



RIVERSIDE COUNTY
PLANNING DEPARTMENT

PLANNING DIRECTOR'S HEARING

Carolyn Syms Luna, Director

(DRAFTED 11/03/10)

1:30 P.M.

NOVEMBER 22, 2010

AGENDA

RIVERSIDE COUNTY PLANNING DEPARTMENT
DIRECTOR'S HEARING
DESERT PERMIT ASSISTANCE CENTER
38-686 EL CERRITO ROAD
PALM DESERT, CALIFORNIA 92211

NOTE: Please be aware that the indicated staff recommendation shown below for each item may differ from that presented to the Planning Director during the public hearing.

If you wish to speak, please complete a "SPEAKER IDENTIFICATION FORM" and give it to the Planning Director. The purpose of the public hearing is to allow interested parties to express their concerns. Please do not repeat information already given. If you have no additional information, but wish to be on record, simply give your name and address and state that you agree with the previous speaker(s).

In compliance with the Americans with Disabilities Act, if any accommodations are needed, please contact Desiree Bowie at (951) 955-0222 or E-mail at dbowie@rctlma.org. Request should be made at least 48 hours or as soon as possible prior to the scheduled meeting.

1.0 CONSENT CALENDAR:

1.1 **NONE**

2.0 ITEMS THAT STAFF RECOMMENDS BE CONTINUED WITHOUT DISCUSSION: 1:30 p.m. or as soon as possible thereafter.

2.1 **NONE**

3.0 PUBLIC HEARING ITEMS THAT STAFF RECOMMENDS APPROVAL UNDER ONE MOTION UNLESS THE PLANNING DIRECTOR OR MEMBER OF THE PUBLIC DESIRES TO DISCUSS THE MATTER: 1:30 p.m. or as soon as possible thereafter.

3.1 **NONE**

4.0 PUBLIC HEARINGS: 1:30 p.m. or as soon as possible thereafter.

4.1 **PLOT PLAN NO. 24126** – Intent to Adopt a Mitigated Negative Declaration – Applicant: Royal Street Communications California, LLC – Representative: Veronica Arvizu - Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan: Open Space - Recreation (OS:R) – Location: Northerly of Fred Waring Drive, southerly of Avenue 42, westerly of Cerritos Drive, easterly of Montego Bay Drive, more specifically located at 42360 Adams Street, Bermuda Dunes, CA – 10.76 Gross Acres - Zoning: Open Area Combining Zone Residential Developments (R-5) - **REQUEST:** The Plot Plan proposes a wireless communication facility, for Royal Street Communications California, LLC, as a disguised mono palm tree with palm fronds at a total maximum height of 50 feet. The project will include six (6) panel antennas mounted on the mono palm tree, one (1) GPS antenna, and four (4) outdoor equipment cabinets at grade level within a 460 square foot lease area. APN: 609-280-004. Project Planner, Jay Olivas at 951-955-1195 or e-mail jolivas@rctlma.org. (Quasi-judicial)

- 4.2 **PLOT PLAN NO. 23955** – Intent to Adopt a Mitigated Negative Declaration – Applicant: Royal Street Communications California, LLC – Representative: Veronica Arvizu - Fifth Supervisorial District – Cathedral City – Palm Desert Zoning District – Western Coachella Valley Area Plan: Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC) – Location: Southerly of State Highway 111 (North Palm Canyon Drive), northerly of Range View Drive, more specifically located at 59901 Highway 111, Palm Springs, CA – 1.11 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST:** The Plot Plan proposes a wireless communication facility, for Royal Street Communications California, LLC, as a disguised mono palm tree with palm fronds at a total maximum height of 70 feet. The project will include six (6) panel antennas mounted on the mono palm tree, one (1) GPS antenna, and four (4) outdoor equipment cabinets at grade level within a 600 square foot lease area. APN: 522-200-008. Project Planner, Jay Olivas at 951-955-1195 or e-mail jolivas@rctlma.org (Quasi-judicial)

5.0 PUBLIC COMMENTS:

Agenda Item No.: 4.1
Area Plan: Western Coachella Valley
Zoning District: Cathedral City
Supervisorial District: Fifth
Project Planner: Jay Olivas
Director's Hearing: November 22, 2010

Plot Plan No. 24126
EA Number: 42176
Applicant: Royal Street Communications
Representative: Veronica Arvizu

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The plot plan proposes a wireless communication facility, for Royal Street Communications California, LLC, disguised as a mono palm tree with palm fronds at a total maximum height of 70 feet. The project will include six (6) panel antennas, one (1) GPS antenna, and four (4) equipment shelters at grade level within a 600 square foot lease area.

The project is located in the Western Coachella Valley Area Plan, northerly of Fred Waring Drive, southerly of Avenue 42, westerly of Cerritos Drive, and easterly of Montego Bay Drive in Bermuda Dunes, CA.

ISSUES OF POTENTIAL CONCERN:

The proposed mono palm tree is subject to review by Airports Land Use Commission staff and is located in Airport Compatibility Zone D. ALUC staff has indicated the only issue is generally the obstruction evaluation and the FAA is required to issuance a determination. The FAA determination is expected to be for approval prior to the proposed hearing date of 11/22/10. There are two existing 50' monopalms of the same height on the project site. This would be a third 50' monopalm.

SUMMARY OF FINDINGS:

- | | |
|---------------------------------------|--|
| 1. Existing General Plan Land Use: | Open Space: Open Space - Recreation (OS-R) |
| 2. Surrounding General Plan Land Use: | Community Development: Medium Density Residential (CD:MDR) (2 – 5 Dwelling Units per Acre) |
| 3. Existing Zoning: | Open Area Combining Zone Residential Developments (R-5) |
| 4. Surrounding Zoning: | One Family Dwellings (R-1) |
| 5. Existing Land Use: | Existing Clubhouse site within Bermuda Dunes Country Club |
| 6. Surrounding Land Use: | Clubhouse, single family residences, golf course, existing cell towers |
| 7. Project Data: | Total Acreage: 10.76 Acres
Lease Area: 600 Square Feet |
| 8. Environmental Concerns: | See Attached Environmental Assessment |

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42176**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment;

APPROVAL of **PLOT PLAN NO. 24126**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Open Space: Open Space Recreation (OS-R) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Open Area Combining Zone for Residential Developments (R-5) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project site is designated Open Space: Open Space - Recreation (OS-R) on the Western Coachella Valley Area Plan.
2. The proposed use, wireless telecommunication facility disguised as a 50 foot high palm tree with palm fronds, is a permitted use in the Open Space: Open Space – Recreation (OS-R) land use designation. The Riverside County General Plan requires development have available public facilities and services. The proposed wireless telecommunication facility will provide better phone coverage for the area.
3. The project site is surrounded by properties which are designated Open Space: Open Space Recreation (OS-R) to the north, south, and west, and Medium Density Residential (MDR) (2-5 DU/AC) to the east.
4. The zoning for the subject site is Open Area Combining Zone Residential Developments (R-5).
5. The proposed use, a wireless telecommunication facility disguised as a 50 foot high palm tree with palm fronds is a permitted use, subject to approval of a plot plan in the Open Area Combining Zone Residential Developments (R-5).
6. The proposed height of the wireless telecommunication facility (50 feet) does not exceed the R-5 zone's development standard regarding height, which limits buildings or structures to a height 50 feet.

7. The project site is surrounded by properties which are zoned Open Area Combining Zone Residential Developments (R-5) to the north, south, and west and One Family Dwellings (R-1) to the east.
8. The project is not located within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).
9. Environmental Assessment No. 42176 identified the following potentially significant impacts:
 - a. Aesthetics

These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing (10/18/10), no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A High Fire area.
 - b. A Fault Zone.
 - c. A Flood Zone.
3. The project site is located within:
 - a. The Boundaries of the Desert Sands School District.
 - b. The Sphere of Influence of the City of Palm Desert.
 - c. An Area Susceptible for Subsidence.
 - d. An area of moderate liquefaction potential.
 - e. The boundaries of the Bermuda Dunes Community Council
4. The Bermuda Dunes Community Council has reviewed this project and recommended approval on June 10, 2010.
5. This project was reviewed by the Land Development Committee one time on the following date 07/16/09
6. The subject site is currently designated as Assessor's Parcel Number 609-280-004.
7. This project was filed with the Planning Department on 5/28/09.
8. Deposit Based Fees charged for this project, as of the time of staff report preparation, total approximately \$15,000.

RIVERSIDE COUNTY PLANNING DEPARTMENT

PP24126

VICINITY/POLICY AREAS

Date Drawn: 10/15/10

Vicinity Map

Supervisor Stone

District 3



Zoning District: Bermuda Dunes

Township/Range: T5SR7W

Section: 17

DISCLAIMER: On October 7, 2003, the County of Riverside adopted a new General Plan providing new land use designations for unincorporated Riverside County parcels. The new General Plan may contain different types of land use than is provided for under existing zoning. For further information, please contact the Riverside County Planning Department offices in Riverside at (951) 955-3200 (Western County), or in Indio at (760) 863-8277 (Eastern County) or website at <http://www.ilma.co.riverside.ca.us/index.html>



Assessors Bk. Pg. 609-14

Thomas Bros. Pg. 819 H6

Edition 2009

RIVERSIDE COUNTY PLANNING DEPARTMENT

PP24126

LAND USE

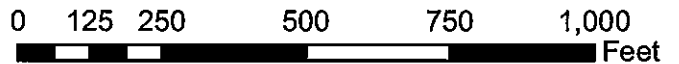
Supervisor Stone
District 3

Date Drawn: 10/15/10
Exhibit 1



Zoning District: Bermuda Dunes
Township/Range: T5SR7W
Section: 17

Assessors Bk. Pg. 609-14
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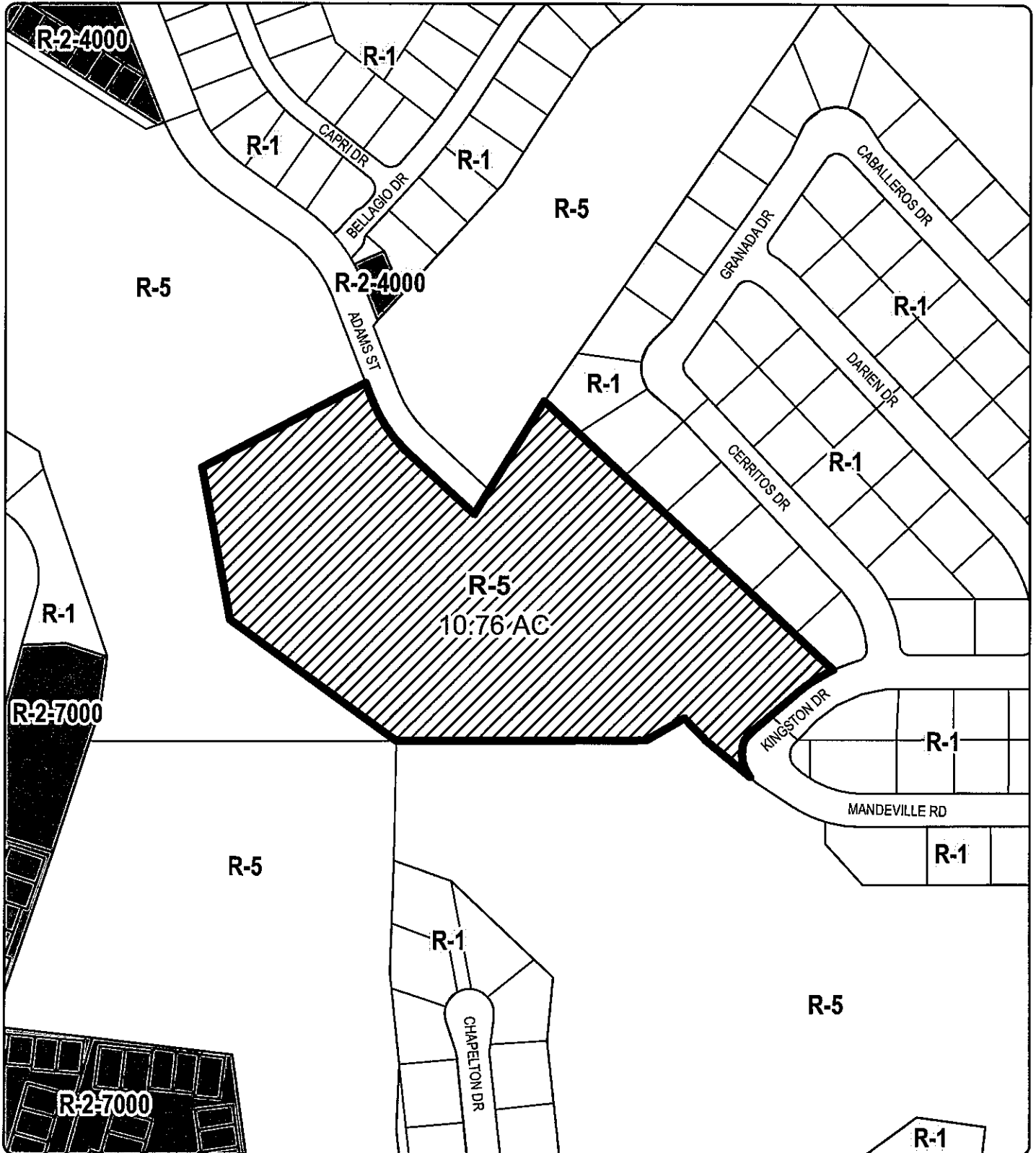
RIVERSIDE COUNTY PLANNING DEPARTMENT

PP24126

EXISTING ZONING

Supervisor Stone
District 3

Date Drawn: 10/15/10
Exhibit 2



Zoning District: Bermuda Dunes
Township/Range: T5SR7W
Section: 17

Assessors Bk. Pg. 609-14
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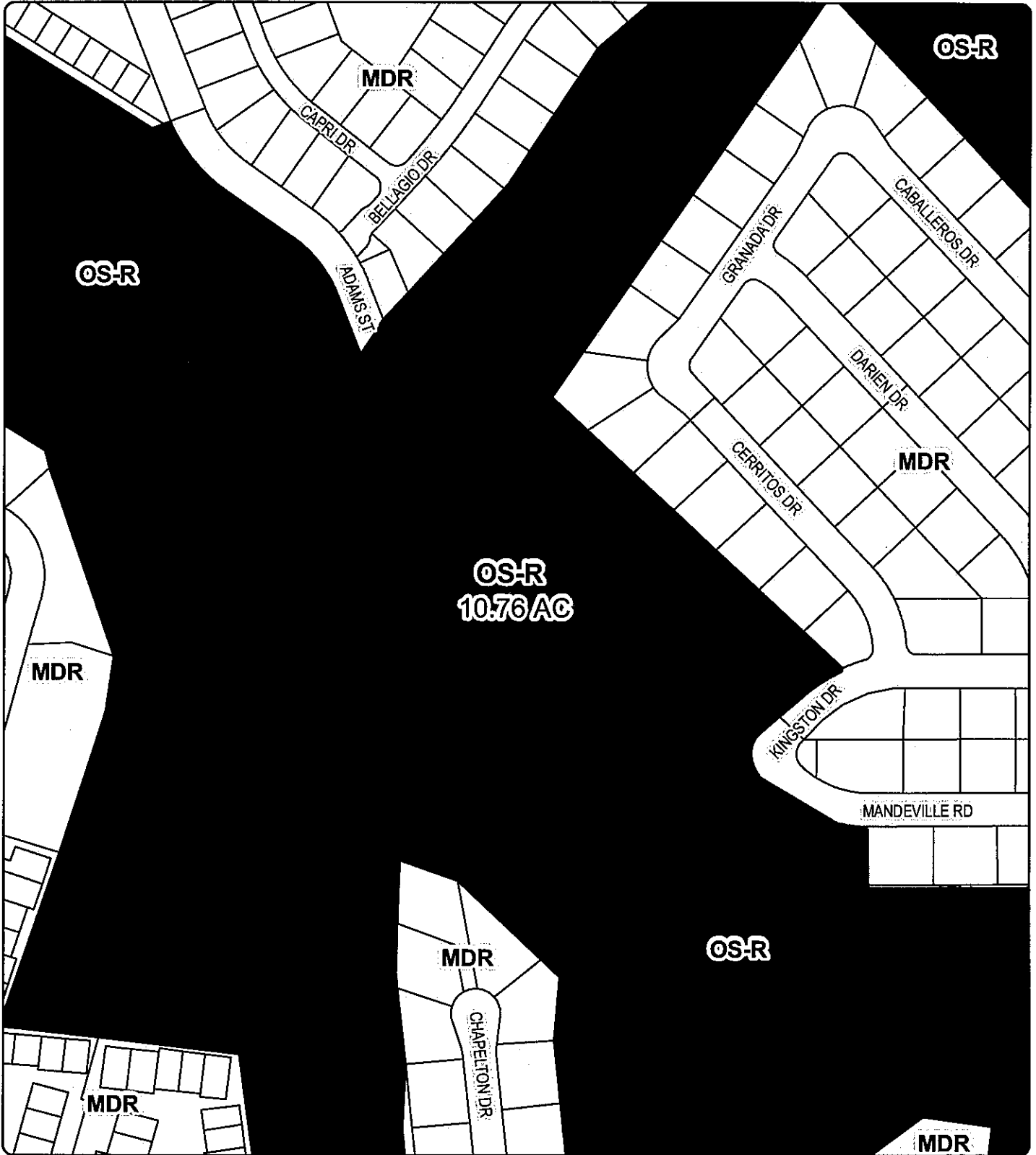
RIVERSIDE COUNTY PLANNING DEPARTMENT

PP24126

EXISTING GENERAL PLAN

Supervisor Stone
District: 3

Date Drawn: 10/15/10
Exhibit 5



Zoning District: Bermuda Dunes
Township/Range: T5SR7W
Section: 17

Assessors Bk. Pg. 609-14
Thomas Bros. Pg. 819 H6
Edition 2009



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Royal Street Communications California, LLC

LA3635A
BERMUDA DUNES COUNTRY CLUB
 42360 ADAMS STREET
 BERMUDA DUNES, CA. 92203

PROJECT TEAM:

SITE ACQUISITION:

NAME: CSM CONSULTING GROUP
 ADDRESS: 29922 HUNTER ROAD, SUITE 105-168
 CITY, STATE, ZIP: LIVERMORE, CA 92553
 CONTACT: TOM HANNA
 PHONE: (925) 822-0253

ZONING:

NAME: CSM CONSULTING GROUP
 ADDRESS: 29922 HUNTER ROAD, SUITE 105-168
 CITY, STATE, ZIP: LIVERMORE, CA 92553
 CONTACT: VERONICA ARVEY
 PHONE: (925) 822-0380

RF ENGINEER:

NAME: METRO PCS
 ADDRESS: 3601 COMMERCE, SUITE 200
 CITY, STATE, ZIP: IRVINE, CA 92618
 CONTACT: LUIS MOLINARO
 PHONE: (714) 750-3169

CONSTRUCTION MANAGER:

NAME: METRO PCS
 ADDRESS: 330 COMMERCE, SUITE 200
 CITY, STATE, ZIP: IRVINE, CA 92618
 CONTACT: MARY WELLS
 PHONE: (949) 757-4857

SURVEYOR:

NAME: CALVADA SURVEYING INC.
 ADDRESS: 411 JENKS CIRCLE, SUITE 205
 CITY, STATE, ZIP: CORONA, CA 92780
 PHONE: (951) 280-1560
 FAX: (951) 280-1746

CIVIL ENGINEER:

NAME: NATIONAL ENGINEERING & CONSULTING, INC.
 ADDRESS: 22362 PALBERTO, SUITE 200
 CITY, STATE, ZIP: RANCHO SANTA MARGARITA, CA 92688-2153
 PHONE: (949) 786-7774
 FAX: (949) 786-7789

STRUCTURAL ENGINEER:

NAME: NATIONAL ENGINEERING & CONSULTING, INC.
 ADDRESS: 22362 PALBERTO, SUITE 200
 CITY, STATE, ZIP: RANCHO SANTA MARGARITA, CA 92688-2153
 PHONE: (949) 786-7774
 FAX: (949) 786-7789

ELECTRICAL ENGINEER:

NAME: NATIONAL ENGINEERING & CONSULTING, INC.
 ADDRESS: 22362 PALBERTO, SUITE 200
 CITY, STATE, ZIP: RANCHO SANTA MARGARITA, CA 92688-2153
 PHONE: (949) 786-7774
 FAX: (949) 786-7789

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF THE INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT CABINETS FOR PERSONAL COMMUNICATION SERVICES WIRELESS TELECOMMUNICATIONS NETWORK. A TOTAL OF (5) PANEL ANTENNAS MOUNTED ON NEW MONOPOLAR (1) GPS ANTENNA AND (4) OUTDOOR EQUIPMENT CABINETS AT GRADE LEVEL ARE PROPOSED.

PROJECT INFORMATION:

APPLICANT:

NAME: CSM CONSULTING GROUP (FOR ROYAL STREET COMMUNICATIONS CALIFORNIA, LLC)
 ADDRESS: 29922 HUNTER ROAD, SUITE 105-168
 CITY, STATE, ZIP: LIVERMORE, CA 92553
 CONTACT: ATIN VERONICA ARVEY (925) 822-0380

NAME: ROYAL STREET COMMUNICATIONS CALIFORNIA C/O: METRO PCS
 ADDRESS: 2913 EL CAMINO REAL #561
 CITY, STATE, ZIP: TUSTIN, CA 92782
 CONTACT: JEFF CLARKE
 PHONE: (714) 238-3242

UTILITY PROVIDERS:

POWER COMPANY: SCE
 CONTACT: JERRY CHAMBERLAIN
 PHONE: (909) 820-5681

TELECO COMPANY: VERIZON
 CONTACT: N/A
 PHONE: (609) 483-5000

PROPERTY INFORMATION:

LANDOWNER: BERMUDA DUNES
 ADDRESS: 42360 ADAMS STREET
 CITY, STATE, ZIP: BERMUDA DUNES, CA 92203
 CONTACT: GUY DAVIS
 PHONE: 710-200-2990

JURISDICTION: COUNTY OF RIVERSIDE
 AREA OF CONSTRUCTION: 490 SQ. FT.
 CURRENT ZONING: R-5
 TYPE OF CONSTRUCTION: I-B
 OCCUPANCY: U
 APN: 609-250-004
 COORDINATES: LATITUDE: 33 47 37" N
 LONGITUDE: 116 17 10" W

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PERMIT WORK NOT CONFORMABLE TO THE LATEST EDITIONS OF THE FOLLOWING CODES:

- 2007 BUILDING STANDARDS ADMINISTRATIVE CODE
- 2007 CALIFORNIA BUILDING CODE (CBC) CODES INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS
- 2007 CALIFORNIA ELECTRICAL CODE (CEC) CODES NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS
- 2007 CALIFORNIA ENERGY CODE
- 2007 CALIFORNIA MECHANICAL CODE (CMC) (2008 INTERNATIONAL MECHANICAL CODE WITH CALIFORNIA AMENDMENTS)
- 2007 CALIFORNIA PLUMBING CODE (CPC) (2008 INTERNATIONAL PLUMBING CODE WITH CALIFORNIA AMENDMENTS)
- ANSI/ISA-222-F LIFE SAFETY CODE NFPA-101
- LOCAL BUILDING CODE
- CITY/COUNTY ORDINANCES

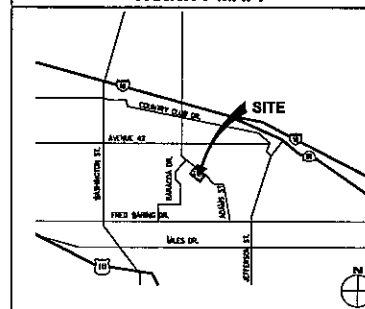
DRIVING DIRECTIONS:

DRIVING DIRECTIONS FROM ROYAL STREET COMMUNICATIONS CALIFORNIA, INC. OFFICE:

- START OUT GOING NORTHEAST ON COMMERCE TOWARD EL CAMINO REAL.
- TURN RIGHT ONTO EL CAMINO REAL.
- TURN LEFT ONTO EL CAMINO REAL N.
- TURN RIGHT ONTO BRYAN AVE.
- TURN LEFT ONTO OLIVER DR.
- TURN LEFT ONTO IRVINE BLVD.
- MERGE ONTO CA-241 N (PORTONS TOLL).
- MERGE ONTO CA-241 N VIA THE EXIT ON THE LEFT (PORTONS TOLL).
- MERGE ONTO CA-60 E TOWARD INDIO.
- MERGE ONTO CA-60 E TOWARD R-215 S/ SAN DIEGO/INDIO.
- MERGE ONTO I-10 E VIA THE EXIT ON THE LEFT.
- TAKE THE WASHINGTON STREET EXIT, EXIT 137.
- TURN RIGHT ONTO WASHINGTON ST.
- TURN LEFT ONTO 42ND AVE/HONEY LN E. CONTINUE TO FOLLOW 42ND AVE.
- TURN RIGHT ONTO ADAMS ST (GATE ACCESS BERMUDA).
- DRIVE AT 42360 ADAMS ST BERMUDA DUNES, CA 92203-0071

THOMAS GUIDE 2008
 REGION RIVERSIDE COUNTY
 PAGE: 219
 GRID: J-4

VICINITY MAP:



SHEET INDEX:

SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	GENERAL NOTES & SPECIFICATIONS
T-3	GENERAL NOTES & SPECIFICATIONS
T-4	GENERAL NOTES & SPECIFICATIONS
LS-1	TOPOGRAPHIC SURVEY
A-1	BOUNDARY DETAIL & SITE PLAN
A-2	CHARGED SITE PLAN AND ANTENNA LAYOUT
A-3	ARCHITECTURAL ELEVATIONS
A-4	ARCHITECTURAL DETAILS
S-1	STRUCTURAL DETAILS
E-1	ELECTRICAL NOTES & SPECS, PANEL SCHED. & 1 LINE DN.
E-2	ELECTRICAL SITE PLAN, POWER PLAN & ELECTRICAL DETAILS
E-3	TOWER & EQUIPMENT GROUNDING WITH DETAILS
L-1	PLANTING AND IRRIGATION PLAN
L-2	LANDSCAPING DETAILS AND SPECIFICATIONS

APPROVALS:

APPROVED BY:	NAME:	DATE:
OWNER:		
LEASING:		
ZONING:		
CONSTRUCTION MANAGER:		
RF ENGINEER:		
PROJECT MANAGER:		
NET DWS:		
UTILITY COORDINATOR:		

Royal Street Communications California, LLC

2913 EL CAMINO REAL #561
 TUSTIN, CA 92782

PROJECT INFORMATION:

LA3635A
BERMUDA DUNES COUNTRY CLUB
 42360 ADAMS STREET
 BERMUDA DUNES, CA. 92203

CURRENT ISSUE DATE:

6/30/10

ISSUED FOR:

CONSTRUCTION

REV. DATE DESCRIPTION BY:

REV.	DATE	DESCRIPTION	BY
1	5/11/09	90% CONSTRUCTION	JS
2	5/14/09	100% CONSTRUCTION	JS
3	10/02/09	LANDSCAPE REV.	GH
4	4/14/10	PLANNER-UTILITY REV.	GH
5	6/30/10	PLAN CHECK CORRECTIONS	JB

PLANS PREPARED BY:

NATIONAL ENGINEERING & CONSULTING, INC.
 22362 PALBERTO, SUITE 200
 RANCHO SANTA MARGARITA, CA 92688-2153
 PHONE: (949) 786-7774
 FAX: (949) 786-7789

CONSULTANT:

NAME: _____
 ADDRESS: _____
 CITY, STATE, ZIP: _____
 PHONE: _____
 FAX: _____

DRAWN BY: CHK. BY: APP. BY:

FAR JW JW

LICENSER: _____

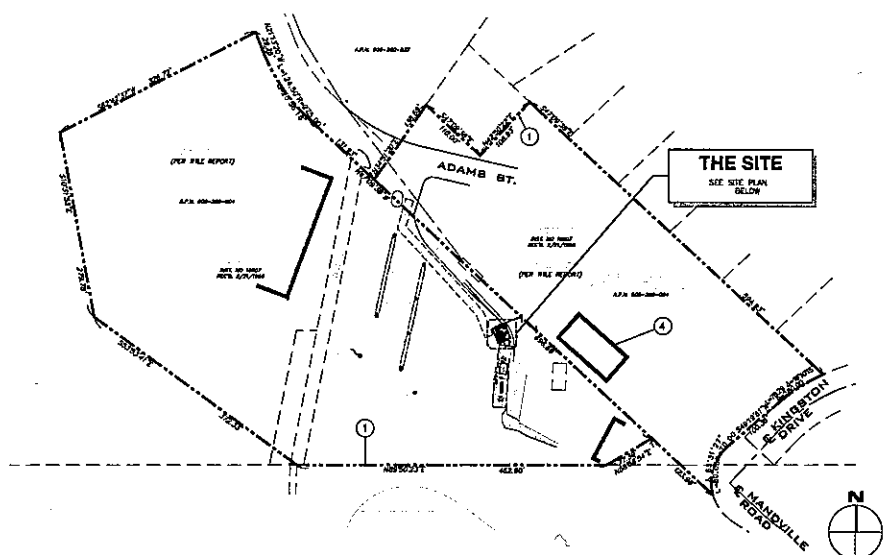
SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

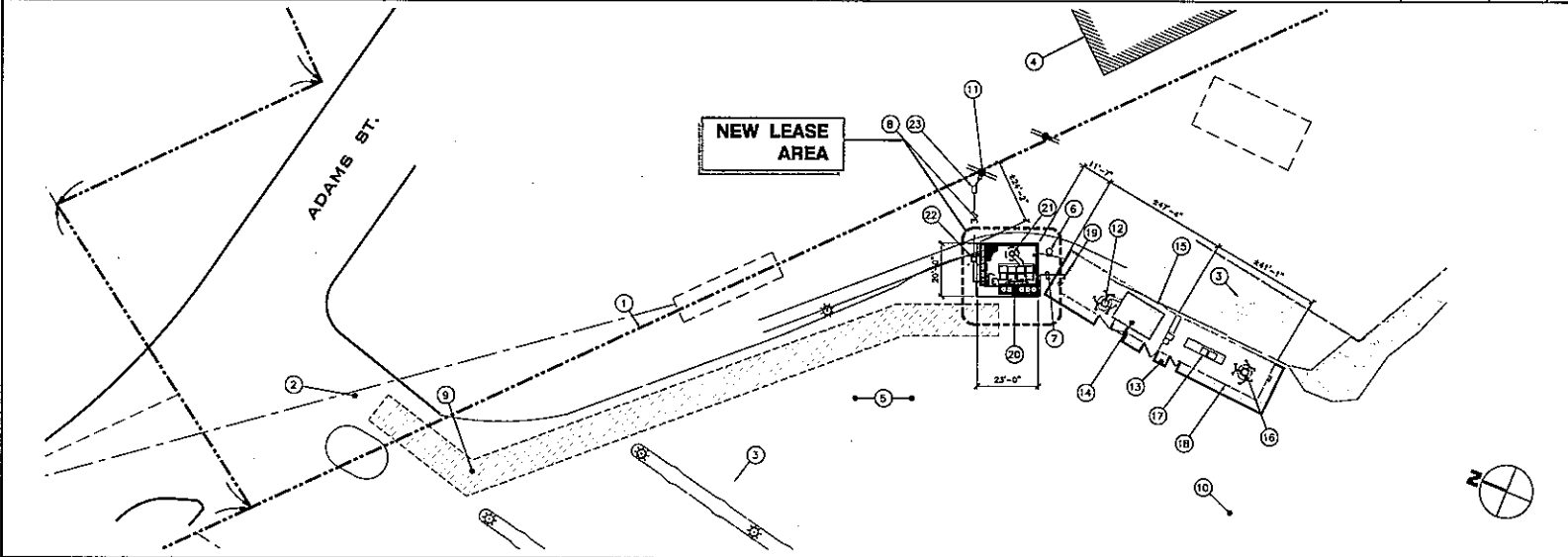
- NOTES:**
- 1 EXISTING PROPERTY LINES.
 - 2 EXISTING SITE ENTRANCE.
 - 3 EXISTING TREES.
 - 4 EXISTING BUILDING.
 - 5 EXISTING ASPHALT PAVEMENT.
 - 6 EXISTING UTILITY POLE WITH SERVICE LIGHT.
 - 7 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA UNDERGROUND TELCO ROUTE. REFER TO ELECTRICAL SHEETS.
 - 8 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA UNDERGROUND POWER ROUTE. APPROX. 140 FT. REFER TO ELECTRICAL SHEETS.
 - 9 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 12' WIDE NON-EXCLUSIVE ACCESS ROUTE ON EXISTING ASPHALT.
 - 10 EXISTING SHRUB.
 - 11 EXISTING UTILITY POLE #222150.
 - 12 EXISTING VERIZON WIRELESS MONOPOLM.
 - 13 EXISTING PLANTER.
 - 14 EXISTING VERIZON WIRELESS EQUIPMENT SHELTER.
 - 15 EXISTING VERIZON WIRELESS CMU WALL ENCLOSURE.
 - 16 EXISTING SPRINT ANTENNAS AND MONOPOLM.
 - 17 EXISTING SPRINT CABINETS.
 - 18 EXISTING SPRINT CMU WALL ENCLOSURE.
 - 19 EXISTING VERIZON TERMINAL #28581 AND NEW ROYAL STREET COMMUNICATIONS CALIFORNIA TELCO P.O.C.
 - 20 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PLANTER AREA. REFER TO LANDSCAPE SHEETS.
 - 21 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 50'-0" HIGH MONOPOLM AND LOCATION OF NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PANEL ANTENNAS.
 - 22 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 200A-150/240V-1ø DUAL METER FEDESTAL. DUAL METER FEDESTAL TO BE FOR EXISTING CARRIER METER AND ROYAL STREET COMMUNICATIONS CALIFORNIA. REFER TO ELECTRICAL SHEETS.
 - 23 EXISTING HAND HOLE AT BASE OF UTILITY POLE #222150 AND NEW ROYAL STREET COMMUNICATIONS CALIFORNIA POWER P.O.C.



KEY NOTES

3 BOUNDARY DETAIL

SCALE: 1"=80'-0" 1



SITE PLAN

SCALE: 1"=20'-0" 2

Royal Street Communications California, LLC
 2913 EL CAMINO REAL #561
 TUSTIN, CA 92782

PROJECT INFORMATION:
LA3635A
BERMUDA DUNES COUNTRY CLUB
 42500 ADAMS STREET
 BERMUDA DUNES, CA 92203

CURRENT ISSUE DATE:
 6/30/10

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
1	5/11/09	80% CONSTRUCTION	JB
2	5/14/09	100% CONSTRUCTION	GH
3	10/02/09	LANDSCAPE REV.	GN
4	4/14/10	PLANNER-UTILITY REV.	GH
5	6/30/10	PLAN CHECK CORRECTIONS	JB

PLANS PREPARED BY:
NATIONAL ENGINEERING & CONSULTING, INC.
 20000 BARNETT BLVD. #200
 FORT WORTH, TEXAS 76181-3701
 WWW.NATIONAL-ENGINEERING.COM

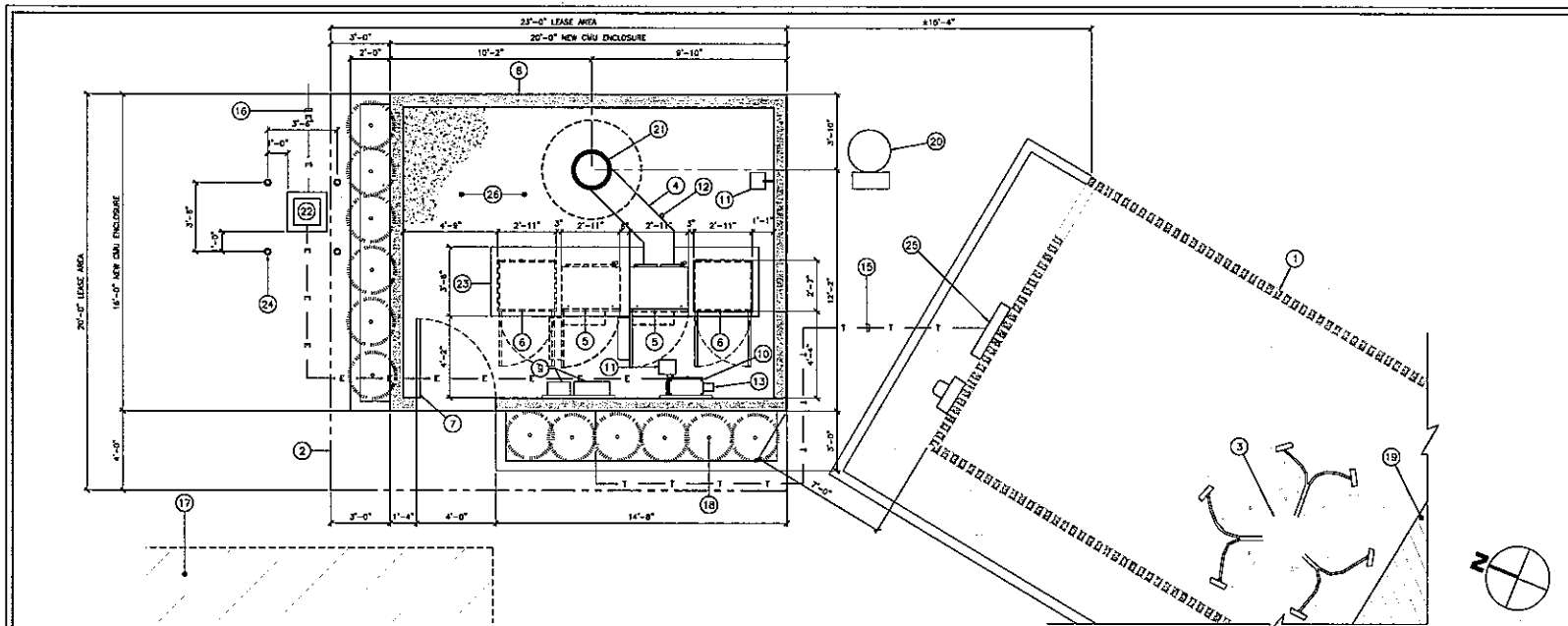
CONSULTANT:

DRAWN BY: FAR **CHK:** JW **APV:** JW

LICENSER:

SHEET TITLE:
BOUNDARY DETAIL & SITE PLAN

SHEET NUMBER:
A-1



ENLARGED SITE PLAN

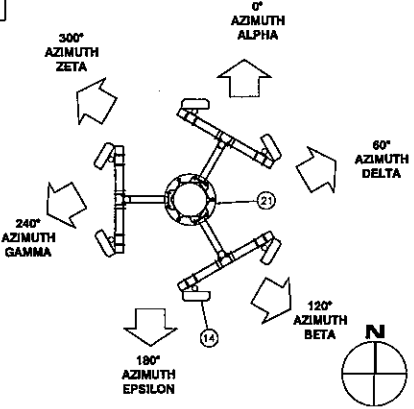
SCALE: 1/8" = 1'-0"

NOTES:
 1. NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PANEL ANTENNAS = 87" (10.5" WALS).
 2. PALM TREE FRONDS NOT SHOWN FOR CLARITY.

ANTENNA & CABLE SCHEDULE					
ANTENNA SECTOR	AZIMUTH	CABLE SIZE	OMNIBUS CABLE LENGTH	SP. HEIGHT	RAD. CR.
SECTOR ALPHA	0°	7/8"	85.1	85'-0"	47'-7.5"
SECTOR DELTA	60°	7/8"	85.1	85'-0"	47'-7.5"
SECTOR BETA	120°	7/8"	85.1	85'-0"	47'-7.5"
SECTOR EPSILON	180°	7/8"	85.1	85'-0"	47'-7.5"
SECTOR GAMMA	240°	7/8"	85.1	85'-0"	47'-7.5"
SECTOR ZETA	300°	7/8"	85.1	85'-0"	47'-7.5"

CONTRACTOR TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING, FABRICATING OR INSTALLATION OF CABLES.

COAX CABLE SIZE SCHEDULE		
100' (1/2") < 50'	100' (1/2") 50' - 125'	100' (1-1/2") 125' - 300'



ANTENNA LAYOUT

SCALE: N.T.S. 2

NOTES:

- EXISTING VERIZON WIRELESS CMU ENCLOSURE.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 25' x 23'-4-1/2" SD. FT. EQUIPMENT LEASE AREA LOCATED AT GROUND LEVEL.
- EXISTING VERIZON MONOPOL.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA COAX CABLE TRAY.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA BTS EQUIPMENT CABINETS MOUNTED TO NEW CONCRETE PAD.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA EZ900 BATTERY CABINETS MOUNTED TO NEW CONCRETE PAD.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 4'-0" WIDE ACCESS GATE, COLORED AND TEXTURED TO MATCH EXISTING. REFER TO STRUCTURAL SHEETS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 8" HIGH CMU BLOCK WALL COLORED AND TEXTURED TO MATCH EXISTING. REFER TO STRUCTURAL SHEETS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA FLEXBET 8 FT. CABINET. REFER TO ELECTRICAL SHEETS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PPC CABINET. REFER TO ELECTRICAL SHEETS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA SERVICE LOOPS. TYPICAL OF 2. REFER TO ELECTRICAL SHEETS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA GPS ANTENNA.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA COORDINATOR RECEIPTABLE. REFER TO ELECTRICAL SHEETS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PANEL ANTENNAS MOUNTED ON NEW MONOPOL. (1) ANTENNA PER SECTOR. (6) SECTORS TOTAL ANTENNAS. PAINTED TO MATCH TRUSS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA UNDERGROUND TELCO ROUTE. (APPROX. 815 FT.) REFER TO ELECTRICAL SHEETS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA UNDERGROUND POWER ROUTE. APPROX. 240 FT. REFER TO ELECTRICAL SHEETS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 1/2" WIDE NON-EXCLUSIVE ACCESS ROUTE ON EXISTING ASPHALT.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA FOURSEEN TREES TO MATCH EXISTING LANDSCAPE. REFER TO LANDSCAPE SHEETS.
- EXISTING VERIZON WIRELESS EQUIPMENT SHELTER.
- EXISTING UTILITY POLE WITH SERVICE LIGHT.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 50'-0" HIGH MONOPOL AND LOCATION OF NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PANEL ANTENNAS.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 200A, 120/240V, 18 DIAL METER.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA RAISED CONCRETE PAD.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA BOLLARDS. TYPICAL OF 4.
- EXISTING VERIZON TERMINAL, E2581 AND NEW ROYAL STREET COMMUNICATIONS CALIFORNIA TELCO P.O.C.
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA CONCRETE SLAB.

KEY NOTES 3

Royal Street Communications California, LLC
 2913 EL CAMINO REAL #581
 TUSTIN, CA 92782

PROJECT INFORMATION:
LA3635A
BERMUDA DUNES COUNTRY CLUB
 42360 ADAMS STREET
 BERMUDA DUNES, CA 92003

CURRENT ISSUE DATE:
6/30/10

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
1	5/11/09	90% CONSTRUCTION	JB
2	5/14/09	100% CONSTRUCTION	GN
3	10/02/09	LANDSCAPE REV.	GN
4	4/14/10	PLANNER-UTILITY REV.	GN
5	6/30/10	PLANT CHECK CORRECTIONS	JB

PLANS PREPARED BY:
NATIONAL
 ENGINEERING & CONSULTING, INC.
 4800 OLIVE STREET, SUITE 800
 FARMERS BRANCH, TEXAS 75448, USA
 PHONE: 972-261-1111
 WWW.NATIONAL-INC.COM

CONSULTANT:

DRAWN BY: _____ CHK: _____ APV: _____
 FAR JN JH

LICENSER:

SHEET TITLE:
ENLARGED SITE PLAN AND ANTENNA LAYOUT

SHEET NUMBER:
A-2

**Royal Street
Communications
California, LLC**

2913 EL CAMINO REAL #561
TUSTIN, CA 92782

PROJECT INFORMATION:

LA3635A
BERMUDA DUNES
COUNTRY CLUB
42360 ADAMS STREET
BERMUDA DUNES, CA 92203

CURRENT ISSUE DATE:

6/30/10

ISSUED FOR:

CONSTRUCTION

REV. DATE DESCRIPTION BY

REV.	DATE	DESCRIPTION	BY
6/30/10		PLAN CHECK CORRECTIONS	JB
4	4/14/10	PLANNER-UTILITY REV.	GN
3	10/02/09	LANDSCAPE REV.	GN
2	5/14/09	100% CONSTRUCTION	GN
1	5/11/09	90% CONSTRUCTION	JB

PLANS PREPARED BY:

NATIONAL
ENGINEERING & CONSULTING, INC.
SERIES 50 PERMIT DATE FOR
ARCHITECTURE: 08/11/09
FOR THE STATE OF CALIFORNIA
WWW.NATIONAL-ENS.COM

CONSULTANT:

Blank area for consultant information.

DRAWN BY: FAR CHK: JW APV: JW

LICENSER:

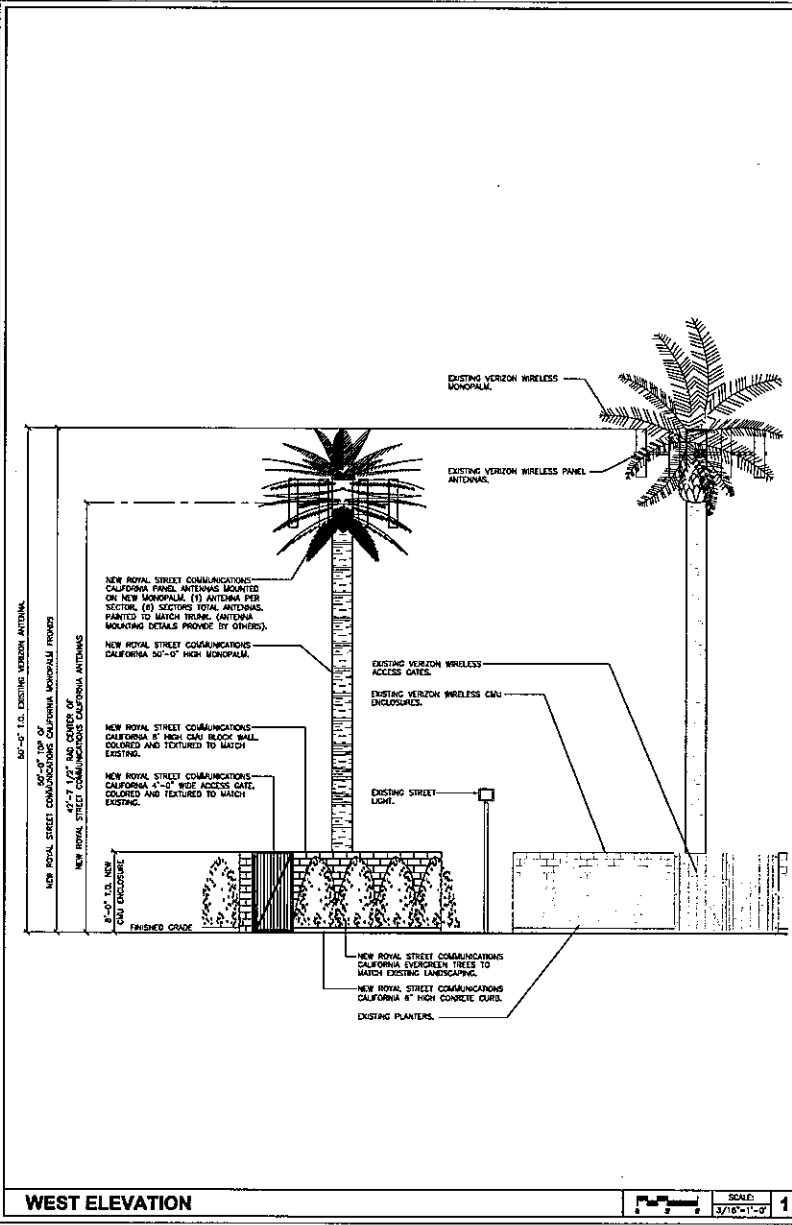
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SHEET TITLE:

**ARCHITECTURAL
ELEVATIONS**

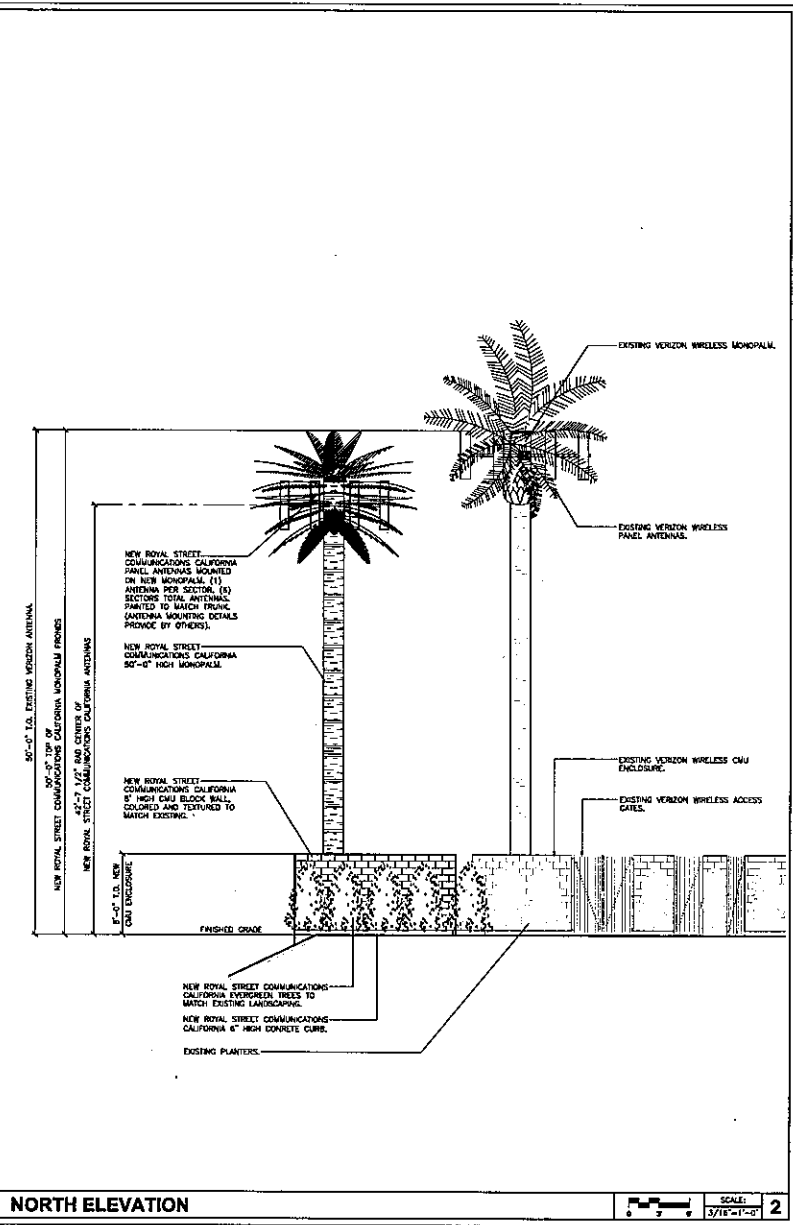
SHEET NUMBER:

A-3



WEST ELEVATION

SCALE: 3/16"=1'-0" 1



NORTH ELEVATION

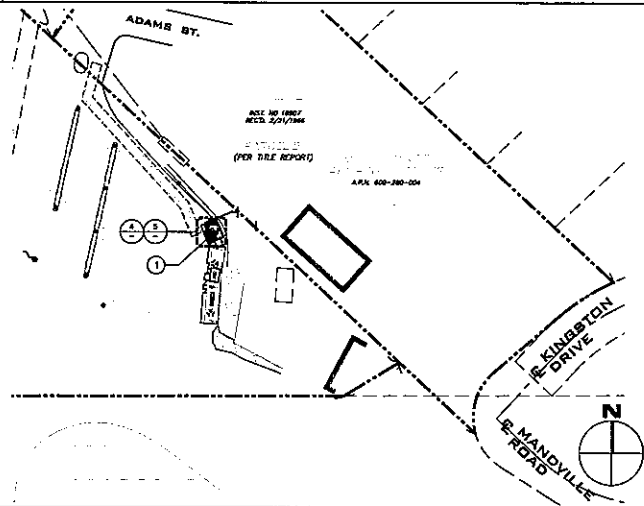
SCALE: 3/16"=1'-0" 2

IRRIGATION LEGEND:

	VALVE CALL-OUT
	WILKINS YSRB WYE STRAINER 30 MESH OR GREATER
	EXISTING WATER METER BALL VALVE
	RANBERG EFS-CP ELECTRIC CONTROL VALVE IN PVC BOX BELOW GRADE
	FEBCO 710A/715 ATMOSPHERIC BACKFLOW PREVENTER, 12" ABOVE HIGHEST HEAD
	4 STATION CLOCK, ESP-SMT SERIES - OUTDOOR TYPE
	RAIN BIRD
	RAIN SWITCH
	LATERAL LINE 50L 40 SIZE AS SHOWN, 12" BELOW GRADE
	MAIN LINE 15 PVC CL2110 24" UNDER FINISH IN SLEEVES 2 TIMES DIA. OF PIPE
	TURN DOWN FROM FULL OPEN
	POP-UP SPRAY SPRINKLER
	RAIN BIRD
	BUBBLER
	RAIN BIRD
	BUBBLER
	RAIN BIRD
	BUBBLER
	RAIN BIRD
	BUBBLER
	RAIN BIRD
	BUBBLER

NOTE:
ALL AREAS INCLUDING PARKWAY AND SETBACKS NOT DESIGNATED FOR PAVING OR BALDING SHALL BE LANDSCAPED AND PERMANENTLY MAINTAINED. THE DEVELOPER/OWNER IS RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE AND MAINTENANCE COSTS AND MUST ENSURE THAT CONSTANT LANDSCAPE MAINTENANCE IS ESTABLISHED FOR THE LIFE OF THIS PROJECT.

NOTES:
1. ANY TREES AND/OR LANDSCAPE MATERIAL DAMAGED BY CONSTRUCTION WILL BE REPLACED WITH SIMILAR SIZE MATERIAL OR AS APPROVED BY PUBLIC FACILITIES DEVELOPMENT.
2. CONTRACTOR TO RELOCATE EXISTING IRRIGATION TUBES AS NECESSARY.
3. ALL EXISTING PLANTS SHALL BE PROTECTED OR REPLACED IF DAMAGED OR IN POOR CONDITION.
4. EXISTING IRRIGATION SHALL BE FUNCTIONING EFFECTIVELY AND PROVIDE 100% COVERAGE OR PROVIDE REPAIR OR REPLACEMENT IF NOT.



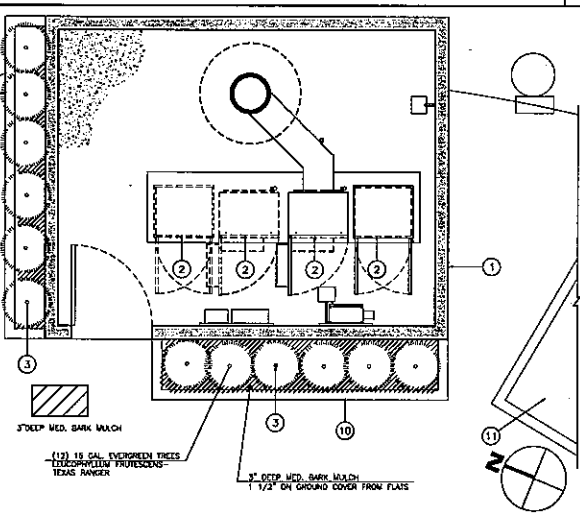
COUNTY OF RIVERSIDE WATER BUDGET

MANA (in gallons) = (170)(0.82)(76)(1.0) = 1,076.10
MARA = 72.77 x 0.82 x (0.7 x 50) + 0.3 x 0 = 1,576.10 gallons
EAMU (in gallons) = (EFS)(0.82) + [(RPT + RA)(0.3) + RA]
EAMU = 72.77 x 0.82 + [(0.2 x 60 + 1.3)(0.7) + 0] = 636.45 gallons
TOTAL EAMU (in gallons) = SUM OF ALL EAMU HYDROZONES x 0.80
636.45 x 0.80 = 509.16 gallons
MARA-TOTAL EAMU-WATER BUDGET
1,076.10 - 509.16 = 1,415.87 gallons

LEGEND & NOTES

- SCALE: NONE 2
- NOTES:**
- NEW ROYAL STREET COMMUNICATIONS CALIFORNIA EQUIPMENT LEASE AREA.
 - NEW ROYAL STREET COMMUNICATIONS CALIFORNIA EQUIPMENT CABINETS ON A RAISED CONCRETE PAD.
 - NEW ROYAL STREET COMMUNICATIONS CALIFORNIA (12) 15 GAL EVERGREEN TREES-LEUCOPHYLLUM PROSTRATUS-TEXAS RANGER.
 - NEW ATMOSPHERIC BACKFLOW W/ PRESSURE REDUCATOR.
 - NEW WALL MOUNTED CLOCK.
 - NEW BUBBLER HEAD, TYPICAL.
 - 3/4" SCH 40 PVC LATERAL LINE BURIED 12" BELOW GRADE.
 - 1" BALL VALVE.
 - NEW REMOTE CONTROL VALVE.
 - NEW PLANTER CURB.
 - EXISTING LANDSCAPING.
 - WILKINS YSRB WYE STRAINER.
 - RAIN SWITCH.

KEY NOTES



PLANTING PLAN

KEY PLAN

PRESSURE LOSS CALC.

VALVE NO. 8-2 BALL BIRD EFS-CP SERIES 1" 1/2 S.S. VALV. HEAD	1.00
3/4" WATER METER	-0.50
1" PVC BOX W/ BRASS LINE (ALLOW 10')	-1.00
CLOSE VALVE	-0.50
1" PVC BOX W/ BRASS LINE (1')	-0.50
1" BRASS CONTROL VALVE	-1.00
FOR BRASS FITTINGS/TERMINALS ELEVATION DIFFERENCE (0.07')	-1.00
Sub-TOTAL PRESSURE LOSS	-11.50
SPRINKLER INCREASMENTS	+20.00
TOTAL PRESSURE LOSS	-9.50
STATIC PRESSURE AVAILABLE	+40.00
REMAINING PRESSURE	+30.50

RUBBER SYSTEMS

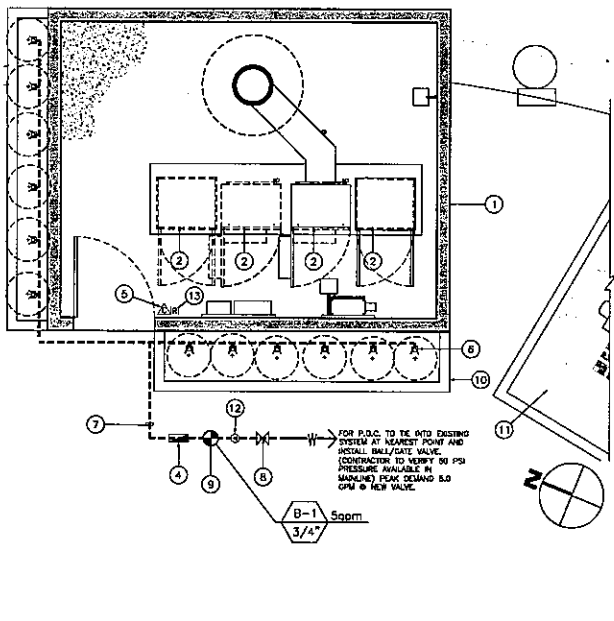
DAY	MON	TUE	WED	THUR	FRI	SAT	SUN	MON	TUE	WED	THUR	FRI	SAT	SUN
WETTED PER DAY	1	1	1	1	1	1	1	1	1	1	1	1	1	1
DAYS PER WEEK	3/1	3/2	3/3	3/4	3/5	3/6	3/7	3/8	3/9	3/10	3/11	3/12	3/13	3/14
WEEKS PER MONTH	11	11	11	11	11	11	11	11	11	11	11	11	11	11
MONTHS PER YEAR	11	11	11	11	11	11	11	11	11	11	11	11	11	11

(RUN 2 CYCLES W/ A DAY FOR FRESHLY PLANTED AREAS)

PREP. SCHEDULES ARE CONTINGENT ONLY AND ARE NOT MEANT TO REPLACE GOOD LANDSCAPE MAINTENANCE. PROCEDURES FOR PLANT CARE, NEWLY PLANTED LANDSCAPES MUST HAVE SOME WETTED AREAS MORE FREQUENTLY IN WARM AND UNUSUAL WINDS TO COMPENSATE FOR CLIMATIC VARIATIONS. TEMPERATURE, HUMIDITY, AND LIGHT WILL REQUIRE SOME ON SITE WATER BE APPLIED. MAINTENANCE PERSONNEL MUST BE SCHEDULED TO BE AVAILABLE AT EACH MONTHLY. SET MULTI CYCLES FREQUENTLY TO MAKE SURE AREAS ARE NOT BEING OVER OR UNDER WATERED. ADJUST THE SCHEDULE AS NEEDED TO CORRECT FOR EITHER OF THESE SITUATIONS.

WATER USE FACTOR:
SHRUB - LOW

NOTE:
ALL LATERAL LINES WILL BE 3/4" MN SIZE UNLESS OTHERWISE NOTED.



IRRIGATION PLAN

Royal Street Communications California, LLC
2913 EL CAMINO REAL #561
TUSTIN, CA 92782

PROJECT INFORMATION:
LA3835A
BERMUDA DUNES COUNTRY CLUB
42300 ADAMS STREET
BERMUDA DUNES, CA 92003

CURRENT ISSUE DATE:
6/30/10

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
1	5/11/09	BOX CONSTRUCTION	JB
2	5/14/09	100% CONSTRUCTION	GN
3	10/02/09	LANDSCAPE REV.	GN
4	4/14/10	PLANNER-UTILITY REV.	JB
5	6/30/10	PLAN CHECK CORRECTIONS	GN

PLANS PREPARED BY:
NATIONAL ENGINEERING & CONSULTING, INC.
20080 ORCHARD WAY, SUITE 100
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CONSULTANT:

DRAWN BY: CHK: APV:
FAR JW JW

LICENSER:

SHEET TITLE:
PLANTING & IRRIGATION PLAN

SHEET NUMBER:
L-1

GENERAL NOTES:

- CONTRACTOR SHALL OBTAIN CLARIFICATION TO QUESTIONS RELATIVE TO THE DRAWING BEFORE SUBMITTING A BID.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PAINT TREATMENT OF THE WORK AND PRIMARY MAINTENANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING BARRIERS WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UNDERGROUND ELEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO MATERIALS BEING DELIVERED TO THE JOB SITE.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND LICENSES AND ASSUME THAT ALL WORK TO BE PERFORMED MEETS OR EXCEEDS ALL APPLICABLE CODES AND ORDINANCES OF PRIVATE OR GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION BETWEEN SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PROJECT INSPECTIONS CALLED FOR IN THE GENERAL CONDITIONS OF APPROVAL OR INDIVIDUAL SUBSISTIONS SHALL BE COMPLETED BEFORE SUCCEEDING WORK IS STARTED. ANY WORK COVERED BEFORE REQUIRED INSPECTIONS ARE COMPLETED WILL BE EXPOSED FOR REVIEW AT THE CONTRACTOR'S EXPENSE.

IRRIGATION GENERAL NOTES:

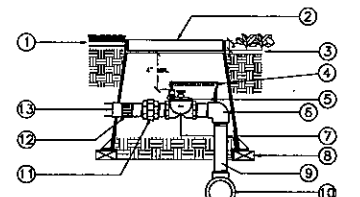
- ALL MAIN LINE, LATERAL PIPING AND CONTROL WELLS UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE AND LATERAL LINE SLEEVES SHALL BE A MINIMUM OF THREE (3) TIMES THE DIAMETER OF THE PIPE TO BE SLEAVED. CONTROL WIRE SLEEVING SHALL BE SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING.
- ALL LATERAL LINE DRIP UNDER PAVING SHALL BE SCHEDULE 40 PVC PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF LARGER SIZES MAY BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED BY THE OWNER. EXCESSIVE PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REDACTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY OWNERS AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE PEDESTAL FOR CONTROLLER ASSEMBLY. CONTRACTOR SHALL PROVIDE ALL CONNECTIONS FROM PEDESTAL TO CONTROLLER ASSEMBLY.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY DRAIN WAYS. STRIKES SHALL BE SLEAVED.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNUSUAL OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.
- ANTI-FRIZING VALVES AS SHOWN IN THE DETAILS MAY NOT BE REQUIRED ON ALL HEADS. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL VERIFY THE ON SITE GRADES. IF THERE IS AN ELEVATION DIFFERENCE OF 24 INCHES OR MORE BETWEEN THE HIGHEST HEAD AND THE LOWEST HEAD ON THE SYSTEM, THE VALVES SHALL BE INSTALLED PER THE DETAIL.
- THE DESIGN USER DIAGRAMMATIC ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHENEVER POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHRUB AREAS.
- THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE TO BE AS STATED ON THE SYSTEM REQUIREMENT. SHOULD THIS STATIC PRESSURE EXCEED 20% OF THE DESIGN PRESSURE, INSTALL A BRIDGES 500 SERIES PRESSURE REGULATING VALVE ON SEPARATE VALVE BODY DIRECTLY DOWNSTREAM OF THE IRRIGATION P.I.C. SET THE REGULATING VALVE 15% HIGHER THAN THE STATED SYSTEM REQUIREMENTS. SHOULD THE STATIC PRESSURE BE LESS THAN THE STATED PRESSURE, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- ALL STATED CALLOUTS AND VALVE CALL-OUTS ARE ROUNDED UP TO THE NEAREST CALLOUT.
- ALL SHRUB SPRAY HEADS SHALL BE MOUNTED ON 12" RISERS UNLESS ADJACENT TO ANY HARDSCAPE AND/OR DIRT.
- ALL LANDSCAPE PLAN SHALL MEET CURRENT CITY STANDARDS AS LISTED IN THE LANDSCAPE DEVELOPMENT STANDARDS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS, OR AS OTHERWISE OBTAINED IN WRITING FROM PUBLIC FACILITIES DEVELOPMENT.
- LANDSCAPE PLANS ARE SUBJECT TO REVIEW BY THE CITY'S ENGINEERING DEPARTMENT FOR COMPLIANCE WITH REGIONAL MODEL STORM WATER QUALITY MANAGEMENT PLANS REQUIREMENTS. COORDINATE LANDSCAPE PLANS WITH CIVIL PLANS FOR REQUIREMENTS AND CONDITIONS.
- ALL AREAS INCLUDING PARKWAYS AND DETERMINED SETBACKS NOT DESIGNATED FOR PAVING, SIDEWALKS OR BUILDING SHALL BE LANDSCAPED AND PERMANENTLY MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE COSTS AND MUST ENSURE THAT ALL CONSTANT LANDSCAPE MAINTENANCE IS ESTABLISHED FOR THE LIFE OF THIS PROJECT.

PLANTING NOTES:

- THESE DESIGN DRAWINGS ARE DIAGRAMMATIC, SHOWING INTENDED LOCATIONS AND RELATIONSHIPS OF PLANT ELEMENTS. FINAL SITE CONDITIONS, ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL, BY CLIENT OR THEIR REPRESENTATIVE. CONTRACTOR SHALL SUBMIT A LIST OF AVAILABILITY FOR ALL PAINT TREES 30 DAYS BEFORE SCHEDULED PLANTING FOR APPROVAL AT THE HONOLULU BY CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING PLANT MATERIAL FREE OF PEST OR DISEASES AND NORMAL IN FORM FOR THE SPECIES AND DESIGN CALLED FOR ON THE PLANS.
- IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL. TREES INSTALLED AND A COVERAGE TEST COMPLETED PRIOR TO ANY CONTAINER PLANTING OR APPLICATION OF BARK MULCH.
- THE APPROPRIATE SOIL AMENDMENT SHALL BE APPLIED TO ALL PLANTING AREAS PER THE SOIL AMENDMENT SCHEDULE ON THE PLANS.
- CONTRACTOR SHALL NOT INSTALL PLANT MATERIAL THAT IS WATLED OR HAS A DAMAGED ROOT BALL.
- THE CROWN AREA OF SHRUBS SHALL BE 2" HIGHER, AFTER SETTLING, THAT ADJACENT FINISHED GRADE.
- UNLESS OTHERWISE NOTED, ALL LANDSCAPED AREAS, TO BE TOP DRESSED WITH A 2" LAYER OF SINGLE GRADE SHREDDED BARK MULCH AFTER ALL PLANTING IS COMPLETED. THIS LAYER IS IN ADDITION TO SOIL AMENDMENT MATERIAL.
- CONTRACTOR TO INCLUDE IN THE BID A PRICE FOR COMPLETE MAINTENANCE OF ALL WORK FOR 30 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, KEEPING ALL AREAS WELLS FREE, WATERED, PEST AND DISEASE FREE AND ALL OTHER WORK NECESSARY FOR HEALTHY, MODURUS AND CLEAN APPEARANCE.
- CONTRACTOR TO INCLUDE IN THE BID PRICE ALL PAINTS SHALL BE GUARANTEED TO GROW IN A HEALTHY MANNER FOR A PERIOD OF NOT LESS THAN ONE YEAR. FROM THE DATE OF PLANTING. ALL OTHER CONTAINER PLANTS SHALL BE GUARANTEED TO BE IN A HEALTHY CONDITION AT THE END OF THE 90 DAY MAINTENANCE PERIOD. EXCEPT PLANTS WHICH SHALL BE REPLACED ANY TIME DURING THE ONE YEAR GUARANTEE PERIOD.

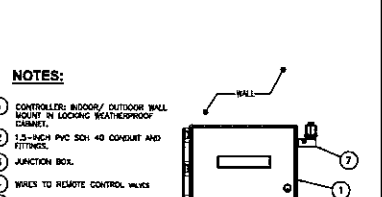
MAINTENANCE:

- A QUALIFIED PERSON SHALL BE COMPLETELY RESPONSIBLE FOR OPERATING THE IRRIGATION SYSTEMS, WITH THE DUTIES OF ADJUSTING CONTROLLERS, OPERATING THE EFFICIENCY OF THE IRRIGATION SYSTEMS AND MAINTAINING ADJUSTMENTS TO THE SYSTEM.
- THE IRRIGATION SYSTEM SHALL BE MAINTAINED FOR OPTIMUM PERFORMANCE. THIS INCLUDES CLEANING AND ADJUSTING ALL SPRINKLER HEADS AND VALVES FOR PROPER OPERATION.
- A CHART SHALL BE MAINTAINED TO RECORD CURRENT IRRIGATION PROGRAMS, INCLUDING DATE, TIME AND LENGTH OF RATIOING FOR EACH STATION AND PROGRAM FOR EACH CONTROLLER.
- ADJUSTMENTS OF THE IRRIGATION SYSTEM, IN OPERATION, SHALL BE MADE WEEKLY DURING SUMMER MONTHS, APRIL THROUGH OCTOBER, AND BI-WEEKLY NOVEMBER THROUGH MARCH, TO REFLECT ANY MAINTENANCE OF THE SYSTEM.
- CHECK FOR LEAKS OR WET SPOTS.
- TURN ON EACH STATION WITH THE CONTROLLER AND CHECK IT TO ENSURE THAT IT OPERATES CORRECTLY-OPENING AND CLOSING.
- USUALLY OBSERVE EACH SPRINKLER HEAD / NOZZLE FOR PROPER OPERATION, SPRAY PATTERN, PRESSURE AND WATER DISTRIBUTION.
- A SOIL SAMPLING PROBE AND/OR A TENSIO-METER SHALL BE USED REGULARLY TO EVALUATE ACTUAL SOIL MOISTURE LEVELS AND IRRIGATION SCHEDULE.
- CHECK AT LEAST WEEKLY TO MAKE SURE AREAS ARE NOT BEING OVER OR UNDER WATERED. ADJUST THE SCHEDULE AS NEEDED TO CORRECT FOR EITHER OF THESE SITUATIONS. RESET THE SCHEDULE ON YOUR CONTROLLER AT LEAST MONTHLY, AT THIS TIME, CHECK THE TIME ON THE CONTROLLER TO MAKE SURE THAT IT IS CORRECT.
- CHECK THE WATER BILL FOR EXCESSIVE CONSUMPTION.
- LOOK AT THE GENERAL HEALTH OF THE PLANT MATERIAL.
- MAKE DESIGN ADJUSTMENTS (MOVING / DELETING OR MOVING OF HEADS, CHANGING NOZZLE TYPES, TIGHTENING OR LOOSING OF PLANT MATERIAL) SO THAT PROBLEMS CAN BE ELIMINATED INSTANTLY OF THE PLANT MATERIAL.
- ALL MANUFACTURING EQUIPMENT MUST BE REPAIRED PRIOR TO THE NEXT SCHEDULED IRRIGATION.
- ALL REPLACEMENT HEADS SHALL BE OF THE SAME MANUFACTURER, TYPE, AND APPLICATION RATES.
- MULCHED AREAS MUST BE REPLENISHED AS MULCH DECOMPOSES.
- ALL AREAS MUST BE KEPT FREE OF THE USE OF ORGANIC MULCHES, HAWD REMOVAL, CHEMICAL CONTROLS- IN THAT ORDER.
- FERTILISER SHALL BE APPLIED AS NEEDED USING SLOW RELEASE ORGANIC BASED MATERIALS IN APRIL AND OCTOBER. USE AS INDICATED BY SOIL TEST ANALYSIS.
- SHRUB PRUNING SHALL BE PERFORMED AS NEEDED TO MAINTAIN A NATURAL APPEARANCE. SHRUBS ARE ATTENDED TO FULL THE PLANTING SPACE AS MUCH AS POSSIBLE. DO NOT POWER PRUNE SHRUBS INTO COB TWIGGY SHRUBS.
- TREE PRUNING SHALL BE PERFORMED AS NEEDED TO MAINTAIN A NATURAL APPEARANCE. TREES MAY BE PRUNED TO CORRECT STRUCTURAL DEFECTS OR THRUED TO REDUCE WIND DAMAGE.
- SPRINKER COVER AREAS SHALL BE CHECKED FOR, AS THEY MAY INDICATE A FAILURE OF IRRIGATION SYSTEM OR THE NEED FOR FERTILIZER AND SOIL AMENDMENT. SAME AREAS SHALL BE RE-PLANTED TO MATCH ORIGINAL DESIGN.
- ALL DEAD, DRY OR DISEASED PLANT MATERIAL SHALL BE REPLACED.



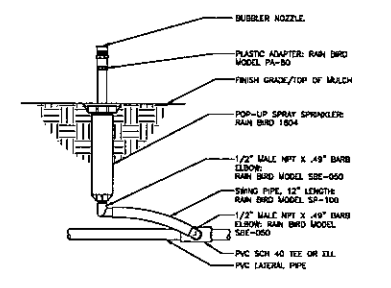
- NOTES:**
- FINISH GRADE IN TURF AREAS
 - RECTANGULAR VALVE BOX WITH PLASTIC COVER, BOX TO BE PLACED AT RIGHT ANGLE TO HARDSCAPE.
 - FINISHED GRADE IN SHRUB AREAS
 - 2" WIRE LOOP
 - VALVE 1/2" ID
 - PVC THD, ELL SCH 80 PVC
 - CONTROL VALVE
 - BRICK SUPPORTS
 - SCH 80 PVC HANDLE TYP.
 - IRRIGATION MANHOLE
 - SEAL, 80 LUNCH
 - FEMALE ADAP. SCH. 80 PVC
 - 1.5" LATERAL

REMOTE CONTROL VALVE SCALE: NONE 1

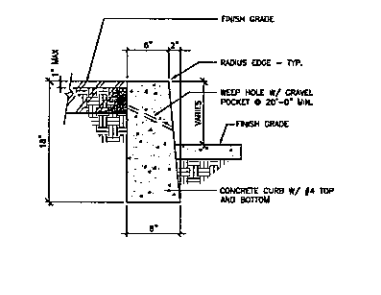


- NOTES:**
- CONTROLLER: INDOOR / OUTDOOR SHALL MOUNT IN LOCKING WEATHERPROOF CABINET.
 - 1.5"-HIGH PVC SCH 40 CONDUIT AND FITTINGS.
 - JUNCTION BOX.
 - WIRES TO REMOTE CONTROL WELLS
 - 1"-HIGH PVC SCH 40 CONDUIT TO POWER SUPPLY.
 - POWER SUPPLY AND RECEPTACLE (OPTIONAL, VERIFY WITH OWNER).
 - RAIN SENSOR (OPTIONAL, VERIFY WITH LEGEND).

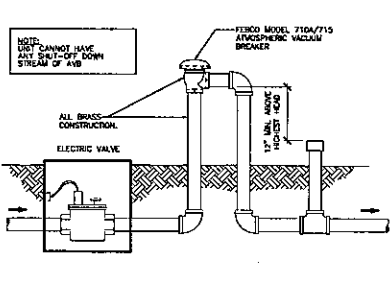
WALL MOUNTED CONTROLLER SCALE: NONE 2



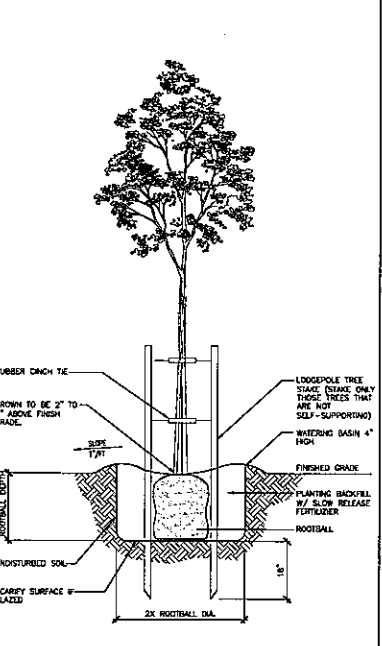
BUBBLER DETAIL SCALE: NONE 4



PLANTER CURB SCALE: NONE 5



ATMOSPHERIC VACUUM BREAKER SCALE: NONE 6



TREE PLANTING SCALE: NONE 7

Royal Street Communications California, LLC
2913 EL CAMINO REAL #561
TUSTIN, CA 92782

PROJECT INFORMATION:
LA3635A
BERMUDA DUNES COUNTRY CLUB
42380 ADAMS STREET
BERMUDA DUNES, CA 92203

CURRENT ISSUE DATE:
6/30/10

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
6/30/10		PLAN CHECK CORRECTIONS	JB
4/14/10		PLANNER-UTILITY REV.	GN
10/02/09		LANDSCAPE REV.	GN
5/14/09		100% CONSTRUCTION	GN
5/11/09		80% CONSTRUCTION	JB

PLANS PREPARED BY:
NATIONAL ENGINEERS & CONSULTANTS, INC.
3000 CALIFORNIA BLVD. SUITE 200
HAWAII, HI 96721
WWW.NATIONAL-ENG.COM

CONSULTANT:
DRAWN BY: CHK. BY: APV. BY:
FAR JW JW

LICENSER:
SHEET TITLE:
LANDSCAPING DETAILS & SPECIFICATIONS

SHEET NUMBER:
L-2

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42176
Project Case Type (s) and Number(s): Plot Plan No. 24126
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Jay Olivas
Telephone Number: (951) 955-1195
Applicant's Name: Royal Street Communications California, LLC
Applicant's Address: 350 Commerce Street, Ste. 200 Irvine, CA 92602
Engineer's Name: National Engineering, Inc.
Engineer's Address: 22362 Gilberto, Ste. 200 Rancho Santa Margarita, CA 92688

I. PROJECT INFORMATION

A. Project Description: The plot plan proposes a wireless communication facility, for Royal Street Communications California, LLC, disguised as a mono palm tree with palm fronds at a total maximum height of 50 feet. The project will include six (6) panel antennas, one (1) GPS antenna, and four (4) outdoor equipment cabinets within a 460 square foot lease area. Project grading is not proposed.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 460 square feet on a 10.76 acre parcel

Residential Acres:	Lots: 1	Units:	Projected No. of Residents:
Commercial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Industrial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other: 460 sq ft lease area			

D. Assessor's Parcel No(s): 609-280-004

E. Street References: Northerly of Fred Waring Drive, southerly of Avenue 42, westerly of Cerritos Drive, easterly of Montego Bay Drive, more specifically located at 42360 Adams Street, Bermuda Dunes, CA

F. Section, Township & Range Description or reference/attach a Legal Description:
Township 5 South, Range 7 East, Section 17

G. Brief description of the existing environmental setting of the project site and its surroundings: This project site is located within the Bermuda Dunes Country Club and is on the clubhouse site, surrounded by open space as part of existing golf course and single family residences.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

- 1. Land Use:** The project implements Policy LU 4.1, requiring new developments to be located and designed to visually enhance, not degrade, the character of the surrounding area. The proposed project is consistent with the Open Space - Recreation (OS-R) land use designation, and other applicable land use policies within the General Plan.

2. **Circulation:** The project has adequate circulation to the site and is therefore consistent with the Circulation Element of the General Plan. The proposed project meets all other applicable circulation policies of the General Plan.
 3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
 4. **Safety:** The proposed project is not located within any special hazard zone (including FEMA flood zone, fault zone, high fire hazard area, dam inundation zone, area with high liquefaction potential, etc.). The proposed project has allowed for sufficient provision of emergency response services to the future residents of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety element policies.
 5. **Noise:** Sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
 6. **Housing:** The proposed project meets all applicable Housing Element Policies.
 7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality element policies.
- B. General Plan Area Plan(s):** Western Coachella Valley
- C. Foundation Component(s):** Open Space (OS)
- D. Land Use Designation(s):** Open Space-Recreation (OS-R)
- E. Overlay(s), if any:** Bermuda Dunes Neighborhood Preservation Overlay
- F. Policy Area(s), if any:** Not Applicable
- G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any:** The project site is surrounded by properties which are designated Open Space-Recreation (OS-R) and Community Development: Medium Density Residential (CD:MDR) (2-5 Dwelling Units per Acre).
- H. Adopted Specific Plan Information**
1. **Name and Number of Specific Plan, if any:** Not Applicable
 2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable
- I. Existing Zoning:** Open Area Combining Zone Residential Developments (R-5)
- J. Proposed Zoning, if any:** Not Applicable

K. Adjacent and Surrounding Zoning: The project site is surrounded by properties which are zoned Open Area Combining Zone Residential Developments (R-5) and One Family Dwellings (R-1)

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

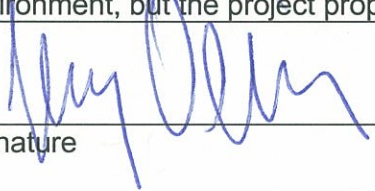
On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
<input type="checkbox"/> I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
<input type="checkbox"/> I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An ADDENDUM to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

October 27, 2010

Date

Jay Olivas

Printed Name

For Carolyn Syms Luna, Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a) The proposed project is located within the vicinity of Adams Street which is not a County Eligible Scenic Highway. However, the project has been designed to be disguised as a mono palm tree with palm fronds at a total maximum height of 50 feet which will minimize visual impacts of the telecommunication facility and will blend in with live palm trees existing in the project area and two existing monopalm wireless communication facilities. In addition, the equipment shelters have been designed to blend in with the surrounding setting and will blend with the existing landscaping. Therefore, the project does not have the potential to have a substantial impact upon scenic resources and the project has a less than significant impact.

b) The site is not anticipated to obstruct any prominent scenic vistas, views open to the public, or result in the creation of an aesthetically offensive site open to public view. Additionally, the project has been designed to be disguised as a palm tree and will blend in with the live palm trees existing in the project area. In addition, the equipment shelter has also been designed to blend in with the surrounding setting and will be screened by the existing landscaping to minimize the visual impact of the telecommunication facility. Impacts are less than significant with mitigation incorporated.

Mitigation: Prior to building permit issuance, the developer/permit holder shall provide a palm frond design that is consistent with the approved plot plan and that covers all antennas (COA 80. PLANNING 7) and the developer/permit holder shall ensure that the palm fronds are verified at final inspection to be placed in such a manner that covers all of the antennas (COA 90.PLANNING.11).

Monitoring: Mitigation monitoring will occur through the Building and Safety Plan Check process.

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) According to GIS database, the project site is located 42.64 miles away from Mt. Palomar Observatory. The project shall comply with low pressure sodium requirements (COA 10.PLANING.16)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Description

Findings of Fact:

a-b) The proposed telecommunication facility may provide a service light to be used at the time of servicing the facility. However, it will not create new sources of light or glare in the area and will not expose residential property to unacceptable light levels. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project

4. Agriculture

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?

c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, and Project Application Materials.

Findings of Fact:

a) The project is not located within the boundaries of designated farmland – as designated by the most recent version of the Important Farmland Map (as prepared by the California Department of Conservation, Farmland Mapping and Monitoring Program). Therefore the proposed project will not impact land designated as Prime, Unique, or Farmland of Statewide Importance to a non-agricultural use.

b) According to GIS database, the project is not located within an Agriculture Preserve or under a Williamson Act contract; therefore, no impact will occur as a result of the proposed project.

c) The project site is not surrounded by agriculturally zoned land. Therefore, the project will not cause development of a non-agricultural use within 300 feet of agriculturally zoned property.

d) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 “Parks, Forests and Recreation Areas,” and Project Application Materials.

Findings of Fact:

a) The project is not located within the boundaries of a forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)). Therefore, the proposed project will not impact land designated as forest land, timberland, or timberland zoned Timberland Production.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) According to General Plan, the project is not located within forest land and will not result in the loss of forest land or conversion of forest land to non-forest use; therefore, no impact will occur as a result of the proposed project.

c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
6. Air Quality Impacts				
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact: Appendix G of the current State CEQA Guidelines indicates that a project will significantly impact air quality if the project violates any ambient air quality standard, contributes substantially to an existing air quality violation, or exposes sensitive receptors to substantial pollutant concentrations.

a) The project site is located in the South Coast Air Basin (SCAB). The South Coast Air Quality Management District (SCAQMD) Governing Board adopted its most recent Air Quality Management Plan (AQMP) for the SCAB on August 1, 2003. The AQMP is a plan for the regional improvement of air quality. As part of adoption of the County's General Plan in 2003, the General Plan EIR (SCH No. 2002051143) analyzed the General Plan growth projections for consistency with the AQMP and concluded that the General Plan is consistent with the SCAQMD's AQMP. The project is consistent with the County General Plan and would therefore be consistent with the SCAQMD's AQMP.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b-c) The South Coast Air Basin (SCAB) is in a non-attainment status for federal ozone standards, federal carbon monoxide standards, and state and federal particulate matter standards. Any development in the SCAB, including the proposed Project, would cumulatively contribute to these pollutant violations.

The project is consistent with the General Plan and the Western Coachella Valley Area Plan land use designations. The General Plan (2003) is a policy document that reflects the County's vision for the future of Riverside County. The General Plan is organized into eight separate elements, including an Air Quality Element. The purpose of the Air Quality Element is to protect County residents from the harmful effects of poor air quality. The Air Quality Element identifies goals, policies, and programs that are meant to balance actions regarding land use, circulation, and other issues with their potential effects on air quality. The Air Quality Element, in conjunction with local and regional air quality planning efforts, addresses ambient air quality standards set forth by the Federal Environmental Protection Agency (EPA) and the California Air Resources Board (CARB). Potential air quality impacts resulting from the proposed Project would not exceed emissions projected by the Air Quality Element. The County is charged with implementing the policies in the General Plan Air Quality Element, which are focused on reducing concentrations of criteria pollutants, reducing negative impacts to sensitive receptors, reducing mobile and stationary pollutant sources, increasing energy conservation and efficiency, improving the jobs to housing balance, and facilitating multi-jurisdictional coordination for the improvement of air quality.

Implementation of the project would not impact air quality beyond the levels documented in EIR No. 441 prepared for the General Plan. The project would impact air quality in the short-term during construction and in the long-term through operation. In accordance with standard county requirements, dust control measures and maintenance of construction equipment shall be utilized on the property to limit the amount of particulate matter generated. These are standard requirements and are not considered mitigation pursuant to CEQA.

The proposed project would primarily impact air quality through increased automotive emissions. Single projects typically do not generate enough traffic and associated air pollutants to violate clean air standards or contribute enough air pollutants to be considered a cumulatively considerable significant impact. Operational impacts associated with the project would be expected to result in emissions of VOC, NOX, CO, PM10, PM2.5 and SOX. Operational emissions would result from vehicle emissions, fugitive dust associated with vehicle travel, combustion emissions associated with natural gas use, emission related to electricity generation, and landscape equipment maintenance emissions. In the long term, emissions of VOC, NOX, CO, PM10 and PM2.5 and could exceed SCAQMD significance thresholds (in pounds per day). However, with compliance with standard requirements for use of low VOC paints and compliance with California Energy Commission Title 24 requirements for building energy efficiency, direct and cumulative air quality impacts would be reduced to a level below significance. These are standard requirements and are not considered mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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playgrounds, child care centers, and athletic facilities. Surrounding land uses include residential, which is considered a sensitive receptor, however, an unmanned telecommunications facility is not considered a substantial point source emitter or a sensitive receptor.

e) Surrounding land uses do not include significant localized CO sources, toxic air contaminants, or odors. An unmanned telecommunications facility is not considered a substantial point source emitter or a sensitive receptor.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: GIS database, WRC-MSHCP and/or CV-MSHCP, Environmental Programs Department (EPD) review

Findings of Fact:

The project site is fully developed and no biological impacts are anticipated.

a) The project site does not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. The project site is not located within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). Therefore, there is no impact.

b) The project site is not located within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). The project will not have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12). Therefore, there is no impact.

c) The project site is not located within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). The project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service. Therefore, there is no impact.

d) The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites. Therefore, there is no impact.

e-f) The project site does not contain riverine/riparian areas or vernal pools. Therefore, there is no impact.

g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a-b) The site is fully disturbed with an existing country club site. And project does not propose the disturbance of a historic site or the demolishing of historic structures. The project will not cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

9. Archaeological Resources

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a) Site disturbance has already occurred from grading for the use of the clubhouse building and parking area existing on site. The project site does not contain an archaeological site. Therefore, the project will not alter or destroy an archaeological site.

b) The proposed project is not expected to impact archaeological resources. If, however, during ground disturbing activities, unique cultural resources are discovered, all ground disturbances shall halt until a meeting is held between the developer, archaeologist, and Native American representative to discuss the significance of the find. (COA 10.PLANNING.2) Therefore, the project will not alter or destroy an archaeological site or cause a substantive adverse change in the significance of an archaeological resource.

c) There may be a possibility that ground disturbing activities will expose human remains. The project is subject to State Health and Safety Code Section 7050.5 if human remains are discovered during ground disturbing activities. (COA 10.PLANNING.1) This is a standard condition and not considered mitigation for CEQA purposes. Therefore, the impact is considered less than significant.

d) The project will not restrict existing religious or sacred uses within the potential impact area. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

10. Paleontological Resources

a) Directly or indirectly destroy a unique paleonto-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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logical resource, or site, or unique geologic feature?

Source: GIS database, County Geologist review

Findings of Fact:

a) According to GIS database, this site has been mapped as having a low potential for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. This is a standard condition and not considered mitigation for CEQA purposes. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, County Geologist review (GEO02190)

Findings of Fact:

a-b) According to Figure S-2, no active faults are known to traverse the subject site. The project site does not lie within a State of California Earthquake Fault Hazard Zone (formerly called an Alquist-Priolo Special Studies Zone). The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a) Be subject to seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", GIS Database, County Geologist review (GEO02190)

Findings of Fact:

a) According to the County Geologist, the potential for liquefaction is moderate at this site. The project will have less than significant impact.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.

13. Ground-shaking Zone

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), County Geologist review (GEO02190)

Findings of Fact:

There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope", Geologist review (GEO02190)

Findings of Fact:

a) According to the County Geologist, landslides are not a potential hazard to the site. The project will have no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: GIS database, County Geologist review (GEO02190).

Findings of Fact:

a) According to GIS database, the site is located in an area susceptible to subsidence. However, GEO02190 concluded that subsidence in the area will not cause any differential settlement or cracking of the foundation and will therefore have a minimal impact on the proposed development. GEO02190 recommended that the monopalm be founded on a caisson embedded in the ground for a minimum of 13 feet deep (COA 10.PLANNING.6) However, said condition is not considered unique mitigation and is not required for CEQA implementation purposes. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials, County Geologist review (GEO02190)

a) According to the County Geologist, tsunamis and seiching are not potential hazards to the site. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

a) Change topography or ground surface relief features?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

a-c) Standard conditions of approval have been added stating that a grading permit is required prior to construction grading if more than 50 cubic yards. These conditions are not considered unique mitigation and are not required for CEQA implementation purposes. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: General Plan figure S-6 “Engineering Geologic Materials Map”, Project Application Materials, Building and Safety Grading review

a) The development of the site could result in the loss of topsoil from grading activities, but not in a manner that would result in significant amounts of soil erosion. Implementation of Best Management Practices (BMPs) would reduce the impact to below a level of significance. Impacts would be less than significant.

b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

c) The project is for the installation of an unmanned wireless telecommunication facility and will not require the use of sewers or septic tanks. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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off site?

Source: Flood Control District review, Project Application Materials

Findings of Fact:

a) Implementation of the proposed project will involve grading and various construction activities. Standard construction procedures, and federal, state and local regulations implemented in conjunction with the site's storm water pollution prevention plan (SWPPP) and its Best Management Practices (BMPs) required under the National Pollution Discharge System (NPDES) general construction permit, will minimize potential for erosion during construction. These practices will keep substantial amounts of soil material from eroding from the project site and prevent deposition within receiving waters located downstream.

b) The potential for on-site erosion will increase due to grading and excavating activities during the construction phase. However, BMPs will be implemented for maintaining water quality and reducing erosion.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) The project site lies within a high to moderate wind erosion susceptibility area. The project could be influenced by wind erosion and blowsand issues during project construction. Blowsand can create drifting sand dunes and can act as an abrasive on metal, glass and wood surfaces such as cars, windows, and siding of existing homes. The project has been conditioned to prevent dust and blowsand. COA. 10 PLANNING 18. With the incorporation of this condition, the project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Project application materials

Findings of Fact:

a) The project is for the installation of a 50 foot high monopalm within a 460 square foot lease area. The installation of the monopalm will involve small-scale construction activities that will not involve an extensive amount of heavy duty equipment or labor. Therefore, greenhouse gas emissions generated during construction phase are minimal. In addition, the powering of the cell tower will not require an extensive amount of electricity. Therefore, project is not anticipated to generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.

b) The project will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials

Findings of Fact:

a-e) The project does not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. It will also not impair the implementation or physically interfere with an adopted

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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emergency response plan or an emergency evacuation plan. The project will have no impact on emitting, or handling hazardous waste within one-quarter mile of an existing or proposed school. The project is not located on a list of hazardous materials sites.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

a) The project site is located within the Bermuda Dunes Airport Influence Area, the project will not result in an inconsistency with the Airport Master Plan due to Zone D which is a low impact zone and due to FAA consistency determination.

b) The project site is located within the vicinity of a private airport; but will not require review by the Airport Land Use Commission.

c) The project is located within an airport land use plan but would not result in a safety hazard for people residing or working in the project area.

d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Findings of Fact:

a) The project site is not located in a high fire area. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HYDROLOGY AND WATER QUALITY Would the project	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
25. Water Quality Impacts				
a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any water quality standards or waste discharge requirements?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

a) Due to the small size and limited development of the project site, the site shall not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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or river, in a manner that would result in substantial erosion or siltation on- or off-site. Therefore, the impact is considered less than significant.

b) Due to the small size and limited development of the project site, the project is not anticipated to violate any water quality standards or waste discharge requirements.

c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted. Therefore, the impact is no impact.

d) Due to the amount of impervious surfaces within the project site, this proposal will not increase flow rates on downstream property owners. Therefore, no new flood control facilities or water quality mitigation will be required. Therefore, the impact is considered less than significant

e) The project site is not located within a 100 year flood zone. Therefore, the project shall not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.

f) The project site is not located within a 100 year flood zone. Therefore, the project shall not place within a 100-year flood hazard area structures which would impede or redirect flood flows.

g) The project is not anticipated to otherwise substantially degrade water quality. The project has been conditioned to provide to the Building and Safety Department evidence of compliance with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement and to obtain a construction permit from the State Water Resource Control Board (SWRCB) prior to issuance of any grading or construction permit (COA 60. BS GRADE.1). This is a standard condition of approval and is not considered mitigation pursuant to CEQA.

h) The project does not include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors). Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable U - Generally Unsuitable R - Restricted

a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?

b) Changes in absorption rates or the rate and amount

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
of surface runoff?				
c) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Changes in the amount of surface water in any water body?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

a) The project is considered free from ordinary storm flood hazard. In addition, because of the small size and limited development of the project site, the project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site. Therefore, the project will have less than significant impact.

b) The project is considered free from ordinary storm flood hazard.. In addition, because of the small size and limited development of the project site, the project will not result in changes in absorption rates or the rate and amount of surface runoff within a floodplain. Therefore, the project will have less than significant impact.

c) The project is considered free from ordinary storm flood hazard. The project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area). Therefore, the project will have less than significant impact.

d) Because of the small size and limited development of the project site, the project will not cause changes in the amount of surface water in any water body. Therefore, the project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?

b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?

Source: RCIP, GIS database, Project Application Materials

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a) The proposed use is in compliance with the current land use of Open Space-Recreation (OS-R) and the policies of the Western Coachella Valley Area Plan. The General Plan requires that all residential development at the Community Development densities have available public facilities and services. The proposed wireless telecommunication facility will provide better phone coverage for the existing residential area and the surrounding area. The project will have a less than significant impact as it likely will not result in the substantial alteration of the present or planned land use of an area.

b) The project is located within the City of Palm Desert sphere of influence (SOI), no objections have been received from the City of Palm Desert as of this writing.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

28. Planning	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a-b) The project will be consistent with the site's existing zoning. The project is surrounded by properties which are zoned Open Space and Residential. The project will have no impact.

c) The proposed cell tower will be designed as a 50 foot high mono palm tree with palm fronds. As a result, the project will be compatible with existing surrounding zoning and with existing and planned surrounding land uses. Impacts are less than significant.

d-e) The project is consistent with the land use designations and policies of the General Plan. In addition, the project will not disrupt or divide the physical arrangement of an established community. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

MINERAL RESOURCES Would the project

29. Mineral Resources	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Result in the loss of availability of a known mineral resource that would be of value to the region or the residents of the State?				
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

a-b) According to General Plan Figure OS-5, the proposed project is located in an area that is designated MRZ-3. MRZ-3 is an area where mineral deposits are likely to exist however the significance of the deposits is undetermined. In addition, the project site is a developed mobile home park and potential impacts were covered under the grading permit for the mobile home park. Therefore, the project will have a less than significant impact.

c-d) The proposed project is not located within the vicinity of a surface mine, therefore it is not subject to creating an incompatible land use. The proposed project will have no impact with regard to incompatible land uses located adjacent to an existing surface mine. The proposed project is not located within the vicinity of any quarries or mines which may pose a risk for people or property. The proposed project will have no impact with regard to exposure to quarries or mines. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a) The project site is not located within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

b) The project is located within the vicinity of a private airport, but would not expose people residing on the project site or area to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: There are no railroad tracks in the vicinity of this project site. The project has no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

32. Highway Noise

NA A B C D

Source: On-site Inspection, Project Application Materials

Findings of Fact: The project is not directly adjacent to any Highway. There will be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise

NA A B C D

Source: Project Application Materials, GIS database

Findings of Fact: No additional noise sources have been identified near the project site that would contribute a significant amount of noise to the project. There will be no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?

Source: Riverside County General Plan, Table N-1 ("Land Use Compatibility for Community Noise Exposure"); Project Application Materials

Findings of Fact:

a) Although the project will increase the ambient noise level in the immediate vicinity during construction, and the general ambient noise level will increase slightly after project completion, the impacts are not considered significant.

b) All noise generated during project construction and the operation of the site must comply with the County's noise standards, which restricts construction (short-term) and operational (long-term) noise levels. The project will have a less than significant impact.

c-d) The project would not expose persons to or generation of noise levels in excess of standards established in the local General Plan or noise ordinance, or applicable standards of other agencies or expose persons to or generation of excessive ground-borne vibration or ground-borne noise levels. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

POPULATION AND HOUSING Would the project

35. Housing

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?

b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
the County's median income?				
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The project is a 50 foot high monopalm with equipment shelters in a 460 square foot lease area. The scope of the development is not substantial enough to displace a number of housing, necessitating the construction of replacement housing elsewhere. The project will have no impact.
- b) The project will not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income. The project will have no impact.
- c) The project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. The project will have no impact.
- d) The project is not located within a Redevelopment Area. Therefore, the project will not affect a County Redevelopment Project Area. The project will have no impact.
- e) The project will not cumulatively exceed official regional or local population projections. The project will have no impact.
- f) The project could potentially encourage additional residential development in the area since there will be better wireless phone coverage, but the development would have to be consistent with the land uses designated by the General Plan. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Safety Element

The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services. (COA 90.PLANNING.8) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

37. Sheriff Services

Source: RCIP

The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project would not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to sheriff services. (COA 90.PLANNING.8) This is a standard Condition of Approval and pursuant to CEQA, is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools

Source: Palm Springs Unified School District correspondence, GIS database

Findings of Fact: The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the Desert Sands Unified School District. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. (COA 80.PLANNING.5) This is a standard Condition of Approval and pursuant to CEQA, is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
39. Libraries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: RCIP

The proposed project will not create a significant incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. This project shall comply with County Ordinance No. 659 to mitigate the potential effects to library services. (COA 90.PLANNING.8) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

40. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP

The use of the proposed lease area would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The project will have no impact. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

RECREATION

41. Parks and Recreation				
a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

a) The project proposes a 50 foot high monopalm and equipment shelters within a 460 square foot lease area. The project would not include recreational facilities or require the construction or

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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expansion of recreational facilities which might have an adverse physical effect on the environment. The project will have no impact.

b) The project would not include the use of existing neighborhood or regional parks or other recreation facilities such that substantial physical deterioration of the facility would occur or be accelerated. The project will have no impact.

c) The project is not located within a county service area. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP

Findings of Fact: The RCIP does not identify a Class I Bikeway/Regional Trail in this area. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Alter waterborne, rail or air traffic?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
incompatible uses (e.g. farm equipment)?				
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

a) The project will generate minimal traffic to the area and regional transportation system. The project will not conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system. The impact is less than significant.

b) The project will not conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways. The project will have no impact.

c-d) The project does not propose any design issues that would cause a change in air traffic patterns, alter waterborne, or rail and air traffic. The project will have no impact.

e-f) The project will not substantially increase hazards due to a design feature or cause an effect upon a need for new or altered maintenance of roads. The project will have no impact.

g) The project site will cause an effect upon circulation during the project's construction; however, impacts are considered less than significant.

h) The project will not cause inadequate emergency access or access to nearby uses. The project will have no impact.

i) The project site will not conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact: The RCIP does not identify a Class I Bikeway/Regional Trail. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

a-b) The proposed project will not require or result in the construction of new water treatment facilities or expansion of existing facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Department of Environmental Health Review

Findings of Fact:

a-b) The proposed project will not require or result in the construction of new water treatment facilities or expansion of existing facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Monitoring: No monitoring measures are required.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: RCIP, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) The project will be served by Riverside County Waste Management Department. The proposed project will not require or result in the construction of new landfill facilities, including the expansion of existing facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Natural gas?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Communications systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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d) Storm water drainage?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Street lighting?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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f) Maintenance of public facilities, including roads?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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g) Other governmental services?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: RCIP

Findings of Fact:

a-g) No letters have been received eliciting responses that the proposed project would require substantial new facilities or expand facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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49. Energy Conservation

a) Would the project conflict with any adopted energy conservation plans?

Source:

a-b) The proposed project will not project conflict with any adopted energy conservation plans. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Staff review, project application

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

- SCAQMD CEQA Air Quality Handbook
- RCIP: Riverside County Integrated Project.
- RCLIS: Riverside County Land Information System
- Geology: Geology Report No. 2190

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
 4080 Lemon Street, 9th Floor
 Riverside, CA 92505

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

10/28/10
11:42

Riverside County LMS
CONDITIONS OF APPROVAL

Page: 1

PLOT PLAN:TRANSMITTED Case #: PP24126

Parcel: 609-280-004

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for a wireless communication facility, for Royal Street Communications California, LLC, disguised as a mono palm tree with palm fronds at a total maximum height of 50 feet. The project will include six (6) panel antennas, one (1) GPS antenna, and four (4) outdoor equipment cabinets at grade level on 460 square foot lease area within Assesors Parcel Number 609-280-004.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning Plot Plan No. 24126. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 24126 shall be henceforth defined as follows:

APPROVED EXHIBIT A =
Exhibit A-1 (title sheet)
Exhibit A-2 (topo map)
Exhibit A-3 (site plan)
Exhibit A-4 (enlarged site plan)
Exhibit B (elevations)

PLOT PLAN:TRANSMITTED Case #: PP24126

Parcel: 609-280-004

10. GENERAL CONDITIONS

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE -GIN INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompactation, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 3 USE-G1.2 OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 4 USE-G1.3 DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 5 USE-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

PLOT PLAN:TRANSMITTED Case #: PP24126

Parcel: 609-280-004

10. GENERAL CONDITIONS

E HEALTH DEPARTMENT

10.E HEALTH. 1 UNMANNED FACILITY

RECOMMND

Plot Plan#24126 proposes to construct an unmanned communications facility consisting of a 50' monopalm with 6 panel antennas and 4 equipment cabinets. No plumbing is proposed for this project. Therefore, no onsite wastewater treatment facility or sewer connection is required at this time.

FIRE DEPARTMENT

10.FIRE. 1 USE-CONTACT INFORMATION

RECOMMND

Please provide information indicating contact in event of emergency. Post information on the gate leading to the wireless facility. Please ensure that materials used for posting are weather-proof/resistant and visible.

10.FIRE. 2 USE-#89-RAPID ENTRY KEY BOX

RECOMMND

Rapid entry key storage cabinet OR padlock shall be installed on the outside of the primary entrance. If a storage cabinet is installed, plans shall be submitted to the Riverside County Fire Department for approval, prior to installation.

PLANNING DEPARTMENT

10.PLANNING. 1 MAP - IF HUMAN REMAINS FOUND

RECOMMND

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the Riverside County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resource Code Section 5097.98(b) remains shall be left in place and free from disturbance until a final decision as to the treatment and disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within a reasonable timeframe. Subsequently, the Native American Heritage Commission shall identify the "most likely descendant." The most likely descendant shall then make recommendations and engage in consultation concerning the treatment of the remains as provided in Public Resources Code Section 5097.98.

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10. GENERAL CONDITIONS

10.PLANNING. 2

MAP - INADVERTENT ARCHAEO FIND

RECOMMND

If during ground disturbance activities, unique cultural resources are discovered that were not assessed by the archaeological report(s) and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. Unique cultural resources are defined, for this condition, as being multiple artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1. All ground disturbance activities within 100 feet of the discovered cultural resources shall be halted until a meeting is convened between the developer, the archaeologist, the Native American tribal representative and the Planning Director to discuss the significance of the find.

2. At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal representative and the archaeologist, a decision shall be made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance, etc.) for the cultural resources.

3. Grading of further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate mitigation.

10.PLANNING. 3

USE- LC RECLAIMED WATER

RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 4

USE- LC VIABLE LANDSCAPE

RECOMMND

All plant materials within landscaped areas shall be maintained in a viable growth condition throughout the life of this permit. To ensure that this occurs, the Planning Department shall require inspections in accordance with the Planning Department's Milestone 90 condition entitled "USE - LANDSCAPE/IRRIGATION INSTALLATION INSPECTIONS."

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10. GENERAL CONDITIONS

10.PLANNING. 5 USE- LC LANDSCAPE SECURITIES

RECOMMND

Performance securities, in amounts to be determined by the Director of Building and Safety to guarantee the installation of plantings, irrigation system, walls and/or fences, in accordance with the approved plan, shall be filed with the Department of Building and Safety. Securities may require review by County Counsel and other staff. Permit holder is encouraged to allow adequate time to ensure that securities are in place. The performance security may be released one year after structural final, inspection report, and the One-Year Post Establishment report confirms that the plantings and irrigation components have been adequately installed and maintained. A cash security shall be required when the estimated cost is \$2,500.00 or less.

10.PLANNING. 6 USE - GEO02190

RECOMMND

County Geologic Report (GEO) No. 2190, submitted for this project (PP24126) was prepared by Toro International and is entitled: "Geotechnical Investigation for Metro PCS Monopalm and Equipment Enclosure, Bermuda Dunes Country Club - LA3635B, 42360 Adams Street, Bermuda Dunes, California", dated November 20, 2009.

"Response to County of Riverside, Review Comments, County Geologic Report No. 2190. Geotechnical Investigation for Proposed Metro PCS Monopalm and Equipment Enclosure, Bermuda Dunes Country Club Site, LA3635B, 42360 Adams Street, Bermuda Dunes, California, TI Project No. 09-121.13, dated November 20, 2009", dated June 16, 2010.

This document is herein incorporated as a part of GEO02190.

GEO02190 concluded:

- 1.No evidence of active faulting is present in the site area.
- 2.The potential for surface ground rupture is judged to be nil.
- 3.The potential for liquefaction is nil.
- 4.The potential for landslide, rockfall, or debris flows is nil.

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10. GENERAL CONDITIONS

10.PLANNING. 6 USE - GEO02190 (cont.) RECOMMND

5.The potential for tsunami or seiche damage is nil.

GEO02190 recommended:

1. The proposed monopalm may be founded on a caisson embedded in the ground for a minimum of 13 feet deep.

GEO02190 satisfies the requirement for a Geologic study for Planning /CEQA purposes. GEO02190 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 7 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 8 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

10.PLANNING. 9 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

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10. GENERAL CONDITIONS

10.PLANNING. 10 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 11 USE - 90 DAYS TO PROTEST RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10.PLANNING. 12 USE - MAX HEIGHT RECOMMND

The monopalm/antenna array with palm fronds located within the property shall not exceed an overall maximum height of 50 feet.

10.PLANNING. 13 USE - CO-LOCATION RECOMMND

The applicant/operator of the facility shall agree to allow the co-location of equipment of other wireless telecommunications providers at this site when applications are received by the County and it is considered feasible, subject to an agreement between the applicant/operator, the other proposed wireless telecommunications provider, and the property owner.

10.PLANNING. 14 USE - SITE MAINTENANCE RECOMMND

The project site shall be kept in good repair. Graffiti shall be removed from any structures within one week of observation and/or notification.

10.PLANNING. 15 USE - EQUIPMENT & BLDG. COLOR RECOMMND

The equipment cabinet color shall be in earthtones, which will blend with the surrounding setting.

The color of the monopalm (trunk) shall be light to dark brown, and the color of the antenna array shall be dark green to minimize visual impacts.

Changes to the above colors shall be reviewed and approved by the Planning Department prior to installation of the

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10. GENERAL CONDITIONS

10.PLANNING. 15 USE - EQUIPMENT & BLDG. COLOR (cont.) RECOMMND

structures, or prior to repainting of the structures.

10.PLANNING. 16 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

10.PLANNING. 17 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 18 USE - PREVENT DUST & BLOWSAND RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the State air quality management authorities.

TRANS DEPARTMENT

10.TRANS. 1 USE - TS/EXEMPT RECOMMND

The Transportation Department has not required a traffic study for the subject project. The Transportation Department has determined that the project is exempt from traffic study requirements.

10.TRANS. 5 USE - STD INTRO 3(ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement tandards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all

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10. GENERAL CONDITIONS

10.TRANS. 5 USE - STD INTRO 3(ORD 460/461) (cont.) RECOMMND

existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

20.PLANNING. 2 USE - LIFE OF THE PERMIT RECOMMND

A wireless communication facility shall have an initial approval period (life) of ten years that may be extended if a revised permit application is made and approved by the Planning Director or the Planning Commission, whichever was the original approving officer or body. Such extensions, if approved, shall be in increments of ten (10) years. The determination as to the appropriateness of such extensions shall be made, in part, on adherence to the original

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20. PRIOR TO A CERTAIN DATE

20.PLANNING. 2 USE - LIFE OF THE PERMIT (cont.) RECOMMND

conditions of approval and the number of complaints, if any, received by the County. In the case of co-located facilities, the permits of all the last co-locater's permit expires.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

PLANNING DEPARTMENT

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR RECOMMND

This site is mapped in the County's General Plan as having a high potential for paleontological resources (fossils). Proposed project site grading/earthmoving activities could potentially impact this resource. Hence:

PRIOR TO ISSUANCE OF GRADING PERMITS:

1.The applicant shall retain a qualified paleontologist approved by the County of Riverside to create and implement a project-specific plan for monitoring site

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1

USE - PALEO PRIMP & MONITOR (cont.)

RECOMMND

grading/earthmoving activities (project paleontologist).

2.The project paleontologist retained shall review the approved development plan and shall conduct any pre-construction work necessary to render appropriate monitoring and mitigation requirements as appropriate. These requirements shall be documented by the project paleontologist in a Paleontological Resource Impact Mitigation Program (PRIMP). This PRIMP shall be submitted to the County Geologist for review and approval prior to issuance of a Grading Permit.

Information to be contained in the PRIMP, at a minimum and in addition to other industry standard and Society of Vertebrate Paleontology standards, are as follows:

A. The project paleontologist shall participate in a pre-construction project meeting with development staff and construction operations to ensure an understanding of any mitigation measures required during construction, as applicable.

B.Paleontological monitoring of earthmoving activities will be conducted on an as-needed basis by the project paleontologist during all earthmoving activities that may expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The project paleontologist or his/her assign will have the authority to reduce monitoring once he/she determines the probability of encountering fossils has dropped below an acceptable level.

C.If the project paleontologist finds fossil remains, earthmoving activities will be diverted temporarily around the fossil site until the remains have been evaluated and recovered. Earthmoving will be allowed to proceed through the site when the project paleontologist determines the fossils have been recovered and/or the site mitigated to the extent necessary.

D.If fossil remains are encountered by earthmoving activities when the project paleontologist is not onsite, these activities will be diverted around the fossil site and the project paleontologist called to the site immediately to recover the remains.

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60. PRIOR TO GRADING PRMT ISSUANCE

60.PLANNING. 1 USE - PALEO PRIMP & MONITOR (cont.) (cont.) RECOMMND

E.If fossil remains are found, fossiliferous rock will be recovered from the fossil site and processed to allow for the recovery of smaller fossil remains. Test samples may be recovered from other sampling sites in the rock unit if appropriate.

F.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

G.A qualified paleontologist shall prepare a report of findings made during all site grading activity with an appended itemized list of fossil specimens recovered during grading (if any). This report shall be submitted to the County Geologist for review and approval prior to building final inspection as described elsewhere in this conditions set.

All reports shall be signed by the project paleontologist and all other professionals responsible for the report's content (eg. Professional Geologist, Professional Engineer, etc.), as appropriate. Two wet-signed original copies of the report shall be submitted directly to the office of the County Geologist along with a copy of this condition and the grading plan for appropriate case processing and tracking. These documents should not be submitted to the project Planner, the Plan Check staff, the Land Use Counter or any other County office.

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60. PRIOR TO GRADING PRMT ISSUANCE

TRANS DEPARTMENT

60.TRANS. 1 USE - TRANSPORTATION CLEARANCE RECOMMND

A clearance from the Transportation Department is required prior to the issuance of a grading permit.

80. PRIOR TO BLDG PRMT ISSUANCE

PLANNING DEPARTMENT

80.PLANNING. 1 USE- LC SPECIMEN TREES REQIR RECOMMND

Landscaping plans shall incorporate the use of specimen (24" box or greater) canopy trees. All trees and shrubs shall be drawn to reflect the average specimen size at 15 years of age. All trees shall be double-staked and secured with non-wire ties.

80.PLANNING. 2 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT A.

80.PLANNING. 3 USE - LIGHTING PLANS RECOMMND

All street lights and other outdoor lighting shall be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County Comprehensive General Plan.

80.PLANNING. 5 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Desert Sands Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 6 USE - FEE BALANCE RECOMMND

Prior to issuance of building permits, the Planning Department shall determine if the deposit based fees for project are in a negative balance. If so, any outstanding fees shall be paid by the applicant/developer.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 7 USE - PALM FRONDS RECOMMND

Prior to building permit issuance, the developer/permit holder shall provide palm frond design, consistent with the approved plot plan, that covers all antennas. After reviewing the building plans, the Planning Department shall clear this condition upon determination of compliance.

TRANS DEPARTMENT

80.TRANS. 1 USE - EVIDENCE/LEGAL ACCESS RECOMMND

Provide evidence of legal access.

80.TRANS. 3 USE - TUMF RECOMMND

Prior to the issuance of a building permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

90. PRIOR TO BLDG FINAL INSPECTION

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN RECOMMND

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

90.E HEALTH. 2 USE - HAZMAT REVIEW RECOMMND

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

90.E HEALTH. 3 USE - HAZMAT CONTACT RECOMMND

Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

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90. PRIOR TO BLDG FINAL INSPECTION

FIRE DEPARTMENT

90.FIRE. 1 USE-#27-EXTINGUISHERS INEFFECT

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

PLANNING DEPARTMENT

90.PLANNING. 1 USE - PALEO MONITORING REPORT RECOMMND

PRIOR TO BUILDING FINAL INSPECTION:

The applicant shall submit to the County Geologist one wet-signed copy of the Paleontological Monitoring Report prepared for site grading operations at this site. The report shall be certified by the professionally-qualified Paleontologist responsible for the content of the report. This Paleontologist must be on the County's Paleontology Consultant List. The report shall contain a report of findings made during all site grading activities and an appended itemized list of fossil specimens recovered during grading (if any) and proof of accession of fossil materials into the pre-approved museum repository. In addition, all appropriate fossil location information shall be submitted to the San Bernardino County Museum and Los Angeles County Museum of Natural History, at a minimum, for incorporation into their Regional Locality Inventories.

90.PLANNING. 2 USE- LC LANDSCAPE INSP DEPOSIT RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of the Pre-Installation, the Installation, and One Year Post-Establishment landscape inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The estimated fee for the Pre-Installation, the Installation, and the One Year Post-Establishment landscape inspections will be determined by the County Planning Department's Landscape personnel

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 2 USE- LC LANDSCAPE INSP DEPOSIT (cont.) RECOMMND

prior to approval of the requisite Plot Plan for Planting and Irrigation. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 3 USE- LC LAND INSPECT REQUIRMNT RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a PRE-INSTALLATION INSPECTION with the Planning Department at least five (5) working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the PRE-INSTALLATION INSPECTION, the applicant will proceed with the installation of the approved landscape and irrigation system and arrange for an INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Planning Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Planning Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Planning Department and the Department of Building and Safety. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 4 USE- LC COMPLY W/LAND /IRR RECOMMND

All required landscape planting and irrigation shall have been installed in accordance with approved Landscaping, Irrigation, and Shading Plans, Ordinance No. 859 (as adopted and any amendments thereto), and the Riverside County Guide to California Landscaping. All landscape and irrigation components shall be in a condition acceptable to the Planning Department through the implementation of the Department's Milestone 90 condition entitled "USE - LNDSCP/IRRIG INSTALL INS." The plants shall be healthy and free of weeds, disease or pests. The irrigation system shall be properly constructed and determined to be in good working order.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 5 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 6 USE - WALL & FENCE LOCATIONS RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT A.

90.PLANNING. 8 USE - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 24126 has been calculated to be .01 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 9 USE - SIGNAGE REQUIREMENT

RECOMMND

Prior to final inspection of any building permit, the permit holder, developer or successor-in-interest shall install a sign no smaller than 12 inches by 12 inches upon an exterior wall or fence that surrounds the lease area that provides the following contact information:

- Address of wireless communications facility and any internal site identification number or code;
- Name(s) of company who operates the wireless communications facility;
- Full company address, including mailing address and division name that will address problems;
- Telephone number of wireless communications facility company.

If a co-located facility (addition antennas and/or equipment shelters or cabinets) are added to an existing facility, an additional sign, including the above described information, shall be installed on said shelter or cabinet stating the name of the company who operates the primary wireless communications facility and the name of the company that operates the co-located facility.

90.PLANNING. 10 USE - ORD 875 CVMSHCP FEE

RECOMMND

Prior to a certificate of occupancy or upon building permit final inspection, whichever comes first, the permit holder shall comply with the provisions of Riverside County Ordinance No. 875, which requires the payment of the appropriate fee set forth in the ordinance. The amount of the fee will be based on the "Project Area" as defined in the ordinance and the aforementioned condition of approval. The Project Area for Plot Plan No. 24126 is calculated to be .01 acres. In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable, However, in the event Riverside County Ordinance No. 875 is rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 11 USE - PALM FRONDS

RECOMMND

Prior to final inspection, the developer/permit shall demonstrate palm frond design consistent with the approved plot plan that covers all antennas. The Planning Department

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11:42

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 11 USE - PALM FRONDS (cont.)

RECOMMND

shall clear this upon determination of compliance.

TRANS DEPARTMENT

90.TRANS. 11 USE - UTILITY PLAN CELL TOWER

RECOMMND

Proposed electrical power lines below 33.6 KV within public right-of-way for this cell tower site shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. A disposition note describing the above shall be reflected on the site plan. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

90.TRANS. 12 USE-UTILITY INSTALL CELL TOWER

RECOMMND

Proposed electrical power lines below 33.6 KV within public right-of-way for this cell tower site shall be underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

Olivas, Jay

From: Veronica Arvizu [varvizu@cmhcg.com]
Sent: Monday, October 18, 2010 10:54 AM
To: Olivas, Jay
Subject: RE: PP24126

Yes there was an approval on June 10th, 2010. I did not receive any paperwork on it but they told me they would inform you of the approval.

Let me know if you need anything else.

Thank you,
Veronica

From: Olivas, Jay [mailto:JOLIVAS@rctlma.org]
Sent: Monday, October 18, 2010 10:49 AM
To: 'Veronica Arvizu'
Subject: PP24126

Do you recall the BD Community Council date? If so, was there an approval? Thanks.

Jay T. Olivas, Planner IV
Riverside County Planning Dept.
4080 Lemon Street, 12th Floor
Riverside, CA 92501
Phone: (951) 955-1195
Email: jolivas@rctlma.org

Please be aware that the Riverside County Planning Department has shifted to a 4-day workweek and our offices will be closed every Friday. Our Service hours will be from 7:30 A.M. to 5:30 P.M., Monday through Thursday.



Established in 1918 as a public agency

Coachella Valley Water District

Directors:

Peter Nelson, President
Patricia A. Larson, Vice President
Tellis Codekas
John W. McFadden
Russell Kitahara

Officers:

Steven B. Robbins, General Manager-Chief Engineer
Julia Hernandez, Secretary
Mark Beuhler, Asst. General Manager
Dan Parks, Asst. To General Manager
Redwine and Sherrill, Attorneys

June 25, 2009

RECEIVED

JUN 29 2009

Riverside County
Planning Department
Desert Office

File: 0163.1
0421.1
0721.1

Jay Olivas
Riverside County Planning Department
38-686 El Cerrito Road
Palm Desert, CA 92211

Dear Mr. Olivas:

Subject: Plot Plan No. 24126

This area is protected from regional stormwater flows by the Coachella Valley Stormwater Channel and may be considered safe from regional stormwater flows except in rare instances.

This area is designated Zone X on Federal Flood Insurance rate maps, which are in effect at this time by the Federal Emergency Management Agency (FEMA).

This project is within the limits of the Bermuda Dunes Drainage Study area. The Bermuda Dunes Drainage Study established a requirement for new developments to retain 100 percent of the runoff for a 100-year event and was agreed upon by all of the participating agencies, including Riverside County and the Cities of Palm Desert, Indian Wells, La Quinta and Indio.

The county shall require mitigation measures to be incorporated into the development to prevent flooding of the site or downstream properties. These measures shall require on-site retention of runoff from the 100-year storm.

Since the stormwater issues of this development are local drainage, the District does not need to review drainage design further.

This project lies within the Study Area Boundary of the Coachella Valley Water Management Plan (September 2002).

The District will provide sanitation service to this area and such service will be subject to the satisfaction of terms and conditions established by the District and exercised from time to time, including but not limited to fees and charges, water conservation measures, etc.

The District may need additional facilities to provide for the orderly expansion of its sanitation systems. These facilities may include pipelines, lift stations and other facilities. The developer may be required to install these facilities and provide land and/or easements on which some of these facilities will be located. These sites shall be shown on the tract map as lots and/or easements to be deeded to the District for such purpose.

This notice of sanitation service availability can only be used and relied upon for the specific property for which it was issued and shall expire three (3) years from date of issuance.

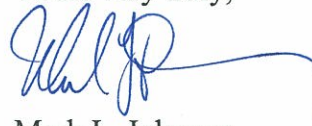
Sanitation service remains at all times subject to changes in regulations adopted by the District's Board of Directors including reductions in or suspensions of service.

The project lies within the Lower Whitewater River Subbasin Area of Benefit. Groundwater production within the area of benefit is subject to a replenishment assessment in accordance with the State Water Code.

All water wells owned or operated by an entity producing more than 25 acre-feet of water during any year must be equipped with a water-measuring device. A District Water Production Metering Agreement is required to ensure District staff regularly read and maintain this water-measuring device.

If you have any questions, please call Tesfaye Demissie, Stormwater Engineer, extension 2605.

Yours very truly,



Mark L. Johnson
Director of Engineering

cc: Mark Carney, Royal Street Communications, Tustin
Alan French, Riverside County Transportation Department, Riverside
Majeed Farshad, Riverside County Department of Transportation, Palm Desert
Monte Bowers, San Diego
Michael Mistica, Department of Environmental Health, Riverside

TD:md\eng\sw\09\june\pp 24126
050717-2

J.O.

COUNTY OF RIVERSIDE
 TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Ron Goldman · Planning Director

APPLICATION FOR LAND USE AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP 2426 DATE SUBMITTED: 5-28-09

APPLICATION INFORMATION

Applicant's Name: Royal Street Communications CMU E-Mail: Varvizu@cmhcg.com
 Mailing Address: 350 Commerce Suite #200
Irvine CA 92602
City State ZIP

Daytime Phone No: (858) 602-6380 Fax No: (951) 541-9698

Engineer/Representative's Name: Veronica Arvizu E-Mail: Varvizu@cmhcg.com

Mailing Address: 2992 Hunter Road #105 MB166
Murrieta CA 92563
City State ZIP

Daytime Phone No: (858) 602-6380 Fax No: (951) 541-9698

Property Owner's Name: Bermuda Dunes Country Club E-Mail: page me 34@verizon.net
or Jeff Davis @ dc.vv.com

Mailing Address: 42300 Adams Street
Bermuda Dunes CA 92203
City State ZIP

Daytime Phone No: (760) 772-3140 Fax No: () N/A

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

CFG 05532 EA 42176

Riverside Office · 4080 Lemon Street, 9th Floor
 P.O. Box 1409, Riverside, California 92502-1409
 (951) 955-3200 · Fax (951) 955-3157

Desert Office · 38686 El Cerrito Road
 Palm Desert, California 92211
 (760) 863-8277 · Fax (760) 863-7555

APPLICATION FOR LAND USE AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

Veronica Alvarez [Signature]
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are **not** acceptable.

See attached Letter of Authorization [Signature]
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 609-280-004
Section: 17 Township: 5 S Range: 7 E
Approximate Gross Acreage: 10.76 acres Project size 460 sq. ft.
General location (nearby or cross streets): North of Fred Waring Drive, South of Avenue 42, East of Baracoa, West of Adams.
Thomas Brothers map, edition year, page number, and coordinates: 819 HS 2006 ed

APPLICATION FOR LAND USE AND DEVELOPMENT

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, Vesting Map, PRD):

Royal street Communications is proposing to install a 50' monopole with six panel antennas and four outdoor equipment cabinets within a 6' CMU wall to match existing facilities

Related cases filed in conjunction with this request:

None

Is there a previous development application filed on the same site: Yes No

If yes, provide Case No(s). VP20312 ; PUP 00859 (Parcel Map, Zone Change, etc.)

E.A. No. (if known) 38831 ; 40065 E.I.R. No. (if applicable): _____

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a copy: Previous studies are on record

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal eventually require landscaping either on-site or as part of a road improvement or other common area improvements? Yes No

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) _____

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: /

Estimated amount of fill = cubic yards /

Does the project need to import or export dirt? Yes No

Import Export Neither

APPLICATION FOR LAND USE AND DEVELOPMENT

What is the anticipated source/destination of the import/export? N/A

What is the anticipated route of travel for transport of the soil material? N/A

How many anticipated truckloads? N/A truck loads.

What is the square footage of usable pad area? (area excluding all slopes) NO slope sq. ft.

Is the development proposal located within 8½ miles of March Air Reserve Base? Yes No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes No

Does the development project area exceed more than one acre in area? Yes No

If yes, in which one of the following watersheds is it located (refer to Riverside County GIS for watershed location)?

Check answer:
 Santa Ana River Santa Margarita River San Jacinto River Colorado River

HAZARDOUS WASTE SITE DISCLOSURE STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

- The project is not located on or near an identified hazardous waste site.
- The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1) *Shirley* Date 5/20/09
Owner/Representative (2) _____ Date _____

RIVERSIDE COUNTY GIS



Selected parcel(s):
609-280-004

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

STANDARD WITH PERMITS REPORT

APNs

609-280-004-9

OWNER NAME / ADDRESS

BERMUDA DUNES COUNTRY CLUB
42360 ADAMS ST
INDIO, CA. 92203

MAILING ADDRESS

(SEE OWNER)
42360 ADAMS ST
BERMUDA DUNES CA. 92203

LEGAL DESCRIPTION

LEGAL DESCRIPTION IS NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 10.76 ACRES

PROPERTY CHARACTERISTICS

NO PROPERTY DESCRIPTION AVAILABLE

THOMAS BROS. MAPS PAGE/GRID

PAGE: 819 GRID: H5

CITY BOUNDARY/SPHERE

NOT WITHIN A CITY
CITY SPHERE: PALM DESERT
ANNEXATION DATE: OCT. 25, 2007
LAFCO CASE #: 2006-89-4
NO PROPOSALS

MARCH JOINT POWERS AUTHORITY

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT (ORD. 813)

JOHN BENOIT, DISTRICT 4

TOWNSHIP/RANGE

T5SR7E SEC 17

ELEVATION RANGE

100/96 FEET

PREVIOUS APN

NO DATA AVAILABLE

PLANNING

LAND USE DESIGNATIONS

Zoning not consistent with the General Plan.
MDR
OS-R

AREA PLAN (RCIP)

WESTERN COACHELLA VALLEY

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

R-5

ZONING DISTRICTS AND ZONING AREAS

BERMUDA DUNES DISTRICT

ZONING OVERLAYS

IN OR PARTIALLY WITHIN THE BERMUDA DUNES NEIGHBORHOOD PRESERVATION OVERLAY

SPECIFIC PLANS

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE

NOT IN AN AGRICULTURAL PRESERVE

REDEVELOPMENT AREAS

NOT IN A REDEVELOPMENT AREA

AIRPORT INFLUENCE AREAS

BERMUDA DUNES

AIRPORT COMPATIBILITY ZONES

BERMUDA DUNES ZONE D

ENVIRONMENTAL

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA
NOT IN A CONSERVATION AREA**CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS**
NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA**WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP**
NOT IN A CELL GROUP**WRMSHCP CELL NUMBER**
NOT IN A CELL**HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEW PROCESS)**
NONE**VEGETATION (2005)**
NO DATA AVAILABLE

FIRE

HIGH FIRE AREA (ORD. 787)
NOT IN A HIGH FIRE AREA**FIRE RESPONSIBILITY AREA**
NOT IN A FIRE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP FEE AREA (ORD. 875)
WITHIN THE COACHELLA VALLEY MSHCP FEE AREA**WRMSHCP FEE AREA (ORD. 810)**
NOT WITHIN THE WESTERN RIVERSIDE COUNTY MSHCP FEE AREA**ROAD & BRIDGE DISTRICT**
NOT IN A DISTRICT**EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)**
IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION.
In EAST**WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)**
NOT WITHIN THE WESTERN TUMF FEE AREA**DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)**
WESTERN COACHELLA VALLEY**SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)**
NOT WITHIN AN SKR FEE AREA.**DEVELOPMENT AGREEMENTS**
NOT IN A DEVELOPMENT AGREEMENT AREA

TRANSPORTATION

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY
NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY**ROAD BOOK PAGE**
207B**TRANSPORTATION AGREEMENTS**
NOT IN A TRANSPORTATION AGREEMENT**CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS**

NOT IN A CETAP CORRIDOR.

HYDROLOGY

FLOOD PLAIN REVIEW

NOT REQUIRED.

WATER DISTRICT

CVWD

FLOOD CONTROL DISTRICT

COACHELLA VALLEY WATER DISTRICT

WATERSHED

WHITewater

GEOLOGIC

FAULT ZONE

NOT IN A FAULT ZONE

FAULTS

NOT WITHIN A 1/2 MILE OF A FAULT

LIQUEFACTION POTENTIAL

MODERATE

SUBSIDENCE

ACTIVE

PALEONTOLOGICAL SENSITIVITY

HIGH SENSITIVITY (HIGH A).

BASED ON GEOLOGIC FORMATIONS OR MAPPABLE ROCK UNITS THAT ARE ROCKS THAT CONTAIN FOSSILIZED BODY ELEMENTS, AND TRACE FOSSILS SUCH AS TRACKS, NESTS AND EGGS. THESE FOSSILS OCCUR ON OR BELOW THE SURFACE.

MISCELLANEOUS

SCHOOL DISTRICT

DESERT SANDS UNIFIED

COMMUNITIES

BERMUDA DUNES

COUNTY SERVICE AREA

IN OR PARTIALLY WITHIN

BERMUDA DUNES #121 -

STREET LIGHTING

LIGHTING (ORD. 655)

ZONE B, 42.64 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT

045205

FARMLAND

URBAN-BUILT UP LAND

TAX RATE AREAS

075-010

- CITRUS PEST CONTROL 2
- COACHELLA VAL JT BLO HIGH
- COACHELLA VALLEY PUBLIC CEMETERY
- COACHELLA VALLEY REC AND PARK
- COACHELLA VALLEY RESOURCE CONSER
- COACHELLA VALLEY WATER DISTRICT
- COUNTY FREE LIBRARY
- COUNTY SERVICE AREA 121*
- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE RESOURCE MGMT DIST
- CSA 152
- CV MOSQ & VECTOR CONTROL
- CVWD IMP DIST 1 DEBT SV

- CVWD STORM WTR UNIT
- DESERT COMMUNITY COLLEGE
- DESERT SANDS UNIFIED SCHOOL
- GENERAL
- GENERAL PURPOSE
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION
- SUPERVISORIAL ROAD DISTRICT 4

SPECIAL NOTES

PLEASE REFER TO ORDINANCE 457.96 FOR COACHELLA VALLEY AGRICULTURAL GRADING EXEMPTIONS.

CODE COMPLAINTS

NO CODE COMPLAINTS

BUILDING PERMITS

Case #	Description	Status
031606	GRADING-200 CY FILL	FINALED
023584	ADD TO SEPTIC SYSTEM	FINALED
117949	200 A SVC/39 UNIT BOOSTER STATION	FINALED
BXX066546	NOT AVAILABLE	FINAL
BTW100002	50' MONOPALM TO NEW CELL SITE (PP24126)	PCAPPR
333941	ADD SEPTIC&SEEPAGE *EXPIRED*	ISSUED
BXX036992	50'HIGH MONOPALM CELL TOWER	EXPIRED
031703	7X161 RET & GARDEN WALL	FINALED
BNR100022	INSTALL 4 CABINETS TO A NEW CELL SITE 600 SQFT	PCAPPR
BXX036993	EQUIPMENT CABINETS 18'X 3'6" HIGH	EXPIRED
031384	SITE PREP - COMM TEMP COACH	FINALED
179200	GAS PIPING	FINALED
BXX036994	PERIMETER WALL 116'X 9'	FINAL
022416	200 AMP SERV 100 HP FOR PUMP TO GOLF COURSE	FINALED
BXX100067	NEW CELL SITE 6 ANTENNAS	PCAPPR

ENVIRONMENTAL HEALTH PERMITS

NO ENVIRONMENTAL PERMITS

PLANNING PERMITS

Case #	Description	Status
PUP00859	50 FOOT HIGH MONOPALM TO HOUSE 12 ANTENNAS	APPROVED
EA38831	EA PUP00859 - WIRELESS COMMUNICATION FACILITY	APPROVED
CFG03522	CFG FOR EA40065 (PP20312)	PAID
PUP00859S1	RELOCATE 3 EXST EQUIP CABS/ADD SHELTER W/RADIO EQUIP/REPLACE AND ADD ANTENNAS NOT TO EXCEED 12 APPROVED ANTENNAS/ALL WITHIN LEASE AREA	APPROVED
PP20312	VERIZON TELE-COMM FACILITY 50' MONOPALM	APPROVED
PP18373	GOLF CLASSIC 1-27-03 THRU 2-02-03	APPROVED
PP17554	ANNUAL PGA GOLF TOURNAMENT JANUARY 14-20 2002	APPROVED
PP16211	ANNUAL PGA GOLF TOURNAMENT 1-17 THRU 1-22-2000	APPROVED
PP07657S1	NOT AVAILABLE	NOTINLMS
MT035981	PUP00859	VOID
TR29387	DIVIDE 14.4 AC INTO 59 SINGLE FAMILY LOTS	APPROVED
PP15493	BOB HOPE CHRYSLER CLASSIC GOLF TOURNAMENT 1/99	APPROVED
EA40065	EA FOR PP20312	APPROVED
GEO02190	GEOLOGIC REVIEW FOR PP24126	APPROVED
PP19102	BOB HOPE CHRYSLER CLASSIC JAN 19 - JAN 25, 2004	APPROVED
PP16837	ANNUAL PGA GOLF TOURNAMENT 2-14-01 THRU 2-2-18-01	APPROVED
GEO01125	GEO FOR PUP00859	APPROVED
PP20113	BOB HOPE CHRYSLER CLASSIC JAN 24- JAN 30,2005	APPROVED
PP7657S1	ADD 48'X40' PATIO COVER TO CLUBHOUSE	APPROVED
PP15230	BOB HOPE GOLF TOURNAMENT 1-13 TO 1-23-98	APPROVED
CZ07697	ORD AMD 348.4636 TO EST PROPERTY MAINT STANDARDS	APPROVED
CFG02260	CFG FOR EA38831 (PUP00859)	PAID

NOTICE OF PUBLIC HEARING
and
INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

A **PUBLIC HEARING** has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY DIRECTOR'S HEARING** to consider the project shown below:

PLOT PLAN NO. 24126 – Intent to Adopt a Mitigated Negative Declaration – Applicant: Royal Street Communications California, LLC – Representative: Veronica Arvizu - Fourth Supervisorial District – Bermuda Dunes Zoning District – Western Coachella Valley Area Plan: Open Space - Recreation (OS:R) – Location: Northerly of Fred Waring Drive, southerly of Avenue 42, westerly of Cerritos Drive, easterly of Montego Bay Drive, more specifically located at 42360 Adams Street, Bermuda Dunes, CA – 10.76 Gross Acres - Zoning: Open Area Combining Zone Residential Developments (R-5) - **REQUEST:** The Plot Plan proposes a wireless communication facility, for Royal Street Communications California, LLC, as a disguised mono palm tree with palm fronds at a total maximum height of 50 feet. The project will include six (6) panel antennas mounted on the mono palm tree, one (1) GPS antenna, and four (4) outdoor equipment cabinets at grade level within a 460 square foot lease area. APN: 609-280-004 – Concurrent Cases: EA42176, CFG05532 – Related Cases: PP20312, PUP00859. (Quasi-judicial)

TIME OF HEARING: 1:30 p.m. or as soon as possible thereafter.
DATE OF HEARING: November 22, 2010
PLACE OF HEARING: RIVERSIDE COUNTY PLANNING DEPARTMENT
38686 EI CERRITO ROAD
Palm Desert, CA 92211

For further information regarding this project, please contact Jay Olivas at 951-955-1195 or e-mail jolivas@rctlma.org, or go to the County Planning Department's Director's Hearing agenda web page at http://www.tlma.co.riverside.ca.us/planning/content/hearings/dh/current_dh.html

The Riverside County Planning Department has determined that the above project will not have a significant effect on the environment and has recommended adoption of a mitigated negative declaration. The Planning Director will consider the proposed project and the proposed mitigated negative declaration, at the public hearing. The case file for the proposed project and the proposed mitigated negative declaration may be viewed Monday through Thursday, 7:30 a.m. to 5:30 p.m., (with the exception of Noon-1:00 p.m. and holidays) at the County of Riverside Planning Department, 4080 Lemon Street, 9th Floor, Riverside, CA 92502. For further information or an appointment, please contact the project planner.

Any person wishing to comment on a proposed project may do so, in writing, between the date of this notice and the public hearing or appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Director, and the Planning Director will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing. Be advised that, as a result of public hearings and comment, the Planning Director may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands, within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
COUNTY OF RIVERSIDE PLANNING DEPARTMENT
Attn: Jay Olivas
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 10/13/2010.

The attached property owners list was prepared by Riverside County GIS.

APN (s) or case numbers PP 24126 For

Company or Individual's Name Planning Department.

Distance buffered 600'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

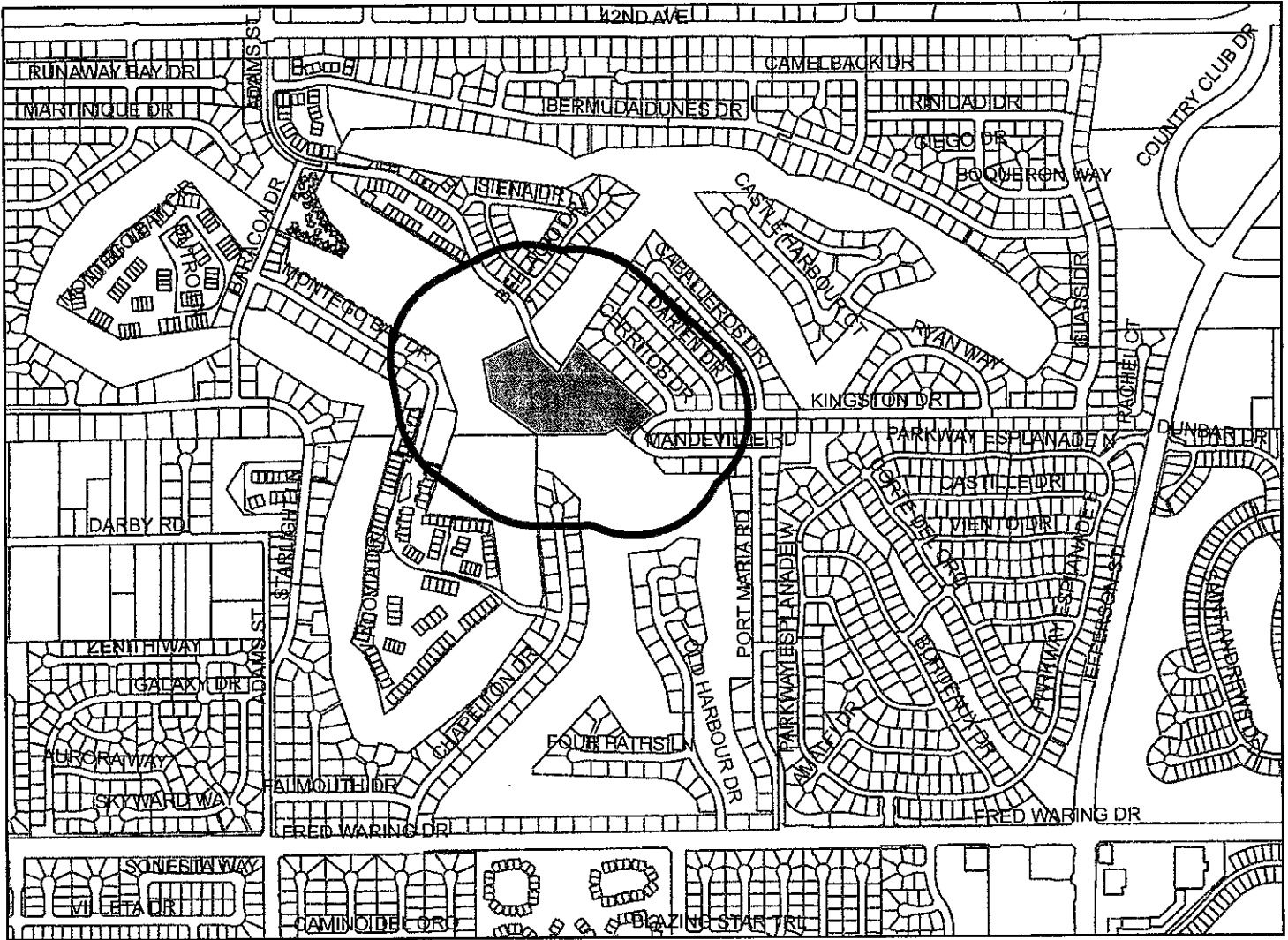
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. – 5 p.m.): (951) 955-8158

600 feet buffer



Selected Parcels

609-570-051	609-570-049	609-371-007	609-251-010	609-400-001	609-243-007	609-280-020	609-280-035	609-570-055	609-570-052
609-570-053	609-273-005	609-280-004	609-280-013	609-280-019	609-280-023	609-280-025	609-280-037	609-380-005	609-380-035
609-245-010	609-251-019	609-330-026	609-372-013	609-390-028	609-570-007	609-243-004	609-253-001	609-243-006	609-245-003
609-243-009	609-390-007	609-262-028	609-390-003	609-373-009	609-570-022	609-570-026	609-570-027	609-371-001	609-330-024
609-371-006	609-272-021	609-252-004	609-252-010	609-251-017	609-330-008	609-371-003	609-251-013	609-570-025	609-241-001
609-251-016	609-251-015	609-241-002	609-241-005	609-373-007	609-252-005	609-242-008	609-570-003	609-371-005	609-570-028
609-242-006	609-272-022	609-252-001	609-242-003	609-390-005	609-570-002	609-251-014	609-373-008	609-390-001	609-330-009
609-243-010	609-252-002	609-252-003	609-242-002	609-330-012	609-371-002	609-241-003	609-252-007	609-570-005	609-252-006
609-243-001	609-330-010	609-570-006	609-371-004	609-253-005	609-400-026	609-280-034	609-242-001	609-242-010	609-330-011

rst 90 parcels shown



1,300 650 0 1,300 Feet

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APN: 609570051, ASMT: 609570051
 ALAN S FAUSTINO, ETAL
 42672 CAPRI DR
 BERMUDA DUNES CA 92203

APN: 609570053, ASMT: 609570053
 BERMUDA DUNES 59
 1151 DOVE ST STE 278
 NEWPORT BEACH CA 92660

APN: 609570049, ASMT: 609570049
 ALEX E ROCOVITZ, ETAL
 P O BOX 12995
 PALM DESERT CA 92255

APN: 609273005, ASMT: 609273005
 BERMUDA DUNES COMMUNITY ASSN
 C/O BERMUDA DUNES SECURITY ASSN
 42360 ADAMS
 INDIO CA 92201

APN: 609371007, ASMT: 609371007
 ALEX HERTZ, ETAL
 P O BOX 1230
 CATHEDRAL CITY CA 92234

APN: 609280013, ASMT: 609280013
 BERMUDA DUNES COUNTRY CLUB
 C/O JACK GIBILISCO
 42360 ADAMS ST
 BERMUDA DUNES CA 92201

APN: 609251010, ASMT: 609251010
 AUDREY J PERKINS
 79470 GRANADA DR
 BERMUDA DUNES CA 92203

APN: 609280019, ASMT: 609280019
 BERMUDA DUNES COUNTRY CLUB
 BERMUDA DUNES COUNTRY CLUB
 42360 ADAMS
 BERMUDA DUNES CA 92201

APN: 609400001, ASMT: 609400001
 BEA ARCHER MIAN
 79326 MONTEGO BAY DR
 BERMUDA DUNES CA 92203

APN: 609280023, ASMT: 609280023
 BERMUDA DUNES COUNTRY CLUB
 C/O JACK GIBILISCO
 42360 ADAMS ST
 BERMUDA DUNES CA 92201

APN: 609243007, ASMT: 609243007
 BENJAMIN THOMAS LAFLIN, ETAL
 42905 CABALLEROS DR
 BERMUDA DUNES CA 92203

APN: 609372013, ASMT: 609372013
 BERMUDA DUNES SECURITY ASSN
 C/O BERMUDA DUNES COMMUNITY ASSN
 42360 ADAMS
 INDIO CA 92201

APN: 609280020, ASMT: 609280020
 BERMUDA COLONIES
 C/O TARBUTTON & TESTA CPAS
 81-730 HWY 111
 INDIO CA 92201

APN: 609390028, ASMT: 609390028
 BERMUDA OASIS APTS
 UNKNOWN 03-28-2007
 0.

APN: 609570007, ASMT: 609570007
 BETTY ROSS EKMANIAN
 42528 BELLAGIO DR
 BERMUDA DUNES CA 92203

APN: 609390003, ASMT: 609390003
 D FRANKLIN WRIGHT, ETAL
 1892 TAHITI DR
 COSTA MESA CA 92626

APN: 609243004, ASMT: 609243004
 BRIAN A HILL
 42950 DARIEN DR
 INDIO CA. 92203

APN: 609373009, ASMT: 609373009
 DANIEL O TOLHURST, ETAL
 79525 MANDEVILLE RD
 BERMUDA DUNES CA 92203

APN: 609253001, ASMT: 609253001
 BRYCE LYNN WHITE
 42725 DARIEN DR
 BERMUDA DUNES CA 92203

APN: 609570022, ASMT: 609570022
 DEBRA KAMINO
 P O BOX 11498
 PALM DESERT CA 92255

APN: 609243006, ASMT: 609243006
 CARL OBERTO, ETAL
 79580 KINGSTON DR
 BERMUDA DUNES CA 92203

APN: 609570026, ASMT: 609570026
 DENNIS M CALLAHAN, ETAL
 42665 CAPRI DR
 BERMUDA DUNES CA 92203

APN: 609245003, ASMT: 609245003
 CESAR I SANCHEZ, ETAL
 79515 KINGSTON DR
 BERMUDA DUNES CA 92201

APN: 609570027, ASMT: 609570027
 DERECK E WONG, ETAL
 8 BERNINI
 IRVINE CA 92614

APN: 609243009, ASMT: 609243009
 CHARLES A MANGUS, ETAL
 42825 CABALLEROS DR
 BERMUDA DUNES CA 92203

APN: 609330024, ASMT: 609330024
 DESERT BERMUDA DEVELOPMENT CO
 79050 AVENUE 42
 BERMUDA DUNES CA 92201

APN: 609262028, ASMT: 609262028
 COMMON LOT
 C/O THUNDERBIRD TERRACE
 P O BOX 1549
 NEWPORT BEACH CA 92659

APN: 609371006, ASMT: 609371006
 DONALD E GOMSI, ETAL
 3134 VIA ALICANTE UNT A
 LA JOLLA CA 92037

APN: 609272021, ASMT: 609272021
DOUGLAS R MUTH, ETAL
79185 MONTEGO BAY DR
INDIO CA. 92203

APN: 609570025, ASMT: 609570025
IRONSIDE PAUL A REVOC TRUST, ETAL
C/O PAUL IRONSIDE
42687 CAPRI DR
BERMUDA DUNES CA 92203

APN: 609252004, ASMT: 609252004
EDWIN PIECZYNSKI, ETAL
42655 CABALLEROS DR
BERMUDA DUNES CA 92203

APN: 609251015, ASMT: 609251015
JACK KILGORE, ETAL
42785 CERRITOS DR
BERMUDA DUNES CA 92203

APN: 609252010, ASMT: 609252010
FLOYD S STEVENS, ETAL
42750 DARIEN DR
BERMUDA DUNES CA 92203

APN: 609241002, ASMT: 609241002
JAMES F MCGARRY, ETAL
42855 CERRITOS DR
INDIO CA. 92203

APN: 609251017, ASMT: 609251017
GARY H FEEMSTER, ETAL
79460 GRANADA DR
BERMUDA DUNES CA 92203

APN: 609241005, ASMT: 609241005
JAMES RUDOLPH, ETAL
1075 OAKCREST AVE
BREA CA 92821

APN: 609330008, ASMT: 609330008
GASPER J DEBUONO, ETAL
4703 ROMA CT
MARINA DEL REY CA 90292

APN: 609373007, ASMT: 609373007
JEFFREY C WATTENBARGER, ETAL
79575 MANDEVILLE RD
BERMUDA DUNES CA 92203

APN: 609371003, ASMT: 609371003
GERALD R MURPHY, ETAL
79500 MANDEVILLE
BERMUDA DUNES CA 92203

APN: 609252005, ASMT: 609252005
JEFFREY K SULLIVAN
42625 CABALLEROS DR
BERMUDA DUNES CA 92203

APN: 609251013, ASMT: 609251013
HUGH R MCGOOKIN, ETAL
79440 GRANADA DR
BERMUDA DUNES CA 92203

APN: 609242008, ASMT: 609242008
JEFFREY SCOTT HASKELL, ETAL
42825 DARIEN DR
BERMUDA DUNES CA 92203

APN: 609570003, ASMT: 609570003
JERRY CHARLES HOLLAND, ETAL
1544 E ASTER RD
SCOTTSDALE AZ 85260

APN: 609390005, ASMT: 609390005
JOSEPH J CROSETTI
79311 MONTEGO BAY DR
BERMUDA DUNES CA 92203

APN: 609371005, ASMT: 609371005
JOAN ALAYNE JENSEN
79540 MANDEVILLE RD
BERMUDA DUNES CA 92203

APN: 609570002, ASMT: 609570002
JOSEPH R FOX, ETAL
2262 MCGILCHRIST ST SE
SALEM OR 97302

APN: 609570028, ASMT: 609570028
JOAN DONALDSON, ETAL
C/O JOHN F GARVIN
209 E SURFSIDE DR
PORT HUENEME CA 93041

APN: 609251014, ASMT: 609251014
JOSEPH T PETERSON, ETAL
79420 GRANADA DR
BERMUDA DUNES CA 92203

APN: 609242006, ASMT: 609242006
JOHN D BUYS, ETAL
42975 DARIEN DR
BERMUDA DUNES CA 92203

APN: 609373008, ASMT: 609373008
JUNE C TETSCH, ETAL
C/O WILLIAM S TETSCH
79555 MANDEVILLE RD
BERMUDA DUNES CA 92203

APN: 609272022, ASMT: 609272022
JOHN E DIETERICH, ETAL
P O BOX 7
HIGHLAND CA 92346

APN: 609390001, ASMT: 609390001
KAREN RUTH WHITAKER, ETAL
79271 MONTEGO BAY DR
BERMUDA DUNES CA 92203

APN: 609252001, ASMT: 609252001
JOHN E KLOCKE, ETAL
42755 CABALLEROS DR
BERMUDA DUNES CA 92203

APN: 609330009, ASMT: 609330009
KATHERINE PICCARRETO
43201 CHAPELTON DR
INDIO CA. 92203

APN: 609242003, ASMT: 609242003
JOHN RICHARD STANICH, ETAL
42920 CERRITOS DR
BERMUDA DUNES CA 92203

APN: 609243010, ASMT: 609243010
KURT LUND, ETAL
42785 CABALLEROS DR
BERMUDA DUNES CA 92203

APN: 609252002, ASMT: 609252002
LAURA A DAYS
42725 CABALLEROS DR
BERMUDA DUNES CA 92203

APN: 609570005, ASMT: 609570005
MARK KONOPCZYNSKI, ETAL
80 WOODACRES CRES SW
CALGARY AB CANADA T2W5B6 0

APN: 609252003, ASMT: 609252003
LILLIAN P THOMAS
3843 E DULCIANA AVE
MESA AZ 85206

APN: 609252006, ASMT: 609252006
MARLYS KNOX POSHKA, ETAL
43104 QUINCY CT
HEMET CA 92544

APN: 609242002, ASMT: 609242002
LINDA FAYE ROGERS
39700 BOB HOPE DR STE 209
RANCHO MIRAGE CA 92270

APN: 609243001, ASMT: 609243001
MARTIN J BREEN, ETAL
42780 DARIEN DR
INDIO CA. 92203

APN: 609330012, ASMT: 609330012
LORRAINE ROSE RUMBERG, ETAL
14252 31A AVE
SURREY BC CANADA V4P2J3 0

APN: 609330010, ASMT: 609330010
MARY MUDRY
43181 CHAPELTON DR
BERMUDA DUNES CA 92203

APN: 609371002, ASMT: 609371002
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P O BOX 280069
NORTHRIDGE CA 91328

APN: 609570006, ASMT: 609570006
MICHAEL A HAUSER, ETAL
42550 BELLAGIO DR
BERMUDA DUNES CA 92203

APN: 609241003, ASMT: 609241003
MARCO HONOLD, ETAL
260 N IMPERIAL AVE
EL CENTRO CA 92243

APN: 609371004, ASMT: 609371004
MICHAEL BRANDEIS, ETAL
79520 MANDEVILLE RD
BERMUDA DUNES CA 92203

APN: 609252007, ASMT: 609252007
MARILYN LINDA LEVENTHAL, ETAL
42650 DARIEN DR
BERMUDA DUNES CA 92203

APN: 609253005, ASMT: 609253005
MICHAEL COOPER, ETAL
42820 CERRITOS DR
BERMUDA DUNES CA 92203

APN: 609400026, ASMT: 609400026
MONTEGO WEST HOMEOWNERS ASSN
P O BOX 1398
PALM DESERT CA 92261

APN: 609245005, ASMT: 609245005
RAY MCKINZIE
79555 KINGSTON DR
BERMUDA DUNES CA 92203

APN: 609280034, ASMT: 609280034
MYOMA DUNES MUTUAL WATER CO INC
79050 42ND AVE
BERMUDA DUNES CA 92203

APN: 609570050, ASMT: 609570050
RAYMOND L WILHELM, ETAL
42650 CAPRI DR
BERMUDA DUNES CA 92203

APN: 609242001, ASMT: 609242001
NANCY CONRAD
42850 CERRITOS DR
BERMUDA DUNES CA 92203

APN: 609400002, ASMT: 609400002
RICHARD B SMITH, ETAL
79328 MONTEGO BAY CT
BERMUDA DUNES CA 92203

APN: 609242010, ASMT: 609242010
PETER M BROWNE, ETAL
4644 EL CAMINO CORTO
LA CANADA CA 91011

APN: 609242009, ASMT: 609242009
RICHARD I JONES, ETAL
715 CAROLINE ST
WEST COVINA CA 91791

APN: 609330011, ASMT: 609330011
PHILIP GENE STAFFORD, ETAL
43180 CHAPELTON DR
BERMUDA DUNES CA 92203

APN: 609241004, ASMT: 609241004
RICHARD L JANDT
42915 CERRITOS DR
BERMUDA DUNES CA 92203

APN: 609330007, ASMT: 609330007
R ROSENBERG, ETAL
1300 CLAY ST STE 1000
OAKLAND CA 94612

APN: 609570001, ASMT: 609570001
ROBERT F STRICKER, ETAL
379 S SILVERBROOK DR
ANAHEIM CA 92807

APN: 609373012, ASMT: 609373012
RANDY C MININI, ETAL
79485 MANDEVILLE RD
INDIO CA. 92203

APN: 609271012, ASMT: 609271012
ROBERT J KORETOFF
16320 DOWNEY AVE
PARAMOUNT CA 90723

APN: 609570024, ASMT: 609570024
ROBERT L DARRAS, ETAL
42611 BELLAGIO DR
BERMUDA DUNES CA 92203

APN: 609243002, ASMT: 609243002
ROSE TIJERINA SWEARINGEN
45681 GURLEY DR
INDIAN WELLS CA 92210

APN: 609242005, ASMT: 609242005
ROBERT L LONG, ETAL
42980 CERRITOS DR
BERMUDA DUNES CA 92203

APN: 609243008, ASMT: 609243008
RUTH JOY GRAVANTE
42855 CABALLEROS DR
BERMUDA DUNES CA 92203

APN: 609245006, ASMT: 609245006
RODNEY J GILLESPIE, ETAL
79575 KINGSTON DR
BERMUDA DUNES CA 92203

APN: 609570023, ASMT: 609570023
SAMUEL LICATO, ETAL
625 OLAZABAL DR
HEMET CA 92545

APN: 609271011, ASMT: 609271011
ROGER O LERVICK
P O BOX 699
STANWOOD WA 98292

APN: 609570029, ASMT: 609570029
SHARON E SLATTERY
42599 CAPRI DR
BERMUDA DUNES CA 92203

APN: 609570004, ASMT: 609570004
ROGER REDHEAD, ETAL
P O BOX 4845
COVINA CA 91723

APN: 609245001, ASMT: 609245001
SHIRLA GENE INGRAM, ETAL
C/O WILLIAM ELDER
79485 KINGSTON DR
BERMUDA DUNES CA 92203

APN: 609243003, ASMT: 609243003
ROLAND V PHILLIPS, ETAL
42880 DARIEN WAY
BERMUDA DUNES CA 92203

APN: 609245002, ASMT: 609245002
SNV KINGSTON
C/O LAURIE SNEVE
3375 AVENIDA NIEVE
CARLSBAD CA 92009

APN: 609253003, ASMT: 609253003
ROSCOE C FOUGHT, ETAL
42645 DARIEN DR
BERMUDA DUNES CA 92203

APN: 609242007, ASMT: 609242007
SUSAN SIINO
142 QUINTERRA LN
DANVILLE CA 94526



APN: 609373010, ASMT: 609373010
TAHIR MAJID
81709 DOCTOR CARREON C4
INDIO CA 92201

APN: 609242004, ASMT: 609242004
THOMAS W MOORE, ETAL
42950 CERRITOS DR
BERMUDA DUNES CA 92203

APN: 609243005, ASMT: 609243005
TERRY W HARTIGAN, ETAL
19419 LINDA DR
TORRANCE CA 90503

APN: 609271010, ASMT: 609271010
TOM L STULL, ETAL
5699 HAPPY CANYON RD
SANTA YNEZ CA 93460

APN: 609253004, ASMT: 609253004
THEODORE PAUL LAVIGNE, ETAL
19611 ALDERWOOD MALL PKWY
LYNNWOOD WA 98036

APN: 609253002, ASMT: 609253002
U S BANK NATL ASSN
3121 MICHELSON DR 6TH FL
IRVINE CA 92612

APN: 609390004, ASMT: 609390004
THOMAS DOLAN, ETAL
31 RANCHO LAGUNA DR
POMONA CA 91766

APN: 609252008, ASMT: 609252008
WALTER E REMSTEDT, ETAL
42680 DARIEN DR
BERMUDA DUNES CA 92203

APN: 609330013, ASMT: 609330013
THOMAS J GASSEN, ETAL
43260 CHAPELTON DR
BERMUDA DUNES CA 92203

APN: 609252009, ASMT: 609252009
WILLIAM JOSEPH SMITH
P O BOX 391
PALO VERDE CA 92266

APN: 609390002, ASMT: 609390002
THOMAS L KNIGHT
79281 MONTEGO BAY DR
BERMUDA DUNES CA 92203

APN: 609251018, ASMT: 609251018
WILLIAM WAYNE NIX, ETAL
79450 GRANADA DR
BERMUDA DUNES CA 92201

APN: 609245004, ASMT: 609245004
THOMAS MILLER
116 18TH ST NE
MENOMONIE WI 54751

Royal Street Communications, LLC
350 Commerce Street, Ste. 200
Irvine, CA 92602

Veronica Arvizu
29992 Hunter Road #105
Murrieta, CA 92563

Bermuda Dunes Country Club
42360 Adams Street
Bermuda Dunes, CA 92203

Extra Labels for
PP24126

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Carolyn Syms Luna - Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 9th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42176 Plot Plan No. 24126

Project Title/Case Numbers

Jay Olivas
County Contact Person

951-955-3200
Phone Number

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

Royal Street Communications, Inc.
Project Applicant *Address*

Northerly of Fred Waring Drive, southerly of Avenue 42, westerly of Cerritos Drive, easterly of Montego Bay Drive.
Project Location

Plot Plan for 50 foot high monopalm with outdoor equipment cabinets.
Project Description

This is to advise that the Riverside County Planning Director, as the lead agency, has approved the above-referenced project on November 22, 2010, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,010.25 + \$64.00).
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 9th Floor, Riverside, CA 92501.

Signature

Title

Date

Date Received for Filing and Posting at OPR: _____

DM/rj
Revised 8/25/2009
Y:\Planning Master Forms\CEQA Forms\NOD Form.doc

Please charge deposit fee case#: ZEA42176 ZCFGCFG05532 .

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Carolyn Syms Luna · Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: Plot Plan No. 24126

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Jay Olivas Title: Project Planner Date: October 18, 2010

Applicant/Project Sponsor: Royal Street Communications Date Submitted: May 28, 2009

ADOPTED BY: Planning Director

Person Verifying Adoption: Jay Olivas Date: November 22, 2010

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 9th Floor, Riverside, CA 92501

For additional information, please contact Jay Olivas at 951-955-1195.

Revised: 10/16/07

Y:\Planning Master Forms\CEQA Forms\Mitigated Negative Declaration.doc

Please charge deposit fee case#: ZEA42176 ZCFG05532

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

O* REPRINTED * R1010057

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: ROYAL STREET COMMUNICATIONS \$2,010.25
paid by: CK 2232
FISH & GAME FEE FOR EA42176
paid towards: CFG05532 CALIF FISH & GAME: DOC FEE
at parcel: 42865 ADAMS ST INDO
appl type: CFG3

By _____ Sep 09, 2010 16:04
MGARDNER posting date Sep 09, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,010.25

Overpayments of less than \$5.00 will not be refunded!

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

O* REPRINTED * I0901331

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 694-5242

38686 El Cerrito Rd
Indio, CA 92211
(760) 863-8271

Received from: ROYAL STREET COMMUNICATIONS \$64.00
paid by: CK 573873
FISH & GAME FEE FOR EA42176
paid towards: CFG05532 CALIF FISH & GAME: DOC FEE
at parcel: 42865 ADAMS ST INDO
appl type: CFG3

By _____ May 28, 2009 15:05
KHAFLIGE posting date May 28, 2009

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

Agenda Item No.: 4.2
Area Plan: Western Coachella Valley
Zoning District: Cathedral City-Palm Desert
Supervisorial District: Fifth
Project Planner: Jay Olivas
Director's Hearing: November 22, 2010

Plot Plan No. 23955
EA Number: 42116
Applicant: Royal Street Communications
Representative: Veronica Arvizu

COUNTY OF RIVERSIDE PLANNING DEPARTMENT STAFF REPORT

PROJECT DESCRIPTION AND LOCATION:

The Plot Plan proposes a wireless communication facility, for Royal Street Communications California, LLC, as a disguised mono palm tree with palm fronds at a total maximum height of 70 feet. The project will include six (6) panel antennas, one (1) GPS antenna, and four (4) outdoor equipment cabinets at grade level within a 600 square foot lease area. The proposed palm fronds reduce visual impacts but the overall height limit of 70 feet is not exceeded.

The Southerly of State Highway 111 (North Palm Canyon Drive), northerly of Range View Drive, more specifically at 59901 Highway 111, Palm Springs, CA

ISSUES OF POTENTIAL CONCERN:

The proposed project was subject to major redesign from a proposed monopole to a proposed monopalm. The project also was required to obtain clearance from the Caltrans regarding access issues due to adjoining State Highway 111. Caltrans has issued a clearance letter dated August 25, 2010 which indicates that ingress/egress would be better served using access from State Highway 111 to Overture Drive then to Range View Drive and entering from the south end of the property. The Transportation Department conditions are consistent which state that legal access for this project shall be from Range View Drive.

SUMMARY OF FINDINGS:

- | | |
|---------------------------------------|---|
| 1. Existing General Plan Land Use: | Medium Density Residential (MDR) (2-5 DU/AC) |
| 2. Surrounding General Plan Land Use: | Medium Density Residential (MDR) (2 – 5 DU/AC) |
| 3. Existing Zoning: | Scenic Highway Commercial (C-P-S) |
| 4. Surrounding Zoning: | Scenic Highway Commercial (C-P-S); Open Area
Combining Zone Residential Developments (R-5) |
| 5. Existing Land Use: | Existing Single Family Residence (unoccupied) |
| 6. Surrounding Land Use: | Existing Single Family Residence, Vacant land |
| 7. Project Data: | Total Acreage: 1.11 Acres
Lease Area: 600 Square Feet |
| 8. Environmental Concerns: | See Attached Environmental Assessment |

RECOMMENDATIONS:

ADOPTION of a **MITIGATED NEGATIVE DECLARATION** for **ENVIRONMENTAL ASSESSMENT NO. 42116**, based on the findings incorporated in the initial study and the conclusion that the project will not have a significant effect on the environment;

APPROVAL of **PLOT PLAN NO. 23955**, subject to the attached conditions of approval, and based upon the findings and conclusions incorporated in the staff report.

CONCLUSIONS:

1. The proposed project is in conformance with the Community Development: Medium Density Residential (CD: MDR) (2-5 DU/AC) Land Use Designation, and with all other elements of the Riverside County General Plan.
2. The proposed project is consistent with the Scenic Highway Commercial (C-P-S) zoning classification of Ordinance No. 348, and with all other applicable provisions of Ordinance No. 348.
3. The public's health, safety, and general welfare are protected through project design.
4. The proposed project is conditionally compatible with the present and future logical development of the area.
5. The proposed project will not have a significant effect on the environment.
6. The proposed project will not preclude reserve design for the Multi-Species Habitat Conservation Plan (MSHCP).

FINDINGS: The following findings are in addition to those incorporated in the summary of findings, which is incorporated herein by reference.

1. The project site is designated Community Development: Medium Density Residential (CD: MDR) (2-5 DU/AC) on the Western Coachella Valley Area Plan.
2. The proposed use, a wireless communication facility disguised as a 70 foot high palm tree, is a permitted use in the Medium Density Residential (MDR) land use designation. The Riverside County General Plan requires development have available public facilities and services. The proposed wireless telecommunication facility will provide better phone coverage for the area.
3. The project site is surrounded by properties which are designated Community Development: Medium Density Residential (CD: MDR) to the north, south, east, and west, and Commercial Retail (CR) further to the west.
4. The zoning for the subject site is Scenic Highway Commercial (C-P-S).
5. The proposed use, a wireless telecommunication facility disguised as a 70 foot high palm tree, is a permitted use subject to approval of a plot plan in the Scenic Highway Commercial (C-P-S) zone.
6. The proposed height of the wireless telecommunication facility (70 feet) does not exceed the C-P-S zone's development standard regarding height, which limits buildings or structures to a height 70 feet.
7. The project site is surrounded by properties which are zoned Open Area Combining Zone Residential Developments (R-5) to the south, east, and west and Scenic Highway Commercial (C-P-S) to the north.

8. The site contains an existing unoccupied single family residence and would comply with minimum setbacks in that the proposed 70' mono palm is setback at least 140 feet from the dwelling which is 200% of the tower height as required by Section 19.4 of the Zoning Ordinance No. 348 regarding wireless communication facilities.
9. The project is not located within a Conservation Area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP).
10. Environmental Assessment No. 42116 identified the following potentially significant impacts:
 - a. Aesthetics

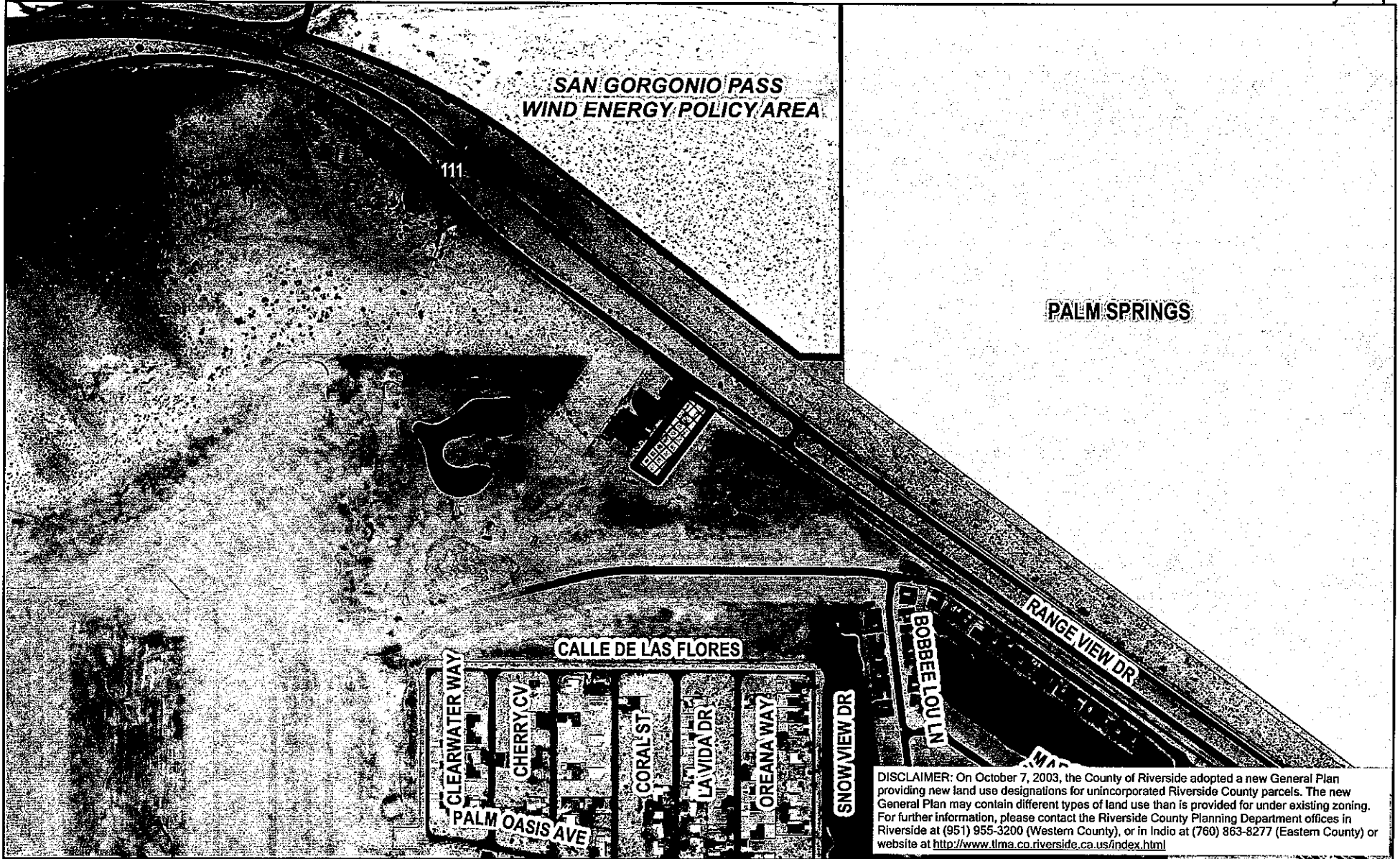
These listed impacts will be fully mitigated by the measures indicated in the environmental assessment, conditions of approval, and attached letters. No other significant impacts were identified.

INFORMATIONAL ITEMS:

1. As of this writing (10/27/10), no letters, in support or opposition have been received.
2. The project site is not located within:
 - a. A High Fire area.
 - b. A Fault Zone.
 - c. A Flood Zone.
3. The project site is located within:
 - a. The Boundaries of the Palm Springs Unified School District.
 - b. An Area Susceptible for Subsidence.
 - c. An area of moderate liquefaction potential.
4. This project was reviewed by the Land Development Committee one time on the following date 09/23/09
5. The subject site is currently designated as Assessor's Parcel Number 522-200-008.
6. This project was filed with the Planning Department on 1/22/09.
7. Deposit Based Fees charged for this project, as of the time of staff report preparation, total approximately \$22,000.

PP23955

VICINITY/POLICY AREAS

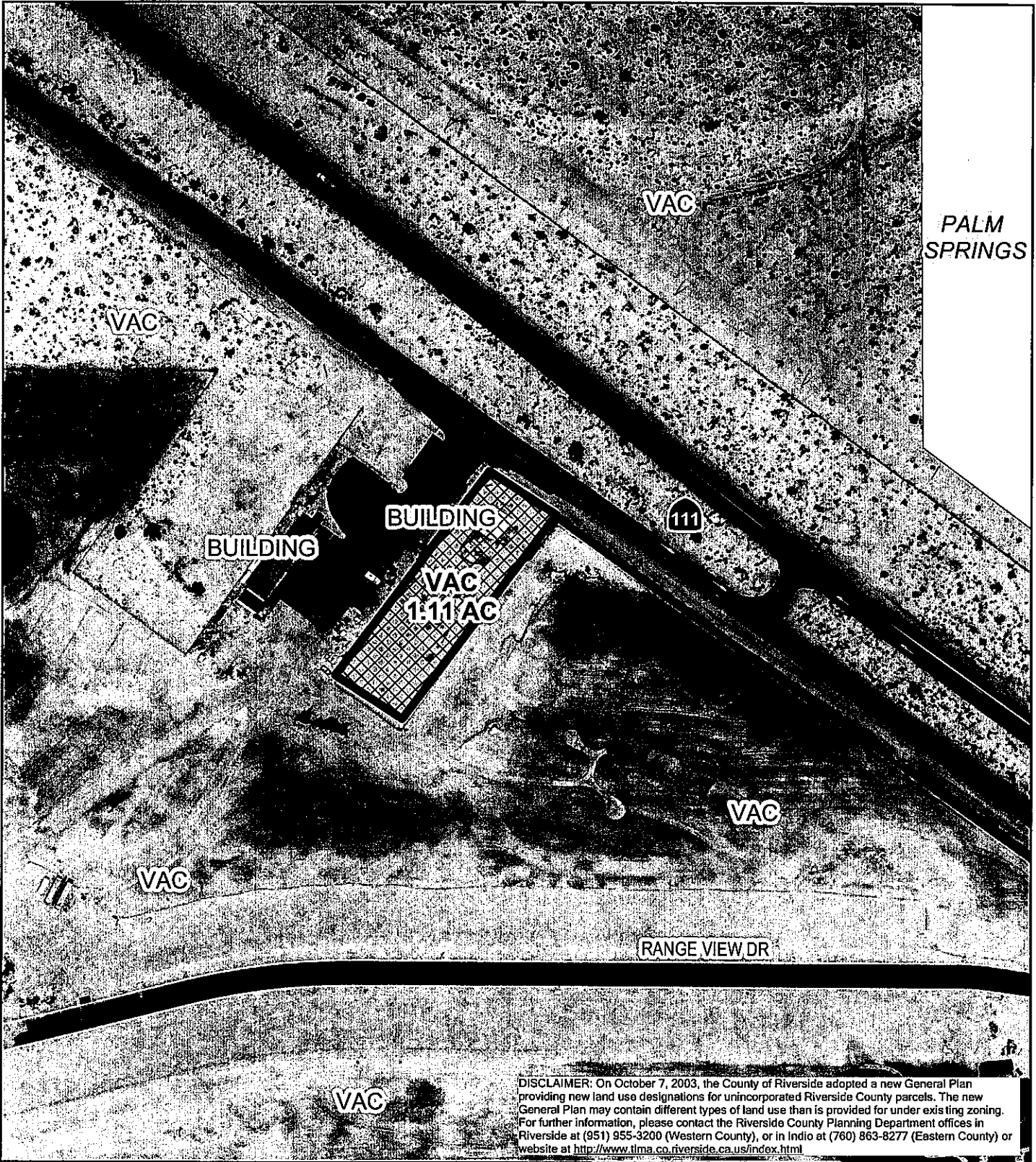


District: Cathedral City-Palm Desert
Township/Range: T3SR3E
Section : 24

RIVERSIDE COUNTY PLANNING DEPARTMENT

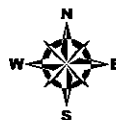


Assessors
Bk. Pg. 522-20
Thomas
Bros. Pg. 725 E6



RIVERSIDE COUNTY PLANNING DEPARTMENT

District: Cathedral City-Palm Desert
Township/Range: T3SR3E
Section: 24

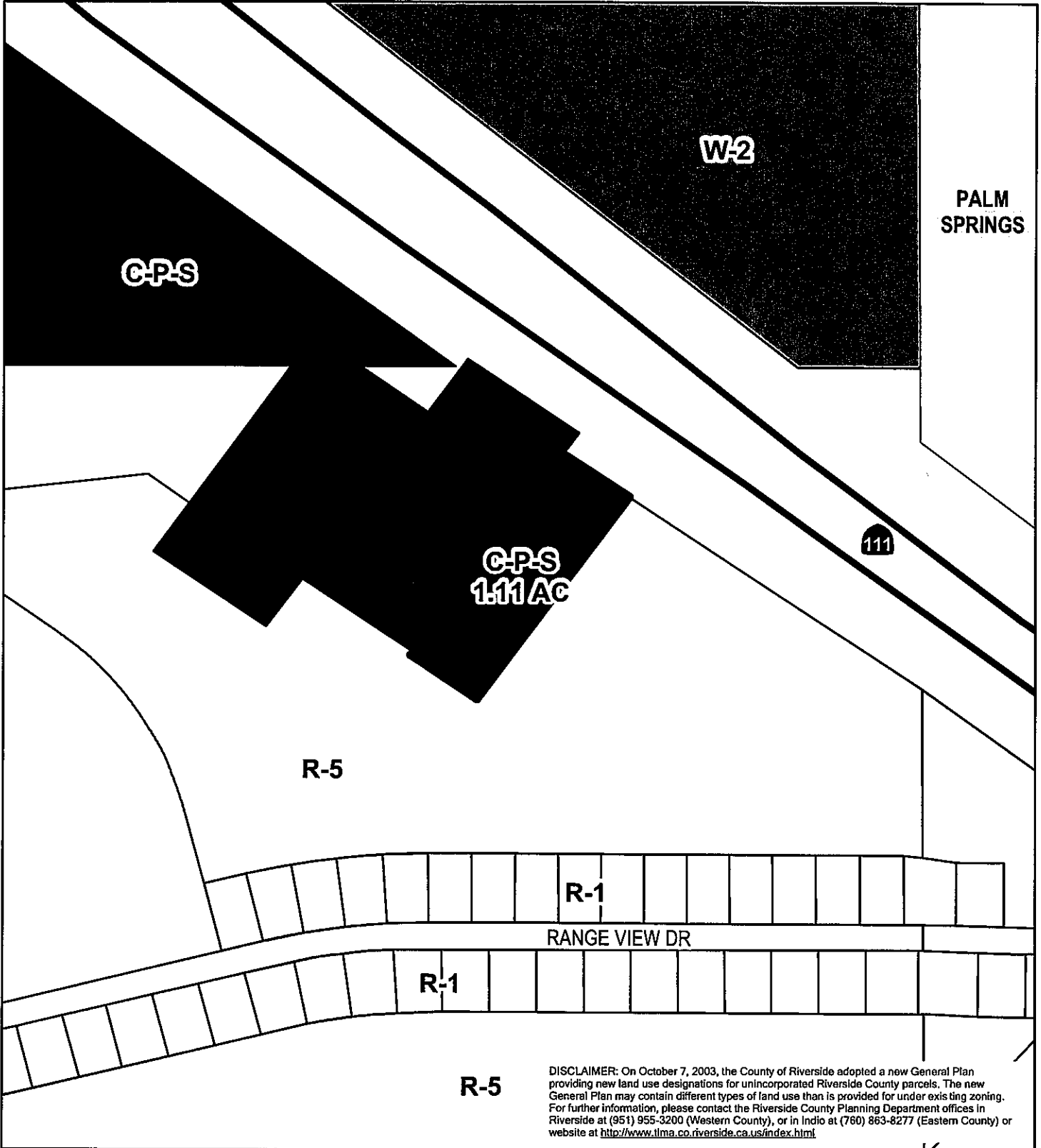


Assessors
Bk. Pg. 522-20
Thomas
Bros. Pg. 725 E6

Supervisor Ashley
District 5
Date Drawn: 3/4/09

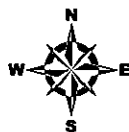
PP23955
EXISTING ZONING

Planner: Jay Olivas
Date: 3/26/09
Exhibit 2



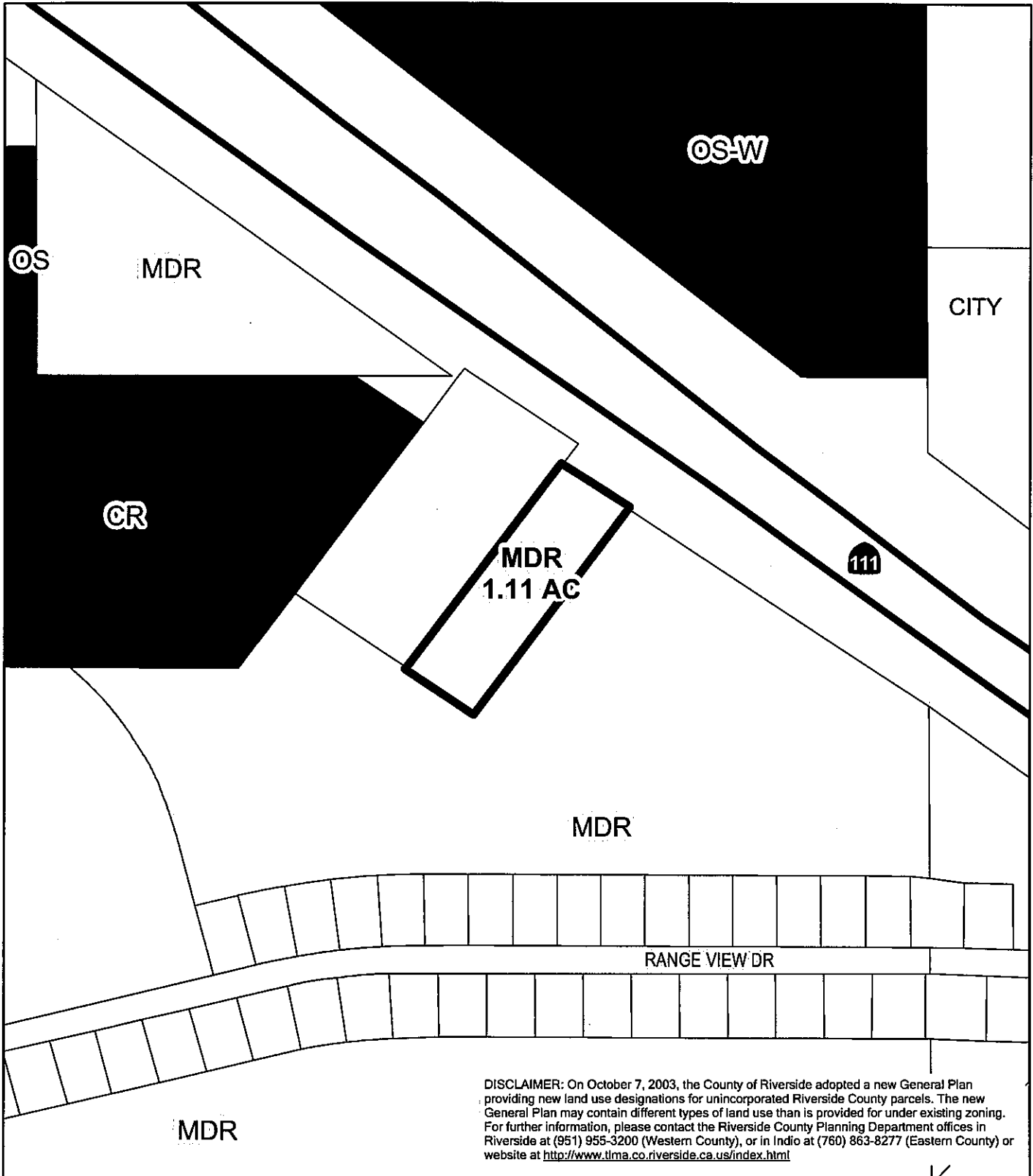
RIVERSIDE COUNTY PLANNING DEPARTMENT

District: Cathedral City-Palm Desert
Township/Range: T3SR3E
Section : 24



Assessors
Bk. Pg. 522-20
Thomas
Bros. Pg. 725 E6

PP23955
EXISTING GENERAL PLAN



RIVERSIDE COUNTY PLANNING DEPARTMENT

District: Cathedral City-Palm Desert
Township/Range: T3SR3E
Section: 24



Assessors
Bk. Pg. 522-20
Thomas
Bros. Pg. 725 E6

Royal Street Communications California, LLC

LA3600A OFF ROAD RENTALS

59901 HIGHWAY 111
PALM SPRINGS, CA 92262

PLOT PLAN FOR DISGUISED WIRELESS FACILITY

PROJECT TEAM:

SITE ACQUISITION:

NAME: CRM CONSULTING GROUP
ADDRESS: 39922 HUNTER ROAD, SUITE 105-156
CITY, STATE ZIP: BURBETTA, CA 92263
CONTACT: TOM HANNA
PHONE: (804) 822-8233
EMAIL: thanna@crmcp.com

ZONING:

NAME: CRM CONSULTING GROUP
ADDRESS: 39922 HUNTER ROAD, SUITE 105-156
CITY, STATE ZIP: BURBETTA, CA 92263
CONTACT: VERONICA ARVIZU
PHONE: (804) 822-8380
EMAIL: vcrv@crmcp.com

RF ENGINEER:

NAME: METRO PCS
ADDRESS: 330 COMMERCIAL SUITE 200
CITY, STATE ZIP: IRVINE, CA 92602
CONTACT: LUIGI CALABRINO
PHONE: (714) 730-3189

CONSTRUCTION MANAGER:

NAME: METRO PCS
ADDRESS: 330 COMMERCIAL SUITE 200
CITY, STATE ZIP: IRVINE, CA 92602
CONTACT: JAY WICKHAM
PHONE: (949) 757-4627

SURVEYOR:

NAME: CALVADA SURVEYING INC.
ADDRESS: 411 JONES CIRCLE SUITE 205
CITY, STATE ZIP: CORONA, CA 92606
PHONE: (951) 280-9930
FAX: (951) 280-9748

CIVIL ENGINEER:

NAME: NATIONAL ENGINEERING & CONSULTING, INC.
ADDRESS: 22382 BLANCK RD. SUITE 200
CITY, STATE ZIP: RANCHO SANTA MARGARITA, CA 92688-2153
PHONE: (949) 766-7774
FAX: (949) 766-7789

STRUCTURAL ENGINEER:

NAME: NATIONAL ENGINEERING & CONSULTING, INC.
ADDRESS: 22382 BLANCK RD. SUITE 200
CITY, STATE ZIP: RANCHO SANTA MARGARITA, CA 92688-2153
PHONE: (949) 766-7774
FAX: (949) 766-7789

ELECTRICAL ENGINEER:

NAME: NATIONAL ENGINEERING & CONSULTING, INC.
ADDRESS: 22382 BLANCK RD. SUITE 200
CITY, STATE ZIP: RANCHO SANTA MARGARITA, CA 92688-2153
PHONE: (949) 766-7774
FAX: (949) 766-7789

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF THE INSTALLATION AND OPERATION OF ANTENNAS AND ASSOCIATED EQUIPMENT CABINETS FOR PERSONAL COMMUNICATION SERVICES WIRELESS TELECOMMUNICATIONS NETWORK. A TOTAL OF (8) PANEL ANTENNAS MOUNTED ON NEW MONOPOLM AND (1) DPS ANTENNA AND (1) OUTDOOR EQUIPMENT CABINETS AT GRADE LEVEL ARE PROPOSED.

CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTINGS IN THESE PLANS IS TO BE CONSIDERED TO FURTHER WORK NOT CONFORMING TO THE LATEST EDITIONS OF THE FOLLOWING CODES:

- 2007 BUILDING STANDARDS ADMINSTRATIVE CODE
- 2007 CALIFORNIA BUILDING CODE (CBC) (2008 INTERNATIONAL BUILDING CODE WITH CALIFORNIA AMENDMENTS)
- 2007 CALIFORNIA ELECTRICAL CODE (CEC) (2008 NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS)
- 2007 CALIFORNIA ENERGY CODE
- 2007 CALIFORNIA MECHANICAL CODE (CMC) (2008 INTERNATIONAL MECHANICAL CODE WITH CALIFORNIA AMENDMENTS)
- 2006 INTERNATIONAL PLUMBING CODE WITH CALIFORNIA AMENDMENTS
- ANSI/ISA-222-F LIFE SAFETY CODE NFPA-101
- LOCAL BUILDING CODE
- CITY/COUNTY ORDINANCES

PROJECT INFORMATION:

APPLICANT:

NAME: CRM CONSULTING GROUP (FOR: ROYAL STREET COMMUNICATIONS CALIFORNIA, LLC)
ADDRESS: 39922 HUNTER ROAD, SUITE 105-156
CITY, STATE ZIP: BURBETTA, CA 92263
CONTACT: ATYNA VERONICA ARVIZU (804) 822-8380

NAME: ROYAL STREET COMMUNICATIONS CALIFORNIA C/O METRO PCS
ADDRESS: 2913 EL CAMINO REAL #561
CITY, STATE ZIP: TUSTIN, CA 92782
CONTACT: MARK CARROLL
PHONE: (714) 230-3183

UTILITY PROVIDERS:

POWER COMPANY: SCE
TELECO COMPANY: VERIZON
CONTACT: N/A
PHONE: (800) 463-5000

NOTE: ALL OTHER UTILITIES NOT REQUIRED.

PROPERTY INFORMATION:

LANDLORD: LOWY SILVER
ADDRESS: 59901 US HIGHWAY 111
CITY, STATE ZIP: PALM SPRINGS, CA 92262
CONTACT: STEVE HARKER
PHONE: (760) 408-1121

JURISDICTION: COUNTY OF RIVERSIDE
AREA OF CONSTRUCTION: 600 SQ. FT.
CURRENT ZONING: C-P-5 SEC02 COMMERCIAL HIGHWAY
TYPE OF CONSTRUCTION: V-B
OCCUPANCY: U
APN: 822-200-006-1
COORDINATES: LATITUDE 33° 53' 40.4" N
LONGITUDE -116° 37' 1.8" W

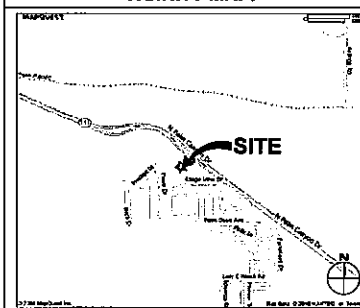
DRIVING DIRECTIONS:

DRIVING DIRECTIONS FROM ROYAL STREET COMMUNICATIONS CALIFORNIA, INC. OFFICE:

- START OUT GOING NORTHEAST ON COMMERCIAL TOWARD EL CAMINO REAL
- TURN RIGHT ONTO EL CAMINO REAL, TURN LEFT ONTO EL CAMINO REAL N.
- TURN LEFT ONTO BRIAN AVE, TURN RIGHT ONTO MARKET PL.
- TURN RIGHT ONTO IRVINE BLVD.
- MERGE ONTO CA-281 N VIA THE RAMP ON THE LEFT (PORTIONS TOLL).
- MERGE ONTO CA-241 N VIA THE EXIT ON THE LEFT (PORTIONS TOLL).
- MERGE ONTO CA-31 E TOWARD AVENUE 51.
- TAKE THE EXIT TOWARD ARBOSTON AVENUE.
- TURN LEFT ONTO IRVINE AVE, TURN RIGHT ONTO ARBOSTON AVE.
- STAY STRAIGHT TO GO ONTO CHICAGO AVE, TURN RIGHT ONTO CENTRAL AVE.
- TAKE THE R-215 S RAMP TOWARD RIVERSIDE/BEAUMONT.
- MERGE ONTO CA-80 E, MERGE ONTO I-10 E VIA THE EXIT ON THE LEFT.
- MERGE ONTO CA-111 S TOWARD PALM SPRINGS.
- END AT 59901 US HIGHWAY 111 PALM SPRINGS, CA 92262-1124

THOMAS GUIDE 2008
REGION: RIVERSIDE COUNTY
PAGE: 723
GRID #: E-8

VICINITY MAP:



SHEET INDEX:

SHEET:	DESCRIPTION:
T-1	TITLE SHEET
T-2	GENERAL NOTES & SPECIFICATIONS
T-3	GENERAL NOTES & SPECIFICATIONS
T-4	GENERAL NOTES & SPECIFICATIONS
LS-1	TOPOGRAPHIC SURVEY
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	ARCHITECTURAL ELEVATIONS
A-4	ARCHITECTURAL DETAILS
S-1	STRUCTURAL DETAILS
E-1	ELECTRICAL NOTES & SPECS, PANEL SCHED, & 1 LINE DIA.
E-2	ELECTRICAL SITE PLAN, POWER PLAN & ELECTRICAL DETAILS
E-3	TOWER & EQUIPMENT GROUNDING WITH DETAILS
L-1	PLANTING AND IRRIGATION PLAN
L-2	LANDSCAPING DETAILS AND SPECIFICATIONS

APPROVALS:

APPROVED BY:	NAME:	DATE:
OWNER:		
LEASING:		
ZONING:		
CONSTRUCTION MANAGER:		
RF ENGINEER:		
PROJECT MANAGER:		
MET OPS:		
UTILITY COORDINATOR:		

Royal Street Communications California, LLC

2913 EL CAMINO REAL #561
TUSTIN, CA 92782

PROJECT INFORMATION:

LA3600A
OFF ROAD RENTALS
59901 HIGHWAY 111
PALM SPRINGS, CA 92262

CURRENT ISSUE DATE:

9/2/09

ISSUED FOR:

CONSTRUCTION

REV. DATE DESCRIPTION BY:

REV. DATE	DESCRIPTION	BY	
4	9/2/09	DRM REDLINES	GN
3	8/25/09	SITE RE-DESIGN	GN
2	8/26/09	FOOT CONSTRUCTION	JG
1	8/22/09	90% CONSTRUCTION	GN

PLANS PREPARED BY:

NATIONAL ENGINEERING & CONSULTING, INC.

330 COMMERCIAL SUITE 200
IRVINE, CALIFORNIA, CA 92602
PHONE: (949) 766-7774
FAX: (949) 766-7789
WWW.NATIONAL-ENG.COM

CONSULTANT:

--

DRAWN BY: CHK. CAPV:

GN JW JW

LICENSER:

--

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

NOTES:

- ① NEW ROYAL STREET COMMUNICATIONS CALIFORNIA UNDERGROUND ELECTRICAL ROUTE. 3" CONDUIT POWER - APPROX. 454' REFER TO ELECTRICAL SHEETS.
- ② NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 12' WIDE NON-EXCLUSIVE ACCESS ROUTE ON EXISTING DIRT ROAD.
- ③ EXISTING FENCE TYPICAL.
- ④ EXISTING PROPERTY LINE TYPICAL.
- ⑤ EXISTING BUILDING TYPICAL.
- ⑥ EXISTING UTILITY POLE #520785 AND TRANSFORMER TO BE UPGRADED BY SCE. THIS WILL REQUIRE NEW EASEMENT.
- ⑦ EXISTING DIRT ACCESS ROAD.
- ⑧ NEW ROYAL STREET COMMUNICATIONS CALIFORNIA UNDERGROUND TELECO ROUTE. 4" CONDUIT TELECO - APPROX. 2288' REFER TO ELECTRICAL SHEETS.
- ⑨ EXISTING VERIZON 3" x 3" PULL BOX AND NEW ROYAL STREET COMMUNICATIONS CALIFORNIA TELECO P.O.C.
- ⑩ NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 130/240, 14, 20AMP, 4 CUP METER FEEDS. REFER TO ELECTRICAL SHEETS.
- ⑪ EXISTING 800 SPAN DIRT POLE #334875 AND NEW ROYAL STREET COMMUNICATIONS CALIFORNIA ELECTRICAL P.O.C. TO BE UPGRADED TO NEW POLE.
- ⑫ EXISTING RESIDENCE TO REMAIN.
- ⑬ NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PULL BOX.
- ⑭ NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 17"x30" TRAFFIC RATED HANDHOLE FOR TELECO. REFER TO ELECTRICAL SHEETS.
- ⑮ NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 17"x30" PLASTIC HANDHOLE FOR POWER. REFER TO ELECTRICAL SHEETS.
- ⑯ NEW UTILITY POLE #45328456 WITH TRANSFORMER PROVIDED BY SCE. REFER TO ELECTRICAL SHEETS.
- ⑰ NEW UTILITY POLE #45328466 PROVIDED BY SCE. REFER TO ELECTRICAL SHEETS.

**Royal Street
Communications
California, LLC**

2913 EL CAMINO REAL #561
TUSTIN, CA 92782

PROJECT INFORMATION:

LA3800A
OFF ROAD RENTALS
59901 HIGHWAY 111
PALM SPRINGS, CA 92262

CURRENT ISSUE DATE:

9/2/09

ISSUED FOR:

CONSTRUCTION

REV. DATE DESCRIPTION BY

REV.	DATE	DESCRIPTION	BY
4	9/2/09	DRW REDLINES	GN
3	8/25/09	SITE RE-DESIGN	GN
2	8/26/09	100% CONSTRUCTION	JW
1	8/22/09	90% CONSTRUCTION	GN

PLANS PREPARED BY:

NATIONAL
ENGINEERING & CONSULTING, INC.
3875 GLENVIEW BLVD. SUITE 200
HOUSTON, TEXAS 77057-2929
WWW.NATIONAL-ENG.COM

CONSULTANT:

DRAWN BY: CHOK APV
GN JW JW

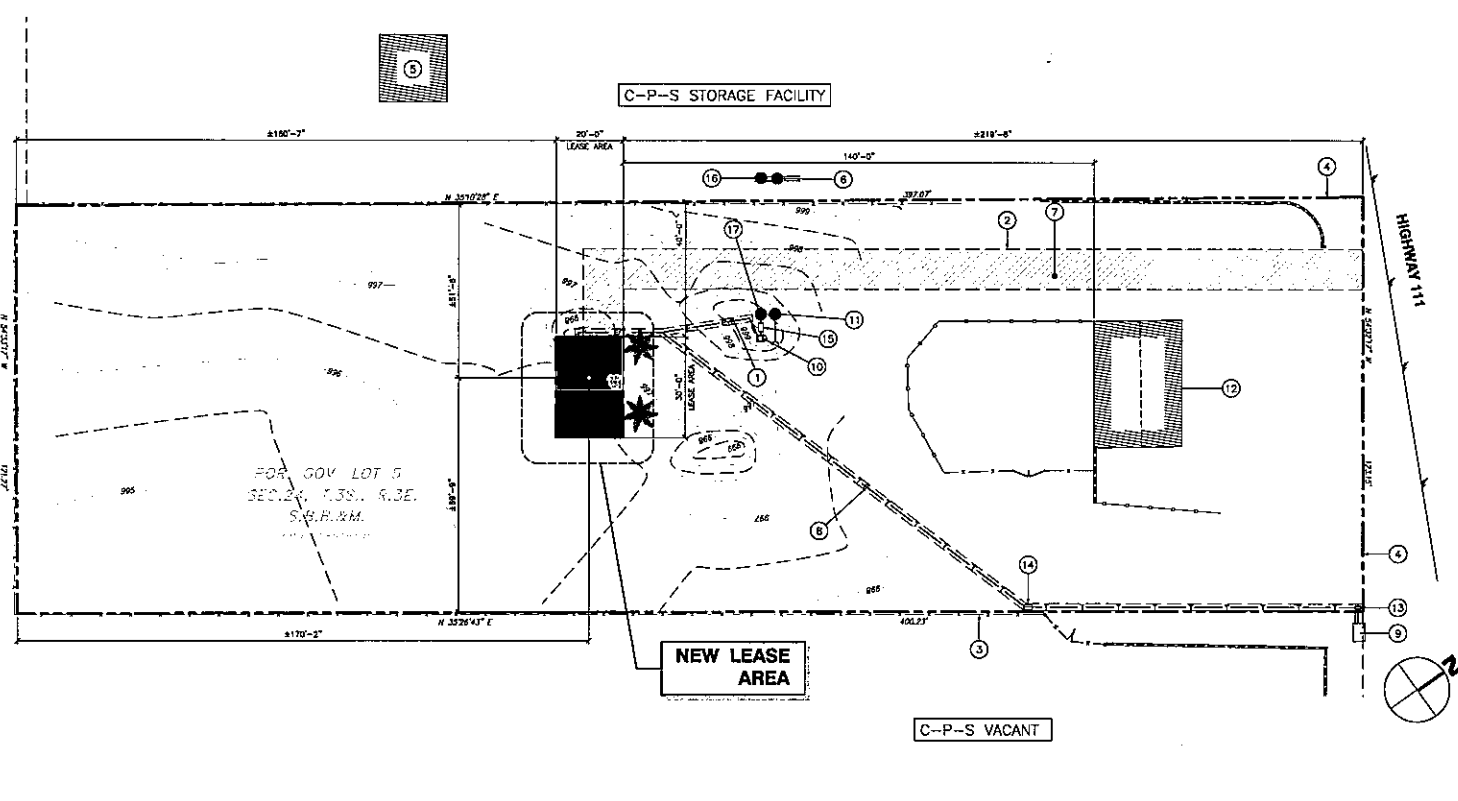
LICENSER:

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

A-1



SITE PLAN

SCALE: 1/18"=1'-0" 1

NOTES:

- 1 FUTURE CHARIER LEASE AREA.
- 2 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 20' x 20' HOOD 50.0 FT. EQUIPMENT LEASE AREA LOCATED AT GROUND LEVEL.
- 3 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 70'-0" HIGH MONORAIL WITH ISOLATED BAY. AND LOCATION OF PANEL ANTENNAS BY OTHERS.
- 4 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA ICE BRIDGE FOR COAX CABLE ROUTE.
- 5 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA VERTON FLEX BAY/BI CABINET. REFER TO ELECTRICAL SHEETS.
- 6 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA BTS EQUIPMENT CABINETS MOUNTED TO NEW CONCRETE PAD.
- 7 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA E2FD0 BATTERY CABINETS MOUNTED TO NEW CONCRETE PAD.
- 8 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 4'-0" WIDE ACCESS GATE.
- 9 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 8' HIGH SPLIT FACE BRICK WALL ENCLOSURE.
- 10 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA CHAIN LINK SECURITY TOPPER.
- 11 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PPC CABINET. REFER TO ELECTRICAL SHEETS.
- 12 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA SERVICE LEAKS, TYPICAL OF 2. REFER TO ELECTRICAL SHEETS.
- 13 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA GPS ANTENNA.
- 14 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA GENERATOR RECEPTACLE. REFER TO ELECTRICAL SHEETS.
- 15 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PANEL ANTENNAS MOUNTED ON A NEW MONORAIL. (1) ANTENNA PER SECTOR. (6) SECTORS TOTAL ANTENNAS BY OTHERS.
- 16 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA UNDERGROUND POWER/TELECO ROUTE.
- 17 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 4" CONDUIT TELECO - APPROX. 8280' 3" CONDUIT POWER - APPROX. 824' REFER TO ELECTRICAL SHEETS.
- 18 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 4" RASSED CONCRETE PAD.
- 19 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA CONCRETE SLAB.
- 20 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 40'-0" HIGH LIVE PALM TREES, TYPICAL OF 2. REFER TO LANDSCAPE SHEETS.

KEY NOTES

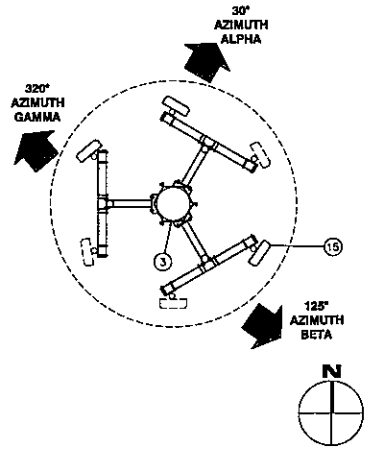
1

NOTE:
1. NEW ROYAL STREET COMMUNICATIONS CALIFORNIA PANEL ANTENNAS = 30° AZIMUTH ALPHA.
2. PALM FRONDS NOT SHOWN FOR CLARITY.

ANTENNA & CABLE SCHEDULE					
ANTENNA SECTOR	AZIMUTH	CABLE SIZE	CONCRETE CABLE LENGTH	TP HEIGHT	RAD CLR
SECTOR ALPHA	30°	7/8"	24.6	22'-0"	67'-1"
SECTOR BETA	125°	7/8"	24.6	22'-0"	67'-1"
SECTOR GAMMA	330°	7/8"	24.6	22'-0"	67'-1"

CONTRACTOR TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING. FURNISHING OR INSTALLATION OF CABLES.

COAX CABLE SIZE SCHEDULE		
1074 (1/2") 4-30'	1074 (1/2") 50' - 120'	1074 (1/2") 120' - 300'

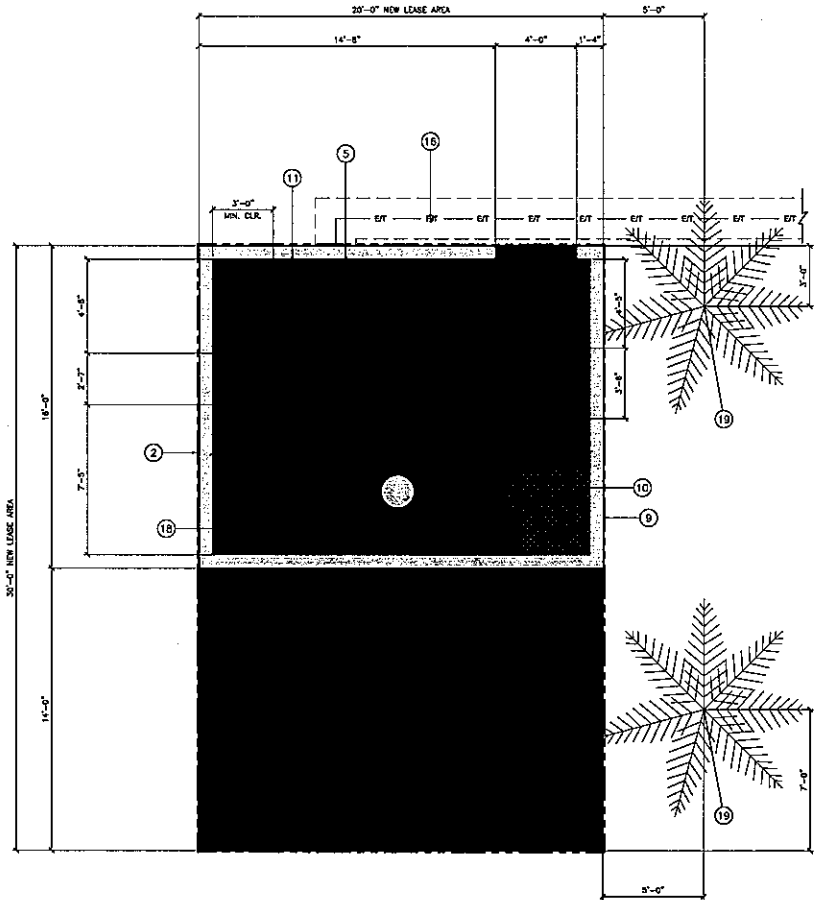


ANTENNA LAYOUT

SCALE: 1/2"=1'-0"

2

ENLARGED SITE PLAN



NOTE:
PANEL ANTENNAS NOT SHOWN FOR CLARITY.

SCALE: 3/8"=1'-0"

Royal Street Communications California, LLC
2913 EL CAMINO REAL #581 TUSTIN, CA 92782

PROJECT INFORMATION:
LA3600A
OFF ROAD RENTALS
59901 HIGHWAY 111
PALM SPRINGS, CA 92282

CURRENT ISSUE DATE:
9/2/09

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
4	9/2/09	DRW REDLINES	GN
3	8/25/09	SITE RE-DESIGN	GN
2	8/28/09	BOOK CONSTRUCTION	JW
1	8/22/09	BOOK CONSTRUCTION	GN

PLANS PREPARED BY:
NATIONAL ENGINEERING & CONSULTING, INC.
NATIONAL CONSULTING SERVICE BLDG
10000 BUCKLE DRIVE, SUITE 200
DOWNEY, CALIF. 90241-7772
WWW.NATIONAL-ENR.COM

CONSULTANT:

DRAWN BY: GN **CHK. BY:** JW **APP. BY:** JW

LICENSER:

SHEET TITLE:
ENLARGED SITE PLAN

SHEET NUMBER:
A-2

**Royal Street
Communications
California, LLC**

2913 EL CAMINO REAL #561
TUSTIN, CA 92782

PROJECT INFORMATION:

**LA3800A
OFF ROAD RENTALS**

59901 HIGHWAY 111
PALM SPRINGS, CA 92262

CURRENT ISSUE DATE:

9/2/09

ISSUED FOR:

CONSTRUCTION

REV. DATE DESCRIPTION BY

REV.	DATE	DESCRIPTION	BY
4	9/2/09	DRW REDLINES	CN
3	8/23/09	SITE RE-DESIGN	CN
2	8/28/09	BOOK CONSTRUCTION	JB
1	8/22/09	BOOK CONSTRUCTION	CN

PLANS PREPARED BY:

NATIONAL
ENGINEERING & CONSULTING, INC.
10000 EL AVENUE, SUITE 200
DANFORTH SANTA ANTONIO, TX 78217
TEL: 210.349.1111 FAX: 210.349.1112
WWW.NATIONAL-EC.COM

CONSULTANT:

Blank area for consultant information.

DRAWN BY: _____ CHK. BY: _____ APV. BY: _____

CN JW JW

LICENSER:

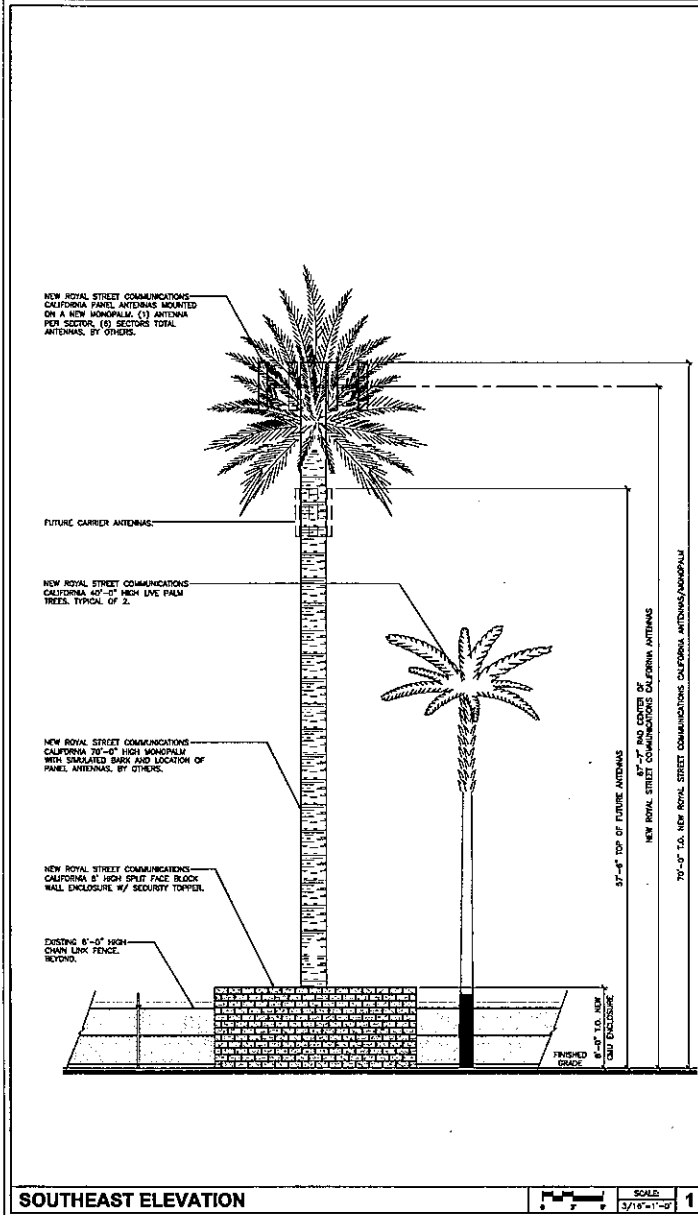
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SHEET TITLE:

**ARCHITECTURAL
ELEVATIONS**

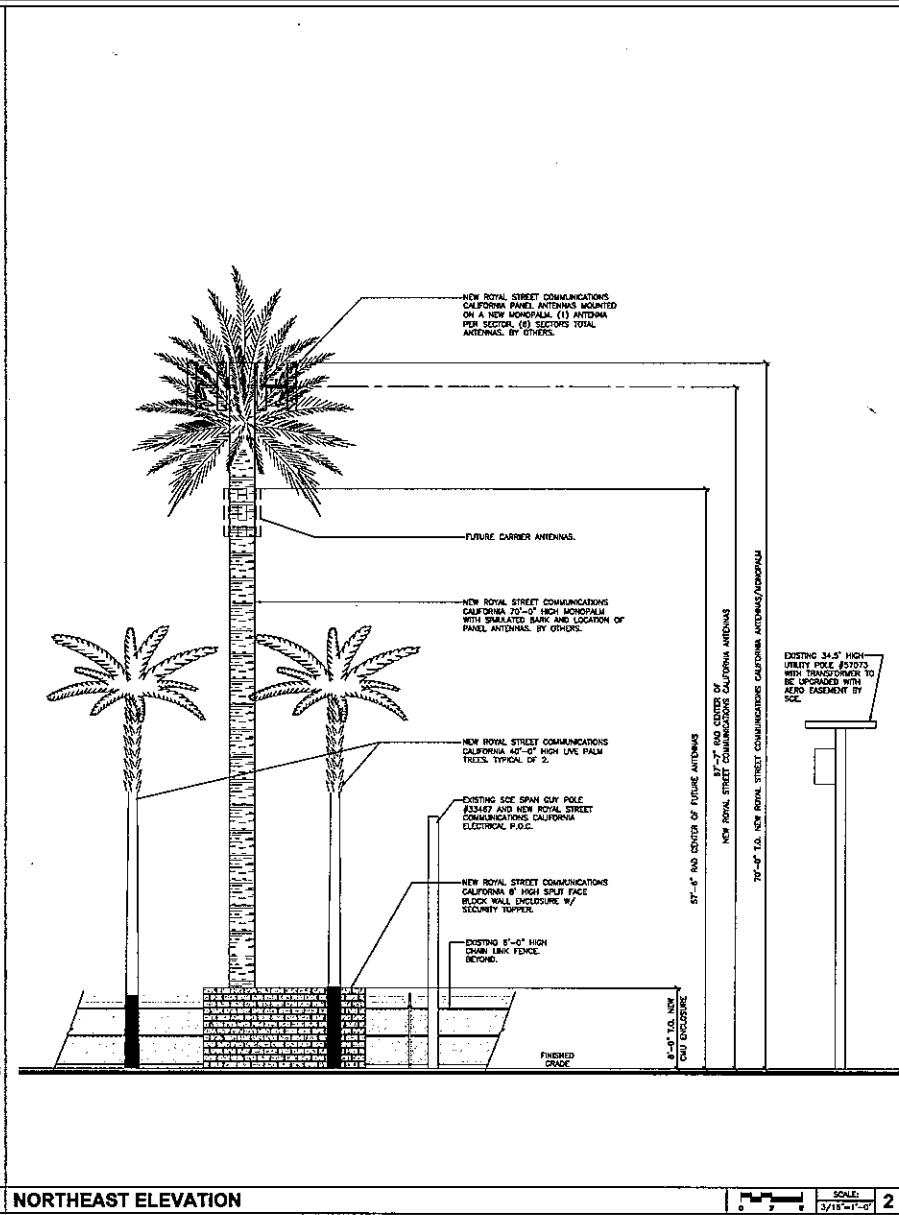
SHEET NUMBER:

A-3



SOUTHEAST ELEVATION

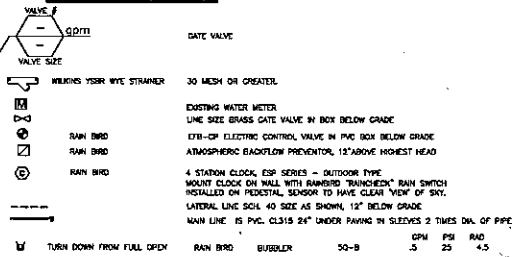
SCALE: 3/16"=1'-0"



NORTHEAST ELEVATION

SCALE: 3/16"=1'-0"

IRRIGATION LEGEND:

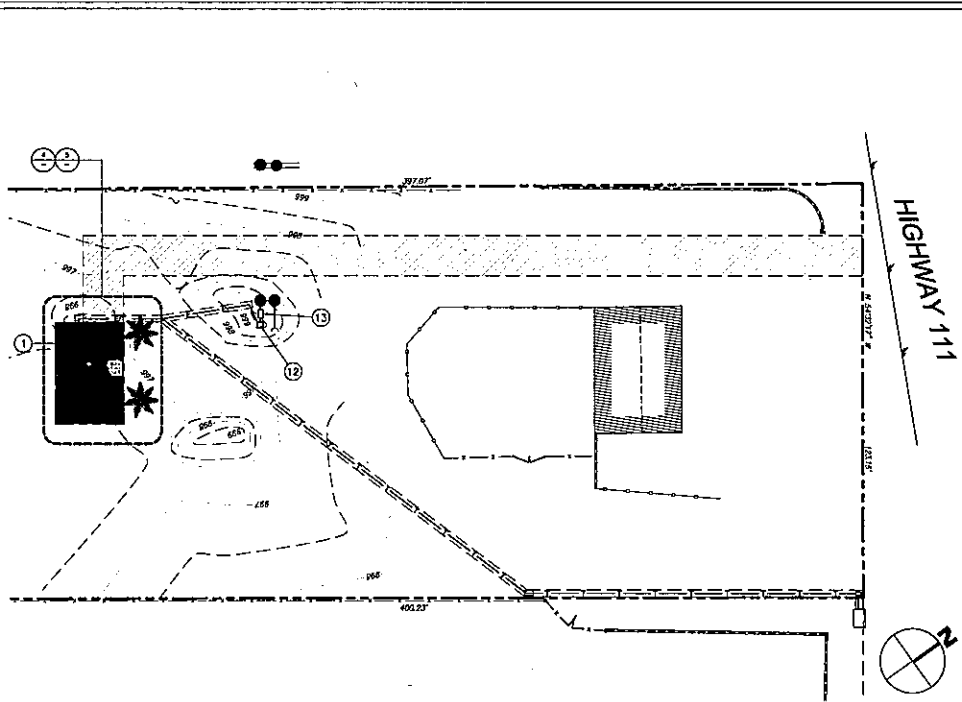


LEGEND & NOTES

SCALE: NONE 2

NOTES:

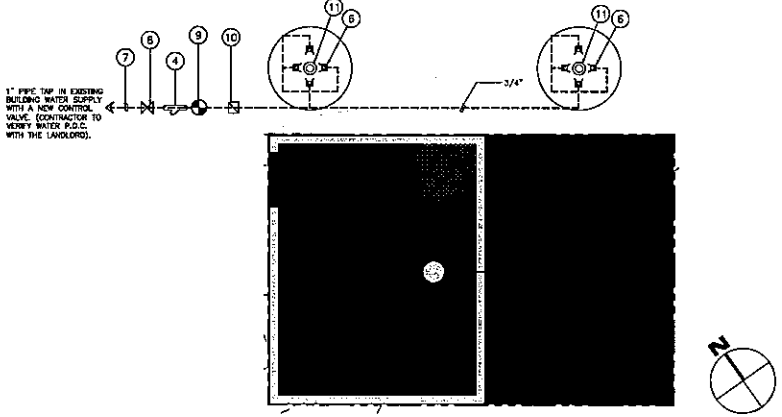
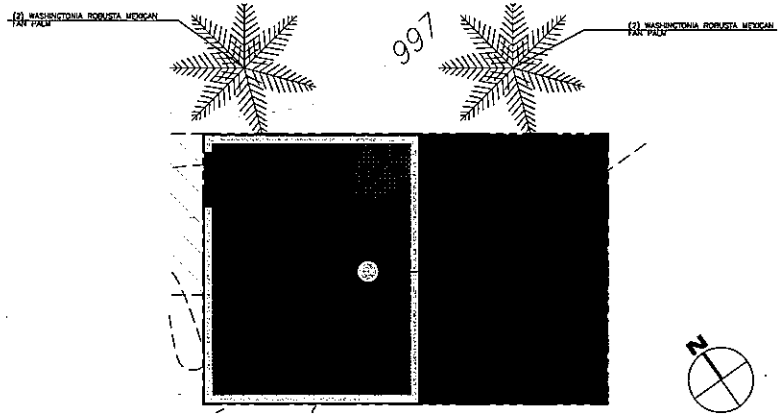
- 1 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 20' x 30'-000 SQ. FT. EQUIPMENT LEASE AREA LOCATED AT GROUND LEVEL.
- 2 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA EQUIPMENT CABINETS MOUNTED ON NEW CONCRETE PAD.
- 3 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 70'-0" MCH MONOPOLY WITH SIMULATED BARN AND LOCATION OF PANEL ANTENNAS, BY OTHERS.
- 4 WILKINS YSR WYE STRAINER.
- 5 NEW WALL MOUNTED CLOCK WITH RAIN SWITCH/ LINE ONLY IF EXISTING CONTROLLER HAS NO EXTRA STATIONS.
- 6 NEW BUBBLER HEAD TYPICAL.
- 7 3/4" SCH 40 @ 18" BELOW GRADE
- 8 3/4" GATE VALVE
- 9 NEW REMOTE CONTROL VALVE.
- 10 NEW ATMOSPHERIC BACKFLOW
- 11 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 40'-0" HIGH LIVE PALM TREES, TYPICAL OF 2.
- 12 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA ELECTRICAL 120/240, 200AMP, 4 CLIP METER PEDESTAL.
- 13 NEW ROYAL STREET COMMUNICATIONS CALIFORNIA 17"x30" PLASTIC HANDHOLE FOR POWER.



KEY NOTES

3 SITE PLAN

SCALE: 1/16"=1'-0" 1



PLANTING PLAN

IRRIGATION PLAN

Royal Street Communications California, LLC
 2913 EL CAMINO REAL #561
 TUSTIN, CA 92782

PROJECT INFORMATION:
LA3600A
OFF ROAD RENTALS
 69901 HIGHWAY 111
 PALM SPRINGS, CA 92262

CURRENT ISSUE DATE:
 9/2/09

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
4	9/2/09	DRM REDLINES	GN
3	8/25/09	SITE RE-DESIGN	GN
2	6/25/09	100% CONSTRUCTION	JW
1	6/22/09	90% CONSTRUCTION	JW

PLANS PREPARED BY:
NATIONAL ENGINEERING & CONSULTING, INC.
 17700 BENTLEY BLVD. SUITE 200
 PALM SPRINGS, CA 92262
 WWW.NATIONAL-ENGINEERING.COM

CONSULTANT:

DRAWN BY: GN **CHK:** JW **APV:** JW

LICENSER:

SHEET TITLE:
PLANTING & IRRIGATION PLAN

SHEET NUMBER:
L-1

PLANTING NOTES:

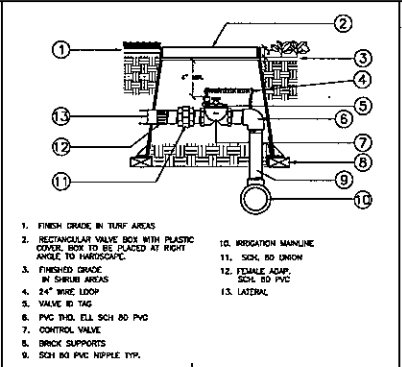
- THESE DESIGN DRAWINGS ARE DIAGRAMMATIC, SHOWING INTENDED LOCATIONS AND RELATIONSHIPS OF PLANTING ELEMENTS. FINAL SITE CONDITIONS, ALTERED DURING CONSTRUCTION MAY REQUIRE ADJUSTMENTS TO THE LAYOUT.
- ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL BY CLIENT OR THEIR REPRESENTATIVE. CONTRACTOR SHALL SUBMIT A LIST OF AVAILABILITY FOR ALL PALM TREES 30 DAYS BEFORE SCHEDULED PLANTING FOR APPROVAL AT THE DISCRETION BY CLIENT.
- CONTRACTOR IS RESPONSIBLE FOR FURNISHING PLANT MATERIAL. FRESH OR PEELER DISEASES AND NORMAL IN FORM FOR THE SPECIES AND DESIGN CALLED FOR, ON THE PLANS.
- IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL. TREES INSTALLED AND A COVERAGE TEST COMPLETED PRIOR TO ANY CONTAINER PLANTING OR APPLICATION OF SOIL MEDIA.
- THE APPROPRIATE SOIL AMENDMENT SHALL BE APPLIED TO ALL PLANTING AREAS PER THE SOIL AMENDMENT SCHEDULE ON THE PLANS.
- CONTRACTOR SHALL NOT INSTALL PLANT MATERIAL THAT IS WILTED OR HAS A DAMAGED ROOT BALL.
- THE CROWN AREA OF SHRUBS SHALL BE 2" HIGHER AFTER SETTLING, THAT ADJACENT FINISHED GRADE.
- UNLESS OTHERWISE NOTED, ALL LANDSCAPED AREAS, TO BE TOP DRESSED WITH A 2" LAYER OF SINGLE GRADE SIEVED BURN SALTEN AFTER ALL PLANTING IS COMPLETED. THIS LAYER IS IN ADDITION TO SOIL AMENDMENT MATERIAL.
- CONTRACTOR TO INCLUDE IN THE BID A PRICE FOR COMPLETE MAINTENANCE OF ALL WORK FOR 30 DAYS AFTER FINAL ACCEPTANCE BY THE OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, KEEPING ALL AREAS WEDD FREE, WEEDED, PEST AND DISEASE FREE, AND ALL OTHER WORK NECESSARY FOR HEALTHY, WOODS AND CLEAN APPEARANCE.
- CONTRACTOR TO INCLUDE IN THE BID PRICE ALL PALMS SHALL BE GUARANTEED TO GROW IN A HEALTHY MANNER FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE END OF MAINTENANCE. ALL OTHER CONTAINER PLANTS SHALL BE GUARANTEED TO BE IN A HEALTHY CONDITION AT THE END OF THE 30 DAY MAINTENANCE PERIOD.
- CONTRACTOR SHALL REPLACE IN A TIMELY MANNER, ALL PLANTS THAT ARE FOUND IN AN UNHEALTHY OR IMPAIRED CONDITION, MISSING OR DEAD DURING THE 30 DAY MAINTENANCE PERIOD. EXCEPT PALMS WHICH SHALL BE REPLACED ANY TIME DURING THE ONE YEAR GUARANTEE PERIOD.

IRRIGATION GENERAL NOTES:

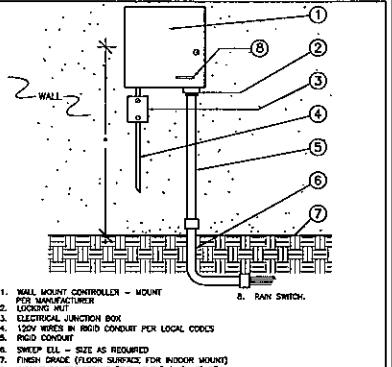
- ALL MAIN LINE, LATERAL PIPING AND CONTROL WIRES UNDER PAVING SHALL BE INSTALLED IN SEPARATE SLEEVES. MAINLINE AND LATERAL LINE SLEEVES SHALL BE A MINIMUM OF TWICE (2X) THE DIAMETER OF THE PIPE TO BE SLEEVED. CONTROL WIRE SLEEVING SHALL BE SUFFICIENT SIZE FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING.
- ALL LATERAL LINE PIPING UNDER PAVING SHALL BE SCHEDULE 40 PVC PIPE AND SHALL BE INSTALLED PRIOR TO PAVING.
- PIPE SIZES SHALL CORRESPOND TO THOSE SHOWN ON THE DRAWINGS. NO SUBSTITUTIONS OF SMALLER SIZES WILL BE PERMITTED, BUT SUBSTITUTIONS OF LARGER SIZES MAY BE APPROVED. ALL DAMAGED AND REJECTED PIPE SHALL BE REMOVED FROM THE SITE AT THE TIME OF SAID REJECTION.
- FINAL LOCATION OF THE AUTOMATIC CONTROLLER SHALL BE APPROVED BY OWNERS AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE PEDIESTAL FOR CONTROLLER ASSEMBLIES. CONTRACTOR SHALL PROVIDE ALL CONNECTIONS FROM PEDIESTAL TO CONTROLLER ASSEMBLY.
- ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE UNLESS OTHERWISE SPECIFIED.
- FLUSH AND ADJUST ALL SPRINKLER HEADS AND VALVES FOR OPTIMUM COVERAGE WITH MINIMAL OVER SPRAY ONTO WALKS, STREETS, WALL, ETC.
- IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE HIMSELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, STRUCTURES AND UTILITIES. THE IRRIGATION CONTRACTOR SHALL REPAIR OR REPLACE ALL ITEMS DAMAGED BY HIS WORK.
- DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNLAWFUL OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA OBVIOUSLY EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED DURING ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNERS AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS AND SPECIFICATIONS.
- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAILED INFORMATION.
- ANTI-DRAIN VALVES (ADV) AS SHOWN IN THE DETAILS MAY NOT BE REQUIRED ON ALL HEADS PRIOR TO INSTALLATION. THE CONTRACTOR SHALL VERIFY THE ON SITE GRADES. IF THERE IS AN ELEVATION DIFFERENCE OF 24 INCHES OR MORE BETWEEN THE HIGHEST HEAD AND THE LOWEST HEAD ON THE SYSTEM, THE VALVES SHALL BE INSTALLED PER THE DETAIL.
- THE DESIGN USED DIAGRAMMATIC, ALL PIPING, VALVES, ETC., SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS INHERENT POSSIBLE. THE CONTRACTOR SHALL LOCATE ALL VALVES IN SHIELD AREAS.
- THE CONTRACTOR SHALL VERIFY THE STATIC PRESSURE TO BE AS STATED ON THE SYSTEM REQUIREMENT. SHOULD THE STATIC PRESSURE EXCEED SIZE OF THE DESIGN PRESSURE, INSTALL A WILKINS 6000 SERIES PRESSURE REGULATING VALVE (ON SEPARATE MAINLINE) JUST DOWNSTREAM OF THE IRRIGATION P.I.O. SET THE REGULATING VALVE 1/2" HIGHER THAN THE STATED SYSTEM REQUIREMENTS. SHOULD THE STATIC PRESSURE BE LESS THAN THE STATED PRESSURE, NOTIFY THE OWNERS REPRESENTATIVE IMMEDIATELY.
- ALL STATED GALLONAGE AND VALVE CALL-OUTS ARE ROUNDED UP TO THE NEAREST GALLON.
- ALL SPRAY HEADS SHALL BE MOUNTED ON 12" RISERS UNLESS ADJACENT TO ANY HARDSCAPE AND/OR TURF.
- ALL LANDSCAPE PLANS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN THE LANDSCAPE DEVELOPMENT STANDARDS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION DOCUMENTS OR, AS OTHERWISE DETAILED IN WRITING FROM PUBLIC FACILITIES DEVELOPMENT.
- LANDSCAPE PLANS ARE SUBJECT TO REVIEW BY THE CITY'S ENGINEERING DEPARTMENT FOR COMPLIANCE WITH REGIONAL MODEL STORM WATER QUALITY MANAGEMENT PLANS. REQUIREMENTS, COORDINATE LANDSCAPE PLANS WITH CIVIL PLANS FOR REQUIREMENTS AND COORDINATE.
- ALL AREAS INCLUDING PARKWAYS AND DETOURNED BACKDROPS NOT DESIGNATED FOR PARKING, SIDEWALKS OR BUILDING SHALL BE LANDSCAPED AND PERMANENTLY MAINTAINED. THE DEVELOPER/OWNER IS RESPONSIBLE FOR ALL LANDSCAPE MAINTENANCE COSTS AND MUST ENSURE THAT ALL CONTINGENT LANDSCAPE MAINTENANCE IS ESTABLISHED FOR THE LIFE OF THIS PROJECT.

GENERAL NOTES:

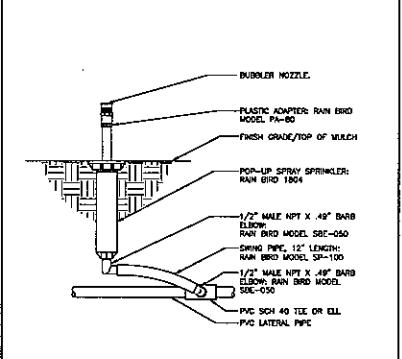
- CONTRACTOR SHALL OBTAIN CLARIFICATION TO QUESTIONS RELATIVE TO THE DRAWING BEFORE SUBMITTING A BID.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR, FAMILIAR WITH TYPE OF WORK AND THE CONTRACT DOCUMENTS, ON SITE AT ALL TIMES DURING INSTALLATION OF THE WORK AND PRIMARY MAINTENANCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UNDERGROUND ELEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO MATERIALS ONCE DELIVERED TO THE JOB SITE.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND LICENSES AND ASSURE THAT ALL WORK TO BE PERFORMED MEETS OR EXCEEDS ALL APPLICABLE CODES AND ORDINANCES OF PRIVATE OR GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION BETWEEN SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH ALL CONSTRUCTION OPERATIONS. ALL PIPING, CONDUIT, SLEEVES, ETC. SHALL BE IN PLACE PRIOR TO INSTALLATION OF CONSTRUCTION PILES.
- ALL PROGRESS INSPECTIONS CALLED FOR IN THE GENERAL CONDITIONS OF APPROVAL, OR INDIVIDUAL SUBSECTIONS SHALL BE COMPLETED BEFORE SUCCEEDING WORK IS STARTED. ANY WORK COVERED BEFORE REQUIRED INSPECTIONS ARE COMPLETED WILL BE EXPOSED FOR REVIEW AT THE CONTRACTOR'S EXPENSE.



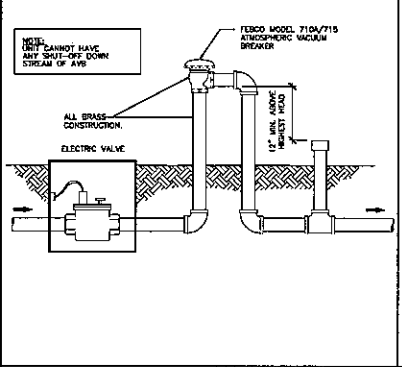
REMOTE CONTROL VALVE SCALE: N.T.S. 4



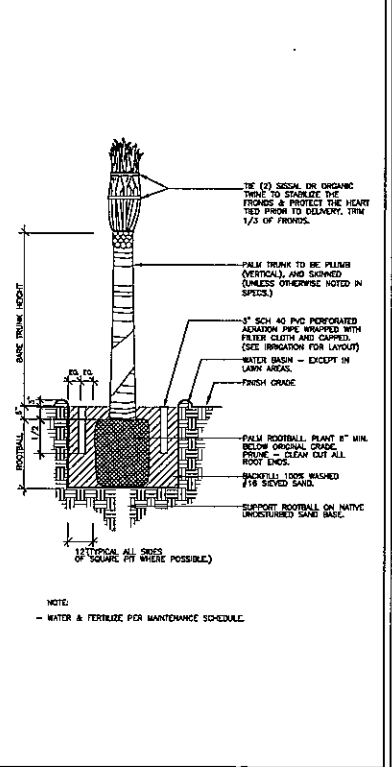
WALL MOUNTED CONTROLLER SCALE: N.T.S. 1



BUBBLER DETAIL SCALE: N.T.S. 5



ATMOSPHERIC VACUUM BREAKER SCALE: N.T.S. 6



PALM TREE PLANTING SCALE: N.T.S. 3

Royal Street Communications California, LLC
 2913 EL CAMINO REAL #561
 TUSTIN, CA 92782

PROJECT INFORMATION:
LA3800A
OFF ROAD RENTALS
 59901 HIGHWAY 111
 PALM SPRINGS, CA 92262

CURRENT ISSUE DATE:
9/2/09

ISSUED FOR:
CONSTRUCTION

REV.	DATE	DESCRIPTION	BY
4	9/2/09	DRM REDLINES	GN
3	8/25/09	SITE RE-DESIGN	GN
2	8/26/09	100% CONSTRUCTION	JW
1	8/22/09	80% CONSTRUCTION	GN

PLANS PREPARED BY:
NATIONAL
 ENGINEERING & CONSULTANTS, INC.
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 444-4444
 10000 WILSON AVENUE, SUITE 100
 WEST GARDEN CITY, CALIFORNIA 92683
 WWW.NATIONALCONSULTANTS.COM

CONSULTANT:
 GN JW JW

DRAWN BY: CHK. APV.
 GN JW JW

LICENSER:

SHEET TITLE:
LANDSCAPING DETAILS & SPECIFICATIONS

SHEET NUMBER:
L-2

Royal Street
Communications
California, L.L.C.

LA3600A
OFF ROAD RENTALS

59901 HIGHWAY 111 PALM SPRINGS CA 92262



VIEW 1



LOCATION

©2008 Google Maps



EXISTING



PROPOSED

LOOKING SOUTH FROM HIGHWAY 111

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

Royal Street
Communications
California, L.L.C.

LA3600A
OFF ROAD RENTALS

59901 HIGHWAY 111 PALM SPRINGS CA 92262

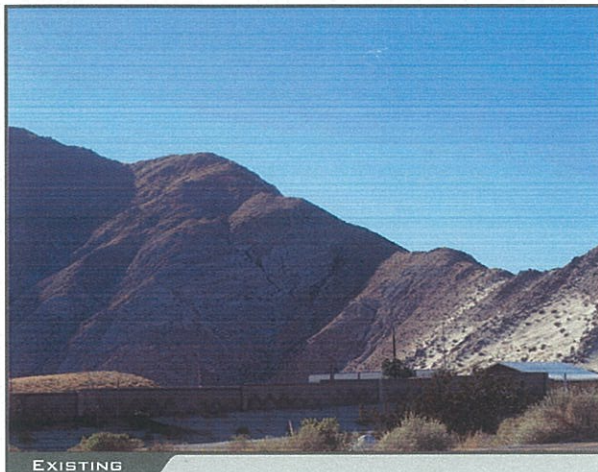


VIEW 2



LOCATION

©2008 Google Maps



EXISTING



PROPOSED

LOOKING WEST FROM HIGHWAY 111

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT.

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

EVERY DEPARTMENT

10. EVERY. 1 USE - PROJECT DESCRIPTION RECOMMND

The use hereby permitted is for a wireless communication facility, for Royal Street Communications California, LLC, disguised as a mono palm tree with palm fronds at a total maximum height of 70 feet. The project will include six (6) panel antennas, one (1) GPS antenna and four (4) outdoor equipment cabinets at grade level within a 600 square foot lease area within Assessors Parcel Number 522-200-008.

10. EVERY. 2 USE - HOLD HARMLESS RECOMMND

The applicant/permittee or any successor-in-interest shall defend, indemnify, and hold harmless the County of Riverside (COUNTY) its agents, officers, or employees from any claim, action, or proceeding against the COUNTY, its agents, officers, or employees to attack, set aside, void, or annul an approval of the COUNTY, its advisory agencies, appeal boards, or legislative body concerning Plot Plan No. 23955. The COUNTY will promptly notify the applicant/permittee of any such claim, action, or proceeding against the COUNTY and will cooperate fully in the defense. If the COUNTY fails to promptly notify the applicant/permittee of any such claim, action, or proceeding or fails to cooperate fully in the defense, the applicant/permittee shall not, thereafter, be responsible to defend, indemnify, or hold harmless the COUNTY.

10. EVERY. 3 USE - DEFINITIONS RECOMMND

The words identified in the following list that appear in all capitals in the attached conditions of Plot Plan No. 23955 shall be henceforth defined as follows:

- APPROVED EXHIBIT A =
Exhibit A-1 (title sheet)
Exhibit A-2 (topo map)
Exhibit A-3 (site plan)
Exhibit A-4 (enlarged site plan)
Exhibit B (elevations)

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

BS GRADE DEPARTMENT

10.BS GRADE. 1 USE* -PM10 PLAN REQUIRED RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the Building and Safety Department for review and approval prior to the issuance of a grading permit.

1.NOTE: The PM 10 plan shall require the posting of signs in accordance with Building and Safety form "Signage Recommendations".

2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

10.BS GRADE. 2 USE -GIN INTRODUCTION RECOMMND

Improvements such as grading, filling, over excavation and recompaction, and base or paving which require a grading permit are subject to the included Building and Safety Department Grading Division conditions of approval.

10.BS GRADE. 4 USE-G1.2 OBEY ALL GDG REGS RECOMMND

All grading shall conform to the California Building Code, Ordinance 457, and all other relevant laws, rules, and regulations governing grading in Riverside County and prior to commencing any grading which includes 50 or more cubic yards, the applicant shall obtain a grading permit from the Building and Safety Department.

10.BS GRADE. 5 USE-G1.3 DISTURBS NEED G/PMT RECOMMND

Ordinance 457 requires a grading permit prior to clearing, grubbing, or any top soil disturbances related to construction grading.

10.BS GRADE. 6 USE-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

10.BS GRADE. 6 USE-G1.4 NPDES/SWPPP (cont.) RECOMMND

sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

E HEALTH DEPARTMENT

10.E HEALTH. 1 DEH - UNMANNED FACILITY RECOMMND

Plot Plan#23955 proposes an unmanned wireless telecommunications facility without plumbing. If plumbing fixtures are proposed in the future, the Department of Environmental Health (DEH) reserves the right to regulate in accordance with current state and local ordinances, codes and regulations.

FIRE DEPARTMENT

10.FIRE. 1 USE - CONTACT INFORMATION RECOMMND

Please provide information indicating contact in the event of an emergency. Post information on gate leading to wireless facility. Please ensure that materials used for posting are weather-proof/resistant.

10.FIRE. 2 USE-#89-RAPID ENTRY KEY BOX RECOMMND

Rapid entry key storage cabinet OR padlock shall be installed on the outside of the primary entrance. If the storage cabinet is installed, plans shall be submitted to the Riverside County Fire Department for approval prior to installation.

FLOOD RI DEPARTMENT

10.FLOOD RI. 1 USE- FLOOD HAZARD REPORT RECOMMND

Plot Plan No. 23955 is a proposal for an unmanned disguised wireless telecommunication facility consisting of a

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

10.FLOOD RI. 1 USE- FLOOD HAZARD REPORT (cont.) RECOMMND

slim-line pole and an associated equipment shelter. The project is located in the Palm Springs area southerly of North Highway 111 and north of Range View Drive.

The site is subjected to sheet flow type runoff from a tributary drainage area of approximately 45 acres which traverses the site from the south east. To protect the electronic equipment, the equipment/shelter shall be elevated a minimum of 12 inches above the highest adjacent ground. New construction should comply with all applicable ordinances.

10.FLOOD RI. 3 USE- ELEVATE FINISH FLOOR RECOMMND

The finished floor of new structures shall be elevated 12 inches above the highest adjacent ground. Any mobile home/premanufactured building shall be placed on a permanent foundation.

PLANNING DEPARTMENT

10.PLANNING. 1 USE - COMPLY WITH ORD./CODES RECOMMND

The development of these premises shall comply with the standards of Ordinance No. 348 and all other applicable Riverside County ordinances and State and Federal codes.

The development of the premises shall conform substantially with that as shown on APPROVED EXHIBIT A, unless otherwise amended by these conditions of approval.

10.PLANNING. 2 USE - FEES FOR REVIEW RECOMMND

Any subsequent submittals required by these conditions of approval, including but not limited to grading plan, building plan or mitigation monitoring review, shall be reviewed on an hourly basis (research fee), or other such review fee as may be in effect at the time of submittal, as required by Ordinance No. 671. Each submittal shall be accompanied with a letter clearly indicating which condition or conditions the submittal is intended to comply with.

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

10.PLANNING. 3 USE - LIGHTING HOODED/DIRECTED RECOMMND

Any outside lighting shall be hooded and directed so as not to shine directly upon adjoining property or public rights-of-way.

10.PLANNING. 4 USE - CEASED OPERATIONS RECOMMND

In the event the use hereby permitted ceases operation for a period of one (1) year or more, this approval shall become null and void.

10.PLANNING. 5 USE - MAX HEIGHT RECOMMND

The monopalm/antenna array with palm fronds located within the property shall not exceed an overall maximum height of 70 feet.

10.PLANNING. 6 USE - CO-LOCATION RECOMMND

The applicant/operator of the facility shall agree to allow the co-location of equipment of other wireless telecommunications providers at this site when applications are received by the County and it is considered feasible, subject to an agreement between the applicant/operator, the other proposed wireless telecommunications provider, and the property owner.

10.PLANNING. 11 USE - EQUIPMENT/BLDG COLOR RECOMMND

The equipment cabinet color shall be in earthtones, which will blend with the surrounding setting.

The color of the monopalm (trunk) shall be light to dark brown, and the color of the antenna array shall be dark green to minimize visual impacts.

Changes in the above listed colors shall be reviewed and approved by the Planning Department prior to installation of the structures, or prior to repainting of the structures.

10.PLANNING. 12 USE - SITE MAINTENANCE RECOMMND

The project site shall be kept in good repair. Graffiti shall be removed from any structures within one week of observation and/or notification.

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

10.PLANNING. 13 USE - BUSINESS LICENSING RECOMMND

Every person conducting a business within the unincorporated area of Riverside County, as defined in Riverside County Ordinance No. 857, shall obtain a business license. For more information regarding business registration, contact the Business Registration and License Program Office of the Building and Safety Department at www.rctlma.org.buslic.

10.PLANNING. 14 USE - ORD 875 CVMSHCP FEE (1) RECOMMND

In accordance with Riverside County Ordinance No. 875, to assist in providing revenue to acquire and preserve open space and habitat, a local development mitigation fee shall be paid for each development project or portion of an expanded development project to be constructed in the Coachella Valley and surrounding mountains. The amount of the fee for commercial or industrial development shall be calculated on the basis of "project area," which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development.

10.PLANNING. 17 USE - LOW PALEO RECOMMND

According to the County's General Plan, this site has been mapped as having a "Low Potential" for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. However, should fossil remains be encountered during site development:

1.All site earthmoving shall be ceased in the area of where the fossil remains are encountered. Earthmoving activities may be diverted to other areas of the site.

2.The applicant shall retain a qualified paleontologist approved by the County of Riverside.

3.The paleontologist shall determine the significance of the encountered fossil remains.

4.Paleontological monitoring of earthmoving activities will continue thereafter on an as-needed basis by the paleontologist during all earthmoving activities that may

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

10.PLANNING. 17 USE - LOW PALEO (cont.)

RECOMMND

expose sensitive strata. Earthmoving activities in areas of the project area where previously undisturbed strata will be buried but not otherwise disturbed will not be monitored. The supervising paleontologist will have the authority to reduce monitoring once he/she determines the probability of encountering any additional fossils has dropped below an acceptable level.

5.If fossil remains are encountered by earthmoving activities when the paleontologist is not onsite, these activities will be diverted around the fossil site and the paleontologist called to the site immediately to recover the remains.

6.Any recovered fossil remains will be prepared to the point of identification and identified to the lowest taxonomic level possible by knowledgeable paleontologists. The remains then will be curated (assigned and labeled with museum* repository fossil specimen numbers and corresponding fossil site numbers, as appropriate; places in specimen trays and, if necessary, vials with completed specimen data cards) and catalogued, an associated specimen data and corresponding geologic and geographic site data will be archived (specimen and site numbers and corresponding data entered into appropriate museum repository catalogs and computerized data bases) at the museum repository by a laboratory technician. The remains will then be accessioned into the museum* repository fossil collection, where they will be permanently stored, maintained, and, along with associated specimen and site data, made available for future study by qualified scientific investigators. * The County of Riverside must be consulted on the repository/museum to receive the fossil material prior to being curated.

10.PLANNING. 18 GEN - IF HUMAN REMAINS FOUND

RECOMMND

The developer/permit holder or any successor in interest shall comply with the following codes for the life of this project:

If human remains are encountered, State Health and Safety Code Section 7050.5 states that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin. Further, pursuant to Public Resources Code Section 5097.98 (b), remains shall be left

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

10.PLANNING. 18 GEN - IF HUMAN REMAINS FOUND (cont.) RECOMMND

in place and free from disturbance until a final decision as to the treatment and their disposition has been made. If the Riverside County Coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within the period specified by law. Subsequently, the Native American Heritage Commission shall identify the "Most Likely Descendant." The Most Likely Descendant shall then make recommendations and engage in consultation with the County and the property owner concerning the treatment of the remains as provided in Public Resources Code Section 5097.98. Human remains from other ethnic/cultural groups with recognized historical associations to the project area shall also be subject to consultation between appropriate representatives from that group and the County Planning /Director.

10.PLANNING. 19 GEN - INADVERTANT ARCHAEO FIND RECOMMND

The developer/permit holder or any successor in interest shall comply with the following for the life of this project:

If during ground disturbance activities, cultural resources are discovered that were not assessed by the archaeological reports and/or environmental assessment conducted prior to project approval, the following procedures shall be followed. A cultural resources site is defined, for this condition, as being three or more artifacts in close association with each other, but may include fewer artifacts if the area of the find is determined to be of significance due to its sacred or cultural importance.

1.All ground disturbance activities within 100 feet of the discovered cultural resource shall be halted until a meeting is convened between the developer, the project archaeologist, the Native American tribal representative (or other appropriate ethnic/cultural group representative), and the Planning Director to discuss the significance of the find.

2.At the meeting, the significance of the discoveries shall be discussed and after consultation with the Native American tribal (or other appropriate ethnic/cultural group representative) and the archaeologist, a decision is made, with the concurrence of the Planning Director, as to the appropriate mitigation (documentation, recovery, avoidance,

PLOT PLAN:TRANSMITTED Case #: PP23955

Parcel: 522-200-008

10. GENERAL CONDITIONS

10.PLANNING. 19 GEN - INADVERTANT ARCHAEO FIND (cont.) RECOMMND

etc) for the cultural resource.

3.Further ground disturbance shall not resume within the area of the discovery until an agreement has been reached by all parties as to the appropriate preservation or mitigation measures.

10.PLANNING. 20 USE - GEO02154 RECOMMND

County Geologic Report (GEO) No. 2154, submitted for this project (PP23955) was prepared by AESCO and is entitled: "Geotechnical Report, Proposed Metro PCS Wireless Communications Facility, Site Number: LA3600A, Site Name: Off Road Rentals, 59901 Highway 111, Pam Springs, CA", AESCO Project No. 20090645-A7293, dated April 30, 2009. In addition, AESCO submitted:

"Addendum 1, Response to County of Riverside, Proposed Metro PCS Wireless Communications Facility, Site Number: LA3600A, Site Name: Off Road Rentals, 59901 Highway 111, Palm Springs, CA", dated October 16, 2009.

"Addendum 2, Response to County of Riverside Review Comments #2, Proposed Metro PCS Wireless Communications Facility, Site Number: LA3600A, Site Name: Off Road Rentals, 59901 Highway 111, Palm Springs, CA", dated February 9, 2010.

These documents are herein incorporated as a part of GEO02154.

GEO02154 concluded:

- 1.The potential for moderate strong groundshaking from faults located outside of the site is likely.
- 2.There are no active faults at the site and the potential for surface fault rupture at the site is not anticipated.
- 3.The potential for fissuring at the site is not anticipated.
- 4.Liquefaction potential at the site is considered to be low.
- 5.Hazards from rock fall are negligible.

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10. GENERAL CONDITIONS

10.PLANNING. 20 USE - GEO02154 (cont.)

RECOMMND

6.Landslide hazards are negligible.

7.The potential for collapsible soil is considered low.

8.There is some potential for wind and water erosion.

GEO02154 recommended:

1.The upper 3 feet of soil will be densified by removal and recompaction to a minimum of 90 percent in accordance with ASTM D1557.

2.The monopole will be supported on a drilled caisson.

GEO02154 satisfies the requirement for a Geologic Study for Planning / CEQA purposes. GEO02154 is hereby accepted for Planning purposes. This approval is not intended, and should not be misconstrued as approval for grading permit. Engineering and other building code parameters will be reviewed and additional comments and/or conditions may be imposed by the Building and Safety Department upon application for grading and/or building permits.

10.PLANNING. 21 USE- LC VIABLE LANDSCAPING

RECOMMND

All plant materials within landscaped areas shall be maintained in a viable growth condition throughout the life of this permit. To ensure that this occurs, the Planning Department shall require inspections in accordance with the Planning Department's Milestone 90 condition entitled "USE - LANDSCAPE/IRRIGATION INSTALLATION INSPECTIONS."

10.PLANNING. 22 USE- LC RECLAIMED WATER

RECOMMND

The permit holder shall connect to a reclaimed water supply for landscape watering purposes when secondary or reclaimed water is made available to the site.

10.PLANNING. 24 USE - PREVENT DUST & BLOWSAND

RECOMMND

Graded but undeveloped land shall be maintained in a condition so as to prevent a dust and/or blowsand nuisance and shall be either planted with interim landscaping or provided with other wind and water erosion control measures as approved by the Building and Safety Department and the

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10. GENERAL CONDITIONS

10.PLANNING. 24 USE - PREVENT DUST & BLOWSAND (cont.) RECOMMND

State air quality management authorities.

10.PLANNING. 25 USE - 90 DAYS TO PROTEST RECOMMND

The project applicant has 90 days from the date of approval of these conditions to protest, in accordance with the procedures set forth in Government Code Section 66020, The imposition of any and all fees, dedications, reservations and/or other exactions imposed on this project as a result of this approval or conditional approval of the project.

10.PLANNING. 26 USE - MT PALOMAR LIGHTING AREA RECOMMND

Within the Mt. Palomar Special Lighting Area, as defined in Ordinance No. 655, low pressure sodium vapor lighting or overhead high pressure sodium vapor lighting with shields or cutoff luminaires, shall be utilized.

TRANS DEPARTMENT

10.TRANS. 5 USE - STD INTRO 3(ORD 460/461) RECOMMND

With respect to the conditions of approval for the referenced tentative exhibit, the landowner shall provide all street improvements, street improvement plans and/or road dedications set forth herein in accordance with Ordinance 460 and Riverside County Road Improvement tandards (Ordinance 461). It is understood that the exhibit correctly shows acceptable centerline elevations, all existing easements, traveled ways, and drainage courses with appropriate Q's, and that their omission or unacceptability may require the exhibit to be resubmitted for further consideration. These Ordinances and all conditions of approval are essential parts and a requirement occurring in ONE is as binding as though occurring in all. All questions regarding the true meaning of the conditions shall be referred to the Transportation Department.

20. PRIOR TO A CERTAIN DATE

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20. PRIOR TO A CERTAIN DATE

PLANNING DEPARTMENT

20.PLANNING. 1 USE - EXPIRATION DATE-PP

RECOMMND

This approval shall be used within two (2) years of approval date; otherwise, it shall become null and void and of no effect whatsoever. By use is meant the beginning of substantial construction contemplated by this approval within a two (2) year period which is thereafter diligently pursued to completion or of the actual occupancy of existing buildings or land under the terms of the authorized use.

Prior to the expiration of the two year period, the permittee may request a one (1) year extension of time request in which to use this plot plan. A maximum of three one-year extension of time requests shall be permitted. Should the time period established by any of the extension of time requests lapse, or should all three one-year extensions be obtained and no substantial construction or use of this plot plan be initiated within five (5) years of the effective date of the issuance of this plot plan, this plot plan shall become null and void.

20.PLANNING. 2 USE - LIFE OF PERMIT

RECOMMND

A wireless communication facility shall have an initial approval period (life) of ten (10) years that may be extended if a revised permit application is made and approved by the Planning Director or the Planning Commission, whichever was the original approving officer or body. Such extensions, if approved, shall be in increments of ten (10) years. The determination as to the appropriateness of such extensions shall be made, in part, on adherence to the original conditions of approval and the number of complaints, if any, received by the County. In the case of co-located facilities, the permits of all co-locaters shall automatically be extended until the last co-locater's permit expires.

60. PRIOR TO GRADING PRMT ISSUANCE

BS GRADE DEPARTMENT

60.BS GRADE. 1 USE* -PM10 PLAN REQUIRED

RECOMMND

A PM10 Fugitive Dust Mitigation Plan, prepared in accordance with AQMD Rule 403.1, shall be submitted to the

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60. PRIOR TO GRADING PRMT ISSUANCE

60.BS GRADE. 1 USE* -PM10 PLAN REQUIRED (cont.) RECOMMND

Building and Safety Department for review and approval prior to the issuance of a grading permit.

1.NOTE: The PM 10 plan shall require the posting of signs in accordance with Building and Safety form "Signage Recommendations".

2.NOTE: All PM 10 measures must be in place prior to commencing any grading activity on site.

60.BS GRADE. 3 USE* PM 10 CLASS REQUIRED RECOMMND

Prior to the issuance of a grading permit, as a requirement of the CIP, the owner, developer, contractor, and their assignees must attend the PM10 class conducted by SCAQMD. Currently, classes are scheduled monthly by SCAQMD.

60.BS GRADE. 4 USE-G1.4 NPDES/SWPPP RECOMMND

Prior to issuance of any grading or construction permits - whichever comes first - the applicant shall provide the Building and Safety Department evidence of compliance with the following: "Effective March 10, 2003 owner operators of grading or construction projects are required to comply with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement to obtain a construction permit from the State Water Resource Control Board (SWRCB). The permit requirement applies to grading and construction sites of "ONE" acre or larger. The owner operator can comply by submitting a "Notice of Intent" (NOI), develop and implement a STORM WATER POLLUTION PREVENTION PLAN (SWPPP) and a monitoring program and reporting plan for the construction site. For additional information and to obtain a copy of the NPDES State Construction Permit contact the SWRCB at (916) 657-1146.

Additionally, at the time the county adopts, as part of any ordinance, regulations specific to the N.P.D.E.S., this project (or subdivision) shall comply with them.

FLOOD RI DEPARTMENT

60.FLOOD RI. 1 USE ELEVATE FINISHED FLOOR RECOMMND

The finished floor of new structures shall be elevated 12 inches above the highest adjacent finished grade. Any mobile home/pre-manufactured building shall be on a

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60. PRIOR TO GRADING PRMT ISSUANCE

60.FLOOD RI. 1 USE ELEVATE FINISHED FLOOR (cont.) RECOMMND
permanent foundation.

TRANS DEPARTMENT

60.TRANS. 1 USE - TRANSPORTATION CLEARANCE RECOMMND
A clearance from the Transportation Department is required prior to the issuance of a grading permit.

80. PRIOR TO BLDG PRMT ISSUANCE

FLOOD RI DEPARTMENT

80.FLOOD RI. 1 USE ELEVATE FINISHED FLOOR RECOMMND
The finished floor of new structures shall be elevated 12 inches above the highest adjacent finished grade. Any mobile home/pre-manufactured building shall be on a permanent foundation.

PLANNING DEPARTMENT

80.PLANNING. 3 USE - LIGHTING PLANS RECOMMND
Any proposed outdoor lighting must be shown on electrical plans submitted to the Department of Building and Safety for plan check approval and shall comply with the requirements of Riverside County Ordinance No. 655 and the Riverside County General Plan.

80.PLANNING. 4 USE - FEE STATUS RECOMMND
Prior to issuance of building permits for Plot Plan No. 23955, the Planning Department shall determine the status of the deposit based fees for project. If the case fees are in a negative state, the permit holder shall pay the outstanding balance.

80.PLANNING. 5 USE- LC LANDSCAPE SECURITIES RECOMMND
Performance securities, in amounts to be determined by the Director of Building and Safety to guarantee the installation of plantings, irrigation system, walls and/or fences, in accordance with the approved plan, shall be filed with the Department of Building and Safety. Securities may require review by County Counsel and other

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80. PRIOR TO BLDG PRMT ISSUANCE

80.PLANNING. 5 USE- LC LANDSCAPE SECURITIES (cont.) RECOMMND

staff. Permit holder is encouraged to allow adequate time to ensure that securities are in place. The performance security may be released one year after structural final, inspection report, and the One-Year Post Establishment report confirms that the plantings and irrigation components have been adequately installed and maintained. A cash security shall be required when the estimated cost is \$2,500.00 or less.

80.PLANNING. 6 USE- LC SPECIMEN TREES REQUIRE RECOMMND

Landscaping plans shall incorporate the use of specimen (24" box or greater) canopy trees. All trees and shrubs shall be drawn to reflect the average specimen size at 15 years of age. All trees shall be double-staked and secured with non-wire ties.

80.PLANNING. 7 USE - CONFORM TO ELEVATIONS RECOMMND

Elevations of all buildings and structures submitted for building plan check approval shall be in substantial conformance with the elevations shown on APPROVED EXHIBIT A.

80.PLANNING. 8 USE - SCHOOL MITIGATION RECOMMND

Impacts to the Palm Springs Unified School District shall be mitigated in accordance with California State law.

80.PLANNING. 9 USE - PALM FRONDS RECOMMND

Prior to building permit issuance, the developer/permit holder shall provide palm frond design, consistent with the approved plot plan, that covers all antennas. After reviewing the building plans, the Planning Department shall clear this condition upon determination of compliance.

TRANS DEPARTMENT

80.TRANS. 1 USE - EVIDENCE/LEGAL ACCESS RECOMMND

Provide evidence of legal access. The legal access for this project shall be from Range View Drive per Caltrans letter dated August 25, 2010.

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80. PRIOR TO BLDG PRMT ISSUANCE

80.TRANS. 2 USE - CALTRANS ENCRCHMNT PRMT RECOMMND

Prior to issuance of a building permit or any use allowed by this permit, and prior to doing any work within the State highway right-of-way, clearance and/or an encroachment permit must be obtained by the applicant from the District 08 Office of the State Department of Transportation in San Bernardino.

80.TRANS. 3 USE - TUMF RECOMMND

Prior to the issuance of a building permit, the project proponent shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of issuance, pursuant to Ordinance No. 673.

90. PRIOR TO BLDG FINAL INSPECTION

B&S DEPARTMENT

90.B&S. 1 BP*FEMA FORM APPRVL REQUIRED NOTAPPLY

Prior to building permit final, a development in FEMA mapped flood zones "A" or "AO" shall provide a FEMA form, filled out, wet stamped and signed by a registered civil engineer or licensed land surveyor, to the Building and Safety Department Grading Division.

The Grading division will transmit the form to the proper flood control district for their review and approval.

Upon receipt of their approval, this condition will be classified as "MET" and the building permit will be eligible for final approval.

E HEALTH DEPARTMENT

90.E HEALTH. 1 USE - HAZMAT BUS PLAN RECOMMND

The facility will require a business emergency plan for the storage of hazardous materials greater than 55 gallons, 200 cubic feet or 500 pounds, or any acutely hazardous materials or extremely hazardous substances.

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90. PRIOR TO BLDG FINAL INSPECTION

90.E HEALTH. 2 USE - HAZMAT REVIEW RECOMMND

If further review of the site indicates additional environmental health issues, the Hazardous Materials Management Division reserves the right to regulate the business in accordance with applicable County Ordinances.

90.E HEALTH. 3 USE - HAZMAT CONTACT RECOMMND

Contact a Hazardous Materials Specialist, Hazardous Materials Management Division, at (951) 358-5055 for any additional requirements.

FIRE DEPARTMENT

90.FIRE. 1 USE-#27-EXTINGUISHERS RECOMMND

Install portable fire extinguishers with a minimum rating of 2A-10BC and signage. Fire Extinguishers located in public areas shall be in recessed cabinets mounted 48" (inches) to center above floor level with maximum 4" projection from the wall. Contact Fire Department for proper placement of equipment prior to installation.

PLANNING DEPARTMENT

90.PLANNING. 1 USE - UTILITIES UNDERGROUND RECOMMND

All utilities, except electrical lines rated 33 kV or greater, shall be installed underground. If the permittee provides to the Department of Building and Safety and the Planning Department a definitive statement from the utility provider refusing to allow underground installation of the utilities they provide, this condition shall be null and void with respect to that utility.

90.PLANNING. 2 USE - WALL & FENCE LOCATIONS RECOMMND

Wall and/or fence locations shall be in conformance with APPROVED EXHIBIT A.

90.PLANNING. 7 USE - ORD NO. 659 (DIF) RECOMMND

Prior to the issuance of either a certificate of occupancy or prior to building permit final inspection, the applicant shall comply with the provisions of Riverside County Ordinance No. 659, which requires the payment of the appropriate fee set forth in the Ordinance. Riverside

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 7 USE - ORD NO. 659 (DIF) (cont.)

RECOMMND

County Ordinance No. 659 has been established to set forth policies, regulations and fees related to the funding and installation of facilities and the acquisition of open space and habitat necessary to address the direct and cumulative environmental effects generated by new development project described and defined in this Ordinance, and it establishes the authorized uses of the fees collected.

The amount of the fee for commercial or industrial development shall be calculated on the basis of the "Project Area," as defined in the Ordinance, which shall mean the net area, measured in acres, from the adjacent road right-of-way to the limits of the project development. The Project Area for Plot Plan No. 23955 has been calculated to be .01 net acres.

In the event Riverside County Ordinance No. 659 is rescinded, this condition will no longer be applicable. However, should Riverside County Ordinance No. 659 be rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 8 USE - SIGNAGE REQUIREMENT

RECOMMND

Prior to final inspection of any building permit, the permit holder, developer or successor-in-interest shall install a sign no smaller than 12 inches by 12 inches upon an exterior wall or fence that surrounds the lease area that provides the following contact information:

- Address of wireless communications facility and any internal site identification number or code;
- Name(s) of company who operates the wireless communications facility;
- Full company address, including mailing address and division name that will address problems;
- Telephone number of wireless communications facility company.

f a co-located facility (addition antennas and/or equipment shelters or cabinets) are added to an existing facility, an additional sign, including the above described information, shall be installed on said shelter or cabinet stating the name of the company who operates the primary wireless

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 8 USE - SIGNAGE REQUIREMENT (cont.) RECOMMND

communications facility and the name of the company that operates the co-located facility.

90.PLANNING. 9 USE - ORD 875 CVMSHCP FEE (2) RECOMMND

Prior to a certificate of occupancy or upon building permit final inspection, whichever comes first, the permit holder shall comply with the provisions of Riverside County Ordinance No. 875, which requires the payment of the appropriate fee set forth in the ordinance. The amount of the fee will be based on the "Project Area" as defined in the ordinance and the aforementioned condition of approval. The Project Area for Plot Plan No. 23955 is calculated to be .01 acres. In the event Riverside County Ordinance No. 875 is rescinded, this condition will no longer be applicable, However, in the event Riverside County Ordinance No. 875 is rescinded and superseded by a subsequent mitigation fee ordinance, payment of the appropriate fee set forth in that ordinance shall be required.

90.PLANNING. 11 USE- LC LANDSCAPE INSPECT DEP RECOMMND

Prior to building permit final inspection, the developer/permit holder shall file an Inspection Request Form and deposit sufficient funds to cover the costs of the Pre-Installation, the Installation, and One Year Post-Establishment landscape inspections. In the event that an open landscape case is not available, then the applicant shall open a FEE ONLY case to conduct inspections. The deposit required for landscape inspections shall be determined by the Riverside County Landscape Division. The estimated fee for the Pre-Installation, the Installation, and the One Year Post-Establishment landscape inspections will be determined by the County Planning Department's Landscape personnel prior to approval of the requisite Plot Plan for Planting and Irrigation. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 12 USE- LANDSCAPE INSP REQUIREMEN RECOMMND

The permit holder's landscape architect responsible for preparing the Landscaping and Irrigation Plans (or on-site representative) shall arrange for a PRE-INSTALLATION INSPECTION with the Planning Department at least five (5)

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90. PRIOR TO BLDG FINAL INSPECTION

90.PLANNING. 12 USE- LANDSCAPE INSP REQUIREMEN (cont.) RECOMMND

working days prior to the installation of any landscape or irrigation components.

Upon successful completion of the PRE-INSTALLATION INSPECTION, the applicant will proceed with the installation of the approved landscape and irrigation system and arrange for an INSTALLATION INSPECTION at least five 5 working days prior to the building final inspection or issuance of occupancy permit, whichever occurs first and comply with the Planning Department's Milestone 80 conditions entitled "USE-LANDSCAPING SECURITY" and the Milestone 90 condition entitled "LANDSCAPE INSPECTION DEPOSIT." Upon successful completion of the INSTALLATION INSPECTION, the County Planning Department's Landscape Inspector and the permit holder's landscape architect (or on-site representative) shall execute a Landscape Certificate of Completion that shall be submitted to the Planning Department and the Department of Building and Safety. The Planning Department shall clear this condition upon determination of compliance.

90.PLANNING. 13 USE- LC COMPLY W/LAND/IRRIG PL RECOMMND

All required landscape planting and irrigation shall have been installed in accordance with approved Landscaping, Irrigation, and Shading Plans, Ordinance No. 859 (as adopted and any amendments thereto), and the Riverside County Guide to California Landscaping. All landscape and irrigation components shall be in a condition acceptable to the Planning Department through the implementation of the Department's Milestone 90 condition entitled "USE - LNDSCP/IRRIG INSTALL INS." The plants shall be healthy and free of weeds, disease or pests. The irrigation system shall be properly constructed and determined to be in good working order.

90.PLANNING. 14 USE - PALM FRONDS RECOMMND

Prior to final inspection, the developer/permit holder shall demonstrate palm frond design consistent with the approved plot plan that covers all antennas. The Planning Department shall clear this upon determination of compliance.

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90. PRIOR TO BLDG FINAL INSPECTION

TRANS DEPARTMENT

90.TRANS. 4 USE - CALTRANS 1 RECOMMND

The project proponent shall comply with the Caltrans recommendations as outlined in their letter dated August 25, 2010.

90.TRANS. 11 USE - UTILITY PLAN CELL TOWER RECOMMND

Proposed electrical power lines below 33.6 KV within public right-of-way for this cell tower site shall be designed to be placed underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department. The applicant is responsible for coordinating the work with the serving utility company. A disposition note describing the above shall be reflected on the site plan. A written proof for initiating the design and/or application of the relocation issued by the utility company shall be submitted to the Transportation Department for verification purposes.

90.TRANS. 12 USE-UTILITY INSTALL CELL TOWER RECOMMND

Proposed electrical power lines below 33.6 KV within public right-of-way for this cell tower site shall be underground in accordance with Ordinance 460 and 461, or as approved by the Transportation Department.

A certificate should be obtained from the pertinent utility company and submitted to the Department of Transportation as proof of completion.

COUNTY OF RIVERSIDE

ENVIRONMENTAL ASSESSMENT FORM: INITIAL STUDY

Environmental Assessment (E.A.) Number: 42116
Project Case Type (s) and Number(s): Plot Plan No. 23955
Lead Agency Name: County of Riverside Planning Department
Address: P.O. Box 1409, Riverside, CA 92502-1409
Contact Person: Jay Olivas
Telephone Number: (951) 955-1195
Applicant's Name: Royal Street Communications California, LLC
Applicant's Address: 350 Commerce Street, Ste. 200 Irvine, CA 92602
Engineer's Name: National Engineering, Inc.
Engineer's Address: 22362 Gilberto, Ste. 200 Rancho Santa Margarita, CA 92688

I. PROJECT INFORMATION

A. Project Description: The plot plan proposes a wireless communication facility, for Royal Street Communications California, LLC, disguised as a mono palm tree with palm fronds at a total maximum height of 70 feet. The project will include six (6) panel antennas, one (1) GPS antenna, and four (4) outdoor equipment cabinets at grade level within a 600 square foot lease area. Project grading is not proposed.

B. Type of Project: Site Specific ; Countywide ; Community ; Policy .

C. Total Project Area: 600 square feet on a 1.11 acre parcel

Residential Acres:	Lots:	Units:	Projected No. of Residents:
Commercial Acres: 1.11	Lots: 1	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Industrial Acres:	Lots:	Sq. Ft. of Bldg. Area:	Est. No. of Employees:
Other: 460 sq ft lease area			

D. Assessor's Parcel No(s): 522-200-008

E. Street References: South of State Highway 111 (North Palm Canyon Drive), northerly of Range View Drive, more specifically located at 59901 North Highway 111, Palm Springs, CA

F. Section, Township & Range Description or reference/attach a Legal Description:
Township 3 South, Range 3 East, Section 24

G. Brief description of the existing environmental setting of the project site and its surroundings: This project site contains an existing single family residence, surrounded by an adjacent single family residence and vacant land, and recorded TR26686 which remains partially developed.

II. APPLICABLE GENERAL PLAN AND ZONING REGULATIONS

A. General Plan Elements/Policies:

- 1. Land Use:** The project implements Policy LU 4.1, requiring new developments to be located and designed to visually enhance, not degrade, the character of the surrounding area. The proposed project is consistent with the Medium Density Residential (MDR) (2-5 DU/AC) land use designation, and other applicable land use policies within the General Plan.

2. **Circulation:** The project has adequate circulation to the site and is therefore consistent with the Circulation Element of the General Plan. The proposed project meets all other applicable circulation policies of the General Plan.
3. **Multipurpose Open Space:** No natural open space land was required to be preserved within the boundaries of this project. The proposed project meets with all other applicable Multipurpose Open Space element policies.
4. **Safety:** The proposed project is not located within any special hazard zone (including FEMA flood zone, fault zone, high fire hazard area, dam inundation zone, area with high liquefaction potential, etc.). The proposed project has allowed for sufficient provision of emergency response services to the future residents of this project through the project design and payment of development impact fees. The proposed project meets with all other applicable Safety element policies.
5. **Noise:** Sufficient mitigation against any foreseeable noise sources in the area have been provided for in the design of the project. The project will not generate noise levels in excess of standards established in the General Plan or noise ordinance. The project meets all other applicable Noise Element Policies.
6. **Housing:** The proposed project meets all applicable Housing Element Policies.
7. **Air Quality:** The proposed project has been conditioned to control any fugitive dust during grading and construction activities. The proposed project meets all other applicable Air Quality element policies.

B. General Plan Area Plan(s): Western Coachella Valley

C. Foundation Component(s): Community Development (CD)

D. Land Use Designation(s): Medium Density Residential (MDR) (2-5 DU/AC)

E. Overlay(s), if any: Not Applicable

F. Policy Area(s), if any: Not Applicable

G. Adjacent and Surrounding Area Plan(s), Foundation Component(s), Land Use Designation(s), and Overlay(s) and Policy Area(s), if any: The project site is surrounded by properties which are designated Community Development: Medium Density Residential (CD:MDR) (2-5 Dwelling Units per Acre).

H. Adopted Specific Plan Information

1. **Name and Number of Specific Plan, if any:** Not Applicable

2. **Specific Plan Planning Area, and Policies, if any:** Not Applicable

I. Existing Zoning: Scenic Highway Commercial (C-P-S)

J. Proposed Zoning, if any: Not Applicable

K. Adjacent and Surrounding Zoning: The project site is surrounded by properties which are zoned Open Area Combining Zone Residential Developments (R-5) and Scenic Highway Commercial (C-P-S).

III. ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED

The environmental factors checked below (x) would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" or "Less than Significant with Mitigation Incorporated" as indicated by the checklist on the following pages.

- | | | |
|---|--|---|
| <input checked="" type="checkbox"/> Aesthetics | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Hydrology / Water Quality | <input type="checkbox"/> Transportation / Traffic |
| <input type="checkbox"/> Air Quality | <input type="checkbox"/> Land Use / Planning | <input type="checkbox"/> Utilities / Service Systems |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Noise | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Geology / Soils | <input type="checkbox"/> Population / Housing | <input type="checkbox"/> Mandatory Findings of Significance |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Public Services | |

IV. DETERMINATION

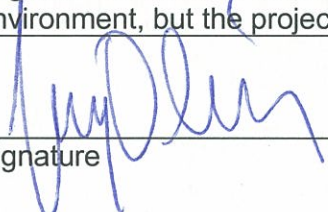
On the basis of this initial evaluation:

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS NOT PREPARED
<input type="checkbox"/> I find that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
<input checked="" type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project, described in this document, have been made or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
<input type="checkbox"/> I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

A PREVIOUS ENVIRONMENTAL IMPACT REPORT/NEGATIVE DECLARATION WAS PREPARED
<input type="checkbox"/> I find that although the proposed project could have a significant effect on the environment, NO NEW ENVIRONMENTAL DOCUMENTATION IS REQUIRED because (a) all potentially significant effects of the proposed project have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, (b) all potentially significant effects of the proposed project have been avoided or mitigated pursuant to that earlier EIR or Negative Declaration, (c) the proposed project will not result in any new significant environmental effects not identified in the earlier EIR or Negative Declaration, (d) the proposed project will not substantially increase the severity of the environmental effects identified in the earlier EIR or Negative Declaration, (e) no considerably different mitigation measures have been identified and (f) no mitigation measures found infeasible have become feasible.
<input type="checkbox"/> I find that although all potentially significant effects have been adequately analyzed in an earlier EIR or Negative Declaration pursuant to applicable legal standards, some changes or additions are necessary but none of the conditions described in California Code of Regulations, Section 15162 exist. An ADDENDUM to a previously-certified EIR or Negative Declaration has been prepared and will be considered by the approving body or bodies.

I find that at least one of the conditions described in California Code of Regulations, Section 15162 exist, but I further find that only minor additions or changes are necessary to make the previous EIR adequately apply to the project in the changed situation; therefore a **SUPPLEMENT TO THE ENVIRONMENTAL IMPACT REPORT** is required that need only contain the information necessary to make the previous EIR adequate for the project as revised.

I find that at least one of the following conditions described in California Code of Regulations, Section 15162, exist and a **SUBSEQUENT ENVIRONMENTAL IMPACT REPORT** is required: (1) Substantial changes are proposed in the project which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; (2) Substantial changes have occurred with respect to the circumstances under which the project is undertaken which will require major revisions of the previous EIR or negative declaration due to the involvement of new significant environmental effects or a substantial increase in the severity of previously identified significant effects; or (3) New information of substantial importance, which was not known and could not have been known with the exercise of reasonable diligence at the time the previous EIR was certified as complete or the negative declaration was adopted, shows any the following:(A) The project will have one or more significant effects not discussed in the previous EIR or negative declaration;(B) Significant effects previously examined will be substantially more severe than shown in the previous EIR or negative declaration;(C) Mitigation measures or alternatives previously found not to be feasible would in fact be feasible, and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measures or alternatives; or,(D) Mitigation measures or alternatives which are considerably different from those analyzed in the previous EIR or negative declaration would substantially reduce one or more significant effects of the project on the environment, but the project proponents decline to adopt the mitigation measures or alternatives.



Signature

October 27, 2010

Date

Jay Olivas

Printed Name

For Carolyn Syms Luna, Planning Director

V. ENVIRONMENTAL ISSUES ASSESSMENT

In accordance with the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000-21178.1), this Initial Study has been prepared to analyze the proposed project to determine any potential significant impacts upon the environment that would result from construction and implementation of the project. In accordance with California Code of Regulations, Section 15063, this Initial Study is a preliminary analysis prepared by the Lead Agency, the County of Riverside, in consultation with other jurisdictional agencies, to determine whether a Negative Declaration, Mitigated Negative Declaration, or an Environmental Impact Report is required for the proposed project. The purpose of this Initial Study is to inform the decision-makers, affected agencies, and the public of potential environmental impacts associated with the implementation of the proposed project.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
AESTHETICS Would the project				
1. Scenic Resources				
a) Have a substantial effect upon a scenic highway corridor within which it is located?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings and unique or landmark features; obstruct any prominent scenic vista or view open to the public; or result in the creation of an aesthetically offensive site open to public view?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Source: Riverside County General Plan Figure C-9 "Scenic Highways"

Findings of Fact:

a) The proposed project is located within the vicinity of State Highway 111 which is a County Eligible Scenic Highway. However, the project has been designed to be disguised as a mono palm tree with palm fronds at a total maximum height of 70 feet in order to minimize the visual impact of the telecommunication facility which will also blend in with two additional live palm trees to be planted 40 feet high immediately adjacent to the site. In addition, the equipment shelter has been designed to blend in with the surrounding setting and will blend with the existing landscaping. Therefore, the project does not have the potential to have a substantial impact upon scenic resources and the project has a less than significant impact.

b) The site is not anticipated to obstruct any prominent scenic vistas, views open to the public, or result in the creation of an aesthetically offensive site open to public view. Additionally, the project has been designed to be disguised as a palm tree and will blend in with the live palm trees existing in the project area. In addition, the equipment shelter has also been designed to blend in with the surrounding setting and will be screened by the existing landscaping to minimize the visual impact of the telecommunication facility. Impacts are less than significant with mitigation incorporated.

Mitigation: Prior to building permit issuance, the developer/permit holder shall provide a palm frond design that is consistent with the approved plot plan and that covers all antennas (COA 80. PLANNING 9) and the developer/permit holder shall ensure that the palm fronds are verified at final inspection to be placed in such a manner that covers all of the antennas (COA 90.PLANNING.14).

Monitoring: Mitigation monitoring will occur through the Building and Safety Plan Check process.

2. Mt. Palomar Observatory

a) Interfere with the nighttime use of the Mt. Palomar Observatory, as protected through Riverside County Ordinance No. 655?

Source: GIS database, Ord. No. 655 (Regulating Light Pollution)

Findings of Fact:

a) According to GIS database, the project site is located 42.64 miles away from Mt. Palomar Observatory. The project shall comply with low pressure sodium requirements (COA 10.PLANING.26)

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

3. Other Lighting Issues

a) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?

b) Expose residential property to unacceptable light levels?

Source: On-site Inspection, Project Application Description

Findings of Fact:

a-b) The proposed telecommunication facility may provide a service light to be used at the time of servicing the facility. However, it will not create new sources of light or glare in the area and will not expose residential property to unacceptable light levels. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AGRICULTURE & FOREST RESOURCES Would the project**4. Agriculture**

a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?

b) Conflict with existing agricultural zoning, agricultural use or with land subject to a Williamson Act contract or land within a Riverside County Agricultural Preserve?

c) Cause development of non-agricultural uses within 300 feet of agriculturally zoned property (Ordinance No. 625 "Right-to-Farm")?

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, and Project Application Materials.

Findings of Fact:

a) The project is not located within the boundaries of designated farmland – as designated by the most recent version of the Important Farmland Map (as prepared by the California Department of Conservation, Farmland Mapping and Monitoring Program). Therefore the proposed project will not impact land designated as Prime, Unique, or Farmland of Statewide Importance to a non-agricultural use.

b) According to GIS database, the project is not located within an Agriculture Preserve or under a Williamson Act contract; therefore, no impact will occur as a result of the proposed project.

c) The project site is not surrounded by agriculturally zoned land. Therefore, the project will not cause development of a non-agricultural use within 300 feet of agriculturally zoned property.

d) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

5. Forest	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-3 "Parks, Forests and Recreation Areas," and Project Application Materials.

Findings of Fact:

a) The project is not located within the boundaries of a forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Govt. Code section 51104(g)). Therefore, the proposed project will not impact land designated as forest land, timberland, or timberland zoned Timberland Production.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b) According to General Plan, the project is not located within forest land and will not result in the loss of forest land or conversion of forest land to non-forest use; therefore, no impact will occur as a result of the proposed project.

c) The project will not involve other changes in the existing environment which, due to their location or nature, could result in conversion of forest land to non-forest use.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

AIR QUALITY Would the project

6. Air Quality Impacts

a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Expose sensitive receptors which are located within 1 mile of the project site to project substantial point source emissions?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Involve the construction of a sensitive receptor located within one mile of an existing substantial point source emitter?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Create objectionable odors affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: SCAQMD CEQA Air Quality Handbook Table 6-2

Findings of Fact: Appendix G of the current State CEQA Guidelines indicates that a project will significantly impact air quality if the project violates any ambient air quality standard, contributes substantially to an existing air quality violation, or exposes sensitive receptors to substantial pollutant concentrations.

a) The project site is located in the South Coast Air Basin (SCAB). The South Coast Air Quality Management District (SCAQMD) Governing Board adopted its most recent Air Quality Management Plan (AQMP) for the SCAB on August 1, 2003. The AQMP is a plan for the regional improvement of air quality. As part of adoption of the County's General Plan in 2003, the General Plan EIR (SCH No. 2002051143) analyzed the General Plan growth projections for consistency with the AQMP and concluded that the General Plan is consistent with the SCAQMD's AQMP. The project is consistent with the County General Plan and would therefore be consistent with the SCAQMD's AQMP.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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b-c) The South Coast Air Basin (SCAB) is in a non-attainment status for federal ozone standards, federal carbon monoxide standards, and state and federal particulate matter standards. Any development in the SCAB, including the proposed Project, would cumulatively contribute to these pollutant violations.

The project is consistent with the General Plan and the Western Coachella Valley Area Plan land use designations. The General Plan (2003) is a policy document that reflects the County's vision for the future of Riverside County. The General Plan is organized into eight separate elements, including an Air Quality Element. The purpose of the Air Quality Element is to protect County residents from the harmful effects of poor air quality. The Air Quality Element identifies goals, policies, and programs that are meant to balance actions regarding land use, circulation, and other issues with their potential effects on air quality. The Air Quality Element, in conjunction with local and regional air quality planning efforts, addresses ambient air quality standards set forth by the Federal Environmental Protection Agency (EPA) and the California Air Resources Board (CARB). Potential air quality impacts resulting from the proposed Project would not exceed emissions projected by the Air Quality Element. The County is charged with implementing the policies in the General Plan Air Quality Element, which are focused on reducing concentrations of criteria pollutants, reducing negative impacts to sensitive receptors, reducing mobile and stationary pollutant sources, increasing energy conservation and efficiency, improving the jobs to housing balance, and facilitating multi-jurisdictional coordination for the improvement of air quality.

Implementation of the project would not impact air quality beyond the levels documented in EIR No. 441 prepared for the General Plan. The project would impact air quality in the short-term during construction and in the long-term through operation. In accordance with standard county requirements, dust control measures and maintenance of construction equipment shall be utilized on the property to limit the amount of particulate matter generated. These are standard requirements and are not considered mitigation pursuant to CEQA.

The proposed project would primarily impact air quality through increased automotive emissions. Single projects typically do not generate enough traffic and associated air pollutants to violate clean air standards or contribute enough air pollutants to be considered a cumulatively considerable significant impact. Operational impacts associated with the project would be expected to result in emissions of VOC, NOX, CO, PM10, PM2.5 and SOX. Operational emissions would result from vehicle emissions, fugitive dust associated with vehicle travel, combustion emissions associated with natural gas use, emission related to electricity generation, and landscape equipment maintenance emissions. In the long term, emissions of VOC, NOX, CO, PM10 and PM2.5 and could exceed SCAQMD significance thresholds (in pounds per day). However, with compliance with standard requirements for use of low VOC paints and compliance with California Energy Commission Title 24 requirements for building energy efficiency, direct and cumulative air quality impacts would be reduced to a level below significance. These are standard requirements and are not considered mitigation pursuant to CEQA. Therefore, the impact is considered less than significant.

d) A sensitive receptor is a person in the population who is particularly susceptible to health effects due to exposure to an air contaminant than is the population at large. Sensitive receptors (and the facilities that house them) in proximity to localized CO sources, toxic air contaminants or odors are of particular concern. High levels of CO are associated with major traffic sources, such as freeways and major intersections, and toxic air contaminants are normally associated with manufacturing and commercial operations. Land uses considered to be sensitive receptors include long-term health care facilities, rehabilitation centers, convalescent centers, retirement homes, residences, schools,

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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playgrounds, child care centers, and athletic facilities. Surrounding land uses include residential, which is considered a sensitive receptor, however, an unmanned telecommunications facility is not considered a substantial point source emitter or a sensitive receptor.

e) Surrounding land uses do not include significant localized CO sources, toxic air contaminants, or odors. An unmanned telecommunications facility is not considered a substantial point source emitter or a sensitive receptor.

f) The project will not create objectionable odors affecting a substantial number of people.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

BIOLOGICAL RESOURCES Would the project

7. Wildlife & Vegetation

a) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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e) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, regulations or by the California Department of Fish and Game or U. S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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f) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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g) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: GIS database, WRC-MSHCP and/or CV-MSHCP, Environmental Programs Department (EPD) review

Findings of Fact:

The project site is fully developed and no biological impacts are anticipated.

a) The project site does not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Conservation Community Plan, or other approved local, regional, or state conservation plan. The project site is not located within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). Therefore, there is no impact.

b) The project site is not located within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). The project will not have a substantial adverse effect, either directly or through habitat modifications, on any endangered, or threatened species, as listed in Title 14 of the California Code of Regulations (Sections 670.2 or 670.5) or in Title 50, Code of Federal Regulations (Sections 17.11 or 17.12). Therefore, there is no impact.

c) The project site is not located within a conservation area of the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP). The project will not have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U. S. Wildlife Service. Therefore, there is no impact.

d) The project will not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident migratory wildlife corridors, or impede the use of native wildlife nursery sites. Therefore, there is no impact.

e-f) The project site does not contain riverine/riparian areas or vernal pools. Therefore, there is no impact.

g) The proposed project will not conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

CULTURAL RESOURCES Would the project

8. Historic Resources

a) Alter or destroy an historic site?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: On-site Inspection, Project Application Materials

Findings of Fact:

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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a-b) The site is fully disturbed with an existing country club site. And project does not propose the disturbance of a historic site or the demolishing of historic structures. The project will not cause a substantial adverse change in the significance of a historical resource as defined in California Code of Regulations, Section 15064.5. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

9. Archaeological Resources

a) Alter or destroy an archaeological site.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to California Code of Regulations, Section 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Disturb any human remains, including those interred outside of formal cemeteries?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Restrict existing religious or sacred uses within the potential impact area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a) Site disturbance has already occurred from grading and disturbance of the one acre site which includes an existing single family residence. The project site does not contain an archaeological site. Therefore, the project will not alter or destroy an archaeological site.

b) The proposed project is not expected to impact archaeological resources. If, however, during ground disturbing activities, unique cultural resources are discovered, all ground disturbances shall halt until a meeting is held between the developer, archaeologist, and Native American representative to discuss the significance of the find. (COA 10.PLANNING.19) Therefore, the project will not alter or destroy an archaeological site or cause a substantive adverse change in the significance of an archaeological resource.

c) There may be a possibility that ground disturbing activities will expose human remains. The project is subject to State Health and Safety Code Section 7050.5 if human remains are discovered during ground disturbing activities. (COA 10.PLANNING.18) This is a standard condition and not considered mitigation for CEQA purposes. Therefore, the impact is considered less than significant.

d) The project will not restrict existing religious or sacred uses within the potential impact area. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

10. Paleontological Resources

a) Directly or indirectly destroy a unique paleonto-	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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logical resource, or site, or unique geologic feature?

Source: GIS database, County Geologist review

Findings of Fact:

a) According to GIS database, this site has been mapped as having a low potential for paleontological resources. This category encompasses lands for which previous field surveys and documentation demonstrates a low potential for containing significant paleontological resources subject to adverse impacts. As such, this project is not anticipated to require any direct mitigation for paleontological resources. This is a standard condition and not considered mitigation for CEQA purposes. Therefore, the impact is considered less than significant.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

GEOLOGY AND SOILS Would the project

11. Alquist-Priolo Earthquake Fault Zone or County Fault Hazard Zones

a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death?

b) Be subject to rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault?

Source: Riverside County General Plan Figure S-2 "Earthquake Fault Study Zones," GIS database, County Geologist review (GEO02154)

Findings of Fact:

a-b) According to Figure S-2, no active faults are known to traverse the subject site. The project site does not lie within a State of California Earthquake Fault Hazard Zone (formerly called an Alquist-Priolo Special Studies Zone). The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

12. Liquefaction Potential Zone

a) Be subject to seismic-related ground failure, including liquefaction?

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-3 "Generalized Liquefaction", GIS Database, County Geologist review (GEO02154)

Findings of Fact:

a) According to the County Geologist, the potential for liquefaction is low to moderate at this site. The project will have less than significant impact.

Mitigation: No mitigation measures required.

Monitoring: No monitoring measures are required.

13. Ground-shaking Zone

Be subject to strong seismic ground shaking?

Source: Riverside County General Plan Figure S-4 "Earthquake-Induced Slope Instability Map," and Figures S-13 through S-21 (showing General Ground Shaking Risk), County Geologist review (GEO02154)

Findings of Fact:

There are no known active or potentially active faults that traverse the site and the site is not located within an Alquist-Priolo Earthquake Fault Zone. The principal seismic hazard that could affect the site is ground shaking resulting from an earthquake occurring along several major active or potentially active faults in southern California. California Building Code (CBC) requirements pertaining to development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

14. Landslide Risk

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, collapse, or rockfall hazards?

Source: Riverside County General Plan Figure S-5 "Regions Underlain by Steep Slope", Geologist review (GEO02154)

Findings of Fact:

a) According to the County Geologist, landslides are not a potential hazard to the site. The project will have no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

15. Ground Subsidence

a) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in ground subsidence?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: GIS database, County Geologist review (GEO02154)

Findings of Fact:

a) According to GIS database, the site is located in an area susceptible to subsidence. However, GEO02154 concluded that subsidence in the area will not cause any differential settlement or cracking of the foundation and will therefore have a minimal impact on the proposed development. GEO02154 recommended that the monopalm be supported on a drilled caisson and be densified by removal and re-compaction to a minimum of 90 percent (COA 10.PLANNING.20). However, said condition is not considered unique mitigation and is not required for CEQA implementation purposes. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

16. Other Geologic Hazards

a) Be subject to geologic hazards, such as seiche, mudflow, or volcanic hazard?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Project Application Materials, County Geologist review (GEO02154)

a) According to the County Geologist, tsunamis and seiching are not potential hazards to the site. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

17. Slopes

a) Change topography or ground surface relief features?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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b) Create cut or fill slopes greater than 2:1 or higher than 10 feet?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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c) Result in grading that affects or negates subsurface sewage disposal systems?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Project Application Materials, Building and Safety – Grading Review

Findings of Fact:

a-c) Standard conditions of approval have been added stating that a grading permit is required prior to construction grading if more than 50 cubic yards. These conditions are not considered unique mitigation and are not required for CEQA implementation purposes. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

18. Soils

a) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Be located on expansive soil, as defined in Section 1802.3.2 of the California Building Code (2007), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Have soils incapable of adequately supporting use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: General Plan figure S-6 “Engineering Geologic Materials Map”, Project Application Materials, Building and Safety Grading review

a) The development of the site could result in the loss of topsoil from grading activities, but not in a manner that would result in significant amounts of soil erosion. Implementation of Best Management Practices (BMPs) would reduce the impact to below a level of significance. Impacts would be less than significant.

b) The project may be located on expansive soil; however, California Building Code (CBC) requirements pertaining to commercial development will mitigate the potential impact to less than significant. As CBC requirements are applicable to all development, they are not considered mitigation for CEQA implementation purposes.

c) The project is for the installation of an unmanned wireless telecommunication facility and will not require the use of sewers or septic tanks. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

19. Erosion

a) Change deposition, siltation, or erosion that may modify the channel of a river or stream or the bed of a lake?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b) Result in any increase in water erosion either on or	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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off site?

Source: Flood Control District review, Project Application Materials

Findings of Fact:

a) Implementation of the proposed project will involve grading and various construction activities. Standard construction procedures, and federal, state and local regulations implemented in conjunction with the site's storm water pollution prevention plan (SWPPP) and its Best Management Practices (BMPs) required under the National Pollution Discharge System (NPDES) general construction permit, will minimize potential for erosion during construction. These practices will keep substantial amounts of soil material from eroding from the project site and prevent deposition within receiving waters located downstream.

b) The potential for on-site erosion will increase due to grading and excavating activities during the construction phase. However, BMPs will be implemented for maintaining water quality and reducing erosion.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

20. Wind Erosion and Blowsand from project either on or off site.

a) Be impacted by or result in an increase in wind erosion and blowsand, either on or off site?

Source: Riverside County General Plan Figure S-8 "Wind Erosion Susceptibility Map," Ord. 460, Sec. 14.2 & Ord. 484

Findings of Fact:

a) The project site lies within a high to moderate wind erosion susceptibility area. The project could be influenced by wind erosion and blowsand issues during project construction. Blowsand can create drifting sand dunes and can act as an abrasive on metal, glass and wood surfaces such as cars, windows, and siding of existing homes. The project has been conditioned to prevent dust and blowsand. COA. 10 PLANNING 24. With the incorporation of this condition, the project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

GREENHOUSE GAS EMISSIONS Would the project

21. Greenhouse Gas Emissions

a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?

b) Conflict with an applicable plan, policy or regulation

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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adopted for the purpose of reducing the emissions of greenhouse gases?

Source: Project application materials

Findings of Fact:

a) The project is for the installation of a 50 foot high monopalm within a 460 square foot lease area. The installation of the monopalm will involve small-scale construction activities that will not involve an extensive amount of heavy duty equipment or labor. Therefore, greenhouse gas emissions generated during construction phase are minimal. In addition, the powering of the cell tower will not require an extensive amount of electricity. Therefore, project is not anticipated to generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment.

b) The project will not conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases. The project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HAZARDS AND HAZARDOUS MATERIALS Would the project

22. Hazards and Hazardous Materials

a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Impair implementation of or physically interfere with an adopted emergency response plan or an emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials

Findings of Fact:

a-e) The project does not create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment. It will also not impair the implementation or physically interfere with an adopted

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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emergency response plan or an emergency evacuation plan. The project will have no impact on emitting, or handling hazardous waste within one-quarter mile of an existing or proposed school. The project is not located on a list of hazardous materials sites.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

23. Airports

a) Result in an inconsistency with an Airport Master Plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Require review by the Airport Land Use Commission?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) For a project within the vicinity of a private airstrip, or heliport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure S-19 "Airport Locations," GIS database

a) The project site is not located within an Airport Influence Area, the project will not result in an inconsistency with the Airport Master Plan.

b) The project site is located within the vicinity of a private airport; but will not require review by the Airport Land Use Commission.

c) The project is located within an airport land use plan but would not result in a safety hazard for people residing or working in the project area.

d) The project is not within the vicinity of a private airstrip, or heliport and would not result in a safety hazard for people residing or working in the project area.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

24. Hazardous Fire Area

a) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Source: Riverside County General Plan Figure S-11 "Wildfire Susceptibility," GIS database

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Findings of Fact:

a) The project site is not located in a high fire area. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

HYDROLOGY AND WATER QUALITY Would the project

25. Water Quality Impacts

a) Substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site?

b) Violate any water quality standards or waste discharge requirements?

c) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?

d) Create or contribute runoff water that would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?

e) Place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?

f) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?

g) Otherwise substantially degrade water quality?

h) Include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors)?

Source: Riverside County Flood Control District Flood Hazard Report/Condition.

Findings of Fact:

a) Due to the small size and limited development of the project site, the site shall not substantially alter the existing drainage pattern of the site or area, including the alteration of the course of a stream or river, in a manner that would result in substantial erosion or siltation on- or off-site. Therefore, the impact is considered less than significant.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- b) Due to the small size and limited development of the project site, the project is not anticipated to violate any water quality standards or waste discharge requirements.
- c) The project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted. Therefore, the impact is no impact.
- d) Due to the amount of impervious surfaces within the project site, this proposal will not increase flow rates on downstream property owners. Therefore, no new flood control facilities or water quality mitigation will be required. Therefore, the impact is considered less than significant
- e) The project site is not located within a 100 year flood zone. Therefore, the project shall not place housing within a 100-year flood hazard area, as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map.
- f) The project site is not located within a 100 year flood zone. Therefore, the project shall not place within a 100-year flood hazard area structures which would impede or redirect flood flows.
- g) The project is not anticipated to otherwise substantially degrade water quality. The project has been conditioned to provide to the Building and Safety Department evidence of compliance with the N.P.D.E.S. (National Pollutant Discharge Elimination System) requirement and to obtain a construction permit from the State Water Resource Control Board (SWRCB) prior to issuance of any grading or construction permit (COA 60. BS GRADE.1). This is a standard condition of approval and is not considered mitigation pursuant to CEQA.
- h) The project does not include new or retrofitted stormwater Treatment Control Best Management Practices (BMPs) (e.g. water quality treatment basins, constructed treatment wetlands), the operation of which could result in significant environmental effects (e.g. increased vectors or odors). Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

26. Floodplains

Degree of Suitability in 100-Year Floodplains. As indicated below, the appropriate Degree of Suitability has been checked.

NA - Not Applicable <input type="checkbox"/>	U - Generally Unsuitable <input type="checkbox"/>	R - Restricted <input type="checkbox"/>
a) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Changes in absorption rates or the rate and amount of surface runoff?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Expose people or structures to a significant risk of	<input type="checkbox"/>	<input checked="" type="checkbox"/>

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area)?

d) Changes in the amount of surface water in any water body?

Source: Riverside County General Plan Figure S-9 "100- and 500-Year Flood Hazard Zones," Figure S-10 "Dam Failure Inundation Zone," Riverside County Flood Control District Flood Hazard Report/Condition, GIS database

Findings of Fact:

a) The project is considered free from ordinary storm flood hazard. In addition, because of the small size and limited development of the project site, the project will not substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner that would result in flooding on- or off-site. Therefore, the project will have less than significant impact.

b) The project is considered free from ordinary storm flood hazard.. In addition, because of the small size and limited development of the project site, the project will not result in changes in absorption rates or the rate and amount of surface runoff within a floodplain. Therefore, the project will have less than significant impact.

c) The project is considered free from ordinary storm flood hazard. The project will not expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam (Dam Inundation Area). Therefore, the project will have less than significant impact.

d) Because of the small size and limited development of the project site, the project will not cause changes in the amount of surface water in any water body. Therefore, the project will have less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

LAND USE/PLANNING Would the project

27. Land Use

a) Result in a substantial alteration of the present or planned land use of an area?

b) Affect land use within a city sphere of influence and/or within adjacent city or county boundaries?

Source: RCIP, GIS database, Project Application Materials

Findings of Fact:

a) The proposed use is in compliance with the current land use of Medium Density Residential (MDR) (2-5 DU/AC) and the policies of the Western Coachella Valley Area Plan. The General Plan requires

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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that all development at the Community Development densities have available public facilities and services. The proposed wireless telecommunication facility will provide better phone coverage for the existing residential area and the surrounding area. The project will have a less than significant impact as it likely will not result in the substantial alteration of the present or planned land use of an area.

b) The project is not located within a sphere of influence (SOI), no objections have been received from the public as of this writing.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

28. Planning

a) Be consistent with the site's existing or proposed zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Be compatible with existing surrounding zoning?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Be compatible with existing and planned surrounding land uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Be consistent with the land use designations and policies of the Comprehensive General Plan (including those of any applicable Specific Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Disrupt or divide the physical arrangement of an established community (including a low-income or minority community)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Land Use Element, Staff review, GIS database

Findings of Fact:

a-b) The project will be consistent with the site's existing zoning. The project is surrounded by properties which are zoned Open Area Combining Zone for Residential Development (R-5) and Scenic Highway Commercial (C-P-S). The project will have no impact.

c) The proposed cell tower will be designed as a 70 foot high mono palm tree with palm fronds at a total maximum height of 70 feet. As a result, the project will be compatible with existing surrounding zoning and with existing and planned surrounding land uses. Impacts are less than significant.

d-e) The project is consistent with the land use designations and policies of the General Plan. In addition, the project will not disrupt or divide the physical arrangement of an established community. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required

MINERAL RESOURCES Would the project

29. Mineral Resources

a) Result in the loss of availability of a known mineral	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
resource that would be of value to the region or the residents of the State?				
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c) Be an incompatible land use located adjacent to a State classified or designated area or existing surface mine?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Expose people or property to hazards from proposed, existing or abandoned quarries or mines?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Riverside County General Plan Figure OS-5 "Mineral Resources Area"

a-b) According to General Plan Figure OS-5, the proposed project is located in an area that is designated MRZ-3. MRZ-3 is an area where mineral deposits are likely to exist however the significance of the deposits is undetermined. In addition, the project site is a developed residential lot with potential impacts were covered under the grading building permits for the site. Therefore, the project will have a less than significant impact.

c-d) The proposed project is not located within the vicinity of a surface mine, therefore it is not subject to creating an incompatible land use. The proposed project will have no impact with regard to incompatible land uses located adjacent to an existing surface mine. The proposed project is not located within the vicinity of any quarries or mines which may pose a risk for people or property. The proposed project will have no impact with regard to exposure to quarries or mines. Therefore, there is no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

NOISE Would the project result in

Definitions for Noise Acceptability Ratings

Where indicated below, the appropriate Noise Acceptability Rating(s) has been checked.

NA - Not Applicable

A - Generally Acceptable

B - Conditionally Acceptable

C - Generally Unacceptable

D - Land Use Discouraged

30. Airport Noise

a) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

b) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?

NA A B C D

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Figure S-19 "Airport Locations," County of Riverside Airport Facilities Map

Findings of Fact:

a) The project site is not located within two miles of a public airport or public use airport that would expose people residing on the project site to excessive noise levels.

b) The project is located within the vicinity of a private airport, but would not expose people residing on the project site or area to excessive noise levels.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

31. Railroad Noise

NA A B C D

Source: Riverside County General Plan Figure C-1 "Circulation Plan", GIS database, On-site Inspection

Findings of Fact: There are no railroad tracks in the immediate vicinity of this project site. The project has no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

32. Highway Noise

NA A B C D

Source: On-site Inspection, Project Application Materials

Findings of Fact: The project is directly adjacent to a Highway. There will be no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

33. Other Noise

NA A B C D

Source: Project Application Materials, GIS database

Findings of Fact: No additional noise sources have been identified near the project site that would contribute a significant amount of noise to the project. There will be no impact.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

34. Noise Effects on or by the Project

a) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?

b) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?

c) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?

d) Exposure of persons to or generation of excessive ground-borne vibration or ground-borne noise levels?

Source: Riverside County General Plan, Table N-1 (“Land Use Compatibility for Community Noise Exposure”); Project Application Materials

Findings of Fact:

a) Although the project will increase the ambient noise level in the immediate vicinity during construction, and the general ambient noise level will increase slightly after project completion, the impacts are not considered significant.

b) All noise generated during project construction and the operation of the site must comply with the County’s noise standards, which restricts construction (short-term) and operational (long-term) noise levels. The project will have a less than significant impact.

c-d) The project would not expose persons to or generation of noise levels in excess of standards established in the local General Plan or noise ordinance, or applicable standards of other agencies or expose persons to or generation of excessive ground-borne vibration or ground-borne noise levels. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

POPULATION AND HOUSING Would the project

35. Housing

a) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?

b) Create a demand for additional housing, particularly housing affordable to households earning 80% or less of

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
the County's median income?				
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
d) Affect a County Redevelopment Project Area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Cumulatively exceed official regional or local population projections?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: Project Application Materials, GIS database, Riverside County General Plan Housing Element

Findings of Fact:

- a) The project is a 70 foot high monopalm with equipment shelters in a 600 square foot lease area. The scope of the development is not substantial enough to displace a number of housing, necessitating the construction of replacement housing elsewhere. The project will have no impact.
- b) The project will not create a demand for additional housing, particularly housing affordable to households earning 80% or less of the County's median income. The project will have no impact.
- c) The project will not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. The project will have no impact.
- d) The project is not located within a Redevelopment Area. Therefore, the project will not affect a County Redevelopment Project Area. The project will have no impact.
- e) The project will not cumulatively exceed official regional or local population projections. The project will have no impact.
- f) The project could potentially encourage additional residential development in the area since there will be better wireless phone coverage, but the development would have to be consistent with the land uses designated by the General Plan. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

PUBLIC SERVICES Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities or the need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:

36. Fire Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Source: Riverside County General Plan Safety Element

The project area is serviced by the Riverside County Fire Department. Any potential significant effects will be mitigated by the payment of standard fees to the County of Riverside. The project will not directly physically alter existing facilities or result in the construction of new facilities. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to fire services. (COA 90.PLANNING.7) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

37. Sheriff Services

Source: RCIP

The proposed area is serviced by the Riverside County Sheriff's Department. The proposed project would not have an incremental effect on the level of sheriff services provided in the vicinity of the project area. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. The project shall comply with County Ordinance No. 659 to mitigate the potential effects to sheriff services. (COA 90.PLANNING.7) This is a standard Condition of Approval and pursuant to CEQA, is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

38. Schools

Source: Palm Springs Unified School District correspondence, GIS database

Findings of Fact: The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The proposed project is located within the Palm Springs Unified School District. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards. This project has been conditioned to comply with School Mitigation Impact fees in order to mitigate the potential effects to school services. (COA 80.PLANNING.8) This is a standard Condition of Approval and pursuant to CEQA, is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
39. Libraries	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Source: RCIP

The proposed project will not create a significant incremental demand for library services. The project will not require the provision of new or altered government facilities at this time. Any construction of new facilities required by the cumulative effects of surrounding projects would have to meet all applicable environmental standards. This project shall comply with County Ordinance No. 659 to mitigate the potential effects to library services. (COA 90.PLANNING.7) This is a standard Condition of Approval and pursuant to CEQA is not considered mitigation.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

40. Health Services	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP

The use of the proposed lease area would not cause an impact on health services. The site is located within the service parameters of County health centers. The project will not physically alter existing facilities or result in the construction of new or physically altered facilities. The project will have no impact. Any construction of new facilities required by the cumulative effects of this project and surrounding projects would have to meet all applicable environmental standards.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

RECREATION

41. Parks and Recreation	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
a) Would the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Would the project include the use of existing neighborhood or regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Is the project located within a Community Service Area (CSA) or recreation and park district with a Community Parks and Recreation Plan (Quimby fees)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: GIS database, Ord. No. 460, Section 10.35 (Regulating the Division of Land – Park and Recreation Fees and Dedications), Ord. No. 659 (Establishing Development Impact Fees), Parks & Open Space Department Review

a) The project proposes a 70 foot high monopalm and equipment shelters within a 600 square foot lease area. The project would not include recreational facilities or require the construction or

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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expansion of recreational facilities which might have an adverse physical effect on the environment. The project will have no impact.

b) The project would not include the use of existing neighborhood or regional parks or other recreation facilities such that substantial physical deterioration of the facility would occur or be accelerated. The project will have no impact.

c) The project is not located within a county service area. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

42. Recreational Trails

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Source: RCIP

Findings of Fact: The RCIP does not identify a Class I Bikeway/Regional Trail in this area. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No mitigation measures are required.

TRANSPORTATION/TRAFFIC Would the project

43. Circulation

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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a) Conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system, taking into account all modes of transportation, including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?

b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

d) Alter waterborne, rail or air traffic?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

e) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g. farm equipment)?

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	--------------------------	-------------------------------------

	Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
f) Cause an effect upon, or a need for new or altered maintenance of roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Cause an effect upon circulation during the project's construction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h) Result in inadequate emergency access or access to nearby uses?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
i) Conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

a) The project will generate minimal traffic to the area and regional transportation system. The project will not conflict with an applicable plan, ordinance or policy establishing a measure of effectiveness for the performance of the circulation system. The impact is less than significant.

b) The project will not conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways. The project will have no impact.

c-d) The project does not propose any design issues that would cause a change in air traffic patterns, alter waterborne, or rail and air traffic. The project will have no impact.

e-f) The project will not substantially increase hazards due to a design feature or cause an effect upon a need for new or altered maintenance of roads. The project will have no impact.

g) The project site will cause an effect upon circulation during the project's construction; however, impacts are considered less than significant.

h) The project will not cause inadequate emergency access or access to nearby uses. The project will have no impact.

i) The project site will not conflict with adopted policies, plans or programs regarding public transit, bikeways or pedestrian facilities, or otherwise substantially decrease the performance or safety of such facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

44. Bike Trails	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
------------------------	--------------------------	--------------------------	-------------------------------------	--------------------------

Source: RCIP

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact: The RCIP does not identify a Class I Bikeway/Regional Trail. The project will have a less than significant impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

UTILITY AND SERVICE SYSTEMS Would the project

45. Water

a) Require or result in the construction of new water treatment facilities or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?

Source: Department of Environmental Health Review

Findings of Fact:

a-b) The proposed project will not require or result in the construction of new water treatment facilities or expansion of existing facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

46. Sewer

a) Require or result in the construction of new wastewater treatment facilities, including septic systems, or expansion of existing facilities, the construction of which would cause significant environmental effects?

b) Result in a determination by the wastewater treatment provider that serves or may service the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?

Source: Department of Environmental Health Review

Findings of Fact:

a-b) The proposed project will not require or result in the construction of new water treatment facilities or expansion of existing facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Monitoring: No monitoring measures are required.

47. Solid Waste

a) Is the project served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Does the project comply with federal, state, and local statutes and regulations related to solid wastes including the CIWMP (County Integrated Waste Management Plan)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP, Riverside County Waste Management District correspondence

Findings of Fact:

a-b) The project will be served by Riverside County Waste Management Department. The proposed project will not require or result in the construction of new landfill facilities, including the expansion of existing facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

48. Utilities

Would the project impact the following facilities requiring or resulting in the construction of new facilities or the expansion of existing facilities; the construction of which could cause significant environmental effects?

a) Electricity?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b) Natural gas?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c) Communications systems?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d) Storm water drainage?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e) Street lighting?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f) Maintenance of public facilities, including roads?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
g) Other governmental services?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Source: RCIP

Findings of Fact:

a-g) No letters have been received eliciting responses that the proposed project would require substantial new facilities or expand facilities. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

49. Energy Conservation

a) Would the project conflict with any adopted energy	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

conservation plans?

Source:

a-b) The proposed project will not project conflict with any adopted energy conservation plans. The project will have no impact.

Mitigation: No mitigation measures are required.

Monitoring: No monitoring measures are required.

MANDATORY FINDINGS OF SIGNIFICANCE

50. Does the project have the potential to substantially degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Staff review, Project Application Materials

Findings of Fact: Implementation of the proposed project would not substantially degrade the quality of the environment, substantially reduce the habitat of fish or wildlife species, cause a fish or wildlife populations to drop below self-sustaining levels, threaten to eliminate a plant or animal community, or reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory.

51. Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, other current projects and probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Staff review, Project Application Materials

Findings of Fact: The project does not have impacts which are individually limited, but cumulatively considerable.

52. Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

Source: Staff review, project application

Potentially Significant Impact	Less than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
--------------------------------	--	------------------------------	-----------

Findings of Fact: The proposed project would not result in environmental effects which would cause substantial adverse effects on human beings, either directly or indirectly.

VI. EARLIER ANALYSES

Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration as per California Code of Regulations, Section 15063 (c) (3) (D). In this case, a brief discussion should identify the following:

Earlier Analyses Used, if any:

- SCAQMD CEQA Air Quality Handbook
- RCIP: Riverside County Integrated Project.
- RCLIS: Riverside County Land Information System
- Geology: Geology Report No. 2190

Location Where Earlier Analyses, if used, are available for review:

Location: County of Riverside Planning Department
 4080 Lemon Street, 9th Floor
 Riverside, CA 92505

VII. AUTHORITIES CITED

Authorities cited: Public Resources Code Sections 21083 and 21083.05; References: California Government Code Section 65088.4; Public Resources Code Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.05, 21083.3, 21093, 21094, 21095 and 21151; *Sundstrom v. County of Mendocino* (1988) 202 Cal.App.3d 296; *Leonoff v. Monterey Board of Supervisors* (1990) 222 Cal.App.3d 1337; *Eureka Citizens for Responsible Govt. v. City of Eureka* (2007) 147 Cal.App.4th 357; *Protect the Historic Amador Waterways v. Amador Water Agency* (2004) 116 Cal.App.4th at 1109; *San Franciscans Upholding the Downtown Plan v. City and County of San Francisco* (2002) 102 Cal.App.4th 656.

Revised: 10/27/2010 3:27 PM

DEPARTMENT OF TRANSPORTATION

DISTRICT 8

PLANNING

464 WEST 4th STREET, 6th Floor MS 725

SAN BERNARDINO, CA 92401-1400

PHONE (909) 383-4557

FAX (909) 383-5936

TTY (909) 383-6300

*Flex your power!
Be energy efficient!*

August 25, 2010

Mr. Jay T. Olivas
Riverside County Planning Department
38686 El Cerrito Road
Palm Desert, CA 92201

RECEIVED

SEP 01 2010

Riverside County
Planning Department
Desert Office

Dear Mr. Olivas:

Plot Plan 23955, Assessor Parcel Number 522-200-008, LA3600
Royal Street Communications, Calvada Job No. 08630

The California Department of Transportation (Caltrans) has reviewed the various Maps, Deeds and Access Easements for the proposed wireless telecommunications facility consisting of a monopalm pole with 6 total antennas located at 59901 North Highway 111 a private residence. We have come to the conclusion that ingress/egress would be better served using access from State Route 111 to Overture Drive, then to Range View Drive and entering from the south end of the property through a 36-foot ingress/egress easement and Desert Water Agency Waterline Easement.

If access is taken from Range View Drive there is no need for a Caltrans Encroachment Permit and we therefore have no other concerns relative to final approval of this project. However if access is to be taken elsewhere please contact us.

We appreciate the opportunity to offer comments concerning this project. If you have any questions regarding this letter, please contact me at (909) 383-4557 for assistance.

Sincerely,

A handwritten signature in black ink that reads "Daniel Kopulsky".

DANIEL KOPULSKY
Office Chief
Community Planning/Local Development Review

c: Veronica Arvizu, for Royal Street Communications
Richard Goh, Encroachment Permits-Riverside County

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY

George A. Johnson, Agency Director

Planning Department

Ron Goldman, Planning Director.

RECEIVED MAR - 2 2009

DATE: **February 27, 2009**

TO: BUILDING & SAFETY:

RECEIVED

CODE ENFORCEMENT
GRADING

APR 01 2009

PLAN CHECK
TRANSPORTATION (2)
HEALTH DEPARTMENT (2)
FIRE PROTECTION

Riverside County
Planning Department
Desert Office

FLOOD CONTROL DISTRICT: RIVCO

RIV.CO. PARKS

RIV.CO. GEOLOGIST

RIV.CO. ARCHAEOLOGIST

RIV. CO. COMMISSIONER ZUPPARDO

RIV. CO. SUPERVISOR ASHLEY

RIV. CO. SHERIFF'S DEPT. - PD

RIV. CO. INFORMATION TECH. COMM.BUREAU

RIV. CO. GIS DRAFTING ATTN: LINDA PHERIGO

RIV. CO. TRAILS COORDINATOR - Jerry Jolliffe

**DESERT WATER AGENCY/SCE-PS/SGC-PS/VERIZON/PSUSD/
CALTRANS #8/UCR-EIC/CITY OF PALM SPRINGS**

PLOT PLAN NO. 23955 - EA No. 42116 - Applicant: Royal Street Communications, LLC. - Engineer/Representative: Veronica Arvizu - Fifth Supervisorial District - Cathedral City-Palm Desert Zoning District - Western Coachella Valley Area Plan: Community Development: Medium Density Residential (CD:MDR) (2 - 5 DU/AC) - Location: 59901 North Highway 111 Palm Springs - Zoning: Scenic Highway Commercial (C-P-S) Zone - 1.11 Gross Acres - REQUEST: The proposal is for a wireless telecommunication facility consisting of a slimline pole with 6 total antennas at a height of 70 feet. The proposal also includes an 8-foot high masonry wall enclosure and accessory equipment within a 900 square-foot leasable area.

APN: 522-200-008

CONCURRENT CASE: EA42116 CFG05471

RELATED CASES: NONE

DESERT FILE/CENTRAL FILE

Please review the case described above, along with the attached tentative map/exhibit.

All County Agencies and Departments, please have your conditions in the SIERRA LMS no later than **March 26, 2009**.

All other agencies, please have your comments/conditions to the Planning Department as soon as possible. Your comments/recommendations/conditions are requested so that they may be included in the staff report for this particular case.

Should you have any questions regarding this item, please do not hesitate to contact Jay Olivas, Project Planner at (760) 863-8277.

COMMENTS: *WILL NEED 24 HR ACCESS TO METER PANEL
EXISTING EDISON FACILITIES MAY BE USED TO SERVE NEW LOADS*

DATE: 3/4/09 SIGNATURE: 

PRINT NAME: JEREMY EDWARDS

TITLE: JOE PLANNER

If you do not use this letter for your response, please indicate case number and project planner's name. Thank You.

TML: CM

F. Thomas Kieley, III
President
Ronald E. Starrs
Vice President
F. Gillar Boyd, Jr.
Secretary/Treasurer
Patricia G. Oygar
Craig A. Ewing

David K. Luker
General Manager
Chief Engineer
Best, Best & Krieger
General Counsel
Krieger & Stewart
Consulting Engineers



Desert Water Agency
1200 Gene Autry Trail South
P.O. Box 1710
Palm Springs, CA 92263-1710
Telephone 760 323-4971
Fax 760 325-6505
www.dwa.org

March 11, 2009

RECEIVED
MAR 18 2009
Riverside County
Planning Department
Desert Office

County of Riverside Transportation & Land Mgmt
Planning Dept., Attn: Ron Goldman
38686 El Cerrito Rd.
Palm Desert, CA 92211

RE: CASE #EA42116CFG05471

I am in receipt of your letter dated February 27, 2009, requesting utility locations and information regarding the above-named site.

To assist you, I am enclosing a copy of our System Map 3-3-24SE & 3-4-19SW, showing the approximate horizontal locations of the surrounding facilities. We recommend that any potential conflict between our facilities and your improvements be potholed for location verification prior to construction.

If I can be of any further assistance, please do not hesitate to call.

Sincerely,

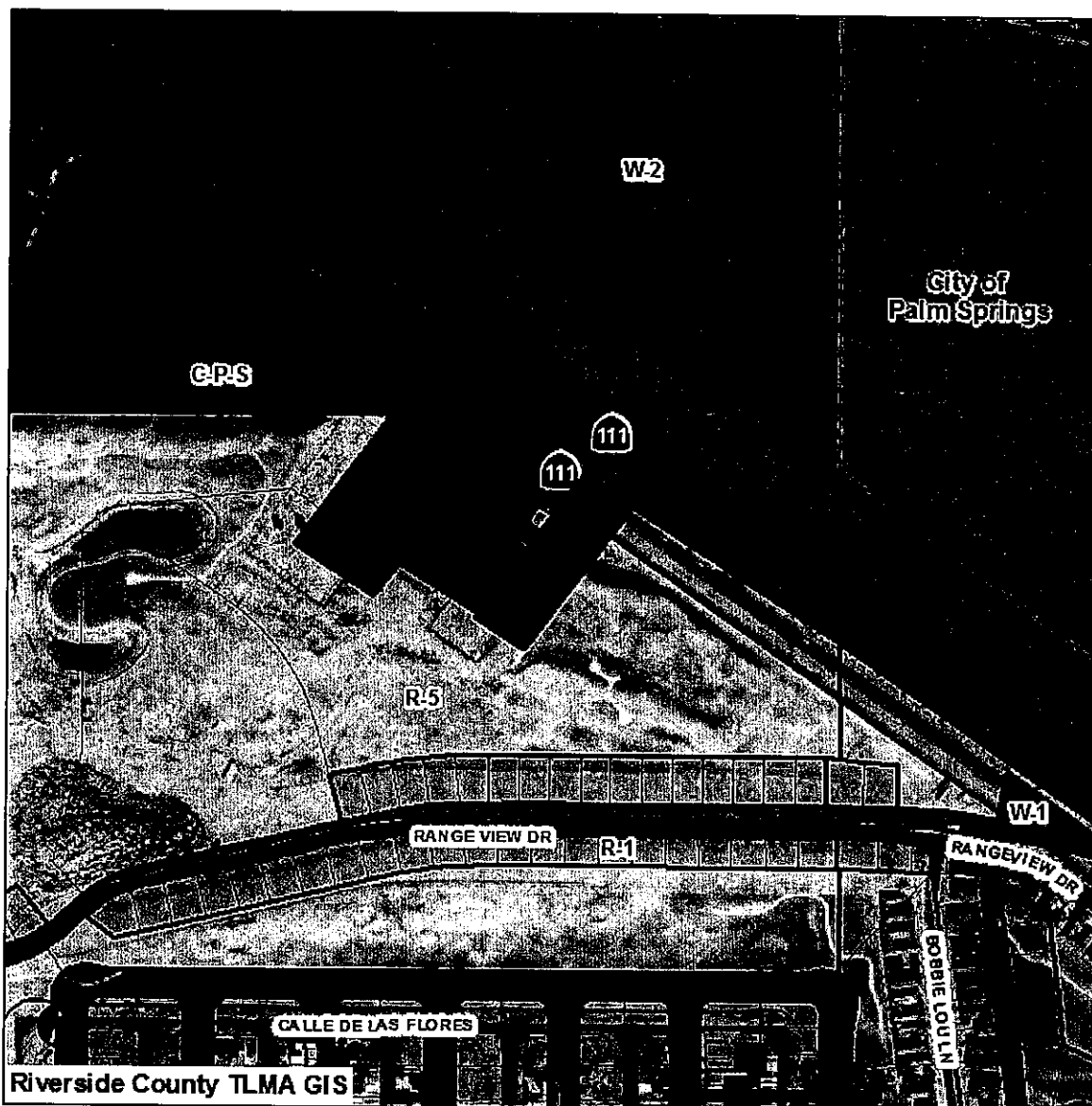
DESERT WATER AGENCY


Heather Marcks
Engineering Technician

HM/ldj

Enclosure:

RIVERSIDE COUNTY GIS



Selected parcel(s):
522-200-008

IMPORTANT

Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

STANDARD WITH PERMITS REPORT

APNs

522-200-008-1

OWNER NAME / ADDRESS

ROBIN HARRIS
59901 N HIGHWAY 111
PALM SPRINGS, CA. 92262

MAILING ADDRESS

C/O STEVEN HARRIS
59511 US HIGHWAY 111
PALM SPRINGS CA. 92262

LEGAL DESCRIPTION

LEGAL DESCRIPTION IS NOT AVAILABLE

LOT SIZE

RECORDED LOT SIZE IS 1.11 ACRES

PROPERTY CHARACTERISTICS

CONCRETE BLOCK THROUGHOUT, 962 SQFT., 2 BDRM/ 1 BATH, 1 STORY, CONSTD 1948COMPOSITION, ROOF

THOMAS BROS. MAPS PAGE/GRID

PAGE: 725 GRID: E6

CITY BOUNDARY/SPHERENOT WITHIN A CITY
NOT WITHIN A CITY SPHERE
NO ANNEXATION DATE AVAILABLE
NO LAFCO CASE # AVAILABLE
NO PROPOSALS**MARCH JOINT POWERS AUTHORITY**

NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY

INDIAN TRIBAL LAND

NOT IN A TRIBAL LAND

SUPERVISORIAL DISTRICT (ORD. 813)

MARION ASHLEY, DISTRICT 5

TOWNSHIP/RANGE

T3SR3E SEC 24

ELEVATION RANGE

1000/1004 FEET

PREVIOUS APN

NO DATA AVAILABLE

PLANNING

LAND USE DESIGNATIONSZoning not consistent with the General Plan.
MDR**AREA PLAN (RCIP)**

WESTERN COACHELLA VALLEY

GENERAL PLAN POLICY OVERLAYS

NOT IN A GENERAL PLAN POLICY OVERLAY AREA

GENERAL PLAN POLICY AREAS

NONE

ZONING CLASSIFICATIONS (ORD. 348)

C-P-S

ZONING DISTRICTS AND ZONING AREAS

CATHEDRAL CITY-PALM DESERT DISTRICT

ZONING OVERLAYS

NOT IN A ZONING OVERLAY

SPECIFIC PLANS

NOT WITHIN A SPECIFIC PLAN

AGRICULTURAL PRESERVE

NOT IN AN AGRICULTURAL PRESERVE

REDEVELOPMENT AREAS

NOT IN A REDEVELOPMENT AREA

AIRPORT INFLUENCE AREAS

NOT IN AN AIRPORT INFLUENCE AREA

AIRPORT COMPATIBILITY ZONES

NOT IN AN AIRPORT COMPATIBILITY ZONE

CVMSHCP (COACHELLA VALLEY MULTI-SPECIES HABITAT CONSERVATION PLAN) CONSERVATION AREA
NOT IN A CONSERVATION AREA

CVMSHCP FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREAS
NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA

WRMSHCP (WESTERN RIVERSIDE COUNTY MULTI-SPECIES HABITAT CONSERVATION PLAN) CELL GROUP
NOT IN A CELL GROUP

WRMSHCP CELL NUMBER
NOT IN A CELL

HANS/ERP (HABITAT ACQUISITION AND NEGOTIATION STRATEGY/EXPEDITED REVIEW PROCESS)
NONE

VEGETATION (2005)
NO DATA AVAILABLE

FIRE

HIGH FIRE AREA (ORD. 787)
NOT IN A HIGH FIRE AREA

FIRE RESPONSIBILITY AREA
NOT IN A FIRE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP FEE AREA (ORD. 875)
WITHIN THE COACHELLA VALLEY MSHCP FEE AREA

WRMSHCP FEE AREA (ORD. 810)
NOT WITHIN THE WESTERN RIVERSIDE COUNTY MSHCP FEE AREA

ROAD & BRIDGE DISTRICT
NOT IN A DISTRICT

EASTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 673)
IN OR PARTIALLY WITHIN A TUMF FEE AREA. SEE MAP FOR MORE INFORMATION.
In EAST

WESTERN TUMF (TRANSPORTATION UNIFORM MITIGATION FEE ORD. 824)
NOT WITHIN THE WESTERN TUMF FEE AREA

DIF (DEVELOPMENT IMPACT FEE AREA ORD. 659)
WESTERN COACHELLA VALLEY

SKR FEE AREA (STEPHEN'S KANGAROO RAT ORD. 663.10)
NOT WITHIN AN SKR FEE AREA.

DEVELOPMENT AGREEMENTS
NOT IN A DEVELOPMENT AGREEMENT AREA

TRANSPORTATION

CIRCULATION ELEMENT ULTIMATE RIGHT-OF-WAY
NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY

ROAD BOOK PAGE
149A

TRANSPORTATION AGREEMENTS
NOT IN A TRANSPORTATION AGREEMENT

CETAP (COMMUNITY AND ENVIRONMENTAL TRANSPORTATION ACCEPTABILITY PROCESS) CORRIDORS
NOT IN A CETAP CORRIDOR.

FLOOD PLAIN REVIEW

THIS PARCEL MAY BE SUBJECT TO A FLOOD MANAGEMENT REVIEW. CONTACT THE FLOOD PLAIN MANAGEMENT SECTION AT (951) 955-1200.

WATER DISTRICT

DWA

FLOOD CONTROL DISTRICT

RIVERSIDE COUNTY FLOOD CONTROL DISTRICT

WATERSHED

WHITEWATER

GEOLOGIC

FAULT ZONE

NOT IN A FAULT ZONE

FAULTS

WITHIN A 1/2 MILE OF
SOUTH PASS FAULT
CONTACT THE COUNTY'S CHIEF ENGINEERING GEOLOGIST AT (951)955-6863.

LIQUEFACTION POTENTIAL

MODERATE

SUBSIDENCE

SUSCEPTIBLE

PALEONTOLOGICAL SENSITIVITY

LOW POTENTIAL.

FOLLOWING A LITERATURE SEARCH, RECORDS CHECK AND A FIELD SURVEY, AREAS MAY BE DETERMINED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST AS HAVING LOW POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES SUBJECT TO ADVERSE IMPACTS.

MISCELLANEOUS

SCHOOL DISTRICT

PALM SPRINGS UNIFIED

COMMUNITIES

NOT IN A COMMUNITY

COUNTY SERVICE AREA

NOT IN A COUNTY SERVICE AREA.

LIGHTING (ORD. 655)

ZONE B, 39.71 MILES FROM MT. PALOMAR OBSERVATORY

2000 CENSUS TRACT

044601

FARMLAND

OTHER LANDS
URBAN-BUILT UP LAND

TAX RATE AREAS

061-029

- BANNING UNIF SCH DIST LIB
- COACHELLA VALLEY RESOURCE CONSER
- COUNTY STRUCTURE FIRE PROTECTION
- COUNTY WASTE RESOURCE MGMT DIST
- CSA 152
- DESERT COMMUNITY COLLEGE
- DESERT WATER AGENCY
- FLOOD CONTROL ADMINISTRATION
- FLOOD CONTROL ZONE 6
- GENERAL
- GENERAL PURPOSE
- PALM SPRINGS UNIF B & I 1992-A
- PALM SPRINGS UNIFIED SCHOOL
- RIV CO REG PARK & OPEN SPACE
- RIV. CO. OFFICE OF EDUCATION

- SAN GORGONIO PASS MEM HOSPITAL
- SUMMIT CEMETERY DISTRICT
- SUPERVISORIAL ROAD DISTRICT 4

SPECIAL NOTES

NO SPECIAL NOTES

CODE COMPLAINTS

NO CODE COMPLAINTS

BUILDING PERMITS

Case #	Description	Status
BXX100068	NEW 50' WIRELESS FACILITY -ANTENNAS	PCAPPR
024121	REPLACE SEPTIC SYSTEM	FINALED
288181	GAS TEST	FINALED
BZ303880	NOT AVAILABLE	FINAL
BNR100023	INSTALL CABINETS TO A NEW WIRELESS FACILITY 600SF	PCAPPR
BTW100003	NEW 50' WIRELESS FACILITY	PCAPPR

ENVIRONMENTAL HEALTH PERMITS

NO ENVIRONMENTAL PERMITS

PLANNING PERMITS

Case #	Description	Status
EA42116	FOR PP23955	DRT
PP20406	WIRELESS COMMUNICATIONS FACILITY W/TOWER 40' HIGH	WITHDRWN
CFG03577	CFG FOR EA40129 (PP20406)	PAID
PP23955	PROPOSE 70' SLIMLINE POLE DISGUISED ANTENNA IN POLE	DRT
GPA00543	2 ROADS REMOVED FRM CIR ELEMNT OF 390 RES SUB DIV	APPLIED
EA40129	EA FOR PP20406	WITHDRWN
EA38041	EA FOR GPA00543 TO REMOVE 2 ROADS FROM CIR ELEMENT	APPLIED
OAD01311	OUTDOOR BILLBOARD	ABANDON
CFG05471	CA F&G FEE FOR EA42116	PAID
GEO02154	GEO REPORT FOR PP 23955	APPROVED

REPORT PRINTED ON...Thu Oct 14 16:13:37 2010
Version 100826

CC05030

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Ron Goldman · Planning Director

APPLICATION FOR LAND USE AND DEVELOPMENT

CHECK ONE AS APPROPRIATE:

- PLOT PLAN CONDITIONAL USE PERMIT TEMPORARY USE PERMIT
 REVISED PERMIT PUBLIC USE PERMIT VARIANCE

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

CASE NUMBER: PP 23955 DATE SUBMITTED: 1-22-09
EA42116 CFG 05471

APPLICATION INFORMATION

Applicant's Name: Royal Street Communications ^{CALL} E-Mail: VARVIZU@cmhcg.com

Mailing Address: 350 Commerce
Irvine ^{Street} CA 92602
City State ZIP

Daytime Phone No: (858) 602-6380 Fax No: (951) 541-9698

Engineer/Representative's Name: Veronica Arvizu E-Mail: VARVIZU@cmhcg.com

Mailing Address: 29992 Hunter Road #105 PMB166
Murrieta ^{Street} CA 92563
City State ZIP

Daytime Phone No: (858) 602-6380 Fax No: (951) 541-9698

Property Owner's Name: Royal Street Communications E-Mail: _____

Mailing Address: 59901 Hwy 111 P.
Palm Springs ^{Street} CA 92262
City State ZIP

Daytime Phone No: (760) 408-1121 Fax No: () N/A

If the property is owned by more than one person, attach a separate page that reference the application case number and lists the names, mailing addresses, and phone numbers of all persons having an interest in the real property or properties involved in this application.

The Planning Department will primarily direct communications regarding this application to the person identified above as the Applicant. The Applicant may be the property owner, representative, or other assigned agent.

APPLICATION FOR LAND USE AND DEVELOPMENT

AUTHORIZATION FOR CONCURRENT FEE TRANSFER

The signature below authorizes the Planning Department and TLMA to expedite the refund and billing process by transferring monies among concurrent applications to cover processing costs as necessary. Fees collected in excess of the actual cost of providing specific services will be refunded. If additional funds are needed to complete the processing of your application, you will be billed, and processing of the application will cease until the outstanding balance is paid and sufficient funds are available to continue the processing of the application. The applicant understands the deposit fee process as described above, and that there will be NO refund of fees which have been expended as part of the application review or other related activities or services, even if the application is withdrawn or the application is ultimately denied.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Veronica Arvizu [Signature]
PRINTED NAME OF APPLICANT SIGNATURE OF APPLICANT

AUTHORITY FOR THIS APPLICATION IS HEREBY GIVEN:

I certify that I am/we are the record owner(s) or authorized agent and that the information filed is true and correct to the best of my knowledge. An authorized agent must submit a letter from the owner(s) indicating authority to sign the application on the owner's behalf.

All signatures must be originals ("wet-signed"). Photocopies of signatures are not acceptable.

Please see attached letter of authorization
PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

PRINTED NAME OF PROPERTY OWNER(S) SIGNATURE OF PROPERTY OWNER(S)

If the property is owned by more than one person, attach a separate sheet that references the application case number and lists the printed names and signatures of all persons having an interest in the property.

See attached sheet(s) for other property owners signatures.

PROPERTY INFORMATION:

Assessor's Parcel Number(s): 522-200-008

Section: 24 Township: 35 Range: 3E

Approximate Gross Acreage: 1.11 acres

General location (nearby or cross streets): North of Calle de Las Flores, South of Palm Canyon, East of Clearwater, West of Palm Canyon.

Thomas Brothers map, edition year, page number, and coordinates: 725 E6 2006 ed.

APPLICATION FOR LAND USE AND DEVELOPMENT

Proposal (describe project, indicate the number of proposed lots/parcels, units, and the schedule of the subdivision, Vesting Map, PRD):

Royal Street Communications is proposing a 40' ~~single~~ ^{MONOPALM} pole to be disguised as a utility pole. All antennas will be within the pole and not be seen. The pole will be painted to match existing utility poles

Related cases filed in conjunction with this request:

None

Is there a previous development application filed on the same site: Yes No

If yes, provide Case No(s). N/A (Parcel Map, Zone Change, etc.)

E.A. No. (if known) N/A E.I.R. No. (if applicable): N/A

Have any special studies or reports, such as a traffic study, biological report, archaeological report, geological or geotechnical reports, been prepared for the subject property? Yes No

If yes, indicate the type of report(s) and provide a copy: N/A

Is water service available at the project site: Yes No

If "No," how far must the water line(s) be extended to provide service? (No. of feet/miles) N/A

Is sewer service available at the site? Yes No

If "No," how far must the sewer line(s) be extended to provide service? (No. of feet/miles) N/A

Will the proposal result in cut or fill slopes steeper than 2:1 or higher than 10 feet? Yes No

How much grading is proposed for the project site?

Estimated amount of cut = cubic yards: 0

Estimated amount of fill = cubic yards 0

Does the project need to import or export dirt? Yes No

Import None Export None Neither -

What is the anticipated source/destination of the import/export? N/A

APPLICATION FOR LAND USE AND DEVELOPMENT

What is the anticipated route of travel for transport of the soil material?

N/A
How many anticipated truckloads? N/A truck loads.

What is the square footage of usable pad area? (area excluding all slopes) _____ sq. ft.

Is the development proposal located within 8½ miles of March Air Reserve Base? Yes No

If yes, will any structure exceed fifty-feet (50') in height (above ground level)? Yes No

Does the development project area exceed more than one acre in area? Yes No

If yes, in which one of the following watersheds is it located (refer to Riverside County GIS for watershed location)?

Check answer:

Santa Ana River Santa Margarita River San Jacinto River Colorado River

HAZARDOUS WASTE SITE DISCLOSURE STATEMENT

Government Code Section 65962.5 requires the applicant for any development project to consult specified state-prepared lists of hazardous waste sites and submit a signed statement to the local agency indicating whether the project is located on or near an identified site. Under the statute, no application shall be accepted as complete without this signed statement.

I (we) certify that I (we) have investigated our project with respect to its location on or near an identified hazardous waste site and that my (our) answers are true and correct to the best of my (our) knowledge. My (Our) investigation has shown that:

The project is not located on or near an identified hazardous waste site.

The project is located on or near an identified hazardous waste site. Please list the location of the hazardous waste site(s) on an attached sheet.

Owner/Representative (1) [Signature] Date 1/20/09
Owner/Representative (2) _____ Date _____

NOTICE OF PUBLIC HEARING
and
INTENT TO ADOPT A MITIGATED NEGATIVE DECLARATION

A PUBLIC HEARING has been scheduled, pursuant to Riverside County Land Use Ordinance No. 348, before the **RIVERSIDE COUNTY DIRECTOR'S HEARING** to consider the project shown below:

PLOT PLAN NO. 23955 – Intent to Adopt a Mitigated Negative Declaration – Applicant: Royal Street Communications California, LLC – Representative: Veronica Arvizu - Fifth Supervisorial District – Cathedral City – Palm Desert Zoning District – Western Coachella Valley Area Plan: Community Development: Medium Density Residential (CD:MDR) (2-5 DU/AC) – Location: Southerly of State Highway 111 (North Palm Canyon Drive), northerly of Range View Drive, more specifically located at 59901 Highway 111, Palm Springs, CA – 1.11 Gross Acres - Zoning: Scenic Highway Commercial (C-P-S) - **REQUEST:** The Plot Plan proposes a wireless communication facility, for Royal Street Communications California, LLC, as a disguised mono palm tree with palm fronds at a total maximum height of 70 feet. The project will include six (6) panel antennas mounted on the mono palm tree, one (1) GPS antenna, and four (4) outdoor equipment cabinets at grade level within a 600 square foot lease area. APN: 522-200-008 – Concurrent Cases: EA42116, CFG05471 – Related Cases: GPA00543, PP20406 (Quasi-judicial)

TIME OF HEARING: 1:30 p.m. or as soon as possible thereafter.
DATE OF HEARING: November 22, 2010
PLACE OF HEARING: RIVERSIDE COUNTY PLANNING DEPARTMENT
38686 EI CERRITO ROAD
Palm Desert, CA 92211

For further information regarding this project, please contact Jay Olivas at 951-955-1195 or e-mail jolivas@rctlma.org, or go to the County Planning Department's Director's Hearing agenda web page at http://www.tlma.co.riverside.ca.us/planning/content/hearings/dh/current_dh.html

The Riverside County Planning Department has determined that the above project will not have a significant effect on the environment and has recommended adoption of a mitigated negative declaration. The Planning Director will consider the proposed project and the proposed mitigated negative declaration, at the public hearing. The case file for the proposed project and the proposed mitigated negative declaration may be viewed Monday through Thursday, 7:30 a.m. to 5:30 p.m., (with the exception of Noon-1:00 p.m. and holidays) at the County of Riverside Planning Department, 4080 Lemon Street, 9th Floor, Riverside, CA 92502. For further information or an appointment, please contact the project planner.

Any person wishing to comment on a proposed project may do so, in writing, between the date of this notice and the public hearing or appear and be heard at the time and place noted above. All comments received prior to the public hearing will be submitted to the Planning Director, and the Planning Director will consider such comments, in addition to any oral testimony, before making a decision on the proposed project.

If you challenge this project in court, you may be limited to raising only those issues you or someone else raised at the public hearing, described in this notice, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing. Be advised that, as a result of public hearings and comment, the Planning Director may amend, in whole or in part, the proposed project. Accordingly, the designations, development standards, design or improvements, or any properties or lands, within the boundaries of the proposed project, may be changed in a way other than specifically proposed.

Please send all written correspondence to:
COUNTY OF RIVERSIDE PLANNING DEPARTMENT
Attn: Jay Olivas
P.O. Box 1409, Riverside, CA 92502-1409

PROPERTY OWNERS CERTIFICATION FORM

I, VINNIE NGUYEN, certify that on 10/13/2010.

The attached property owners list was prepared by Riverside County GIS.

APN (s) or case numbers PP 23955 For

Company or Individual's Name Planning Department.

Distance buffered 1000'.

Pursuant to application requirements furnished by the Riverside County Planning Department, Said list is a complete and true compilation of the owners of the subject property and all other property owners within 600 feet of the property involved, or if that area yields less than 25 different owners, all property owners within a notification area expanded to yield a minimum of 25 different owners, to a maximum notification area of 2,400 feet from the project boundaries, based upon the latest equalized assessment rolls. If the project is a subdivision with identified off-site access/improvements, said list includes a complete and true compilation of the names and mailing addresses of the owners of all property that is adjacent to the proposed off-site improvement/alignment.

I further certify that the information filed is true and correct to the best of my knowledge. I understand that incorrect or incomplete information may be grounds for rejection or denial of the application.

NAME: Vinnie Nguyen

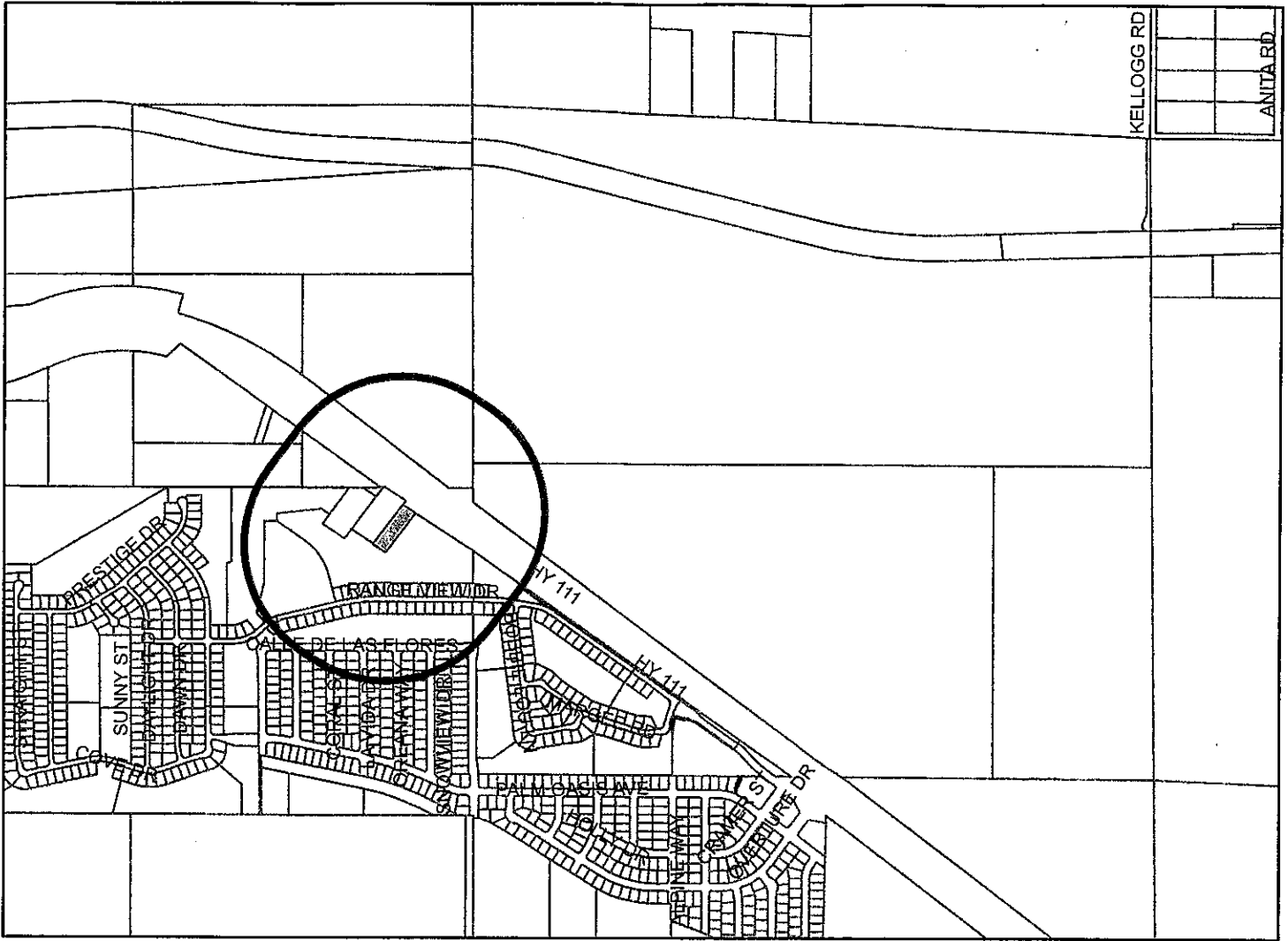
TITLE GIS Analyst

ADDRESS: 4080 Lemon Street 2nd Floor

Riverside, Ca. 92502

TELEPHONE NUMBER (8 a.m. - 5 p.m.): (951) 955-8158

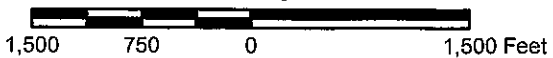
1000 feet buffer



Selected Parcels

522-221-018	522-212-011	522-224-012	522-221-019	522-221-017	522-211-011	522-212-010	522-224-023	522-211-009	522-224-014
522-222-031	669-020-005	669-030-003	522-221-021	522-224-025	522-224-026	522-222-032	522-211-014	522-211-012	522-200-022
522-200-028	522-200-029	522-200-030	522-200-031	522-290-001	522-290-081	522-320-001	522-320-002	522-320-003	522-320-004
522-320-005	522-320-006	522-320-007	522-320-008	522-320-009	522-320-010	522-320-011	522-320-012	522-320-013	522-320-014
522-320-015	522-320-016	522-320-017	522-320-018	522-320-019	522-320-020	522-320-021	522-320-022	522-320-023	522-320-024
522-320-025	522-320-026	522-320-027	522-320-028	522-320-029	522-320-030	522-320-031	522-320-032	522-320-033	522-320-034
522-320-035	522-320-036	522-320-037	522-320-038	669-660-001	669-660-002	669-660-035	669-660-036	669-660-037	669-660-038
669-660-039	669-660-040	669-660-041	669-660-043	669-660-044	669-660-045	669-660-046	522-211-010	522-224-015	522-200-007
522-211-013	522-180-005	522-222-012	522-222-011	522-222-013	522-221-020	522-224-013	522-222-014	522-200-008	522-224-024

rst 90 parcels shown



Maps and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.



APN: 522221018, ASMT: 522221018
ABEL C JIMENEZ, ETAL
4951 B ST
CHINO CA 91710

APN: 522211009, ASMT: 522211009
CHARLES E HOWARD
1101 SENECA ST NO 1701
SEATTLE WA 98101

APN: 522224012, ASMT: 522224012
BELINDA BERNARDI
814 AMHERST AVE NO 304
LOS ANGELES CA 90049

APN: 522224014, ASMT: 522224014
CHRISTOPHER SANDERS
1414 WINCHESTER AVE
GLENDALE CA 91201

APN: 522221019, ASMT: 522221019
BNB INV
2620 S HILL ST
LOS ANGELES CA 90007

APN: 522222031, ASMT: 522222031
CLARKE WALKER
79935 BOQUERON WAY
BERMUDA DUNES CA 92203

APN: 522221017, ASMT: 522221017
BRUCE J FERGUSON, ETAL
74 OLD QUARRY WAY
BOISE ID 83209

APN: 669030003, ASMT: 669030003
CVCWD
P O BOX 1058
COACHELLA CA 92236

APN: 522211011, ASMT: 522211011
CARL C FRANCIS, ETAL
59825 CLLE DE LAS FLORES
PALM SPRINGS CA. 92262

APN: 522221021, ASMT: 522221021
DAUN ALINE DEVORE
P O BOX 5432
PALM SPRINGS CA 92263

APN: 522212010, ASMT: 522212010
CARLOS BARRON, ETAL
15775 CRYSTAL SPRINGS DR
PALM SPRINGS CA. 92262

APN: 522224026, ASMT: 522224026
DESERT WATER AGENCY
C/O CONTROLLER
P O BOX 1710
PALM SPRINGS CA 92263

APN: 522224023, ASMT: 522224023
CHANDLER BURR
174 S ORANGE AVE NO 32
SOUTH ORANGE NJ 7079

APN: 522222032, ASMT: 522222032
EDUARDO P RIZO
15806 LA VIDA DR
PALM SPRINGS CA 92230



APN: 522211014, ASMT: 522211014
ELFE MARLENE SUMPTER
304 13860 70 AVE
SURREY BC CANADA V3W0S1 0

APN: 522180005, ASMT: 522180005
MORRIS COMMUNICATIONS CORP
C/O DESERT RADIO GROUP
1321 N GENE AUTRY TR
PALM SPRINGS CA 92262

APN: 522211012, ASMT: 522211012
FANNIE MAE
C/O CHASE HOME FINANCE
3415 VISION DR
COLUMBUS OH 43219

APN: 522222013, ASMT: 522222013
PALM INV GROUP
P O BOX 24066
LOS ANGELES CA 90024

APN: 669660046, ASMT: 669660046
IOTA FIVE
MC OH99 0205 C/O RALPH KIRK AM TRUST BAI
1801 E 9TH ST STE 200
CLEVELAND OH 44114

APN: 522221020, ASMT: 522221020
PETER BRANDT, ETAL
15774 OREANA WAY
PALM SPRINGS CA. 92262

APN: 522211010, ASMT: 522211010
JOSE L GUTIERREZ VARGAS
15781 CORAL ST
PALM SPRINGS CA. 92262

APN: 522224013, ASMT: 522224013
PETER G BRANDT, ETAL
3627 DIXIE CANYON AVE
SHERMAN OAKS CA 91423

APN: 522224015, ASMT: 522224015
KENNETH CASTANEDA, ETAL
386 ORIZABA AVE NO 3
LONG BEACH CA 90814

APN: 522222014, ASMT: 522222014
RACHAEL GUMM
15780 LA VIDA DR
PALM SPRINGS CA. 92262

APN: 522200007, ASMT: 522200007
LORYSILVER
59901 N US HIGHWAY 111
PALM SPRINGS CA 92262

APN: 522200008, ASMT: 522200008
ROBIN HARRIS
C/O STEVEN HARRIS
59511 US HIGHWAY 111
PALM SPRINGS CA 92262

APN: 522211013, ASMT: 522211013
MASAKO ZWIEBACH
7918 ISIS AVE
LOS ANGELES CA 90045

APN: 522224024, ASMT: 522224024
RUSSELL DOE
11132 HERSHEY ST
SUN VALLEY CA 91352

APN: 522222010, ASMT: 522222010
STEPHEN E VINING
4248 SAN JOSE BLV
JACKSONVILLE FL 32207

APN: 522180006, ASMT: 522180006
STEVEN HARRIS
59511 US HIGHWAY 111
PALM SPRINGS CA 92262

APN: 522180008, ASMT: 522180008
USA 522
P O BOX 1630
POMONA CA 91769

APN: 522180007, ASMT: 522180007
USA 522
ADDRESS UNKNOWN
05-31-2006 0

APN: 522212009, ASMT: 522212009
WAN MONSERRATE S DIAZ
P O BOX 461787
WEST HOLLYWOOD CA 90046

Royal Street Communications CA, LLC
350 Commerce Street
Irvine, CA 92602

Veronica Arvizu
2992 Hunter Road #105
Murrieta, CA 92563

Robin Harris
59901 N. Highway 111
Palm Springs, CA 92262

City of Palm Springs
Planning Department
3200 E Tahquitz Canyon Way
Palm Springs, CA 92262

Extra Labels for
PP23955

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Carolyn Syms Luna · Director

TO: Office of Planning and Research (OPR)
P.O. Box 3044
Sacramento, CA 95812-3044
 County of Riverside County Clerk

FROM: Riverside County Planning Department
 4080 Lemon Street, 9th Floor
P. O. Box 1409
Riverside, CA 92502-1409

38686 El Cerrito Road
Palm Desert, California 92211

SUBJECT: Filing of Notice of Determination in compliance with Section 21152 of the California Public Resources Code.

EA42116 Plot Plan No. 23955

Project Title/Case Numbers

Jay Olivas 951-955-3200
County Contact Person *Phone Number*

N/A
State Clearinghouse Number (if submitted to the State Clearinghouse)

Royal Street Communications, Inc. _____
Project Applicant *Address*

Southerly of State Highway 111 (North Palm Canyon Drive), northerly of Range View Drive.
Project Location

Plot Plan for disguised mono palm tree with palm fronds at an overall maximum height of 70 feet with outdoor equipment cabinets.
Project Description

This is to advise that the Riverside County Planning Director, as the lead agency, has approved the above-referenced project on November 22, 2010, and has made the following determinations regarding that project:

1. The project WILL NOT have a significant effect on the environment.
2. A Mitigated Negative Declaration was prepared for the project pursuant to the provisions of the California Environmental Quality Act (\$2,010.25 + \$64.00).
3. Mitigation measures WERE made a condition of the approval of the project.
4. A Mitigation Monitoring and Reporting Plan/Program WAS adopted.
5. A statement of Overriding Considerations WAS NOT adopted for the project.

This is to certify that the Mitigated Negative Declaration, with comments, responses, and record of project approval is available to the general public at: Riverside County Planning Department, 4080 Lemon Street, 9th Floor, Riverside, CA 92501.

Signature

Title

Date

Date Received for Filing and Posting at OPR: _____

DM/rj
Revised 8/25/2009
Y:\Planning Master Forms\CEQA Forms\NOD Form.doc

Please charge deposit fee case#: ZEA42116 ZCFGCFG05471 .

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
TRANSPORTATION AND LAND MANAGEMENT AGENCY
Planning Department
Carolyn Syms Luna · Director

MITIGATED NEGATIVE DECLARATION

Project/Case Number: Plot Plan No. 23955

Based on the Initial Study, it has been determined that the proposed project, subject to the proposed mitigation measures, will not have a significant effect upon the environment.

PROJECT DESCRIPTION, LOCATION, AND MITIGATION MEASURES REQUIRED TO AVOID POTENTIALLY SIGNIFICANT EFFECTS. (see Environmental Assessment and Conditions of Approval)

COMPLETED/REVIEWED BY:

By: Jay Olivas Title: Project Planner Date: October 14, 2010

Applicant/Project Sponsor: Royal Street Communications Date Submitted: January 22, 2009

ADOPTED BY: Planning Director

Person Verifying Adoption: Jay Olivas Date: November 22, 2010

The Mitigated Negative Declaration may be examined, along with documents referenced in the initial study, if any, at:

Riverside County Planning Department 4080 Lemon Street, 9th Floor, Riverside, CA 92501

For additional information, please contact Jay Olivas at 951-955-1195.

Revised: 10/16/07
Y:\Planning Master Forms\CEQA Forms\Mitigated Negative Declaration.doc

Please charge deposit fee case#: ZEA42116 ZCFG05471

FOR COUNTY CLERK'S USE ONLY

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

* REPRINTED * R0900976

4080 Lemon Street
Second Floor
Riverside, CA 92502
(951) 955-3200

39493 Los Alamos Road
Suite A
Murrieta, CA 92563
(951) 600-6100

38686 El Cerrito Road
Palm Desert, CA 92211
(760) 863-8277

Received from: ROYAL STRET COMMUNICATIONS LLC \$64.00
paid by: CK 559035
paid towards: CFG05471 CALIF FISH & GAME: DOC FEE
CA F&G FEE FOR EA42116
at parcel #:
appl type: CFG3

By _____ Jan 22, 2009 14:57
SBROSTRO posting date Jan 22, 2009

Account Code	Description	Amount
658353120100208100	CF&G TRUST: RECORD FEES	\$64.00

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org

COUNTY OF RIVERSIDE
SPECIALIZED DEPARTMENT RECEIPT
Permit Assistance Center

* REPRINTED * R1011039

4080 Lemon Street Second Floor Riverside, CA 92502 (951) 955-3200	39493 Los Alamos Road Suite A Murrieta, CA 92563 (951) 600-6100	38686 El Cerrito Road Palm Desert, CA 92211 (760) 863-8277
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Received from: ROYAL STRET COMMUNICATIONS LLC \$2,010.25
paid by: CK 2239
paid towards: CFG05471 CALIF FISH & GAME: DOC FEE
CA F&G FEE FOR EA42116
at parcel #:
appl type: CFG3

By _____ Oct 04, 2010 16:01
MGARDNER posting date Oct 04, 2010

Account Code	Description	Amount
658353120100208100	CF&G TRUST	\$2,010.25

Overpayments of less than \$5.00 will not be refunded!

Additional info at www.rctlma.org