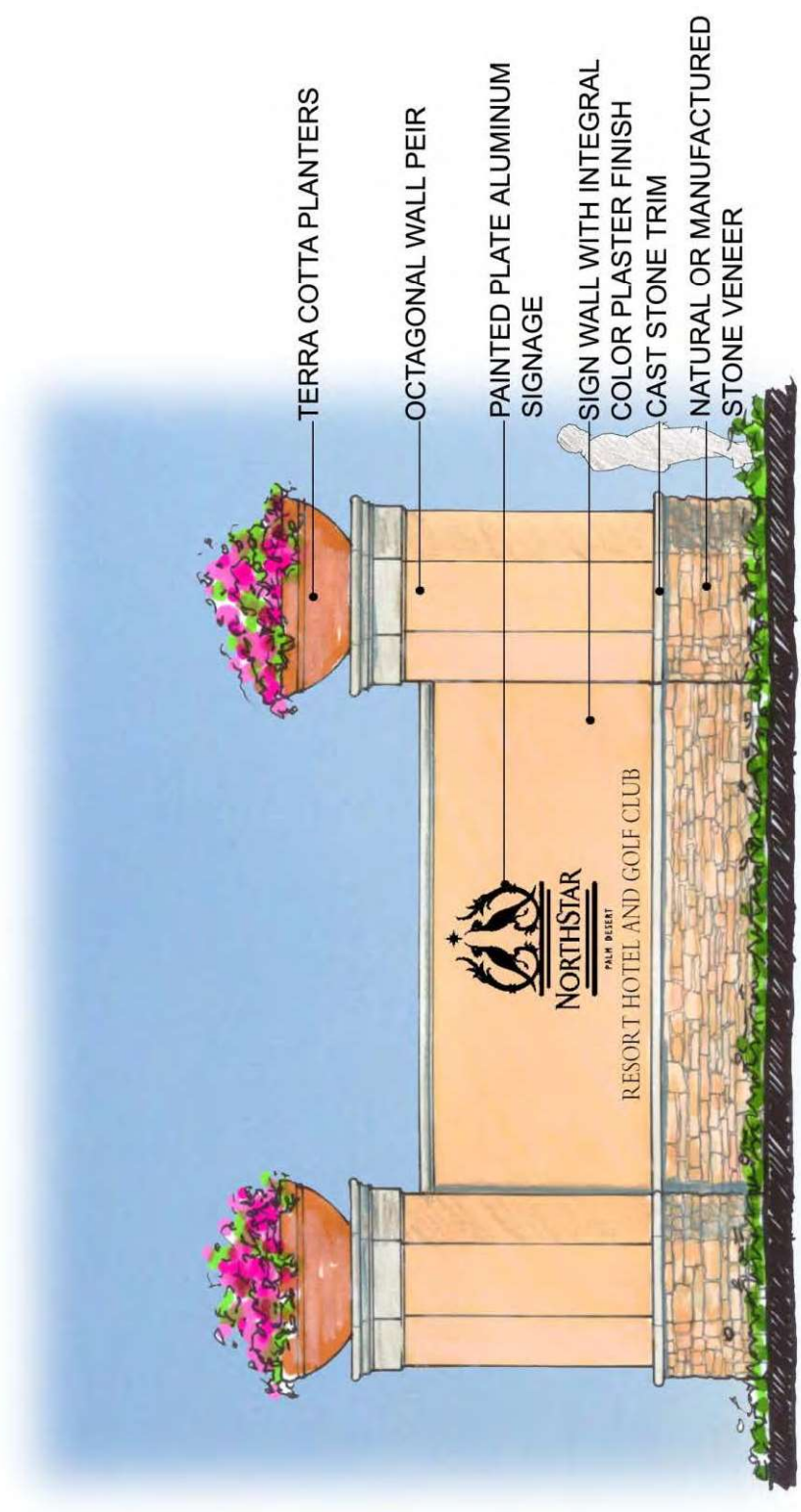
ALUMINUM POST WITH POWDER COAT FINISH, VERDI-GRIS COLOR WITH BRONZED ACCENTS

CONCRETE BASE WITH NATURAL OR MANUFACTURED STONE VENEER AND CAST STONE CAP

SIGN TYPE - C

**SIGN TYPE C (ADDITIONAL SIGNAGE)**





TERRA COTTA PLANTERS

OCTAGONAL WALL PEIR

PAINTED PLATE ALUMINUM SIGNAGE

SIGN WALL WITH INTEGRAL COLOR PLASTER FINISH

CAST STONE TRIM

NATURAL OR MANUFACTURED STONE VENEER

**NORTHSTAR**  
PALM BEACH  
RESORT HOTEL AND GOLF CLUB

PROJECT ID MONUMENT SIGN

**PROJECT IDENTIFICATION MONUMENT SIGN**

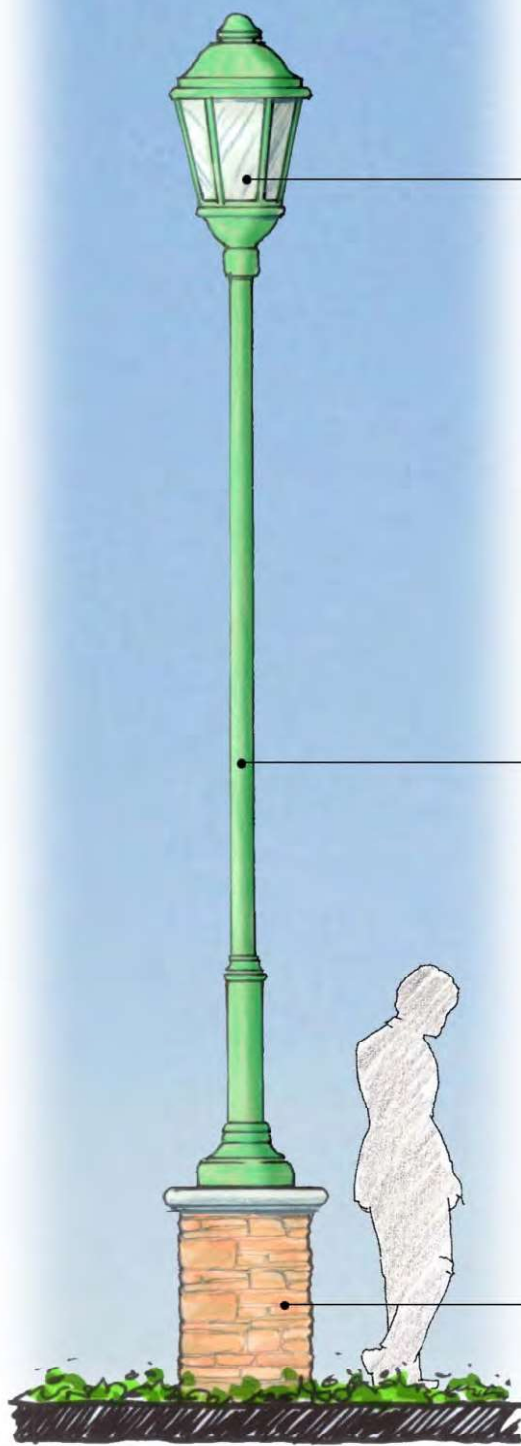
**NORTHSTAR**  
40421.03.000 SPECIFIC PLAN

The Kelth Companies **TKC**



**Figure IV-30**





LIGHT FIXTURE MODEL #ALN-445  
WITH VERDI-GRIS POWDER  
COAT FINISH  
BY ARCHITECTURAL AREA  
LIGHTING

LIGHT POLE #DB 6 - 12' HT.  
WITH VERDI-GRIS POWDER  
COAT FINISH  
BY ARCHITECTURAL AREA  
LIGHTING

CONCRETE BASE WITH NATURAL  
OR MANUFACTURED STONE  
VENEER AND CAST STONE  
CAP

THEMED POLE LIGHT

**THEMED LIGHT POLE**





**NORTHSTAR TYPICAL GOLF COURSE EDGE**

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**NORTHSTAR**  
40421.03.000 SPECIFIC PLAN

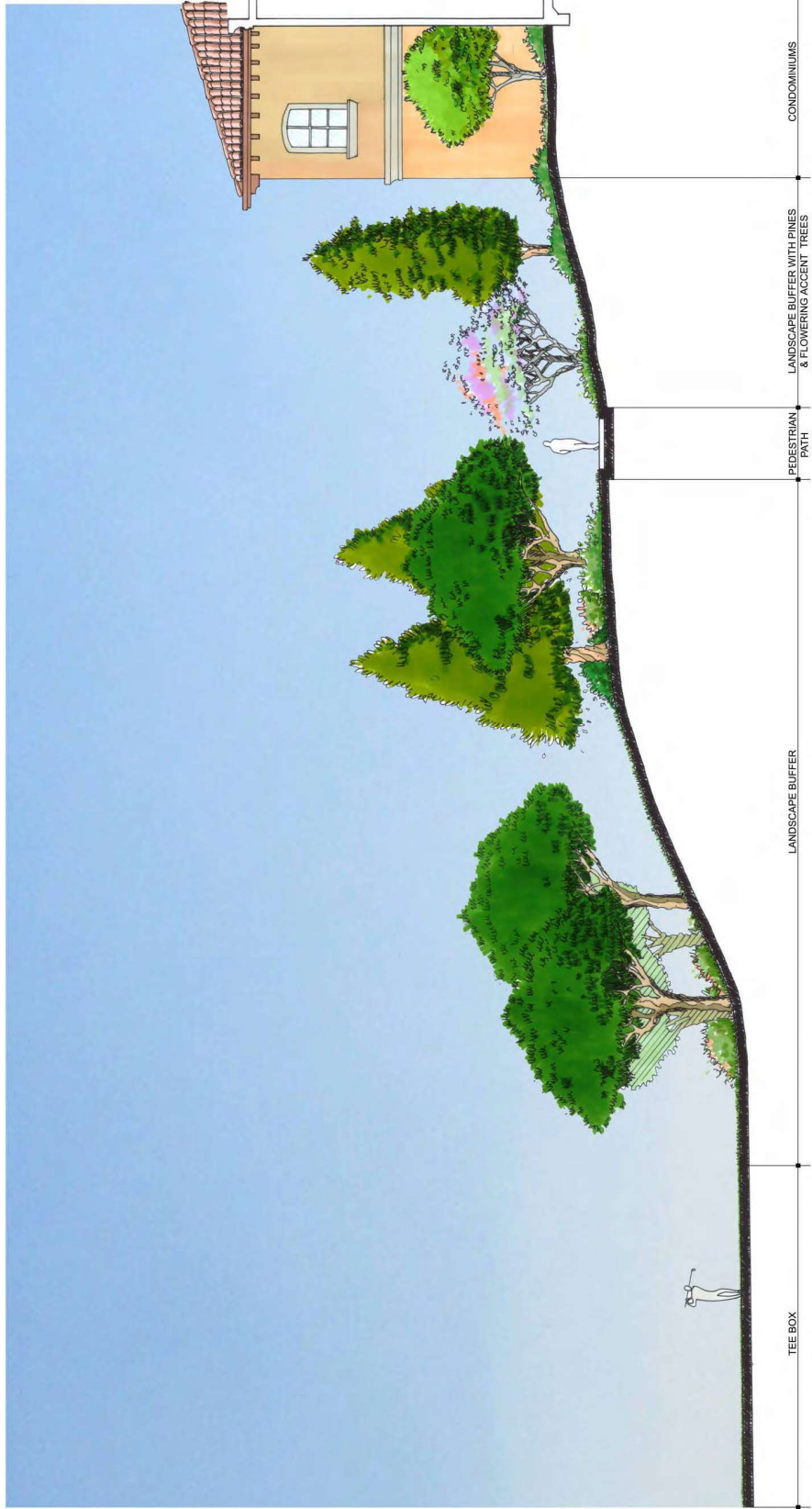


NOT TO SCALE



**Figure IV-32**





# NORTHSTAR GOLF VIEW CONDOMINIUMS AND GOLF COURSE INTERFACE

The Keith Companies | **TKC**

NORTHSTAR  
40421.03.000 SPECIFIC PLAN



**Figure IV-33**



The Keith Companies | **TKC**

**GOLF VIEW CONDOMINIUMS AND INDUSTRIAL PARK INTERFACE**

**NORTHSTAR**  
40421.03.000 SPECIFIC PLAN



**Figure IV-34**

The following shall be incorporated into the golf course maintenance program:

- The golf course maintenance paths shall be made available to Coachella Valley Preserve staff in order to allow continued access to that portion of the Preserve adjacent to the Specific Plan for management and monitoring purposes.
- No weed and/or pest control chemical applications will be used within 100 feet of the Preserve boundary.
- Provisions shall be made to collect stray golf balls that fall into the Preserve.
- Small signs identifying the Preserve and warning golfers not to trespass shall be posted at 50-foot intervals along the boundary.

**b) *Conceptual Landscape Plan Development Standards***

The following general standards shall be applied in the implementation of the NorthStar Conceptual Landscape Plan

- 1) All detailed landscaping programs for planning area roadways and pedestrian walkways will be prepared by a qualified landscape architect in conformance with Specific Plan Landscape Guidelines. Project entries have been designed with landscaping and architectural treatments that project a high quality image for the resort development.
- 2) Improvement plans for respective landscaped areas shall be submitted to the County Planning Department and Coachella Valley Water District prior to development of each planning area/parcel. The improvement plans shall include, but are not limited to, the following information:
  - Final grading and drainage plan.
  - Irrigation plans certified by a landscape architect.
  - A planting plan with locations, type, size and quantity of plantings, as well as mulching and staking methods.
  - A hardscaping plan with location, type and quantity of hardscape features including pool layout and wall/fence details.
  - Site cross sections.
  - Special treatment/buffer area treatment plans.
  - Erosion control plans.
- 3) The applicant and/or developer shall be responsible for maintenance and upkeep of all planting, common landscaped areas and irrigation systems until such time as these operations are the responsibility of other parties.
- 4) The project area experiences temperature extremes which can make it difficult for the installation of plant materials during the hot summer months (July-September). Container plants which have not been acclimated to the region may experience heat damage resulting in partial or total loss of foliage before they are established. If construction schedules permit, the ideal planting time is in the spring or fall months.
- 5) Parcel developers should assess any existing landscaping adjacent to their property and whenever possible, reinforce and complement that established character.

- 6) All landscaped areas shall be planted with plant materials chosen from the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** through **IV-10** of this Specific Plan. Smooth transitions from landscaped common areas to adjoining properties are encouraged.
- 7) All landscaped areas shall be provided with permanent irrigation facilities. Automatic irrigation is required as a part of landscape development. Drip irrigation and other efficient methods of water usage shall be integrated into the project where feasible. Irrigation systems shall be designed with head to head coverage and shall be zoned for plants with similar water requirements wherever possible.
- 8) Landscaping plans shall incorporate water conservation methods including but not limited to: drip irrigation and other methods of irrigation efficiency; use of drought-tolerant native plant materials; and, extensive use of mulches and other soil improvements.

## 5. **Water and Sewer Plan**

### a) *Water and Sewer Plan Description*

The Water and Sewer Plans have been developed to achieve the following goals: 1) provide potable water, recycled water and sanitary sewer service to all development areas within the project; 2) maximize the use of recycled water for irrigation of golf course; and 3) locate utility lines within streets.

#### ❖ *Water*

The NorthStar Specific Plan is located within the service area of the Coachella Valley Water District (CVWD) for domestic water service. Existing water mains available for connection to the project include a 12-inch water main (located east of the project site at the southern entry of Jack Ivey Ranch) in Varner Road and an 18-inch water main located south of Interstate 10 within the El Dorado County Club.

A conceptual water plan has been developed to serve the project as shown on **Figure IV-35**. The Conceptual Water Plan illustrates the “backbone,” or primary water system proposed for the project. To serve the NorthStar Development, a proposed 24-inch water main will be extended from the existing connection points (mentioned above) and will eventually loop throughout the entire project site and branch out to provide service to all areas. Pipelines within the development will then range in size from 8 inches to 18 inches in diameter, dependent upon the water demand associated with the area being serviced. Public utility easements would be granted over water lines within the project to provide CVWD with access and maintenance rights over their lines.

#### ❖ *Recycled Water*

The golf course portion of the project site will utilize reclaimed water for irrigation purposes. The remainder of the project will use domestic water to irrigate perimeter landscape areas surrounding the clubhouse, hotel, retail, and condos/villas/timeshare units. The reclaimed water line will connect to the CVWD plant located on Hovely Lane.



**LEGEND**

- Proposed 24-inch water line
- Proposed 18-inch water line
- Proposed 8-inch water line



**CONCEPTUAL WATER PLAN**

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



**Figure IV-35**



## ❖ Sewer

The NorthStar Specific Plan is located within the service area of the Coachella Valley Water District (CVWD) for sanitary sewer service. Existing sewer mains available for connection to the project include a 24-inch sewer main in Varner Road which abuts the project site.

A conceptual sewer plan has been developed to serve the project as shown on **Figure IV-36**. The conceptual sewer system consists of 8-inch and 10-inch sewer lines located within the project's private street system and a 24-inch sewer main located within Varner Road. To serve the NorthStar Development, a proposed 10-inch sewer line will be extended from the existing 24-inch sewer main at multiple points leading into the project site. Pipelines within the development will then range in size from 8 inches to 10 inches in diameter, dependent upon the slopes and quantity of wastewater associated with the area being serviced. Public utility easements would be granted over sewer lines within the project to provide CVWD with access and maintenance over their lines.

**b) Water and Sewer Plan Development Standards**

- 1) The proposed Sewer and Water Master Plans for the NorthStar Specific Plan provide an efficient system of utilities to meet the needs of the project. The backbone sewer and water systems are shown on the Conceptual Water Plan (**Figure IV-35**) and the Conceptual Sewer Plan (**Figure IV-36**).
- 2) All water and sewer lines will be designed per the requirements of CVWD.
- 2) All water mains and fire hydrants providing required fire flows shall be constructed in accordance with the appropriate sections of Riverside County Ordinance No. 460 and No. 787, subject to approval by the Riverside County Fire Department.
- 3) Water distribution and sewage collection facilities shall be installed in accordance with the requirements and specifications of the Riverside County Health Department.
- 4) A water system adequate for fire fighting needs shall be available before any combustible material is stored on the construction site. The water system including delivery volume, duration and pressure shall be approved by the Riverside County Fire Department and CVWD.
- 5) The water system shall provide domestic water service and minimum fire flow requirements to the project in compliance with Riverside County standards. The hydraulic calculations for the water system plan shall be provided to CVWD.
- 6) Six well sites shall be provided within the NorthStar (Specific Plan) planning area. Well sites shall be provided with a minimum separation of 1,000 feet.



**LEGEND**

- Existing 24-inch sewer line
- Proposed 12-inch sewer line
- Proposed 10-inch sewer line
- Proposed 8-inch sewer line



**CONCEPTUAL SEWER PLAN**

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



**Figure IV-36**



**6. Phasing Plan**

**a) Phasing Plan Description**

The Phasing Plan has been developed to achieve the following goals: 1) allow systematic, staged project development; (2) ensure that infrastructure development is properly timed to coincide with building construction; and 3) allow the concurrent and/or non-sequential phasing of development in response to market conditions.

The Phasing Plan for the NorthStar project assumes a 10-year build-out concept. The actual timing of development will depend primarily on market absorption rates and on construction of the necessary infrastructure systems. As shown in **Table IV-3**, construction would occur in 7 phases (I-VII).

<b>TABLE IV-3</b>	
<b>PHASING PLAN</b>	
<b>PHASE NO.</b>	<b>DEVELOPMENT</b>
Phase I	Golf Course, Clubhouse, Maintenance Facility (complete)
Phase II	<del>Hotel, Building 1 of the Timeshare, Four Story Villa Building, 2 Luxury Condo Buildings (east), 250,000 square feet of the High Tech Industrial Park, Shopping Center 330,000 square foot Arena &amp; Event Center, and Hockey Training Facility</del>
Phase III	350 Key Hotel, 100,000 square feet of the Industrial Park, Community Commercial Shopping Center, Building 2 of the Timeshare, Balance of Building Villas, 2 Luxury Condo Buildings (east), <del>250,000</del> 100,000 square feet of the <del>High Tech</del> Industrial Park
Phase IV	Building 1 of the Timeshare, Four Story Villa Building, 2 Luxury Condo Buildings (east), 100,000 square feet of the <del>High Tech</del> Industrial Park, and Retail Village. <del>Building 3 of Timeshare, Balance of Luxury Condo Buildings (east), 250,000 square feet of the High Tech Industrial Park</del>
Phase V	Building 2 of Timeshare, Balance of Villas, 2 Luxury Condo Buildings (west) Balance of Luxury Condo Buildings (east), 100,000 square feet of the <del>High Tech</del> Industrial Park <del>Balance of the High Tech Industrial Park, Office Professional Building</del>
Phase VI	Building 3 of Timeshare, <del>2 Luxury Condo Buildings (west)</del> , Balance of the Industrial Park, Office Professional Building
Phase VII	Balance of Luxury Condo Buildings



**b) Phasing Plan Development Standards**

- 1) Drainage, water and sewer facilities and roads shall be provided at adequate levels to accommodate development in each phase in accordance with County of Riverside requirements as implemented through the conditions of approval for SP. 343.
- 2) Phases should develop in accordance with market conditions and infrastructure timing considerations.
- 3) Phases may develop concurrent or non-sequentially, providing that adequate consideration for infrastructure, both on-site and regional, has been given.
- 4) Entry Statements and landscape buffer treatments shall be phased concurrently with individual planning areas which include those amenities and design features.
- 5) Each increment or phase of development shall contain appropriate levels of infrastructure and amenities to support the needs of the respective phase.
- 6) The borrow and disposal of graded material is allowed between current and future phases as needed to achieve overall earthwork balance onsite.

**7. Conceptual Grading Plan****a) Conceptual Grading Plan Description**

The Grading Plan has been developed to achieve the following goals: 1) accomplish a balance of cut and fill within the project; 2) create a storm channel within the golf course boundary which meets the criteria for conveyance specified in the NorthStar hydrology report; and 3) provide flood protection for on-site development south of the NorthStar golf course per FEMA standards.

Major areas of grading for improvements are shown in **Figure IV-37**, Conceptual Grading Plan. In accordance with the NorthStar Hydraulic and Hydrology report, the NorthStar golf course will be graded to create a channel capable of conveying flows from the 100-year storm event tributary to the site. As part of the channel design, an earthen berm of sufficient height and width will be graded along the southerly and westerly boundary of the golf course to protect all adjacent on-site development from storm flows contained within the golf course channel during such an event. Grading operations within the golf course boundary will create an export condition which is expected to be balanced by proposed grading throughout the remainder of the site. A planned underground parking structure proposed along the southerly boundary of the site will also be a source of export material. The clubhouse, hotel and timeshare unit areas shown on the conceptual grading exhibit are main areas where significant amounts of import from the golf course are to be introduced. The rest of the non-golf portion of the NorthStar site will receive what remains of the export material from the golf course and underground parking area in the form of sheet graded fill. Earth moving activities have been planned such that on-site haul distances are minimized.

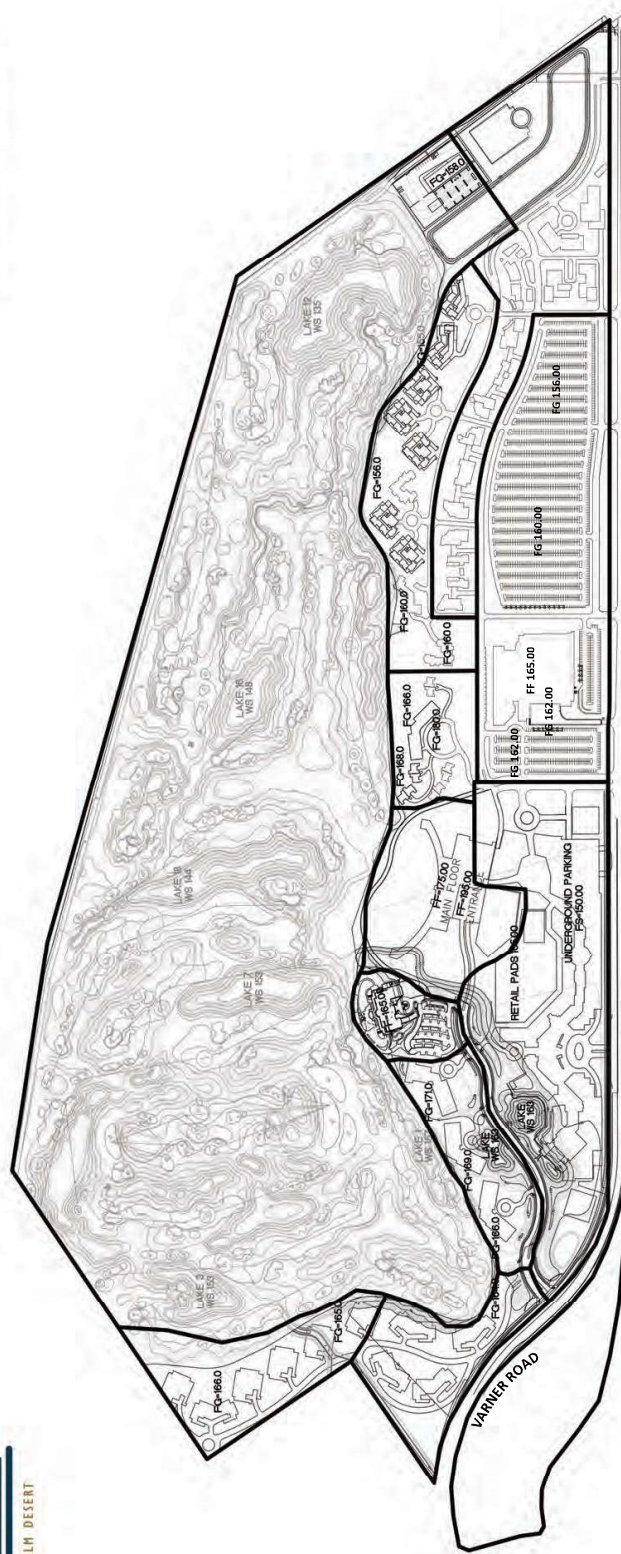
Hotel condominiums, villas and the proposed research and development park are located in areas where sheet grading has been proposed. As such, preliminary grading design for these portions of the development will match the sheet graded condition.

The total estimated amount of earth movement, after shrinkage and subsidence, is 2,177,753 cubic yards each of import and export as shown on the approved NorthStar Rough Grading Plan (BGR 031397).

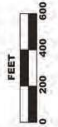


**LEGEND**

FF	Finished Floor
FG	Finished Grade
FS	Finished Surface
WS	Water Surface



**Figure IV-37**



**CONCEPTUAL GRADING PLAN**

NORTHSTAR  
40421 03.000 SPECIFIC PLAN  
AMENDMENT NO. 2

**b) Conceptual Grading Plan Description**

- 1) All grading will be performed in substantial conformance with **Figure IV-37**, Conceptual Grading Plan, and shall conform with Riverside County grading standards to the satisfaction of the County Engineering Department.
- 2) All grading activity shall implement any grading-related mitigation measures outlined in the Environmental Impact Report.
- 3) All cut and/or fill slopes or individual combinations thereof shall meet the minimum requirements of the ~~Uniform-California~~ Building Code.
- 4) All grading activity shall conform to the recommendations of the preliminary soils report and subsequent reports prepared in conjunction with the grading plans.
- 5) The applicant shall be responsible for maintenance and upkeep of all planting and irrigation systems until those operations become the responsibility of other parties.
- 6) The applicant shall prepare a construction management plan addressing soils import/export, haul routes and grading activities management.
- 7) Graded but undeveloped land, including inactive on-site borrow areas, shall be maintained weed-free and planted with interim landscaping or otherwise stabilized in conformance with the requirements of the County and the South Coast Air Quality Management District (SCAQMD).
- 8) All development areas and lots shall be designed so that surface drainage is directed to street frontages or approved natural or improved drainage courses.
- 9) When consistent with an approved grading plan, grading will be permitted outside of the immediate area of development as follows:
  - Borrow sites are permitted on consenting offsite property and in areas scheduled for future development.
  - Excess cut from a given phase may be placed as engineered fill in a future development area or disposed of on consenting offsite property.
- 10) Potential construction noise shall be mitigated through the limitation of construction hours as stated in the County's Municipal Code.
- 11) In order to control wind and waterborne erosion during and after construction, the following standards shall apply:
  - Prior to initial grading activities, a soils report and geotechnical study shall be performed that further analyze on-site soil conditions and include appropriate measures to control erosion and dust.
  - Erosion control plans including a dust control program will be submitted concurrently with the grading plans.

- All grading activities shall conform to Riverside County Standards and shall meet the requirements of the currently adopted California Building Code, Riverside County General Plan, Riverside County Ordinance 457 and all other laws, rules, and regulations governing grading in Riverside County.
- Grading shall conform to Riverside County regulations, If Riverside County requirements conflict with the Conceptual Grading Plan, the Riverside County regulations shall take precedence.
- All requirements of the RCFCWD regarding erosion control for grading operations shall be implemented to reduce wind blown or water transported sediments.
- Energy dissipation devices will be provided downstream of storm drain outlets to protect watercourses from increases in flow velocity.
- All graded slopes shall be planted in a timely manner with plant materials that will stabilize the slopes and minimize erosion. During the interim period before permanent ground cover develops, straw, wood chips, or jute will be used as stabilizing agents.

12) If any cultural resources are discovered during grading, a qualified archaeologist will be consulted to ascertain their significance, consult with the County and Agua Caliente Indian Tribe as appropriate and implement appropriate mitigation prior to resuming grading activities.

**8. Comprehensive Maintenance Plan**

Final decisions regarding maintenance entities shall be made at the development stage and with approval of involved County agencies. **Table IV-4**, Comprehensive Maintenance Plan, provides a tabular summary of project maintenance responsibilities.

TABLE IV-4 COMPREHENSIVE MAINTENANCE PLAN	
RESPONSIBILITY	PROJECT FACILITIES
Golf Course Operator	Golf Course and Clubhouse
Homeowners Association	Residential Uses (i.e. Condos and Villas)
Master Maintenance Association	Commercial and Industrial Uses
Master Maintenance Association and/or Homeowners Association	On-site streets (private), Landscaping and Lighting
County of Riverside	Varner Road/Cook Street

Landscaping and Lighting District (Riverside County)	Landscaping and Lighting along Varner Road/Cook Street
Master Maintenance Association	On-site Flood Control (including local and regional facilities)
Master Maintenance Association	Landscaping and Entry Treatments

**9. Special Events Plan**

The NorthStar project is a world-class resort destination with a championship golf course, ~~and resort hotel complex, and a 295,000 square Arena and Event Center. Special events will occur on the property and can potentially attract thousands of people.~~ The project was originally designed to be a host course for ~~The most noteworthy special event to occur on site will be~~ the Bob Hope Chrysler Classic Golf Tournament (a PGA pro-am Tour event held on four courses in the desert annually). This event was hosted at the Classic Club for a couple of years after which it was moved to the East Coachella Valley.

For that event approximately 7,000 parking spaces were available on site by utilizing certain undeveloped and disturbed portions of the property. Shuttle services were also provided for the event. The ultimate intent leading up through final project build-out, was to utilize disturbed on-site vacant land, developed industrial area, and office parking (on weekends), to augment parking during events. Additional off-site parking would be provided at the Indian Wells Tennis Garden Project, the CSUSB/UCR Campus, and the Xavier HS. A shuttle service would provide travel accommodations between the NorthStar Project and the three aforementioned properties. These opportunities are projected to supply approximately 13,700 parking spaces, enough for such a major event. Furthermore, significant on-site and adjacent circulation improvements have been made and/or have been included within the Specific Plan to provide for such large events.

New special events may be hosted at the golf course and the arena. Such events might include professional multi-day golf tournaments, indoor and outdoor entertainment, and sporting events.

~~The tournament is a celebrity pro-am venue played on four different courses. A professional PGA tour member is teamed with three amateurs (sometimes celebrities). The tournament consists of 90-holes (played Wednesday through Sunday). The teams rotate to a different course every day and experience play on each of the four courses. On Sunday, only the professional players who have made the cut (~72-75 players) will move forward into the championship round.~~

~~Traffic generated at the courses varies considerably depending on who is playing and which day it is. Aside from the course hosting celebrity play, the gallery tends to be fairly small during the weekday rounds (Wednesday thru Friday). The course usually attracts relatively large crowds (estimated 35,000 spectators) on the weekend.~~

~~The NorthStar course will be one of four courses in the tournament every year. NorthStar will be~~

~~the home course for the Sunday finals every other year, sharing the honor with another course in the Coachella Valley.~~

~~In conclusion, every year there will be at least one day during the weekend (and every other year, two days during the weekend) in which the NorthStar course will host the tournament and be required to provide accommodation for crowds associated with the event. As NorthStar is developed, available on-site parking will be reduced. The Implementation of NorthStar land uses over time has been considered in relation to available parking and is discussed below.~~

#### ❖ *Event Notice*

In advance of a major event, pre-event advertising will occur in the appropriate media to alert visitors of the event in advance of designated inbound and outbound routes, parking locations, and pre-paid parking opportunities. Directional maps shall be published and distributed as necessary. Coordination will occur with all affected agencies each year prior to a major event, including, but not limited to, the County of Riverside, Caltrans, California Highway Patrol, the Cities of Palm Desert, Rancho Mirage, Indian Wells, emergency services (fire, ambulance, etc.), and the Sunline Transit Agency.

Prior to major events, property owners in the immediate vicinity should be notified by mail.

#### ❖ *Special Event Circulation and Parking Program*

For events exceeding temporary and permanent on-site parking capacity, parking management would be similar to that utilized during the Bob Hope Chrysler Classic Golf tournament. The arena parking demand is 3,500 spaces. The Arena and Events Center development plans provide for 3,000 spaces. The additional demand of 500 spaces as well as excessive parking demand from other special events will be provided by one or a combination of the following parking areas:

- 10,500 Temporary Spaces located on-site on undeveloped land (This will vary as development occurs)
- 246 Spaces - Xavier HS Main Parking Lot (Immediately north of the project location off of Cook Street)
- 470 Spaces - Xavier HS Expansion Parking Lots
- 242 Space – Bridge Club
- 3,600 Spaces – CSUSB/UCR Campus (approximately 1.7 miles southwest of the project site)

Event attendees will be shuttled to the event from remote parking areas.

~~Since the Bob Hope Chrysler Classic will directly impact the NorthStar project site, a program has been developed to assure adequate accommodation of the venue. Three circulation/parking scenarios have been analyzed. The first scenario has been devised for the opening year (2006) of the project when construction of the overall master planned development will still be incomplete. The second scenario deals with the project at half completion (2010). The third scenario is intended for the NorthStar project site at full build-out (2015).~~

~~Each scenario has assumed that there will be 35,000 spectators and 1,200 people directly associated with the tournament (players, officials, volunteers, sponsors etc.). Additional issues associated with the tournament (security, sanitation, trash, noise, etc.) are addressed following the three~~

parking scenarios. The program will be evaluated and adjusted yearly.

#### *Scenario one*

~~For Opening Year (2006), approximately 7,000 parking spaces will be available on-site (without the development of the Industrial portion of the project site). The 7,000 parking spaces are based upon the Industrial area providing 100 parking spaces per acre for 70 acres. In addition, the office portion of the project site will provide approximately 1,150 parking spaces. It has been assumed that the offices will be vacant during the Sunday event. A total of 8,100 parking spaces are needed for the event and a supply of 8,150 parking spaces is identified. Special parking areas for players, VIP's and special guests will be located near the clubhouse. All parking areas will be temporary with a gravel surface treated for dust control.~~

#### *Scenario 2*

~~For Interim year (2010), the light industrial and office portions of the project site will continue to provide on-site parking spaces (see above). In addition, the Indian Wells Tennis Garden project will provide approximately 5,500 parking spaces. A shuttle will provide service between the Indian Wells Tennis Garden project and the NorthStar project. A total of 13,500 parking spaces are needed and a supply of 13,650 parking spaces is identified.~~

#### *Scenario 3*

~~For Build out Year (2015), the office portion of the project site will continue to provide on-site parking spaces. However, the light industrial portion of the project site is assumed completed and will provide a total of approximately 2,640 parking spaces. The Indian Wells Tennis Garden project will provide approximately 5,500 parking spaces, the CSUSB/UCR Campus will provide approximately 3,600 parking spaces and the Xavier College Preparatory High School will provide approximately 900 parking spaces. A shuttle shall provide service between the Indian Wells Tennis Garden project, CSUSB/UCR Campus, Xavier College Preparatory High School, and the NorthStar project. A total of 13,500 parking spaces are needed and a supply of 13,790 parking spaces is identified.~~

#### ❖ *Trash*

The event sponsor will ensure that sufficient trash cans and temporary receptacles are placed throughout the event area and that extra receptacles are placed in the heaviest visitor traffic areas. Trash cans will be checked regularly and replaced with fresh bags, keeping the event area clean and encouraging visitors to be neat and clean. Arrangements should be made for trash to be picked up several times during the event periods when the fewest number of people will be present. Street sweepers and trash trucks can be posted at key locations from the event site near the ending time of the event. This will signal the conclusion of the event and the start of clean up.

#### ❖ *Security*

Security will be provided by the event sponsor to ensure safety during special events. Special Event security staff will provide high-visibility vehicle and foot patrols, control access, monitor equipment and conduct area checks for safety and security deficiencies. Duties will potentially include ticket-taking, ushering, crowd control and working barricaded areas. Security staff will ensure compliance with alcohol and amplified sound policies and check backpacks and perform searches if desired.

## B. PLANNING AREA LAND USE, PLANNING STANDARDS AND DESIGN GUIDELINES

Development standards for the NorthStar project site have been established at two levels: (1) standards that universally apply to the overall as set forth in the preceding Section A, and (2) those standards found in this Section that apply specifically to the individual planning areas and further reinforce the overall project standards.

This chapter provides a description of each individual planning area comprising the NorthStar Specific Plan. The description of each planning area will be followed by a list of planning standards and design standards/guidelines anticipated for the particular planning area.

### 1. Planning Area No. 1: The Classic Course at NorthStar

#### a. *Descriptive Summary*

An 18-hole championship golf course was designed by The Palmer Course Design Company (previously entitled under *Specific Plan No. 151 Amendment No. 2, NorthStar Commerce Center and Golf Club*) and will be included as part of the NorthStar project. The golf course currently exists, as depicted in **Figure IV-38**. The golf course introduces a large active open space component to the site and occupies approximately 240 acres. The golf course will provide recreational opportunities for resort visitors and the general public. It will have international notoriety in that it will be one of the courses which will host the Bob Hope Classic.

The golfer will be presented with drama, beauty and a unique and varied playing environment providing a lush oasis in the midst of a dry desert. Extensive vegetation and broad green valleys will provide color, character and visual interest to the course. The Championship course will be unlike any other in the Coachella Valley, utilizing a landscape palette with pine and olive trees instead of Palm/Date trees.

The design incorporates dramatic and exciting elevation changes, providing golfers a variety of challenges and shot values. Numerous cascading water features (including a three-sided waterfall) will provide beauty while offering challenge. Designed as a course to handle tour events and tournaments, the course will measure long from the championship tees (7,500 yards) and will offer numerous options for the tour golfer to lower his score with risk/reward options. Hazards and bunkering will be strategically placed to challenge the expert golfer without sacrificing the average golfer's ability to play the course.

#### b. *Planning Standards*

The Golf Course was previously approved on February 1<sup>st</sup>, 2005 (See Plot Plan 19242). For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein. Additional documentation regarding planning standards can be acquired at the County of Riverside Planning Department.

#### c. *Design Standards/Guidelines*

Approval of the Golf Course design was finalized on February 1<sup>st</sup>, 2005 (See Plot Plan 19242). Documentation Regarding Design Standards/Guidelines can be acquired at the County of



Riverside Planning Department. Minor modifications to the current Plot Plan can be approved by the County Planning Director provided that they are consistent with the Specific Plan.

*d. Permitted Uses (PA 1)*

a. The following uses are permitted provided a plot plan has been approved pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No 348:

(1) Golf courses and appurtenant facilities, including clubhouses. A clubhouse is permitted to have customary retail shop and restaurant facilities.

(2) Lakes, including noncommercial fishing therefrom.

(3) Parking lots, only for above-listed permitted uses, pursuant to the provisions of Section 18.12 of the Riverside County Zoning Ordinance, No. 348, except that not less than five percent of the interior of such parking lots shall have distributed landscaping in addition to the landscaping requirements of Section 18.12 of the Riverside County Zoning Ordinance, No. 348.

(4) Water wells and appurtenant facilities.

(5) On-site identification signs, maximum size - ten square feet.



\*CONCEPTUAL RENDERING

# PLANNING AREA NO. 1 - GOLF COURSE

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2

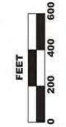


Figure IV-38

## **2. Planning Area No. 2: Golf Clubhouse Facility**

### **a. *Descriptive Summary***

A golf clubhouse facility will accompany the golf course and will include typical golf-related amenities such as a pro-shop, golf cart storage/maintenance, locker rooms, offices, and restaurant, lounge and banquet facilities. Location of the Golf Clubhouse Facility is illustrated in **Figure IV-39**. The clubhouse will be an 81,000 square foot, three-story building providing spectacular views of the golf course and Little San Bernardino Mountains. The timeless quality of architecture from the Mediterranean region of Europe has provided inspiration in the architectural design of the golf clubhouse. Proposed elevations and design characteristics of Planning Area No. 2 are illustrated in Figure **IV-40** (Golf Clubhouse Elevations).

### **b. *Planning Standards***

The Golf Clubhouse Facility was previously approved on June 13<sup>th</sup>, 2005 (See Plot Plan 19740). For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein. Additional documentation regarding planning standards can be acquired at the County of Riverside Planning Department.

### **c. *Design Standards/Guidelines***

Approval of the Golf Clubhouse Facility design was finalized on June 13<sup>th</sup>, 2005 (See Plot Plan 19740). Documentation regarding design standards/guidelines can be acquired at the County of Riverside Planning Department. Minor modifications to the current Plot Plan can be approved by the County Planning Director provided that they are consistent with the Specific Plan.

### **d. *Permitted Uses (PA 2)***

a. The following uses are permitted provided a plot plan has been approved pursuant to the provisions of Section 18.30 of the Riverside County No. 348:

(1) Golf courses and appurtenant facilities, including clubhouses. A clubhouse is permitted to have customary retail shop, golf related offices, restaurants, lounges, and banquet facilities.

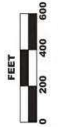
(2) Parking lots, only for above-listed permitted uses, pursuant to the provisions of Section 18.12 of this ordinance, except that not less than five percent of the interior of such parking lots shall have distributed landscaping in addition to the landscaping requirements of Section 18.12 of this ordinance.

(3) Water wells and appurtenant facilities.

(4) On-site identification signs, maximum size - ten square feet.



\*CONCEPTUAL RENDERING



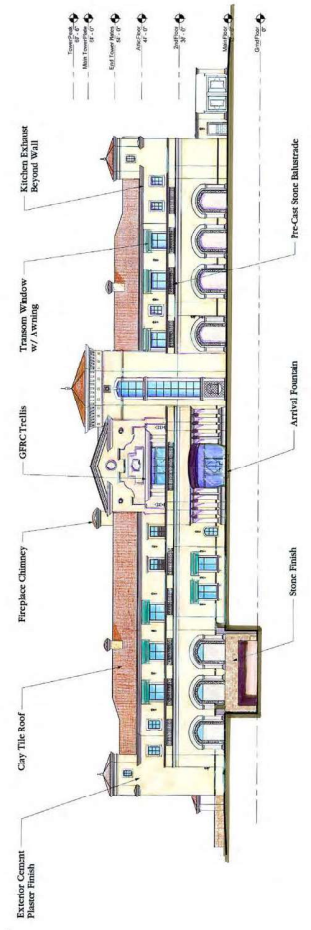
# PLANNING AREA NO. 2 - GOLF CLUBHOUSE FACILITIES

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2

Figure IV-39



East Elevation



Front Elevation - South



West Elevation

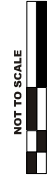


Rear Elevation - North

# GOLF CLUBHOUSE - COLOR ELEVATIONS



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### 3. Planning Area No. 3: Golf View Hotel

#### a. *Descriptive Summary*

The centerpiece of the NorthStar project will be a world class 350-key five star resort hotel (**Figure IV-41**). The hotel will be the tallest building in the resort and will be strategically positioned to provide its guests with outstanding views of the championship golf course (more specifically, a view of the greens on the 9<sup>th</sup> and 18<sup>th</sup> holes and a view of the tees for the 8<sup>th</sup> and 10<sup>th</sup> holes), Coachella Valley Preserve, and the surrounding mountains. Elevations of the hotel are depicted in **Figure IV-42** (Golf View Hotel Elevation). The hotel will follow the general design theme of Mediterranean architecture. Hotel facilities will include a service lobby with front desk, dining services, gift shop, administrative offices, restrooms, housekeeping, valet and room service, single loaded guestrooms, banquet rooms, entertainment/conference facilities, spa and pool. Hotel parking will be conveniently located in basement levels within the hotel.

The 350-key luxury Hotel will have a gross area of about 1,000 square feet per room and will include the following components:

- 25,000 square foot spa
- 32,000 square foot of conference and meeting rooms
- A three meal restaurant and lobby bar
- A fine dining restaurant

#### b. *Land Use and Planning Standards*

For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein.

##### (1) Special treatment buffer areas

- The boundaries between Planning Area No. 3 and the surrounding land uses shall be designed to provide an appropriate buffer between the uses.
- Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.

Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.

Structural – A visual screen created through either construction of an earthen berm or wall/fence and/or a combination of both to present visual separation when viewed from one side to the other.

##### (2) Parking

- Parking is being proposed principally in parking structures that are shared between Planning Areas. Parking Plans will be submitted during plot plan review and will demonstrate that minimum County Parking requirements are being met. Should



\*CONCEPTUAL RENDERING

# PLANNING AREA NO. 3 - DELUXE GOLF VIEW HOTEL

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2

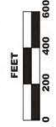
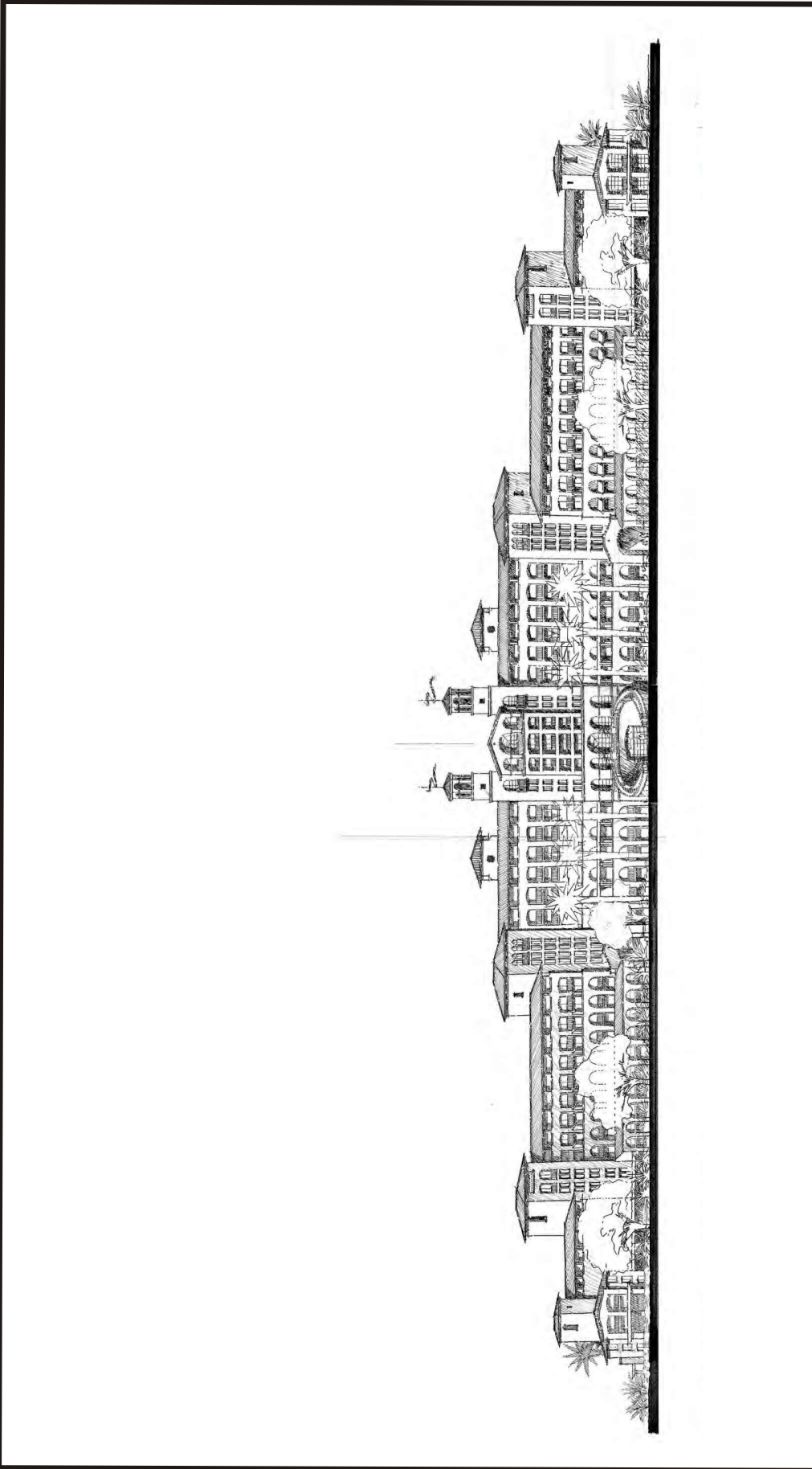


Figure IV-41



**DELUXE GOLF VIEW HOTEL - ELEVATION**

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40421.03.000 SPECIFIC PLAN



**Figure IV-42**



parking be provided in adjacent planning areas the plot plans shall clearly show how parking is allocated between planning areas.

(3) Sign program

- A sign program shall be developed and submitted for approval by The County of Riverside Planning Department.
- Signage should advertise a place of business or provide directions/information. It should also contribute to the contemporary Mediterranean theme. Design, color, materials and placement are all important in creating signs that are architecturally attractive and integrated into the overall site design.
- Sign color should be compatible with building colors.
- Fewer words make a more effective message. Symbols shall only be utilized if they are easily recognizable.
- Avoid hard-to-read and overly intricate typefaces. The letter style chosen should be appropriate to the business and the building.
- Signs should be consistent with the proportion and scale of building elements within the facade. The placement of signs provides visual clues to business location and affects the design integrity of the entire building.

(4) Access

- As shown on **Figure IV-3** (Conceptual Vehicular Diagram), primary access to the Golf View Hotel will be obtained from NorthStar Resort Parkway (Primary Circulation Road).

*c. Design Standards/Guidelines*

(1) Building layout and arrangement

- The resort hotel shall orient hotel rooms and public areas to take maximum advantage of valley views (i.e. golf course, mountains etc.)
- The building layout and arrangement of the Golf View Hotel is depicted in **Figure IV-41**.

(2) Service area

- Service areas shall be located on the sides or rear of the buildings they serve.

- (3) Screening
- Service areas and external loading areas shall be screened from view by the general public. Screening may be accomplished by the use of walls, fences, trellises, landscaping, or a combination of elements.
- (4) Landscaping
- (a) Coverage
- The sum of landscaped areas shall be no less than 30% of the total planning area.
- (b) Plant selection list
- All landscaped areas within the Golf View Hotel Planning Area shall be planted with plant materials chosen from Landscape Zone 4 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** thru **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.
- (c) Planting guidelines
- Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
  - Location of landscaping shall be in accordance with applicable County Ordinances.
  - Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.
  - Large planters may be incorporated into seating areas. Such planters should be open to the earth below and should incorporate permanent irrigation systems.
- (d) Special treatments
- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
  - Boxed and container plants in decorative ceramic, terra cotta, wood, or stucco planters should be used to enhance street frontages, plazas and courtyards.

## (5) Architectural Features

## (a) Basic theme

- The design guidelines reflect the Mediterranean design theme and pedestrian-oriented character of the area and are intended to promote high standards in site planning, architectural design and landscaping.

## (b) Building form, mass elevations

- The conceptual shape and configuration of the Golf View Hotel is depicted in **Figure IV-41**.
- A representative elevation of the hotel is depicted in **Figure IV-42**.

## (c) Shade and shadow

- The natural and built environment shall be utilized to create shade at specified locations throughout the planning area.

Natural – Vegetation (including trees, shrubs, vines and ground covers) will be considered an essential part of shade planning and site design. People intuitively associate trees with shade when seeking relief from the heat of the sun. High priority will be placed on the strategic use of trees and planting to provide shaded areas.

Built – Built shade systems will include either stand-alone structures, or systems which are incorporated into the building design and/or other facilities.

## (d) Building relief

- Variations of wall planes, fenestration and materials are required to create strong visual interest and must be an integral part of building design. Complimentary or contrasting architectural details should provide relief and shadow to bring further richness and interest to façades.

## (e) Offsets

- Offset accent elements from primary wall planes and utilize contrasting materials/textures for visual richness.

## (f) Eaves and Fascias

- The fascias around the eaves shall have detailed molding that accentuates the fenestration overhangs and/or entrances.

## (g) Materials

- Exterior building materials should complement the materials used on adjacent buildings. The following materials are considered appropriate for The Deluxe Golf View Hotel: stucco, smooth block, granite, marble.
- Accent materials should be used to highlight building features and provide visual interest. Accent materials may include any of the following: wood, glass, glass block, tile, brick, concrete, stone, copper, cloth awnings, painted metal, and wrought iron.
- The appropriateness of any given color for a particular building depends on a number of factors, including architectural style, building material, building features and details, building size, building orientation, building context, and climatic considerations.
- Light desert earth tones are encouraged. Soft tones ranging from white to light pastels are preferred. Neutral colors such as off-white, beige and sand are also acceptable.
- Finish material with “natural” colors such as brick, stone, copper etc., should be used where practicable.

## (h) Roof forms and materials

- Roof materials most indicative of Mediterranean architecture such as clay shingle tile, concrete shingle tile, Mission tile and other tile-like designs are encouraged. Other acceptable roof materials include copper and painted metal.
- The visible portion of sloped roofs should be sheathed with a roofing material complimentary to the architectural style of the building and other surrounding buildings.
- Roof-mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Mechanical equipment should not be visible from any angle or any height outside of the building.
- Chimneys, rain gutters, downspouts, vents and other roof protrusions should be finished to complement or accent the adjacent materials and colors.
- Rooftops should be designed to be visually attractive when viewed from adjacent buildings.

## (i) Spaces - verandas, patios, courtyards

- Courtyards, gardens and fountains are encouraged. Landscaping within courtyards should include a balance of hardscape and landscape materials.

- Visual focal points such as fountains or public art should be provided within plaza/courtyard areas.
- (j) Fencing and walls
- Walls and fences should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural environment in color and texture. Walls may consist of stucco, stone, wood or brick and may be used to provide private outdoor spaces or as a device to screen private landscaping, cars and service areas from public view.
  - Walls may be enhanced with decorative inset tiles, wrought-iron fencing, high ornate iron entry gates, or low planters incorporated into the base of the wall.
- (k) Accessory
- Accessory elements such as mailboxes, trash enclosures, newspaper racks, and security gates should be compatible with the architectural style of the project.
- (l) Outside furnishing
- The design and selection of outside furnishings shall include considerations for the security, safety, comfort and convenience of the user, including the handicapped.
  - Outside furnishings shall be conservative in use of sidewalk space, and maintain a clear width sufficient to accommodate pedestrian flows.
  - All outside furnishings shall be constructed of long-wearing, vandal resistant materials, capable of with standing the desert climatic conditions.
  - The selection, siting and layout of the different elements of outside furnishings shall insure that each article or structure is designed and situated to be in harmony with both the surrounding furnishings and the area as a whole.
- (m) Walkways
- The Primary Park Walkway within the area of the Golf View Hotel should be constructed of compatible materials and finishes to provide consistency throughout the planning area. As depicted in **Figure IV-5** (Conceptual Pedestrian Circulation Diagram), the Primary Park Walkway would be designed to provide links to additional pedestrian circulation routes within the project and connectivity to the entire project site.

*d. Permitted Uses (PA 3)*

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

- (1) Restaurants and bars.
- (2) Curio shops, gift shops.
- (3) Sign, on-site advertising.
- (4) Hotels, motels.
- (5) Dwelling, bed and breakfast.

b. The uses listed in Subsection a. do not include sex-oriented businesses.

#### **4. Planning Area No. 4: Golf View Villas**

*a. Descriptive Summary*

As depicted in **Figure IV-43**, 54-high end residential "Golf View Villas" will be constructed along the southern boundary of the golf course, adjacent to the eastern boundary of the Hotel. The golf view villas will enjoy the same amenities and services as the other resort components while maintaining the privacy of single family dwelling units. The units will be strategically situated to take maximum advantage of championship golf course views. Each unit will be luxuriously furnished and designed with extreme attention to detail/quality. As part of an upscale community, these exclusive units will also be equipped with gourmet kitchens and individual spa pools. The proposed elevations and design characteristics of the Golf View Villas are illustrated in **Figures IV-44** (Single Story Golf View Villa – Floor Plan/Elevation) and **IV-45** (2-story Golf View Villa – Floor Plan/Elevation).

Each Golf View Villa will consist of the following:

- 2,000 square feet
- Two bedrooms
- 2.75 baths
- Gourmet Kitchen
- Individual spa pools
- Hotel and Concierge Services

The Villas are envisioned as freestanding individual buildings which embrace the indoor/outdoor connection with the golf course and mountains. Low pitched tile roofs are planned to harmonize with the horizontal plains of the desert.

*b. Planning Standards*

For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein.



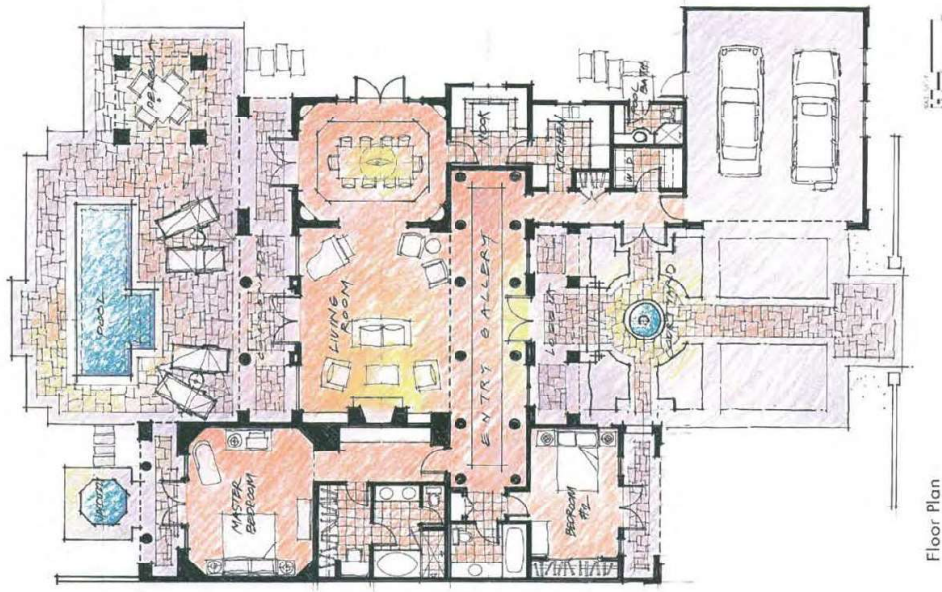
\*CONCEPTUAL RENDERING

# PLANNING AREA NO. 4 - RESORT GOLF VIEW VILLAS



Figure IV-43

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



Floor Plan



Section



Rear Elevation



Front Elevation

**SINGLE STORY GOLF VIEW VILLAS - FLOOR PLANS/ELEVATIONS**

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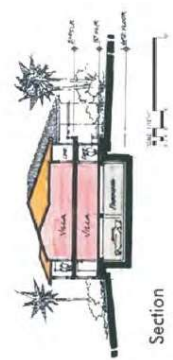
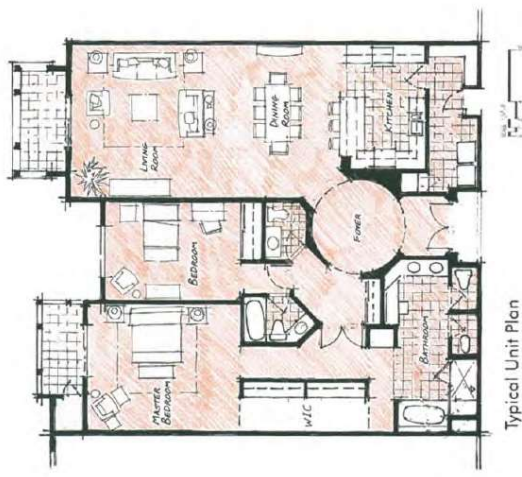
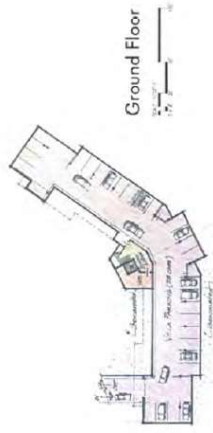
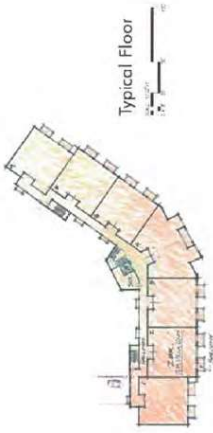
**NORTHSTAR**  
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SCALE DEPICTED ABOVE



**Figure IV-44**





**2-STORY GOLF VIEW VILLAS - FLOOR PLANS/ELEVATIONS**

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40421.03.000 SPECIFIC PLAN

SCALE DEPICTED ABOVE



**Figure IV-45**

- (1) Encroachments
  - For specific information regarding encroachments, refer to the Specific Plan Zoning Ordinance, Section III, herein.
- (2) Parking
  - The parking provided by the project will meet the County's parking requirements.
  - The boundaries between Planning Area No. 4 and the surrounding land uses shall be designed to provide an appropriate buffer between the uses.
  - Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.

Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.

Structural – A visual screen created through either construction of an earthen berm or wall/fence and or a combination of both to present visual separation when viewed from one side to the other.

*c. Design Standards/Guidelines*

- (1) Lotting concepts (including minimum lot sizes)
  - Building and lot layouts shall conform to Riverside County standards regarding minimum garage setbacks from access streets, minimum yard requirements, maximum height requirements, and other county standards, unless specific variances are granted.
- (2) Grading criteria
  - All grading will be performed in substantial conformance with **Figure IV-37**, Conceptual Grading Plan, and shall conform with Riverside County grading standards to the satisfaction of the County Engineering Department.
- (3) Siting criteria
  - Buildings should be sited to maximize mountain, valley and golf course views. Care should also be taken not to block these views from adjacent structures and to protect the privacy of adjacent property owners. Siting considerations should also include an assessment of the most logical building locations on the site.

- (4) Fencing/walls
- Walls and fences should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural environment in color and texture. Walls may consist of stucco, stone, wood or brick and may be used to provide private outdoor spaces or as a device to screen private landscaping, cars and service areas from public view.
  - Walls may be enhanced with decorative inset tiles, wrought iron fencing, high ornate iron entry gates, or low planters incorporated into the base of the wall.
- (5) Architectural features
- (a) Theme
- The design guidelines reflect the Mediterranean design theme and pedestrian-oriented character of the area and are intended to promote high standards in site planning, architectural design and landscaping.
- (b) Form, mass, height
- The conceptual shape and configuration of the Golf View Villas are depicted in **Figure IV-43**.
  - Representative elevations of the Golf View Villas are depicted in **Figures IV-44** and **IV-45**.
- (e) Shade/shadow
- The natural and built environment shall be utilized to create shade at specified locations throughout the planning area.
- Natural – Vegetation (including trees, shrubs, vines and ground covers) will be considered an essential part of shade planning and site design. People intuitively associate trees with shade when seeking relief from the heat of the sun. High priority will be placed on the strategic use of trees and planting to provide shaded areas.
- Built – Built shade systems will include either stand-alone structures, or systems which are incorporated into the building design and/or other facilities.
- (d) Building relief
- Variations of wall planes, fenestration and materials are required to create strong visual interest and must be an integral part of building design. Complimentary or contrasting architectural details should provide relief and shadow to bring further richness and interest to façades.

## (e) Materials

- Exterior building materials should complement the materials used on adjacent buildings. The following materials are considered appropriate for the Golf View Villas: stucco, smooth block, granite, marble.
- Accent materials should be used to highlight building features and provide visual interest. Accent materials may include any of the following: wood, glass, glass block, tile, brick, concrete, stone, copper, cloth awnings, painted metal, wrought iron.
- The appropriateness of any given color for a particular building depends on a number of factors, including architectural style, building material, building features and details, building size, building orientation, building context, and climatic considerations.
- Light desert earth tones are encouraged. Soft tones ranging from white to light pastels are preferred. Neutral colors such as off-white, beige and sand are also acceptable.
- Finish material with “natural” colors such as brick, stone, copper etc., should be used where practicable.
- The colors and materials on adjacent residential structures should be varied to establish a separate identity for the dwellings. A variety of colors and textures of building materials is encouraged, while maintaining overall design continuity in the neighborhood. Color sample boards shall be submitted as a part of the application and review process.

## (f) Roof form and material

- Roof materials most indicative of Mediterranean architecture such as clay shingle tile, concrete shingle tile, Mission tile and other tile-like designs are encouraged. Other acceptable roof materials include copper and painted metal.
- The visible portion of sloped roofs should be sheathed with a roofing material complimentary to the architectural style of the building and other surrounding buildings.
- Roof-mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Mechanical equipment should not be visible from any angle or any height outside of the building.
- Chimneys, rain gutters, downspouts, vents and other roof protrusions should be finished to complement or accent the adjacent materials and colors.

- Rooftops should be designed to be visually attractive when viewed from adjacent buildings.
- (g) Spaces
- Side yards should be varied to add interest and usable space; however, the minimum spacing between two structures shall be ten feet. In the case of zero lot line developments, a three (3) foot maintenance easement shall be provided.
- (h) Accessory structures
- Accessory Structures should be designed so that they are consistent with the architectural style of the primary structure and compatible with the residential character of the neighborhood.
- (6) Landscaping
- (a) Coverage
- The sum of landscaped areas shall be no less than 30% of the total planning area.
- (b) Plant selection
- All landscaped areas within the Golf View Villas Planning Area shall be planted with plant materials chosen from Landscape Zone 5 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** thru **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.
- (c) Planting guidelines
- A minimum of six, five gallon shrubs, one 24" box tree (minimum 2" caliper), and one 15 gallon or larger tree (minimum 1" caliper) shall be planted along the front of all homes (garage and side yard gate areas are excluded).
  - Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
  - Location of landscaping shall be in accordance with applicable County Ordinances.
  - Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.

## (d) Special treatments

- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.

## (7) Lighting

- Exterior lighting should be designed to minimize glare and light spillage to other properties. Flood lighting and improperly shielded lighting is prohibited. Illumination of activity areas and walkways should be subtle, directed downward and of the minimum brightness necessary for safe movement along paths, stairways and courtyards.
- All lighting plans, equipment and related components are subject to design review and approval.
- Outdoor lighting, other than street lighting, shall be low to the ground or shielded and hooded to avoid shining onto adjacent properties and streets. Illuminated street address lighting fixtures shall be installed on the front yard side of each dwelling to facilitate location of the street address numbers for safety and public convenience and to compensate for dark sky lighting considerations. "Night skies" provisions such as lower lighting levels, backlit addresses and street signs, and other indirect lighting methods shall be required.

*d. Permitted Uses (PA 4)*

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

(1) One-family dwellings.

(2) Home occupations.

(3) Planned residential developments, provided a land division is approved pursuant to the provisions of County Ordinance No. 460 and the development standards in Section 18.5 or 18.6 of this ordinance.

(4) On-site signs, affixed to building walls, stating the name of the structure, use, or institution, not to exceed five percent of the surface area of the exterior face of the wall upon which the sign is located.

(5) One-family dwellings developed as restricted single-family residential subdivisions, subject to the development standards of Section 7.11 of this ordinance. The provisions of Sections 7.2 through 7.10 of this ordinance shall not be applicable to developments under this permitted use.

b. The following uses shall be permitted provided a plot plan has first been approved pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

- (1) Two family dwellings, multiple family dwellings, bungalow courts and apartment houses.
- (2) Boarding, rooming and lodging houses.
- (3) Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.
- (4) Public parks and public playgrounds, golf courses with standard length fairways, and county clubs.

## **5. Planning Area No. 5: Resort Timeshare Units**

### *a. Descriptive Summary*

As shown in **Figure IV-46**, the Resort Timeshare Units will be located west of the Golf Clubhouse, along the 1<sup>st</sup> fairway of the golf course. The Resort Timeshare component will consist of six multi-story buildings totaling 216 units. Each building complex will be located over parking. The units will have two-bedrooms and around 1,400 square feet of living space. Each unit will be fully furnished from custom furniture to kitchen utensils, silverware, towels, sheets and pillowcases. The décor and finishes will be compatible with the Hotel and the Resort Timeshare complex will have its own pool facilities and separate offices providing marketing and sales. Typical floor plans and elevations are portrayed in **Figure IV-47**.

Each Resort Timeshare Unit will consist of the following:

- 1,400 square feet
- Two bedrooms (including a lock-out)
- 2.75 baths
- Full kitchen
- Championship golf course and/or lagoon views

The Resort Timeshare Units will be the initial residential village encountered when entering the project site from NorthStar Resort Parkway.

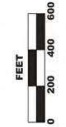
### *b. Land Use and Planning Standards*

For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein.

- (1) Encroachments
  - For specific information regarding encroachments, refer to the Specific Plan Zoning Ordinance, Section III, herein.
- (2) Parking
  - Parking is being proposed principally in parking structures that are shared between Planning Areas. Parking Plans will be submitted during plot plan review and will demonstrate that minimum County Parking requirements are being met.



\*CONCEPTUAL RENDERING

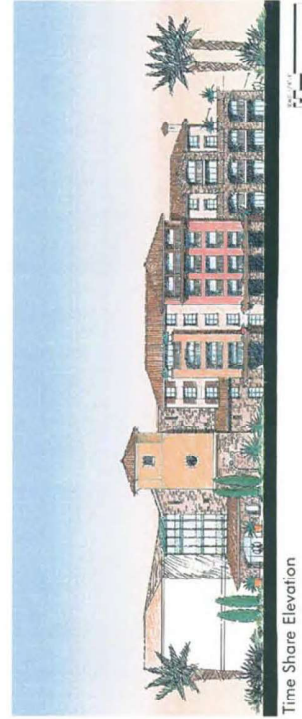
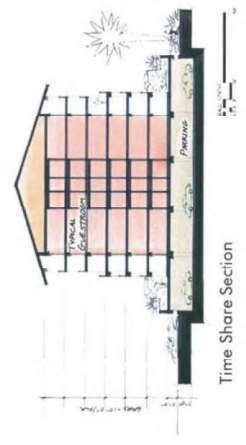


**PLANNING AREA NO. 5 - RESORT TIMESHARE UNITS**

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AMENDMENT NO. 2

**Figure IV-46**





Time Share

**RESORT TIMESHARE - FLOOR PLANS/ELEVATIONS**

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SCALE DEPICTED ABOVE



**Figure IV-47**

- Should parking be provided in adjacent planning areas the plot plans shall clearly show how parking is allocated between planning areas.
- (3) Special treatment/buffer areas
- The boundaries between Planning Area No. 5 and the surrounding land uses shall be designed to provide an appropriate buffer between the uses.
  - Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.
  - Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.
  - Structural – A visual screen created through either construction of an earthen berm or wall/fence and or a combination of both to present visual separation when viewed from one side to the other.
- c. *Design Standards/Guidelines*
- (1) Lotting concepts (including minimum lot sizes)
- Building and lot layouts shall conform to Riverside County standards regarding minimum garage setbacks from access streets, minimum yard requirements, maximum height requirements, and other county standards, unless specific variances are granted.
- (2) Grading criteria
- All grading will be performed in substantial conformance with **Figure IV-37**, Conceptual Grading Plan, and shall conform with Riverside County grading standards to the satisfaction of the County Engineering Department.
- (3) Siting criteria
- Buildings should be sited to maximize mountain, valley and golf course views. Care should also be taken not to block these views from adjacent structures and to protect the privacy of adjacent property owners. Siting considerations should also include an assessment of the most logical building locations on the site.
- (4) Fencing/walls
- Walls and fences should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural environment in color and texture. Walls may consist of stucco, stone, wood or brick and may be used to provide private outdoor spaces or as a device to screen private landscaping, cars and service areas from public view.

- Walls may be enhanced with decorative inset tiles, wrought iron fencing, high ornate iron entry gates, or low planters incorporated into the base of the wall.

(5) Architectural features

(a) Theme

- The design guidelines reflect the Mediterranean design theme and pedestrian-oriented character of the area and are intended to promote high standards in site planning, architectural design and landscaping.

(b) Form, mass, height

- The conceptual shape and configuration of the Resort Timeshare Units are depicted in **Figure IV-46**.
- Representative elevations of the Resort Timeshare Units are depicted in **Figure IV-47**.

(c) Shade/shadow

- The natural and built environment shall be utilized to create shade at specified locations throughout the planning area.

Natural – Vegetation (including trees, shrubs, vines and ground covers) will be considered an essential part of shade planning and site design. People intuitively associate trees with shade when seeking relief from the heat of the sun. High priority will be placed on the strategic use of trees and planting to provide shaded areas.

Built – Built shade systems will include either stand-alone structures, or systems which are incorporated into the building design and/or other facilities.

(d) Building relief

- Variations of wall planes, fenestration and materials are required to create strong visual interest and must be an integral part of building design. Complimentary or contrasting architectural details should provide relief and shadow to bring further richness and interest to façades.

(e) Materials

- Exterior building materials should complement the materials used on adjacent buildings. The following materials are considered appropriate for the Resort Timeshare Units: stucco, smooth block, granite, marble.
- Accent materials should be used to highlight building features and provide visual interest. Accent materials may include any of the following: wood, glass, glass

block, tile, brick, concrete, stone, copper, cloth awnings, painted metal, and wrought iron.

- The appropriateness of any given color for a particular building depends on a number of factors, including, architectural style, building material, building features and details, building size, building orientation, building context, and climatic considerations.
  - Light desert earth tones are encouraged. Soft tones ranging from white to light pastels are preferred. Neutral colors such as off-white, beige and sand are also acceptable.
  - Finish material with “natural” colors such as brick, stone, and copper, should be used where practicable.
  - The colors and materials on adjacent residential structures should be varied to establish a separate identity for the dwellings. A variety of colors and textures of building materials while maintaining overall design continuity in the neighborhood is encouraged. Color sample boards shall be submitted as a part of the application and review process.
- (f) Roof form and material
- Roof materials most indicative of Mediterranean architecture, such as clay shingle tile, concrete shingle tile, Mission tile and other tile-like designs, are encouraged. Other acceptable roof materials include copper and painted metal.
  - The visible portion of sloped roofs should be sheathed with a roofing material complimentary to the architectural style of the building and other surrounding buildings.
  - Roof-mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Mechanical equipment should not be visible from any angle or any height outside of the building.
  - Chimneys, rain gutters, downspouts, vents and other roof protrusions should be finished to complement or accent the adjacent materials and colors.
  - Rooftops should be designed to be visually attractive when viewed from adjacent buildings.
- (g) Spaces
- Side yards should be varied to add interest and usable space, however, the minimum spacing between two structures shall be ten feet. In the case of zero lot line developments, a three (3) foot maintenance easement shall be provided.

- (h) Accessory structures
- Accessory Structures should be designed so that they are consistent with the architectural style of the primary structure and compatible with the residential character of the neighborhood.
- (6) Landscaping
- (a) Coverage
- The sum of landscaped areas shall be no less than 30% of the total planning area.
- (b) Plant selection
- All landscaped areas within the Resort Timeshare Units Planning Area shall be planted with plant materials chosen from Landscape Zone 5 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** thru **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.
- (c) Planting guidelines
- A minimum of six, five gallon shrubs, one 24" box tree (minimum 2" caliper), and one 15 gallon or larger tree (minimum 1" caliper) shall be planted along the front of all homes (garage and side yard gate areas are excluded).
  - Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
  - Location of landscaping shall be in accordance with applicable County Ordinances.
  - Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.
- (d) Special treatments
- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
- (7) Lighting
- Exterior lighting should be designed to minimize glare and light spillage to other properties. Flood lighting and improperly shielded lighting is prohibited. Illumination of activity areas and walkways should be subtle, directed downward

and of the minimum brightness necessary for safe movement along paths, stairways and courtyards.

- All lighting plans, equipment and related components are subject to design review and approval.
- Outdoor lighting, other than street lighting, shall be low to the ground or shielded and hooded to avoid shining onto adjacent properties and streets. Illuminated street address lighting fixtures shall be installed on the front yard side of each dwelling to facilitate location of the street address numbers for safety and public convenience and to compensate for dark sky lighting considerations. "Night skies" provisions such as lower lighting levels, backlit addresses and street signs, and other indirect lighting methods shall be required.

*d. Permitted Uses (PA 5)*

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

- (1) Restaurants and bars.
- (2) Curio shops, gift shops.
- (3) Sign, on-site advertising.
- (4) Hotels, motels.
- (5) Dwelling, bed and breakfast.

b. The uses listed in Subsection a. do not include sex-oriented businesses.

**6. Planning Area No. 6: Golf View Condominiums**

*a. Descriptive Summary*

As shown in **Figure IV-48**, luxury Golf View Condominiums will be constructed at two separate locations within the NorthStar project site. The first area (Planning Area 6A) will be located north of the Executive Office Complex and west of the golf course. The second area (Planning Area 6B) will be located east of the **Resort** Golf-View Villas and north of the Industrial Park. A total of 570 luxury condominium units will be constructed in both areas. The units will be individually sold and will enjoy views of the Championship Golf Course and Little San Bernardino Mountains to the north. The units will be available in various sizes and configurations and will offer an affordable and ideal range of options.

*b. Land Use and Planning Standards*

For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein.



\*CONCEPTUAL RENDERING



# PLANNING AREA NO. 6 - GOLF VIEW CONDINIUMS

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



Figure IV-48

- (1) Encroachments
  - For specific information regarding encroachments, refer to the Specific Plan Zoning Ordinance, Section III, herein.
- (2) Parking
  - The parking provided by the project will meet the County's parking requirements.
- (3) Special treatment/buffer areas
  - The boundaries between Planning Area No. 6 and the surrounding land uses shall be designed to provide an appropriate buffer between the uses.
  - Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.

Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.

Structural – A visual screen created through either construction of an earthen berm or wall/fence and or a combination of both to present visual separation when viewed from one side to the other.

*c. Design Standards/Guidelines*

- (1) Lotting concepts (including minimum lot sizes)
  - Building and lot layouts shall conform to Riverside County standards regarding minimum garage setbacks from access streets, minimum yard requirements, maximum height requirements, and other county standards, unless specific variances are granted.
- (2) Grading criteria
  - All grading will be performed in substantial conformance with **Figure IV-37**, Conceptual Grading Plan, and shall conform with Riverside County grading standards to the satisfaction of the County Engineering Department.
- (3) Siting criteria
  - Buildings should be sited to maximize mountain, valley and golf course views. Care should also be taken not to block these views from adjacent structures and to protect the privacy of adjacent property owners. Siting considerations should also include an assessment of the most logical building locations on the site.



## (4) Fencing/walls

- Walls and fences should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural environment in color and texture. Walls may consist of stucco, stone, wood or brick and may be used to provide private outdoor spaces or as a device to screen private landscaping, cars and service areas from public view.
- Walls may be enhanced with decorative inset tiles, wrought iron fencing, high ornate iron entry gates, or low planters incorporated into the base of the wall.

## (5) Architectural features

## (a) Theme

- The design guidelines reflect the Mediterranean design theme and pedestrian-oriented character of the area and are intended to promote high standards in site planning, architectural design and landscaping.

## (b) Form, mass, height

- The conceptual shape and configuration of the golf view condominiums are depicted in **Figure IV-48**.
- The elevations of the buildings within Planning Area No. 6 will be completed prior to the plot plan submittal process.

## (c) Shade/shadow

- The natural and built environment shall be utilized to create shade at specified locations throughout the planning area.

Natural – Vegetation (including trees, shrubs, vines and ground covers) will be considered an essential part of shade planning and site design. People intuitively associate trees with shade when seeking relief from the heat of the sun. High priority will be placed on the strategic use of trees and planting to provide shaded areas.

Built – Built shade systems will include either stand-alone structures, or systems which are incorporated into the building design and/or other facilities.

## (d) Building relief

- Variations of wall planes, fenestration and materials are required to create strong visual interest and must be an integral part of building design. Complimentary or contrasting architectural details should provide relief and shadow to bring further richness and interest to façades.

(e) Materials

- Exterior building materials should complement the materials used on adjacent buildings. The following materials are considered appropriate for the Golf View Condominiums: stucco, smooth block, granite, marble.
- Accent materials should be used to highlight building features and provide visual interest. Accent materials may include any of the following: wood, glass, glass block, tile, brick, concrete, stone, copper, cloth awnings, painted metal, and wrought iron.
- The appropriateness of any given color for a particular building depends on a number of factors, including architectural style, building material, building features and details, building size, building orientation, building context, and climatic considerations.
- Light desert earth tones are encouraged. Soft tones ranging from white to light pastels are preferred. Neutral colors such as off-white, beige and sand are also acceptable.
- Finish material with “natural” colors such as brick, stone, and copper, should be used where practicable.
- The colors and materials on adjacent residential structures should be varied to establish a separate identity for the dwellings. A variety of colors and textures of building materials is encouraged, while maintaining overall design continuity in the neighborhood. Color sample boards shall be submitted as a part of the application and review process.

(f) Roof form and material

- Roof materials most indicative of Mediterranean architecture such as clay shingle tile, concrete shingle tile, Mission tile and other tile-like designs are encouraged. Other acceptable roof materials include copper and painted metal.
- The visible portion of sloped roofs should be sheathed with a roofing material complimentary to the architectural style of the building and other surrounding buildings.
- Roof-mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Mechanical equipment should not be visible from any angle or any height outside of the building.
- Chimneys, rain gutters, downspouts, vents and other roof protrusions should be finished to complement or accent the adjacent materials and colors.

- Rooftops should be designed to be visually attractive when viewed from adjacent buildings.
- (g) Spaces
- Side yards should be varied to add interest and usable space, however, the minimum spacing between two structures shall be ten feet. In the case of zero lot line developments, a three (3) foot maintenance easement shall be provided.
- (h) Accessory structures
- Accessory structures should be designed so that they are consistent with the architectural style of the primary structure and compatible with the residential character of the neighborhood.
- (6) Landscaping
- (a) Coverage
- The sum of landscaped areas shall be no less than 30% of the total planning area.
- (b) Plant selection
- All landscaped areas within the Golf View Condominium Planning Area shall be planted with plant materials chosen from Landscape Zone 6 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** thru **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.
- (c) Planting guidelines
- A minimum of six, five gallon shrubs, one 24" box tree (minimum 2" caliper), and one 15 gallon or larger tree (minimum 1" caliper) shall be planted along the front of all homes (garage and side yard gate areas are excluded).
  - Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
  - Location of landscaping shall be in accordance with applicable County Ordinances.
  - Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.

## (d) Special treatments

- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.

## (7) Lighting

- Exterior lighting should be designed to minimize glare and light spillage to other properties. Flood lighting and improperly shielded lighting is prohibited. Illumination of activity areas and walkways should be subtle, directed downward and of the minimum brightness necessary for safe movement along paths, stairways and courtyards.
- All lighting plans, equipment and related components are subject to design review and approval.
- Outdoor lighting, other than street lighting, shall be low to the ground or shielded and hooded to avoid shining onto adjacent properties and streets. Illuminated street address lighting fixtures shall be installed on the front yard side of each dwelling to facilitate location of the street address numbers for safety and public convenience and to compensate for dark sky lighting considerations. "Night skies" provisions such as lower lighting levels, backlit addresses and street signs, and other indirect lighting methods shall be required.

*d. Permitted Uses (PA 6)*

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

(1) One-family dwellings.

(2) Home occupations.

(3) Planned residential developments, provided a land division is approved pursuant to the provisions of County Ordinance No. 460 and the development standards in Section 18.5 or 18.6 of this ordinance.

(4) On-site signs, affixed to building walls, stating the name of the structure, use, or institution, not to exceed five percent of the surface area of the exterior face of the wall upon which the sign is located.

(5) One-family dwellings developed as restricted single-family residential subdivisions, subject to the development standards of Section 7.11 of this ordinance. The provisions of Sections 7.2 through 7.10 of this ordinance shall not be applicable to developments under this permitted use.

b. The following uses shall be permitted provided a plot plan has first been approved pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

- (1) Two family dwellings, multiple family dwellings, bungalow courts and apartment houses.
- (2) Boarding, rooming and lodging houses.
- (3) Temporary real estate tract offices located within a subdivision, to be used only for and during the original sale of the subdivision, but not to exceed a period of two years in any event.
- (4) Public parks and public playgrounds, golf courses with standard length fairways, and county clubs.

## 7. **Planning Area No. 7: Mixed Use Retail Village**

### a. *Descriptive Summary*

Inspired by top international resort destinations around the world, the retail village will effectively serve as the heart and social focal point of the resort and surrounding communities. The Village at NorthStar is expected to serve as the beacon of lifestyle and sophistication. *“A whole new world of shopping delights, embraced by old world European charm, awaits discovery at The Village.”*

The 400,000 square foot Mixed Use Retail Village (**Figure IV-49**) will serve as the symbolic and functional hub of the NorthStar development and will provide key commercial linkages to a wide variety of on-site uses. The upscale, “people friendly” retail village will showcase leading (multi-national) retailers with specific merchandising emphasis on lifestyle, home, leisure and food/beverage categories. The Village will provide the best in retail synergy with a shopping environment similar to top performing centers, such as Phillips Place (Charlotte, North Carolina) and Market Commons at Clarendon (Clarendon, Virginia). The Mixed Use Retail Village is anticipated to satisfy the highly sophisticated taste and demand of the local consumer base and upon completion will set the standard for high-end shopping facilities in the Coachella Valley.

The Mixed Use Retail Village will be comprised of multiple floors. Shops and Restaurants will be provided on the Ground Floor and will cater to the retail client. The second floor will consist of office uses and the possibility of additional retail uses. The third floor will have residences and parking will be underground or in attached structures.

An elevation and representative illustration of a plaza within the Mixed Use Retail Village are shown in **Figure IV-50**. The village will be derived from concepts associated with the typical Mediterranean town in which people live, work, and shop in the same neighborhood. A “sense of place,” will be created by using streetscapes, plazas and courtyards (all components of a typical Mediterranean Village).

### b. *Land Use and Planning Standards*

For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein.

- (1) Special treatment buffer areas
  - The boundaries between Planning Area No. 7 and the surrounding land uses shall be designed to provide an appropriate buffer between the uses.



\*CONCEPTUAL RENDERING



# PLANNING AREA NO. 7 - MIXED USE RETAIL VILLAGE

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AMENDMENT NO. 2

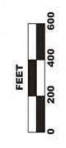
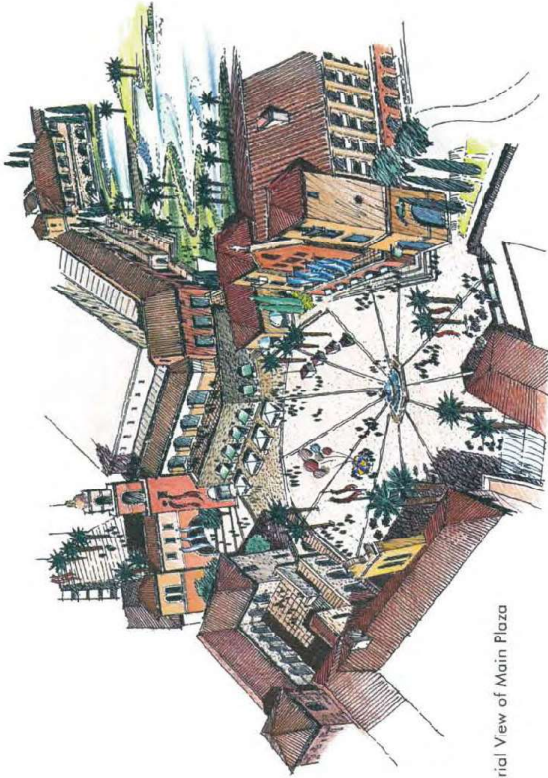
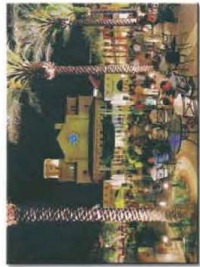


Figure IV-49



Aerial View of Main Plaza



# MIXED USE RETAIL VILLAGE - AERIAL VIEW OF PLAZA/ELEVATION

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40421.03.000 SPECIFIC PLAN



**Figure IV-50**

- Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.
- Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.
- Structural – A visual screen created through either construction of an earthen berm or wall/fence and or a combination of both to present visual separation when viewed from one side to the other.

(2) Parking

- Parking is being proposed principally in parking structures that are shared between Planning Areas. Parking Plans will be submitted during plot plan review and will demonstrate that minimum County Parking requirements are being met. Should parking be provided in adjacent planning areas the plot plans shall clearly show how parking is allocated between planning areas.

(3) Sign program

- A sign program shall be developed and submitted for approval by The County of Riverside Planning Department.
- Signage should advertise a place of business or provide directions/information. It should also contribute to the contemporary Mediterranean theme. Design, color, materials and placement are all important in creating signs that are architecturally attractive and integrated into the overall site design.
- Sign color should be compatible with building colors.
- Fewer words make a more effective message. Symbols shall only be utilized if they are easily recognizable.
- Avoid hard to read and overly intricate typefaces. The letter style chosen should be appropriate to the business and the building.
- Signs should be consistent with the proportion and scale of building elements within the façade. The placement of signs provides visual clues to business location and affects the design integrity of the entire building.

(4) Access

- As shown on **Figure IV-3** (Conceptual Vehicular Diagram), primary access into the Mixed Use Retail Village will be obtained from Varner Road via a signalized intersection.



*c. Design Standards/Guidelines*

## (1) Building layout and arrangement

- Storefronts and major building entries should be oriented towards major streets, courtyards or plazas.
- Buildings facing pedestrian streets and plazas should incorporate design features that provide visual interest at the street level. Building elements should be designed in a way that enhances the visibility of merchandise and store related activities by pedestrians.
- The orientation of a building should be taken into consideration when selecting colors, because it affects color appearance.

## (2) Service area

- Service areas shall be located on the sides or rear of the buildings they serve.

## (3) Screening

- Service areas and external loading areas shall be screened from view by the general public. Screening may be accomplished by the use of walls, fences, trellises, landscaping or a combination of elements.

## (4) Landscaping

## (a) Coverage

- The sum of landscaped areas shall be no less than 10% of the total planning area.

## (c) Plant selection list

- All landscaped areas within the Mixed Use Retail Village shall be planted with plant materials chosen from Landscape Zone 7 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** through **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.

## (c) Planting guidelines

- Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
- Location of landscaping shall be in accordance with applicable County Ordinances.

- Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.
  - Large planters may be incorporated into seating areas. Such planters should be open to the earth below and should incorporate permanent irrigation systems.
- (d) Special treatments
- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
  - Boxed and container plants in decorative ceramic, terra cotta, wood, or stucco planters should be used to enhance street frontages, plazas and courtyards.
- (5) Architectural Features
- (a) Basic theme
- The design guidelines reflect the Mediterranean design theme and pedestrian-oriented character of the area and are intended to promote high standards in site planning, architectural design and landscaping.
- (b) Building form, mass elevations
- The conceptual shape and configuration of the Mixed Use Retail Village is depicted in **Figure IV-49**.
  - The elevations of the buildings within Planning Area No. 7 will be completed prior to the plot plan submittal process.
- (c) Shade and shadow
- The natural and built environment shall be utilized to create shade at specified locations throughout the planning area.
- Natural – Vegetation (including trees, shrubs, vines and ground covers) will be considered an essential part of shade planning and site design. People intuitively associate trees with shade when seeking relief from the heat of the sun. High priority will be placed on the strategic use of trees and planting to provide shaded areas.
- Built – Built shade systems will include either stand-alone structures, or systems which are incorporated into the building design and/or other facilities.
- Shade is recommended over areas where people congregate and linger (e.g. seating areas and outdoor eating areas).

- Business operators should be encouraged to build awnings off their premises. As well as contributing to a shaded walkway for shoppers, these may help to increase patronage, as people will be more inclined to linger in cool, shaded areas outside shop windows.
- (d) Building relief
- Variations of wall planes, fenestration and materials are required to create strong visual interest and must be an integral part of building design. Complimentary or contrasting architectural details should provide relief and shadow to bring further richness and interest to façades.
- (e) Offsets
- Offset accent elements from primary wall planes and utilize contrasting materials/textures for visual richness.
- (f) Eaves and Fascias
- The fascias around the eaves shall have detailed molding that accentuates the fenestration overhangs and/or entrances.
- (g) Materials
- Exterior building materials should complement the materials used on adjacent buildings. The following materials are considered appropriate for buildings within the Mixed Use Retail Village: stucco, smooth block, granite, marble.
  - Accent materials should be used to highlight building features and provide visual interest. Accent materials may include any of the following: wood, glass, glass block, tile, brick, concrete, stone, copper, cloth awnings, painted metal, and wrought iron.
  - The appropriateness of any given color for a particular building depends on a number of factors, including, architectural style, building material, building features and details, building size, building orientation, building context, and climatic considerations.
  - Light desert earth tones are encouraged. Soft tones ranging from white to light pastels are preferred. Neutral colors such as off-white, beige and sand are also acceptable.
  - Finish material with “natural” colors such as brick, stone, and copper, should be used where practicable.
  - The colors and materials on adjacent structures should be varied to establish a separate identity for buildings. A variety of colors and textures of building materials while maintaining overall design continuity in the Mixed Use Retail

Village is encouraged. Color sample boards shall be submitted as a part of the application and review process.

(h) Roof forms and materials

- Roof materials most indicative of Mediterranean architecture such as clay shingle tile, concrete shingle tile, Mission tile and other tile-like designs are encouraged. Other acceptable roof materials include copper and painted metal.
- The visible portion of sloped roofs should be sheathed with a roofing material complimentary to the architectural style of the building and other surrounding buildings.
- Roof-mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Mechanical equipment should not be visible from any angle or any height outside of the building.
- Chimneys, rain gutters, downspouts, vents and other roof protrusions should be finished to complements or accent the adjacent materials and colors.
- Rooftops should be designed to be visually attractive when viewed from adjacent buildings.

(i) Spaces - verandas, patios, courtyards

- Courtyards, gardens and fountains are encouraged. Landscaping within courtyards should include a balance of hardscape and landscape materials.
- Visual focal points such as fountains or public art should be provided within plaza/courtyard areas.

(j) Fencing and walls

- Walls and fences should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural environment in color and texture. Walls may consist of stucco, stone, wood or brick and may be used to provide private outdoor spaces or as a device to screen private landscaping, cars and service areas from public view.
- Walls may be enhanced with decorative inset tiles, wrought iron fencing, high ornate iron entry gates, or low planters incorporated into the base of the wall.

(k) Accessory

- Accessory elements such as mailboxes, trash enclosures, newspaper racks, and security gates should be compatible with the architectural style of the project.

- (l) Outside furnishing
- The design and selection of outside furnishings shall include considerations for the security, safety, comfort and convenience of the user, including the handicapped.
  - Outside furnishings shall be conservative in use of sidewalk space, and maintain a clear width sufficient to accommodate pedestrian flows.
  - All outside furnishings shall be constructed of long wearing, vandal resistant materials, capable of withstanding the desert climatic conditions.
  - The selection, siting and layout of the different elements of outside furnishings shall insure that each article or structure is designed and situated to be in harmony with both the surrounding furnishings and the area as a whole.
- (m) Walkways
- The Shopping Promenade within the Mixed Use Retail Village should be constructed of compatible materials and finishes to provide consistency throughout the planning area. As depicted on **Figure IV-5** (Conceptual Pedestrian Circulation Diagram), the Shopping Promenade would be designed to provide links to additional pedestrian circulation routes within the project and connectivity to the entire project site.

*d. Permitted Uses (PA 7)*

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

- (1) Antique shops.
- (2) Art supply shops and studios.
- (3) Auditoriums and conference rooms.
- (4) Bakery goods distributors.
- (5) Bakery shops, including baking only when incidental to retail sales on the premises.
- (6) Banks and financial institutions.
- (7) Barber and beauty shops.
- (8) Bars and cocktail lounges.
- (9) Book stores and binders.
- (10) Catering services.

- (11) Clothing stores.
- (12) Confectionery or candy stores.
- (13) Costume design studios.
- (14) Dance halls.
- (15) Delicatessens.
- (16) Department stores.
- (17) Drug stores.
- (18) Dry goods stores.
- (19) Employment agencies.
- (20) Florists shops.
- (21) Food markets and frozen food lockers.
- (22) Gift shops.
- (23) Hotels, resort hotels and motels.
- (24) Household goods sales, including but not limited to, new and used appliances, furniture, carpets, draperies, lamps, radios, and television sets, including repair thereof.
- (25) Hobby shops.
- (26) Ice cream shops.
- (27) Interior decorating shops.
- (28) Jewelry stores, including incidental repairs.
- (29) Laboratories, film, dental, medical, research or testing.
- (30) Laundries and laundromats.
- (31) Leather goods stores.
- (32) Locksmith shops.
- (33) Mail order businesses.
- (34) Manufacturer's agent.
- (35) Market, food, wholesale or jobber.
- (36) Meat markets, not including slaughtering.
- (37) Mimeographing and addressograph services.

- (38) Music stores.
- (39) News stores.
- (40) Notions or novelty stores.
- (41) Offices, including business, law, medical, dental, chiropractic, architectural, engineering, community planning, real estate.
- (42) One on-site operator's residence, which may be located in a commercial building.
- (43) Paint and wallpaper stores, not including paint contractors.
- (44) Pet shops and pet supply shops.
- (45) Photography shops and studios and photo engraving.
- (46) Poultry markets, not including slaughtering or live sales
- (47) Printers or publishers.
- (48) Produce markets.
- (49) Radio and television broadcasting studios.
- (50) Recording studios.
- (51) Refreshment stands.
- (52) Restaurants and other eating establishments.
- (53) Schools, business and professional, including art, barber, beauty, dance, drama, music and swimming.
- (54) Shoe stores and repair shops.
- (55) Shoeshine stands.
- (56) Signs, on-site advertising.
- (57) Sporting goods stores.
- (58) Stained glass assembly.
- (59) Stationer stores.
- (60) Stations, bus, railroad and taxi.
- (61) Tailor shops.
- (62) Telephone exchanges.
- (63) Theaters, not including drive-ins.

- (64) Tobacco shops.
  - (65) Tourist information centers.
  - (66) Toy shops.
  - (67) Travel agencies.
  - (68) Typewriter sales and rental, including incidental repairs.
  - (69) Watch repair shops.
  - (70) Convenience stores, not including the sale of motor vehicle fuel.
  - (71) Day care centers.
  - (72) baths, health centers Massage parlors, Turkish and similar personal service establishments.
- b. The following uses are permitted, together with outside storage and display of materials appurtenant to such use, provided a plot plan has been approved pursuant to the provisions of Section 18.30 of this ordinance:
- (1) Bicycle sales and rentals.
  - (2) Electrical substations.
  - (3) Golf cart sales and service.
  - (4) Parking lots and parking structures.
  - (5) Sports and recreational facilities, not including motor driven vehicles and riding academies, but including archery ranges, athletic playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools.
- d. The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of Section 18.28 of this ordinance:
- (3) Heliports.
- e. The uses listed in Subsections a., b., and d. do not include sex-oriented businesses.
- f. Accessory Uses. An accessory use to a permitted use is allowed provided the accessory use is incidental to, and does not alter the character of, the principal permitted use, including, but not limited to:
- (1) Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and provided any such activity does not exceed any of the following restrictions:
    - a) The maximum gross floor area of the building permitted to be devoted to such accessory use shall be 25 percent.



b) The maximum total horsepower of all electric motors used in connection with such accessory use shall be five horsepower.

c) The accessory use shall be so conducted that noise, vibration, dust, odor, and all other objectionable factors shall be reduced to the extent that there will be no annoyance to persons outside the premises. Such accessory use shall be located not nearer than 50 feet to any residential zone.

d) Accessory uses shall be conducted wholly within a completely enclosed building.

g. Any use that is not specifically listed in Subsections a., b., and d. may be considered a permitted or conditionally permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

## **8. Planning Area No. 8: Industrial Park (Research & Development)**

### ***a. Descriptive Summary***

The Industrial Park (research and development) is envisioned to be utilized by the ~~high-tech~~ business sector for product marketing and development. The Industrial Park is strategically located along Interstate 10 ~~and north and east of Planning Area No.11~~, a major transportation corridor which links Los Angeles, California and Phoenix, Arizona, and is an information superhighway containing major fiber optic cable. As shown in **Figure IV-51**, the Industrial Park will be located ~~north and east of the Mixed-Use Retail Village Arena and Event Center~~ along the southern boundary of the project site (Varner Road). Access into the Industrial Park will be properly controlled and limited to key locations off of Varner Road.

The Industrial Park will potentially consist of one- to two-story buildings with structures arranged around open spaces containing common pedestrian spines and gathering points. The Industrial Park will ~~utilize be a continuation of the village concept with~~ a fabric of streets and pedestrian corridors that interconnect the buildings.

### ***b. Land Use and Planning Standards***

For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein.

#### **(1) Special treatment buffer areas**

- The boundaries between Planning Area No. 8 and the surrounding land uses shall be designed to provide an appropriate buffer between the uses.
- Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.

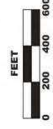
Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.



\*CONCEPTUAL RENDERING

RESEARCH AND DEVELOPMENT

**PLANNING AREA NO. 8 - INDUSTRIAL PARK**



**Figure IV-51**

NORTHSTAR  
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Structural – A visual screen created through either construction of an earthen berm or wall/fence and or a combination of both to present visual separation when viewed from one side to the other.

2) Parking

- Parking is being proposed principally in parking structures that are shared between Planning Areas. Parking Plans will be submitted during plot plan review and will demonstrate that minimum County Parking requirements are being met. Should parking be provided in adjacent planning areas the plot plans shall clearly show how parking is allocated between planning areas.

(3) Sign program

- A sign program shall be developed and submitted for approval by The County of Riverside Planning Department.

Signage should advertise a place of business or provide directions/information. It should also contribute to the contemporary Mediterranean theme. Design, color, materials and placement are all important in creating signs that are architecturally attractive and integrated into the overall site design.

- Sign color should be compatible with building colors.
- Fewer words make a more effective message. Symbols shall only be utilized if they are easily recognizable.
- Avoid hard to read and overly intricate typefaces. The letter style chosen should be appropriate to the business and the building.
- Signs should be consistent with the proportion and scale of building elements within the façade. The placement of signs provides visual clues to business location and affects the design integrity of the entire building.

(4) Access

As shown on **Figure IV-3** (Conceptual Vehicular Diagram), primary access into the Industrial Park will be obtained from Varner Road through approved ~~via two~~ signalized intersections. **One primary access entry is located on the eastern corner of the planning area, along the southern boundary of Varner Road. Continuing in a westward direction, various entry points are established along Varner Road, including two driveways that will allow access to the northern portion of the planning area through Planning Area 11. A second primary access is located between Planning Area 11 and Planning Area 7 that will be utilized as a main thoroughfare to the Planning Area.**

c. *Design Standards/Guidelines*

(1) Building layout and arrangement

- The building layout and arrangement of the Industrial Park is depicted in **Figure IV-51**.

(2) Service area

- Service areas shall be located on the sides or rear of the buildings they serve.

(3) Screening

- Service areas and external loading areas shall be screened from view by the general public. Screening may be accomplished by the use of walls, fences, trellises, landscaping or a combination of elements.

(4) Landscaping

(a) Coverage

- The sum of landscaped areas shall be no less than 10% of the total planning area.

(b) Plant selection list

- All landscaped areas within the Industrial Park (research and development) shall be planted with plant materials chosen from Landscape Zone 8 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** thru **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.

(c) Planting guidelines

- Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
- Location of landscaping shall be in accordance with applicable County Ordinances.
- Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.
- Large planters may be incorporated into seating areas. Such planters should be open to the earth below and should incorporate permanent irrigation systems.

- (d) Special treatments
- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
  - Boxed and container plants in decorative ceramic, terra cotta, wood, or stucco planters should be used to enhance street frontages, plazas and courtyards.

(5) Architectural Features

- (a) Basic theme
- The design guidelines reflect the Mediterranean design theme and pedestrian-oriented character of the area and are intended to promote high standards in site planning, architectural design and landscaping.

(b) Building form, mass elevations

- The conceptual shape and configuration of the Industrial Park is depicted in **Figure IV-51**.
- The elevations of the buildings within Planning Area No. 8 will be completed prior to the plot plan submittal process.

(c) Shade and shadow

- The natural and built environment shall be utilized to create shade at specified locations throughout the planning area.

Natural – Vegetation (including trees, shrubs, vines and ground covers) will be considered an essential part of shade planning and site design. People intuitively associate trees with shade when seeking relief from the heat of the sun. High priority will be placed on the strategic use of trees and planting to provide shaded areas.

Built – Built shade systems will include either stand-alone structures, or systems which are incorporated into the building design and/or other facilities.

(d) Building relief

- Variations of wall planes, fenestration and materials are required to create strong visual interest and must be an integral part of building design. Complimentary or contrasting architectural details should provide relief and shadow to bring further richness and interest to façades.

## (e) Offsets

- Offset accent elements from primary wall planes and utilize contrasting materials/textures for visual richness.

## (f) Eaves and Fascias

- The fascias around the eaves shall have detailed molding that accentuates the fenestration overhangs and/or entrances.

## (g) Materials

- Exterior building materials should complement the materials used on adjacent buildings. The following materials are considered appropriate for buildings within the Industrial Park: stucco, smooth block, granite, marble.
- Accent materials should be used to highlight building features and provide visual interest. Accent materials may include any of the following: wood, glass, glass block, tile, brick, concrete, stone, copper, cloth awnings, painted metal, and wrought iron.
- The appropriateness of any given color for a particular building depends on a number of factors, including architectural style, building material, building features and details, building size, building orientation, building context, and climatic considerations.
- Light desert earth tones are encouraged. Soft tones ranging from white to light pastels are preferred. Neutral colors such as off-white, beige and sand are also acceptable.
- Finish material with “natural” colors such as brick, stone, and copper, should be used where practicable.
- The colors and materials on adjacent structures should be varied to establish a separate identity for buildings. A variety of colors and textures of building materials is encouraged, while maintaining overall design continuity in the Industrial Park. Color sample boards shall be submitted as a part of the application and review process.

## (h) Roof forms and materials

- Roof materials most indicative of Mediterranean architecture such as clay shingle tile, concrete shingle tile, Mission tile and other tile-like designs are encouraged. Other acceptable roof materials include copper and painted metal.
- The visible portion of sloped roofs should be sheathed with a roofing material complimentary to the architectural style of the building and other surrounding buildings.

- Roof-mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Mechanical equipment should not be visible from any angle or any height outside of the building.
  - Chimneys, rain gutters, downspouts, vents and other roof protrusions should be finished to complement or accent the adjacent materials and colors.
  - Rooftops should be designed to be visually attractive when viewed from adjacent buildings.
- (i) Spaces - verandas, patios, courtyards
- Courtyards, gardens and fountains are encouraged. Landscaping within courtyards should include a balance of hardscape and landscape materials.
  - Visual focal points such as fountains or public art should be provided within plaza/courtyard areas.
- (j) Fencing and walls
- Walls and fences should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural environment in color and texture. Walls may consist of stucco, stone, wood or brick and may be used to provide private outdoor spaces or as a device to screen private landscaping, cars and service areas from public view.
  - Walls may be enhanced with decorative inset tiles, wrought iron fencing, high ornate iron entry gates, or low planters incorporated into the base of the wall.
- (k) Accessory
- Accessory Structures should be designed so that they are consistent with the architectural style of the primary structure and compatible with the residential character of the neighborhood.
- (l) Outside furnishing
- The design and selection of outside furnishings shall include considerations for the security, safety, comfort and convenience of the user, including the handicapped.
  - Outside furnishings shall be conservative in use of sidewalk space, and maintain a clear width sufficient to accommodate pedestrian flows.
  - All outside furnishings shall be constructed of long-wearing, vandal resistant materials, capable of withstanding the desert climatic conditions.

- The selection, siting and layout of the different elements of outside furnishings shall insure that each article or structure is designed and situated to be in harmony with both the surrounding furnishings and the area as a whole.
- (m) Walkways
- The Pedestrian Sidewalk within the Industrial Park should be constructed of compatible materials and finishes to provide consistency throughout the planning area. As depicted on **Figure IV-5** (Conceptual Pedestrian Circulation Diagram), the Pedestrian Sidewalk would be designed to provide links to additional pedestrian circulation routes within the project and connectivity to the entire project site.

*d. Permitted Uses (PA 8)*

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

(1) Printing and publishing or newspapers, periodicals, books, forms, cards, and similar items.

(2) Binding of books and other publications.

(3) Chemical and Glass Products:

a. Pharmaceutical research and manufacture.

b. Glassblowing, pressing, cutting, and other glassware products.

(4) Metal, Machinery, and Electrical Products:

a. Jewelry manufacture and repair.

b. Manufacture, assembly, testing and repair of components, devices, equipment and systems of an electrical, electronic, or electro-mechanical nature, such as, but not limited to:

1. Metering instruments, equipment and systems.

2. Radar, infrared and ultraviolet equipment and systems.

3. Coils, tubes, semiconductors and similar components.

4. Scientific and mechanical instruments.

5. Data processing equipment and systems.

6. Communication, navigation control, transmission and reception equipment, control transmission and reception equipment, control equipment and systems, guidance equipment and systems.

c. Office and computing machine manufacture, repair, and sales.



d. Control devices and gauges.

(5) Engineering and Scientific Instruments:

a. Manufacture and repair of engineering, scientific, and medical instrumentation including but not limited to:

1. Measuring devices, watches, clocks, and related items.

2. Optical goods.

3. Medical, and dental instruments.

4. Engineering, survey, and drafting instruments.

5. Photographic equipment.

(6) Industrial Uses:

a. Public utility substations and storage buildings.

b. Warehousing and distribution, including mini-warehouses.

c. Communications and microwave installations.

d. Telephone exchanges and switching equipment.

e. Post offices.

f. Fire and police stations.

g. Water and gas company service facilities.

h. Parcel delivery services.

(7) The following service and commercial uses:

a. Banks and financial institutions.

b. Blueprint and duplicating services.

c. Laboratories, film, medical, research, or testing centers.

d. Office equipment sales and service.

e. Offices, professional sales and service, including business, law, medical, dental, chiropractic, architectural and engineering.

f. Parking lots and parking structures.

g. Restaurants and other eating establishments.

h. Barber and beauty shops.

- i. Day care centers.
  - j. Health and exercise centers.
  - k. One-family dwellings on the same parcel as the industrial or commercial use provided such dwellings are occupied exclusively by the proprietor or caretaker of the use and their immediate families.
  - l. Signs, on-site advertising.
- b. The following uses are permitted provided a conditional use permit has been granted pursuant to Section 18.28 of this ordinance:
- (1) Heliports.
  - d. Any use that is not specifically listed in Subsections a. and b. may be considered a permitted or conditionally permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

## **9. Planning Area No. 9: Executive Office**

### ***a. Descriptive Summary***

As illustrated in **Figure IV-52**, the Executive Office Complex will be located north of the Community Commercial parcel (PA-10) at the western end of the project. The office buildings will contain approximately 230,000 square feet of office space and will not exceed three stories in height. The Executive Offices will draw inspiration from the Manor House Estates found just outside the typical Mediterranean village. The office complex will maintain consistency and complement the general architectural theme of the project.

### ***b. Land Use and Planning Standards***

For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein.

- (1) Special treatment buffer areas
  - The boundaries between Planning Area No. 9 and the surrounding land uses shall be designed to provide an appropriate buffer between the uses.  
Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.  
Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.  
Structural – A visual screen created through either construction of an earthen berm or wall/fence and/or a combination of both to present visual separation when viewed from one side to the other.

- (2) Parking

The parking provided by the project will meet the County's parking requirements.



\*CONCEPTUAL RENDERING

# PLANNING AREA NO. 9 - EXECUTIVE OFFICE

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



Figure IV-52

## (3) Sign program

- A sign program shall be developed and submitted for approval by The County of Riverside Planning Department.
- Signage should advertise a place of business or provide directions/information. It should also contribute to the contemporary Mediterranean theme. Design, color, materials and placement are all important in creating signs that are architecturally attractive and integrated into the overall site design.
- Sign color should be compatible with building colors.
- Fewer words make a more effective message. Symbols shall only be utilized if they are easily recognizable.
- Avoid hard to read and overly intricate typefaces. The letter style chosen should be appropriate to the business and the building.
- Signs should be consistent with the proportion and scale of building elements within the façade. The placement of signs provides visual clues to business location and affects the design integrity of the entire building.

## (4) Access

As shown on **Figure IV-3** (Conceptual Vehicular Diagram), primary access to the Executive Offices will be obtained from a road (Primary Circulation Road) which branches off from NorthStar Resort Parkway (Primary Circulation Road) and continues into the northwestern portion of the project site.

*c. Design Standards/Guidelines*

## (1) Building layout and arrangement

- The building layout and arrangement of the executive office buildings is depicted in **Figure IV-52**.

## (2) Service area

- Service areas shall be located on the sides or rear of the buildings they serve.

## (3) Screening

- Service areas and external loading areas shall be screened from view by the general public. Screening may be accomplished by the use of walls, fences, trellises, landscaping or a combination of elements.

- 
- (4) Landscaping
- (a) Coverage
- The sum of landscaped areas shall be no less than 25% of the total planning area.
- (b) Plant selection list
- All landscaped areas within the Executive Office Planning Area shall be planted with plant materials chosen from Landscape Zone 9 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** thru **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.
- (c) Planting guidelines
- Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
  - Location of landscaping shall be in accordance with applicable County Ordinances.
  - Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.
  - Large planters may be incorporated into seating areas. Such planters should be open to the earth below and should incorporate permanent irrigation systems.
- (d) Special treatments
- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
  - Boxed and container plants in decorative ceramic, terra cotta, wood, or stucco planters should be used to enhance street frontages, plazas and courtyards.
- (5) Architectural Features
- (a) Basic theme
- The design guidelines reflect the Mediterranean design theme and pedestrian-oriented character of the area and are intended to promote high standards in site planning, architectural design and landscaping.

- (c) Building form, mass elevations
- The conceptual shape and configuration of the executive office buildings are depicted in **Figure IV-52**.
  - The elevations of the buildings within Planning Area No. 9 will be completed prior to the plot plan submittal process.

(c) Shade and shadow

- The natural and built environment shall be utilized to create shade at specified locations throughout the planning area.

Natural – Vegetation (including trees, shrubs, vines and ground covers) will be considered an essential part of shade planning and site design. People intuitively associate trees with shade when seeking relief from the heat of the sun. High priority will be placed on the strategic use of trees and planting to provide shaded areas.

Built – Built shade systems will include either stand-alone structures or systems which are incorporated into the building design and/or other facilities.

(d) Building relief

- Variations of wall planes, fenestration and materials are required to create strong visual interest and must be an integral part of building design. Complimentary or contrasting architectural details should provide relief and shadow to bring further richness and interest to façades.

(e) Offsets

- Offset accent elements from primary wall planes and utilize contrasting materials/textures for visual richness.

(f) Eaves and Fascias

- The fascias around the eaves shall have detailed molding that accentuates the fenestration overhangs and/or entrances.

(g) Materials

- Exterior building materials should complement the materials used on adjacent buildings. The following materials are considered appropriate for the Executive Office buildings: stucco, smooth block, granite, marble.
- Accent materials should be used to highlight building features and provide visual interest. Accent materials may include any of the following: wood, glass, glass

block, tile, brick, concrete, stone, copper, cloth awnings, painted metal, and wrought iron.

- The appropriateness of any given color for a particular building depends on a number of factors, including architectural style, building material, building features and details, building size, building orientation, building context, and climatic considerations.
  - Light desert earth tones are encouraged. Soft tones ranging from white to light pastels are preferred. Neutral colors such as off-white, beige and sand are also acceptable.
  - Finish material with “natural” colors such as brick, stone, and copper, should be used where practicable.
- (h) Roof forms and materials
- Roof materials most indicative of Mediterranean architecture such as clay shingle tile, concrete shingle tile, Mission tile and other tile-like designs are encouraged. Other acceptable roof materials include copper and painted metal.
  - The visible portion of sloped roofs should be sheathed with a roofing material complimentary to the architectural style of the building and other surrounding buildings.
  - Roof-mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Mechanical equipment should not be visible from any angle or any height outside of the building.
  - Chimneys, rain gutters, downspouts, vents and other roof protrusions should be finished to complements or accent the adjacent materials and colors.
  - Rooftops should be designed to be visually attractive when viewed from adjacent buildings.
- (i) Spaces - verandas, patios, courtyards
- Courtyards, gardens and fountains are encouraged. Landscaping within courtyards should include a balance of hardscape and landscape materials.
  - Visual focal points such as fountains or public art should be provided within plaza/courtyard areas.
- (j) Fencing and walls
- Walls and fences should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural

environment in color and texture. Walls may consist of stucco, stone, wood or brick and may be used to provide private outdoor spaces or as a device to screen private landscaping, cars and service areas from public view.

- Walls may be enhanced with decorative inset tiles, wrought iron fencing, high ornate iron entry gates, or low planters incorporated into the base of the wall.

(k) Accessory

- Accessory elements such as mailboxes, trash enclosures, newspaper racks, and security gates should be compatible with the architectural style of the project.

(l) Outside furnishing

- The design and selection of outside furnishings shall include considerations for the security, safety, comfort and convenience of the user, including the handicapped.
- Outside furnishings shall be conservative in use of sidewalk space, and maintain a clear width sufficient to accommodate pedestrian flows.
- All outside furnishings shall be constructed of long-wearing, vandal resistant materials, capable of withstanding the desert climatic conditions.
- The selection, siting and layout of the different elements of outside furnishings shall insure that each article or structure is designed and situated to be in harmony with both the surrounding furnishings and the area as a whole.

(m) Walkways

- The Primary Park Walkway within the area of the executive offices should be constructed of compatible materials and finishes to provide consistency throughout the planning area. As depicted on **Figure IV-5** (Conceptual Pedestrian Circulation Diagram), the Primary Park Walkway would be designed to provide links to additional pedestrian circulation routes within the project and connectivity to the entire project site.

*d. Permitted Uses (PA 9)*

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

(1) Administrative and professional offices, including but not limited to business, law, medical, dental, chiropractic, architectural, engineering, community planning, and real estate offices, in which no activity is carried on catering to retail sales and no stock of goods is maintained for sale.

(2) Art gallery, library, reading room, museum.



- (3) Banks and financial institutions.
  - (4) Employment agencies.
  - (5) Parking lots and parking structures.
  - (6) Prescription pharmacy when related and incidental to a professional office building.
  - (7) Tourist information centers.
  - (8) Travel agencies.
  - (9) Day care centers.
- b. The following uses are permitted provided a conditional use permit has been approved pursuant to Section 18.28 of this ordinance:
- (1) Clinics, including but not limited to medical, dental and chiropractic.
  - (2) Health and exercise centers, provided all facilities are located within an enclosed building.
  - (3) Laboratories, film, dental, medical, research or testing.
  - (4) Restaurants, not including drive-in or take-out restaurants.
  - (5) Studios for professional work in or teaching of any form of fine arts, including but not limited to photography, music, drama, and dance, where no stock of goods is maintained for sale.
- c. The uses listed in Subsections a. and b. do not include sex-oriented businesses.
- d. Any use that is not specifically listed in Subsections a. or b. may be considered a permitted or conditionally permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.

## ***10. Planning Area No. 10: Community Commercial***

### ***a. Descriptive Summary***

As shown in **Figure IV-53**, the Community Commercial Shopping Center will be the only planning area separated from the remainder of the NorthStar project site. The Community Commercial Shopping Center will be located south of Varner Road and will facilitate multiple tenants with a variety of commercial uses. Building configurations and square footages will be dependent upon market-driven conditions and determined prior to submittal of the Plot Plan application.



\*CONCEPTUAL RENDERING

# PLANNING AREA NO. 10 - COMMUNITY COMMERCIAL

NORTHSTAR  
40421, 03, 000 SPECIFIC PLAN  
AMENDMENT NO. 2

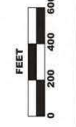


Figure IV-53

**b. Land Use and Planning Standards**

For planning standards (such as setbacks and building heights), refer to the Development Standards **Table IV-5** and the Specific Plan Zoning Ordinance, Section III, herein.

**(1) Special treatment buffer areas**

- The boundaries between Planning Area No. 9 and the surrounding land uses shall be designed to provide an appropriate buffer between the uses.
- Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.

Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.

Structural – A visual screen created through either construction of an earthen berm or wall/fence and/or a combination of both to present visual separation when viewed from one side to the other.

**(2) Parking**

- The parking provided by the project will meet the County's parking requirements.

**(3) Sign program**

- A sign program shall be developed and submitted for approval by The County of Riverside Planning Department.
- Signage should advertise a place of business or provide directions/information. It should also contribute to the contemporary Mediterranean theme. Design, color, materials and placement are all important in creating signs that are architecturally attractive and integrated into the overall site design.
- Sign color should be compatible with building colors.
- Fewer words make a more effective message. Symbols shall only be utilized if they are easily recognizable.
- Avoid hard to read and overly intricate typefaces. The letter style chosen should be appropriate to the business and the building.
- Signs should be consistent with the proportion and scale of building elements within the façade. The placement of signs provides visual clues to business location and affects the design integrity of the entire building.

## (4) Access

- Primary access into the commercial area (Planning Area 10) will align with the NorthStar Main Resort Entry and provide one major signalized entry into both properties. Additional access points into the commercial area might be established as the project develops, but will be limited to right in/right out only.

*c. Design Standards/Guidelines*

## (1) Building layout and arrangement

- The layout and arrangement of buildings within Planning Area No. 10 will be completed prior to the plot plan submittal process.

## (2) Service area

- Service areas shall be located on the sides or rear of the buildings they serve.

## (3) Screening

- Service areas and external loading areas shall be screened from view by the general public. Screening may be accomplished by the use of walls, fences, trellises, and landscaping or a combination of elements.

## (4) Landscaping

## (a) Coverage

- The sum of landscaped areas shall be no less than 10% of the total planning area.

## (b) Plant selection list

- All landscaped areas within the Community Commercial Planning Area shall be planted with plant materials chosen from Landscape Zone 10 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** through **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.

## (c) Planting guidelines

- Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
- Location of landscaping shall be in accordance with applicable County Ordinances.

- Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.
  - Large planters may be incorporated into seating areas. Such planters should be open to the earth below and should incorporate permanent irrigation systems.
- (d) Special treatments
- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
  - Boxed and container plants in decorative ceramic, terra cotta, wood, or stucco planters should be used to enhance street frontages, plazas and courtyards.
- (5) Architectural Features
- (a) Basic theme
- The design guidelines reflect the Mediterranean design theme and pedestrian-oriented character of the area and are intended to promote high standards in site planning, architectural design and landscaping.
- (b) Building form, mass elevations
- The shapes, configurations and elevations of the buildings within Planning Area No. 10 will be completed prior to the plot plan submittal process.
- (c) Shade and shadow
- The natural and built environment shall be utilized to create shade at specified locations throughout the planning area.
- Natural – Vegetation (including trees, shrubs, vines and ground covers) will be considered an essential part of shade planning and site design. People intuitively associate trees with shade when seeking relief from the heat of the sun. High priority will be placed on the strategic use of trees and planting to provide shaded areas.
- Built – Built shade systems will include either stand-alone structures, or systems which are incorporated into the building design and/or other facilities.
- Shade is recommended over areas where people congregate and linger (e.g. seating areas and outdoor eating areas).
  - Business operators should be encouraged to build awnings off their premises. As well as contributing to a shaded walkway for shoppers, these may help to increase

patronage, as people will be more inclined to linger in cool, shaded areas outside shop windows.

(d) Building relief

- Variations of wall planes, fenestration and materials are required to create strong visual interest and must be an integral part of building design. Complimentary or contrasting architectural details should provide relief and shadow to bring further richness and interest to façades.

(e) Offsets

- Offset accent elements from primary wall planes and utilize contrasting materials/textures for visual richness.

(f) Eaves and Fascias

- The fascias around the eaves shall have detailed molding that accentuates the fenestration overhangs and/or entrances.

(g) Materials

- Exterior building materials should complement the materials used on adjacent buildings. The following materials are considered appropriate for buildings within the Community Commercial Planning Area: stucco, smooth block, granite, marble.
- Accent materials should be used to highlight building features and provide visual interest. Accent materials may include any of the following: wood, glass, glass block, tile, brick, concrete, stone, copper, cloth awnings, painted metal, and wrought iron.
- The appropriateness of any given color for a particular building depends on a number of factors, including architectural style, building material, building features and details, building size, building orientation, building context, and climatic considerations.
- Light desert earth tones are encouraged. Soft tones ranging from white to light pastels are preferred. Neutral colors such as off-white, beige and sand are also acceptable.
- Finish material with “natural” colors such as brick, stone, and copper, should be used where practicable.

(h) Roof forms and materials

- Roof materials most indicative of Mediterranean architecture such as clay shingle tile, concrete shingle tile, Mission tile and other tile-like designs are encouraged. Other acceptable roof materials include copper and painted metal.
  - The visible portion of sloped roofs should be sheathed with a roofing material complimentary to the architectural style of the building and other surrounding buildings.
  - Roof-mounted mechanical or utility equipment should be screened. The method of screening should be architecturally integrated with the structure in terms of materials, color, shape and size. Mechanical equipment should not be visible from any angle or any height outside of the building.
  - Chimneys, rain gutters, downspouts, vents and other roof protrusions should be finished to complement or accent the adjacent materials and colors.
  - Rooftops should be designed to be visually attractive when viewed from adjacent buildings.
- (i) Spaces - verandas, patios, courtyards
- Courtyards, gardens and fountains are encouraged. Landscaping within courtyards should include a balance of hardscape and landscape materials.
  - Visual focal points such as fountains or public art should be provided within plaza/courtyard areas.
- (j) Fencing and walls
- Walls and fences should be designed as an integral architectural component of the building with which they are associated and should be compatible with the natural environment in color and texture. Walls may consist of stucco, stone, wood or brick and may be used to provide private outdoor spaces or as a device to screen private landscaping, cars and service areas from public view.
  - Walls may be enhanced with decorative inset tiles, wrought iron fencing, high ornate iron entry gates, or low planters incorporated into the base of the wall.
- (k) Accessory
- Accessory elements such as mailboxes, trash enclosures, newspaper racks, and security gates should be compatible with the architectural style of the project.
- (l) Outside furnishing
- The design and selection of outside furnishings shall include considerations for the security, safety, comfort and convenience of the user, including the handicapped.

- Outside furnishings shall be conservative in use of sidewalk space, and maintain a clear width sufficient to accommodate pedestrian flows.
  - All outside furnishings shall be constructed of long-wearing, vandal resistant materials, capable of withstanding the desert climatic conditions.
  - The selection, siting and layout of the different elements of outside furnishings shall insure that each article or structure is designed and situated to be in harmony with both the surrounding furnishings and the area as a whole.
- (m) Walkways
- Walkways within the commercial area should be constructed of compatible materials and finishes to provide consistency throughout the center. Pedestrian walkways should be considered to connect with Planning Areas 1-9 across Varner Road.

**d. Permitted Uses (PA 10)**

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

- (1) Ambulance services.
- (2) Antique shops.
- (3) Appliance stores, household.
- (4) Art supply shops and studios.
- (5) Auditoriums and conference rooms.
- (6) Bakery goods distributors.
- (7) Bakery shops, including baking only when incidental to retail sales on the premises.
- (8) Banks and financial institutions.
- (9) Barber and beauty shops.
- (10) Bars and cocktail lounges.
- (11) Bicycle sales and rentals.
- (12) Book stores and binders.
- (13) Catering services.
- (14) Clothing stores.
- (15) Confectionery or candy stores.



- (16) Costume design studios.
- (17) Dance halls.
- (18) Delicatessens.
- (19) Department stores.
- (20) Drug stores.
- (21) Dry goods stores.
- (22) Electrical substations.
- (23) Employment agencies.
- (24) Florist shops.
- (25) Food markets and frozen food lockers.
- (26) Gift shops.
- (27) Hardware stores.
- (28) Hobby shops.
- (29) Ice cream shops.
- (30) Ice sales, not including ice plants.
- (31) Interior decorating shops.
- (32) Jewelry stores with incidental repairs.
- (33) Laboratories, film, dental, medical, research or testing.
- (34) Laundries and laundromats.
- (35) Leather goods stores.
- (36) Locksmith shops.
- (37) Mail order businesses.
- (38) Manufacturer's agent.
- (39) Market, food, wholesale or jobber.
- (40) Meat markets, not including slaughtering.
- (41) Mimeographing and addressograph services.
- (42) Music stores.
- (43) News stores.

- (44) Notions or novelty stores.
- (45) Offices, business.
- (46) One on-site operator's residence, which may be located in a commercial building.
- (47) Paint and wall paper stores, not including paint contractors.
- (48) Parking lots and parking structures.
- (49) Pet shops and pet supply shops.
- (50) Photography shops and studios and photo engraving.
- (51) Plumbing shops, not including plumbing contractors.
- (52) Poultry markets, not including slaughtering or live sales.
- (53) Printers or publishers.
- (54) Produce markets.
- (55) Radio and television broadcasting studios.
- (56) Recording studios.
- (57) Refreshment stands.
- (58) Restaurants and other eating establishments.
- (59) Schools, business and professional, including art, barber, beauty, dance drama, music and swimming.
- (60) Shoe stores and repair shops.
- (61) Shoeshine stands.
- (62) Signs, on-site advertising.
- (63) Sporting goods stores.
- (64) Stained glass assembly.
- (65) Stationery stores.
- (66) Stations, bus, railroad and taxi.
- (67) Tailor shops.
- (68) Telephone exchanges.
- (69) Theaters, not including drive-ins.
- (70) Tobacco shops.

- (71) Tourist information centers.
- (72) Toy shops.
- (73) Travel agencies.
- (74) Typewriter sales and rental and incidental repairs.
- (75) Watch repair shops.
- (76) Wedding chapels.
- (77) Wholesale businesses with samples on the premises, but not to include storage.
- (78) Gasoline service stations, not including the concurrent sale of beer and wine for off-premises consumption.
- (79) Golf cart sales and service.
- (80) Hotels, resort hotels and motels.
- (81) Day care centers.
- (82) Convenience stores, not including the sale of motor vehicle fuel.

b. Uses Permitted by Conditional Use Permit. The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of Section 18.28 of this ordinance:

- (1) Automobile rental agencies.
- (2) Car washes.
- (3) Sale, rental, repair, or demonstration of motorcycles, scooters or motorbikes of two horsepower or greater.
- (4) Animal hospitals.
- (5) Sports and recreational facilities, not including motor-driven vehicles and riding academies, but including archery ranges, athletic fields, beaches, golf driving ranges, gymnasiums, miniature golf, parks, playgrounds, sports arenas, skating rinks, stadiums, and commercial swimming pools.
- (6) All uses permitted in Subsection a. that have more than 200 square feet of outside storage of display of materials.
- (7) Gasoline service stations, with the concurrent sale of beer and wine for off-premises consumption.
- (23) Convenience stores, including the sale of motor vehicle fuel.
- (24) Liquor stores pursuant to the provisions of Section 18.48 (Alcoholic Beverage Sales) of this ordinance.

- c. The uses listed in Subsections a. and b. do not include sex-oriented businesses.
- d. Accessory Uses. An accessory use to a permitted use is allowed, provided the accessory use is established on the same lot or parcel of land, and is incidental to, and consistent with the character of the permitted principal use, including but not limited to:
- (1) Limited manufacturing, fabricating, processing, packaging, treating and incidental storage related thereto, provided any such activity shall be in the same line of merchandise or service as the trade or service business conducted on the premises and providing any such related activity does not exceed any of the following restrictions:
- a) The maximum gross floor area of the building permitted to be devoted to such accessory use shall be 25 percent.
- b) The maximum total horsepower of all electric motors used in connection with such accessory use shall be five horsepower.
- c) The accessory use shall be so conducted that noise, vibration, dust, odor, and all other objectionable factors shall be reduced to the extent that there will be no annoyance to persons outside the premises. Such accessory use shall be located not nearer than 50 feet to any residential zone.
- d) Accessory uses shall be conducted wholly within a completely enclosed building.
- e. Any use that is not specifically listed in Subsections a. and b. may be considered a permitted or conditionally permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it fall.

## *11. Planning Area No. 11: Arena and Event Center*

### *a. Descriptive Summary*

The Arena and Event Center is planned to include a multi-purpose arena and event center, hockey training facility with practice ice, retail skate shop, public open space, and surface parking as shown in Figure 1.

This facility will host an American Hockey League team and provide a year-round venue for other events in the Coachella Valley, including concerts, family shows, other sporting events, cultural events, conferences, and conventions.

The Arena and Event Center will be located between the Mixed Use Village and Business Park Planning Areas and south of residential planning areas and integrated into the village concept established by the NorthStar Specific Plan through a network of streets and pedestrian corridors.

### *b. Land Use and Planning Standards*

For planning standards (such as setbacks and building heights), refer to the Development Standards [Table IV-5](#) and the Specific Plan Zoning Ordinance, Section III, herein.

## (1) Special treatment buffer areas

- The boundaries between Planning Area No. 11 and the adjacent planning areas shall be designed to provide an appropriate buffer between the uses.
- Setbacks and natural and/or structural buffers (as defined below) will be utilized to separate uses that are not compatible.
  - Natural – A visual screen created by vegetation to present visual separation when viewed from one side to the other.
  - Structural – A visual screen created through either construction of an earthen berm or wall/fence and or a combination of both to present visual separation when viewed from one side to the other.

## (2) Parking

- Parking will be principally provided in a surface parking area located on the east side of the Arena complex with additional parking provided adjacent to the Arena. The surface parking area may be redeveloped in the future to include a comparable amount of parking within one or more structured parking facilities. Parking requirements for the Arena complex may be satisfied through a combination of on-site and off-site parking, where off-site parking may consist of a combination of short- and long-term lease and license arrangements, as well as shared parking arrangements within the Specific Plan area. Parking Plans will be submitted during plot plan review to demonstrate that minimum County Parking requirements are being met.

## (3) Sign program

- A Sign Program shall be developed and submitted for approval with the Plot Plan submittal.
- The Sign Program for the Arena and Event Center is permitted to include the following types of signs appropriate for a public event venue:
  - LED Monument Sign with a maximum height of 90' along Varner Road. The location of this sign shall be specified on the Sign Program submitted with a development application
  - LED Board at Entry Plaza adjacent to the Arena building. The location of this sign shall be specified on the Sign Program
  - Building Signs with Venue Name
  - Roof Sign with Venue Name
  - Wayfinding Signage

(4) Access

As shown on **Figure IV-3** (Conceptual Vehicular Diagram), primary access into the Arena and Event Center will be obtained from Varner Road via streets and driveways. Traffic signals may be installed where shown on this diagram. Secondary access will be provided from the roadway to the north of the Arena and Event Center and adjacent parking area.

c. *Design Standards/Guidelines*

(1) Building layout and arrangement

- The building layout and arrangement of the Arena and Event Center is depicted in **Figure IV-54**.

(2) Service area

- Service areas shall be located on the sides or rear of the buildings they serve.

(3) Screening

- Service areas and external loading areas shall be screened from view by the general public. Screening may be accomplished by the use of walls, fences, trellises, landscaping or a combination of elements.

(4) Landscaping

(a) Coverage

- The sum of landscaped areas shall be no less than 10% of the total planning area.

(b) Plant selection list

- All landscaped areas within the Arena and Event Center Planning Area shall be planted with plant materials chosen from Landscape Zone 11 of the appropriate plant palette contained in **Table IV-2** and **Figures IV-8** thru **IV-10** of this Specific Plan. All plant material should be chosen from this list or as approved by County Planning Staff. Smooth transitions from landscaped common areas to adjoining properties are encouraged.

(c) Planting guidelines

- Street parkways and common lots, such as retention basins, shall be provided with landscaping consisting of decorative gravels, living ground covers, shrubs and some trees.
- Location of landscaping shall be in accordance with applicable County Ordinances.

- Drought tolerant landscape materials shall be provided in accordance with Ordinance 348.
  - Large planters may be incorporated into seating areas. Such planters should be open to the earth below and should incorporate permanent irrigation systems.
- (d) Special treatments
- Creative project design uses of hardscape, decorative gravels, placement of landscaping for afternoon shade and water efficient irrigation systems are encouraged.
  - Boxed and container plants in planters constructed of materials and finishes compatible with the building may be used to enhance street frontages, plazas, and courtyards.
- (5) Architectural Features
- (a) Basic theme
- The Arena and Event Center is designed to be experienced as an indoor/outdoor facility with access to exterior concessions situated on the main concourse of the Arena and nearest a large outdoor plaza space. Similarly, the clubs at premium level are designed with exterior balconies to offer views of the plaza and mountains beyond.
  - The primary exterior material of the main façade of the Arena and Event Center will be an Exterior Insulation and Finish System (“EIFS”) designed to mimic the forms of windswept rock.
- (b) Building form, mass, and elevations
- The conceptual shape and configuration of the Arena and Event Center is depicted in **Figure IV-54**.
  - The elevations of the buildings within Planning Area No. 11 shall be provided with the plot plan submittal.
- (c) Shade and shadow
- A perforated/corrugated metal panel shade canopy will be provided over the entry plaza at the northeast corner of the Arena and Event Center.
- (d) Walls and fences
- Walls and fences should be designed as an integral architectural component of the Arena and Event Center building and should be compatible with the natural environment in color and texture.

- (e) Accessory structures
  - Any accessory structures should be designed to be consistent with the architectural style of the primary structure.
- (f) Outside furnishing
  - The design and selection of outside furnishings shall include considerations for the security, safety, comfort and convenience of the user, including accessibility for users with physical disabilities.
  - Outside furnishings shall be conservative in use of sidewalk space, and maintain a clear width sufficient to accommodate pedestrian flows.
  - All outside furnishings shall be constructed of long-wearing, vandal resistant materials, capable of withstanding the desert climatic conditions.
  - The selection, siting, and layout of the different elements of outside furnishings shall ensure that each article or structure is designed and situated to be in harmony with both the surrounding furnishings and the area as a whole.
- (g) Walkways
  - The Pedestrian Sidewalk within the Arena and Event Center planning area should be constructed of materials and finishes compatible with the building to provide consistency throughout the planning area. As depicted on **Figure IV-5** (Conceptual Pedestrian Circulation Diagram), the Pedestrian Sidewalk would be designed to provide links to additional pedestrian circulation routes within the project and connectivity to the entire project site.

**d. Permitted Uses (PA 11)**

a. The following uses are permitted provided approval of a plot plan shall first have been obtained pursuant to the provisions of Section 18.30 of the Riverside County Zoning Ordinance, No. 348:

(1) Sports and recreation facilities, including a multi-purpose sports arena and event center and practice facility for hockey.

(2) Parking

b. Any use that is not specifically listed in Subsection a. may be considered a permitted or conditionally permitted use provided that the Planning Director finds that the proposed use is substantially the same in character and intensity as those listed in the designated subsections. Such a use is subject to the permit process which governs the category in which it falls.



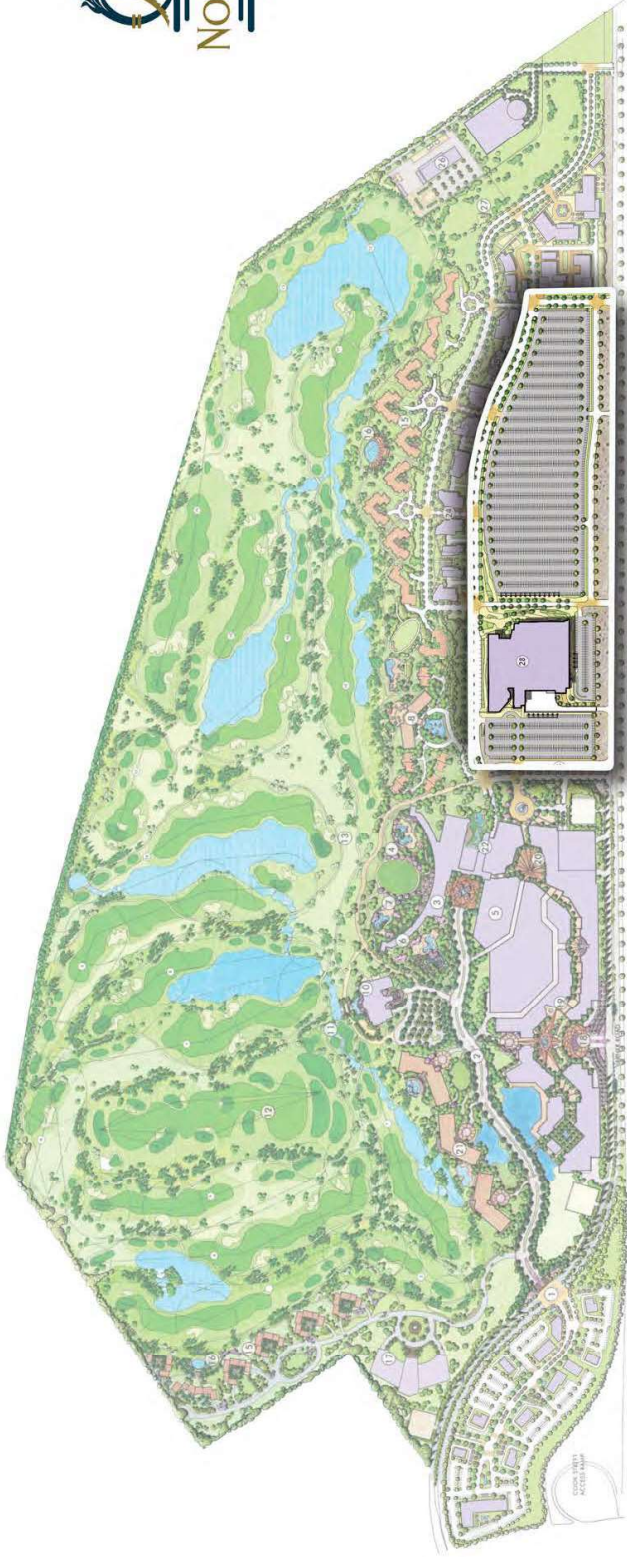
**TABLE IV-5  
DEVELOPMENT STANDARDS**

PLANNING AREA	MINIMUM LOT REQUIREMENTS			MINIMUM SETBACKS			MAXIMUM HEIGHT
	SIZE	WIDTH	DEPTH	FRONT	SIDE	REAR	
<b>1 - Golf Course</b>	None	None	None	25 feet	25 feet	25 feet	75 feet
<b>2 - Golf Clubhouse</b>	None	None	None	25 feet	25 feet	25 feet	75 feet
<b>3 - Resort Hotel</b>	10,000 sq. ft.	None	None	None <sup>1</sup>	None <sup>1</sup>	None <sup>1</sup>	100 feet
<b>4 - Golf View Villas</b>	1,500 sq. ft.	60 feet	100 feet	20 feet	5 feet/10 feet on corner lots	10 feet	75 feet
<b>5 - Timeshare Units</b>	10,000 sq. ft.	None	None	None <sup>1</sup>	None <sup>1</sup>	None <sup>1</sup>	100 feet
<b>6 - Golf View Condos</b>	1,500 sq. ft.	60 feet	100 feet	20 feet	5 feet/10 feet on corner lots	10 feet	75 feet
<b>7 - Retail Village</b>	None	None	None	None <sup>1</sup>	None <sup>1</sup>	None <sup>1</sup>	60 feet
<b>8 - Industrial Park</b>	10,000 sq. ft.	100 feet	None	25 feet to public street	None <sup>2</sup>	None <sup>2</sup>	50 feet <sup>3</sup>
<b>9 - Executive Offices</b>	None	None	None	25 feet	25 feet	25 feet	75 feet
<b>10 - Community Commercial</b>	None	None	None	None <sup>1</sup>	None <sup>1</sup>	None <sup>1</sup>	50 feet
<b>11 - Arena &amp; Event Center</b>	None	None	None	None <sup>1</sup>	None <sup>1</sup>	None <sup>1</sup>	50 feet

<sup>1</sup> Setbacks shall not increase with building height.

<sup>2</sup> 25 feet shall be required on any boundary where the industrial property abuts a residentially or commercially zoned property.

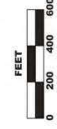
<sup>3</sup> Buildings may be 50 feet to 105 feet if the greater height is allowed pursuant to Section 18.34 of the Riverside County Zoning Ordinance, No. 348.



\*CONCEPTUAL RENDERING

# PLANNING AREA NO. 11 - ARENA AND EVENT CENTER

NORTHSTAR  
40421.03.000 SPECIFIC PLAN  
AMENDMENT NO. 2



**Figure IV-54**

